

CRA: Urban Design & Code Amendment City of Pensacola

**Final Charrette Presentation
February 15, 2018**

DPZ
CODESIGN

with

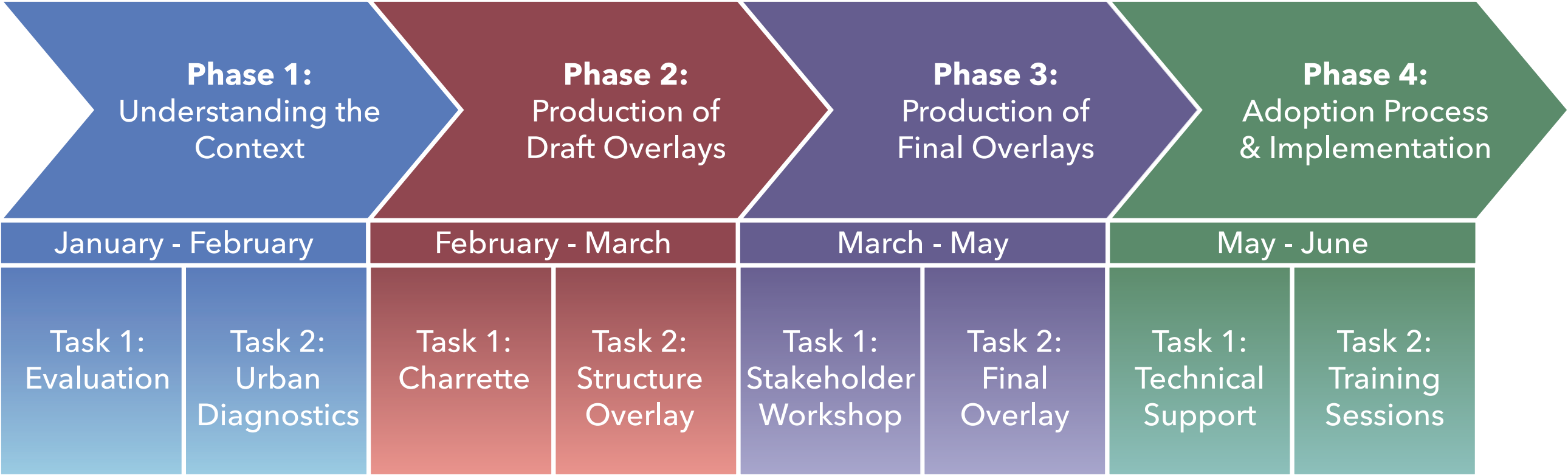
Hall Planning & Engineering

Today's Presentation

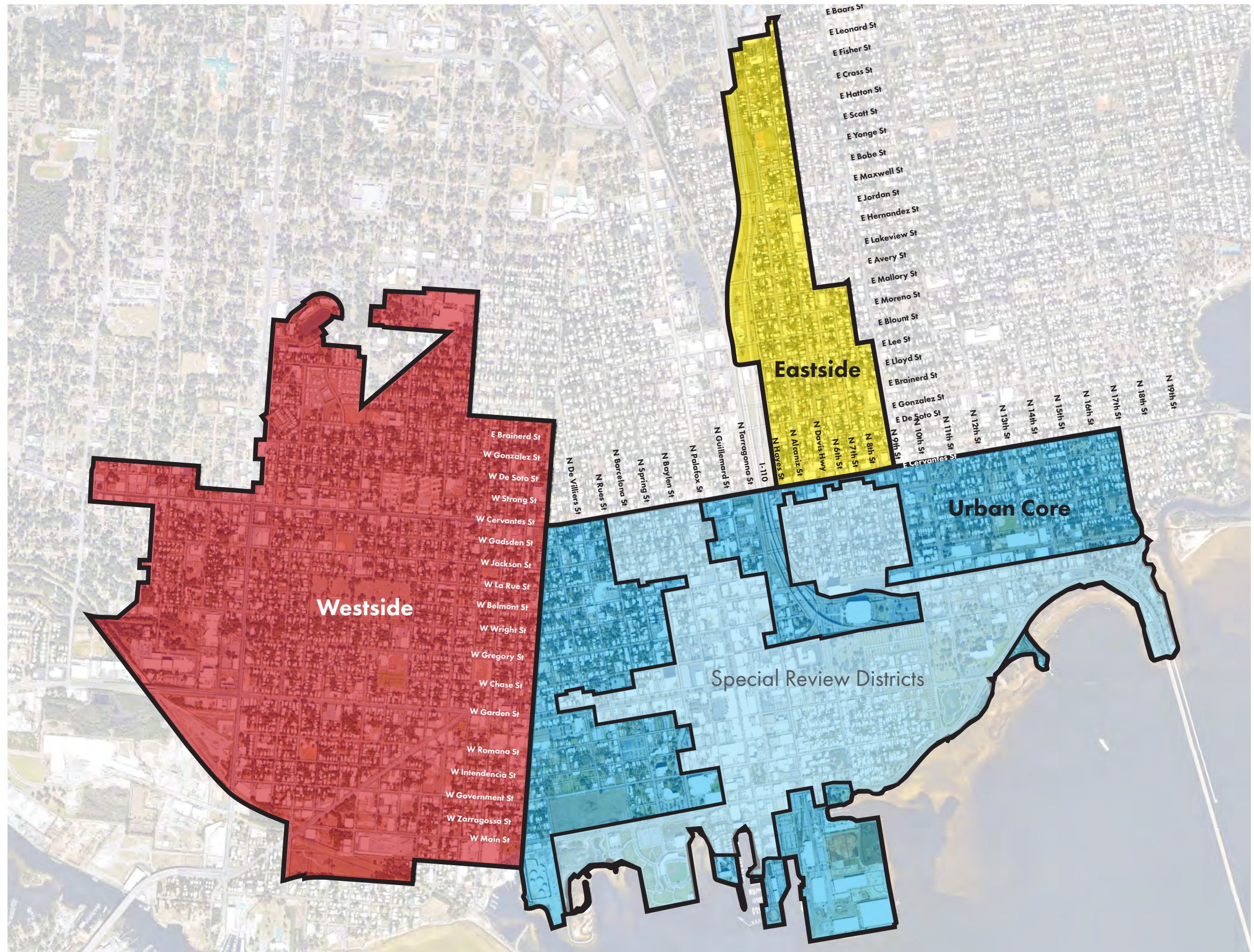
1. The current conditions & goals of the CRA
2. Understanding context & zoning
3. Residential Zones
4. R-NC Zones
5. Commercial & Mixed-Use Zones
6. Open Space
7. Transportation

The Current Condition & Goals of the CRA

Project Schedule



CRA Study Area



Understanding Context & Zoning

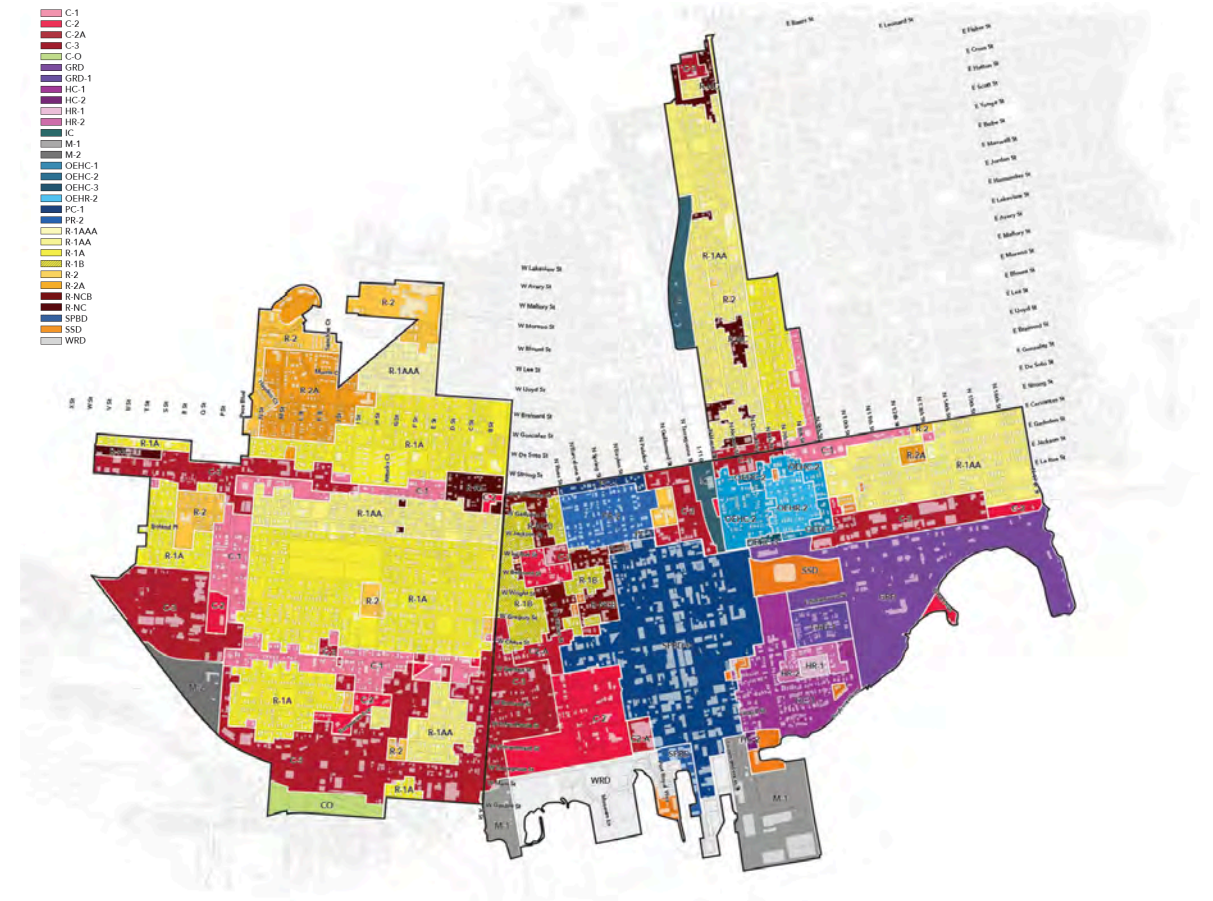
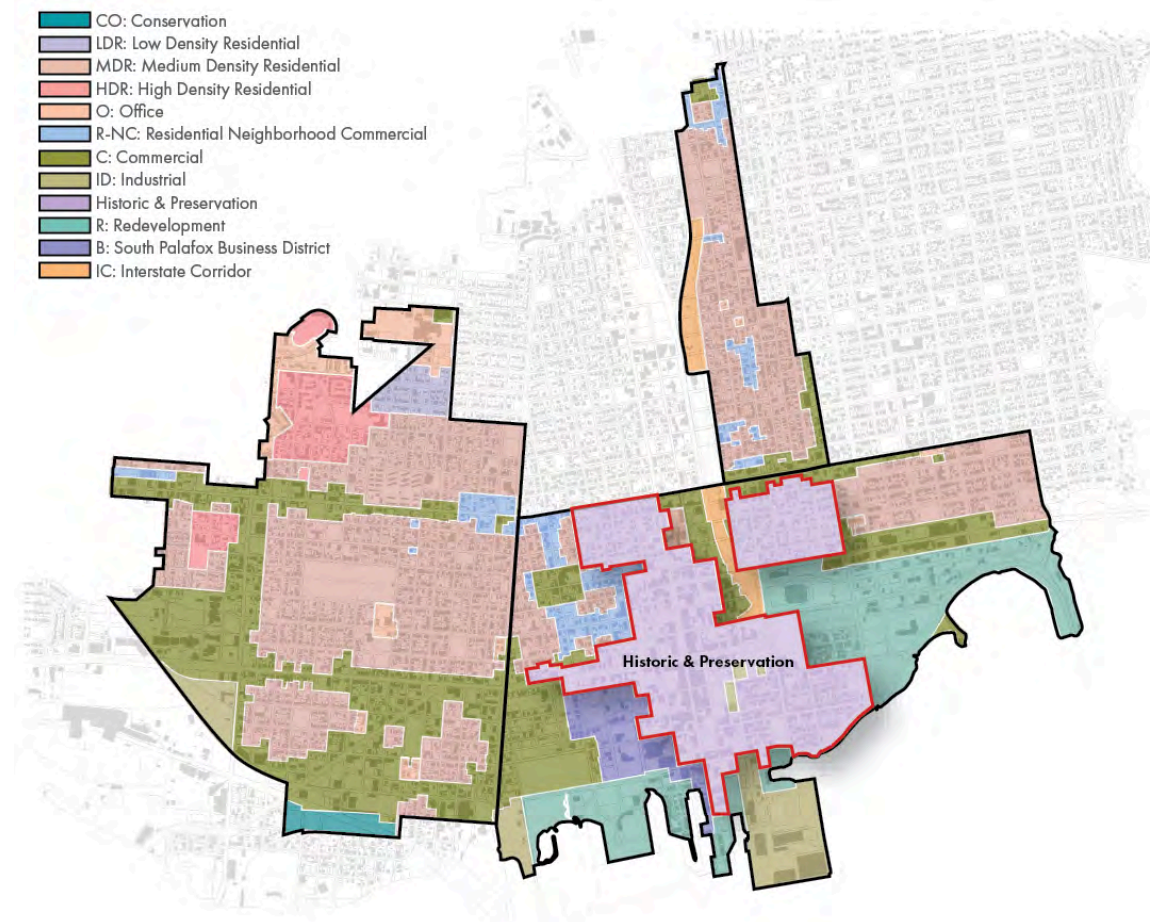
What this Project is NOT about

- Modifying your Comprehensive Plan or Future Land Uses
- Rewrite of your zoning and land development regulations
- Modifying your Special Review Districts
- Imposing inappropriate architectural regulations
- Complicating the approvals process
- Bypassing the public process

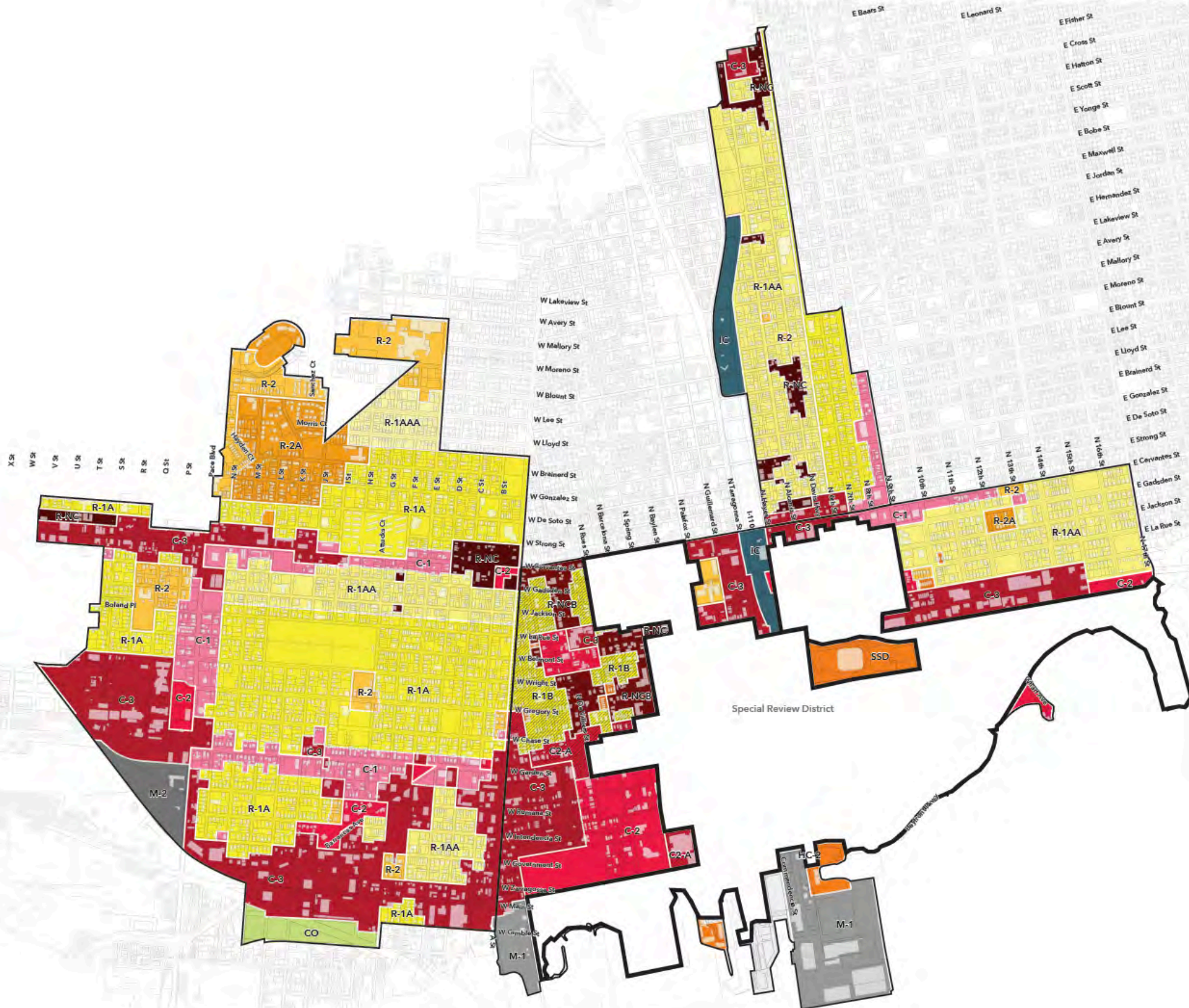
What this Project IS about

- Proposing overlay design standards to:
 - better align zoning to community goals;
 - create more predictable results;
 - improve the character of your neighborhoods; and
 - strike an appropriate balance between preservation and new development.
- Making your streets walkable, where possible
- Providing opportunity for key stakeholder input and engagement throughout process; and
- Streamlining the approval process

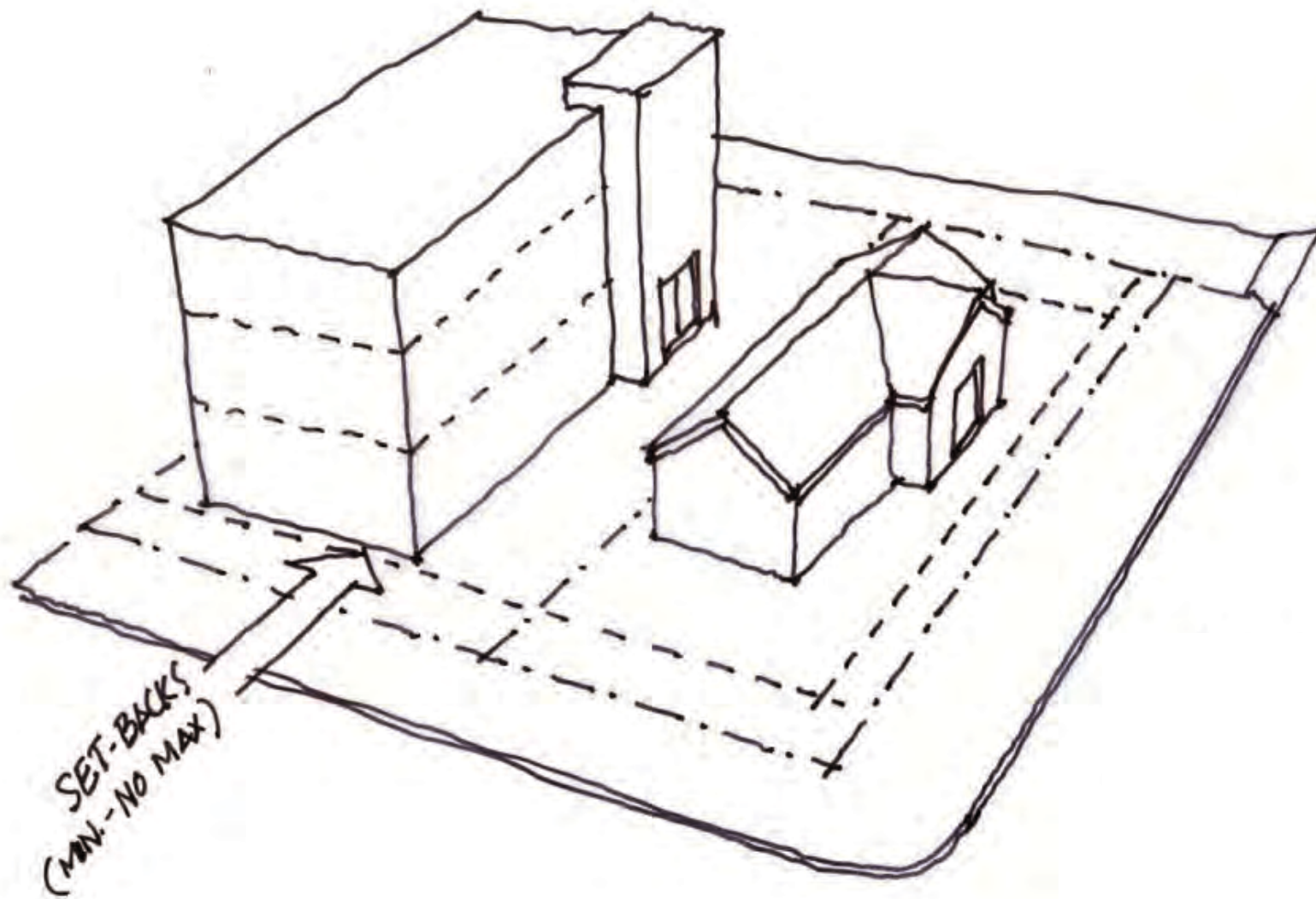
Existing FLU & Zoning



Zoning & Special Review Districts



Current Zoning



- Minimum setbacks
- Building height
- Landscape buffers
- No form standards

= UNPREDICTABLE OUTCOME

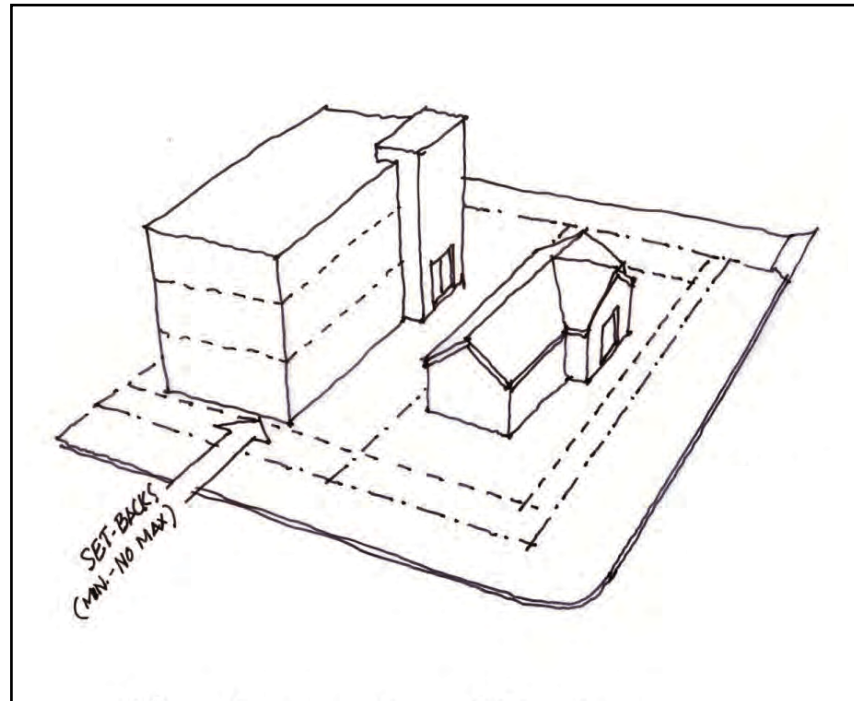
Special Review District Zoning



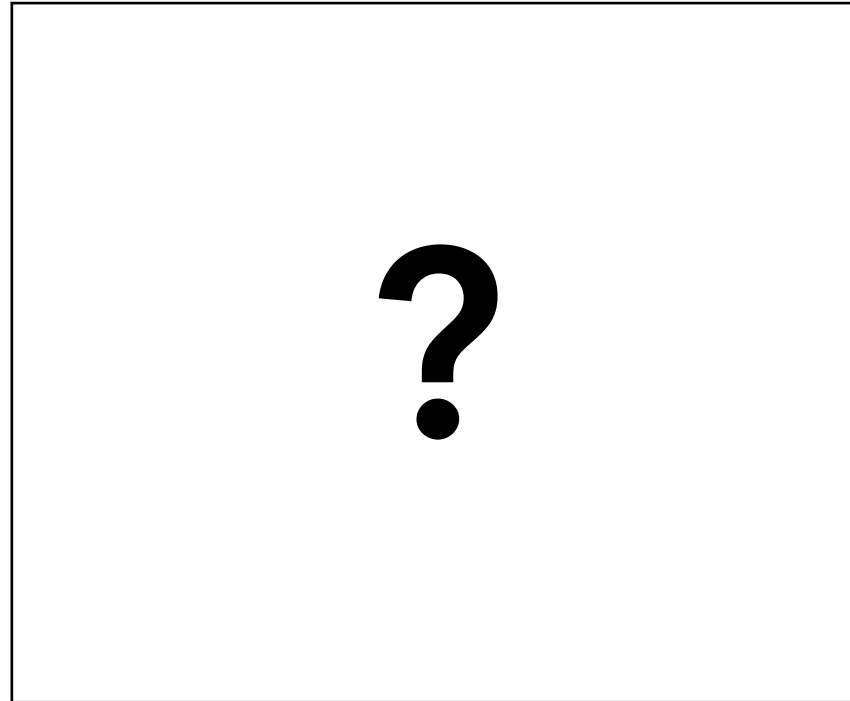
- Parking placement
- Parking screening
- Site and fences
- Paint colors
- Building form regulations
- Materials
- Lighting
- Special character defining elements
(doors, windows, shutters,, chimneys, trim
and roofs)

= PREDICTABLE OUTCOME

Urban Design Guidelines Overlay



Level 1

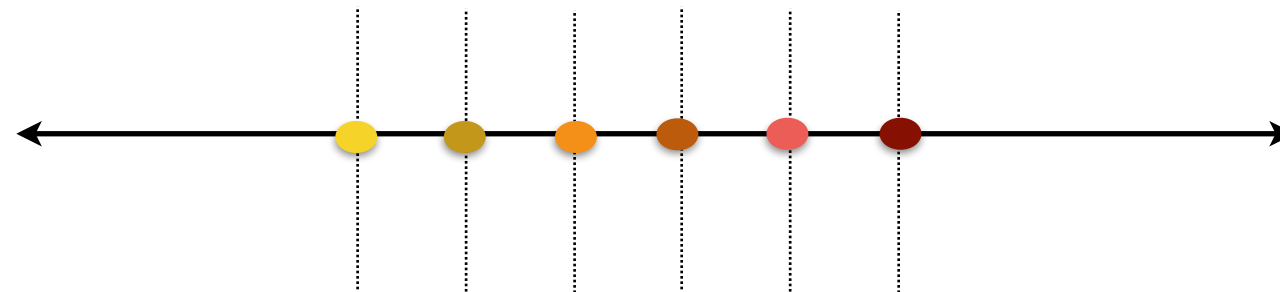


Level (tbd)



Level 10

Least prescriptive



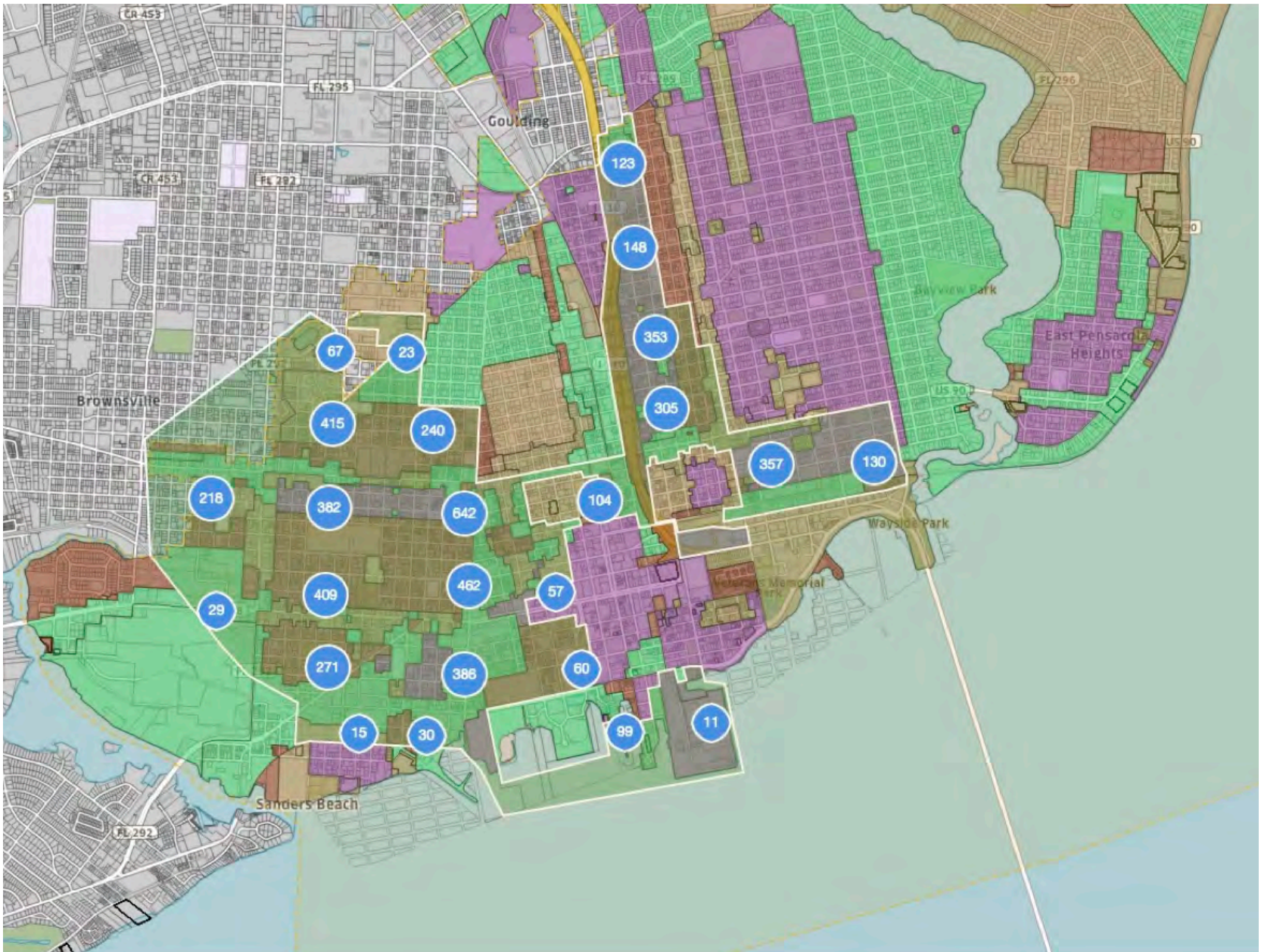
Most prescriptive

Each community decides

Pensacola Strengths

1. Great heritage buildings - “power of uniqueness”
2. Great WALKABLE street /block grid
3. Traditional neighborhood character, naturally mixed-use
4. Narrow right-of-ways for streets
5. Highly degree of diversity
6. Humane-scaled city
7. Natural amenities
8. Desire to protect your character
9. Local champions supporting redevelopment
10. “Cool factor”

Property Counts



PROPERTY RECORD BREAKDOWN

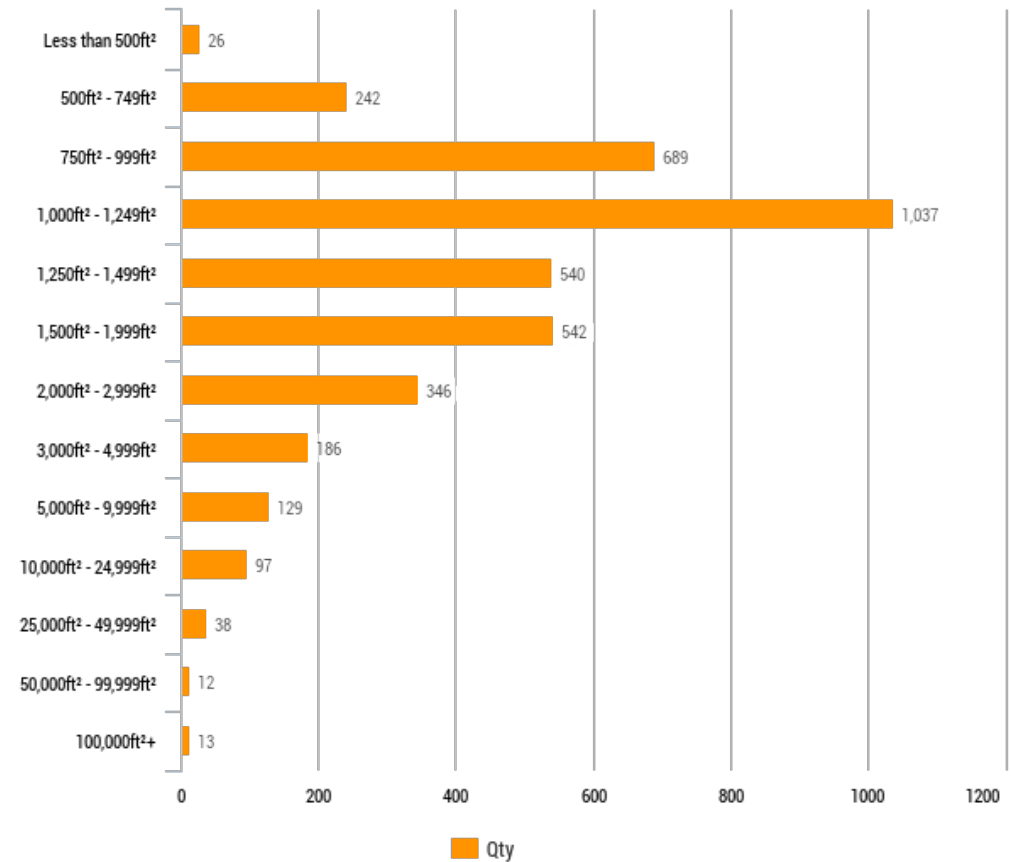
| | |
|--------------------------------|---------------------------|
| Qty | 5,265 |
| Qty of Distinct Primary Owners | 4,067 |
| Qty of Homesteads | 0 |
| Avg Property Size | 3,114ft ² |
| Largest Property Size | 453,112ft ² |
| Total Property Size | 12,134,699ft ² |
| Avg Lot Size | 15,495ft ² |
| Total Lot Size | 81,490,075ft ² |
| Avg Full Baths | 2.1 |
| Qty of DOR Land Uses | 52 |

Properties by size and by Zone

Properties per Zone

| | Total Properties | less than 3,600 ft2 | 3,600 to 10,000 ft2 | 10,000 to 15,000 ft | 15,000 to 45,000 ft2 | larger than 45,000 ft2 |
|---------------|------------------|---------------------|---------------------|---------------------|----------------------|------------------------|
| R-1AAA | 90 | 3 | 62 | 18 | 6 | 1 |
| R-1AA | 1,430 | 172 | 996 | 161 | 60 | 41 |
| R-1A | 1,484 | 182 | 954 | 211 | 109 | 28 |
| R-2 | 219 | 12 | 129 | 31 | 31 | 16 |
| R-2A | 188 | 14 | 139 | 12 | 11 | 12 |
| R-NC | 220 | 21 | 130 | 27 | 22 | 20 |
| R-NCB | 181 | 17 | 112 | 24 | 26 | 2 |
| C-1 | 354 | 15 | 187 | 62 | 69 | 21 |
| C-2 | 259 | 50 | 145 | 25 | 22 | 17 |
| C-3 | 633 | 83 | 251 | 79 | 147 | 73 |
| C-2A | 49 | 10 | 19 | 4 | 9 | 7 |
| M-1 | 20 | 0 | 1 | 2 | 7 | 10 |
| M-2 | 3 | 0 | 0 | 0 | 0 | 3 |
| SSD | 107 | 13 | 19 | 3 | 1 | 71 |
| IC | 22 | 4 | 4 | 1 | 5 | 8 |
| CO | 6 | 0 | 0 | 0 | 4 | 2 |
| | | | | | | |
| Totals | 5,265 | 596 | 3,148 | 660 | 529 | 332 |
| | 100% | 11% | 60% | 13% | 10% | 6% |

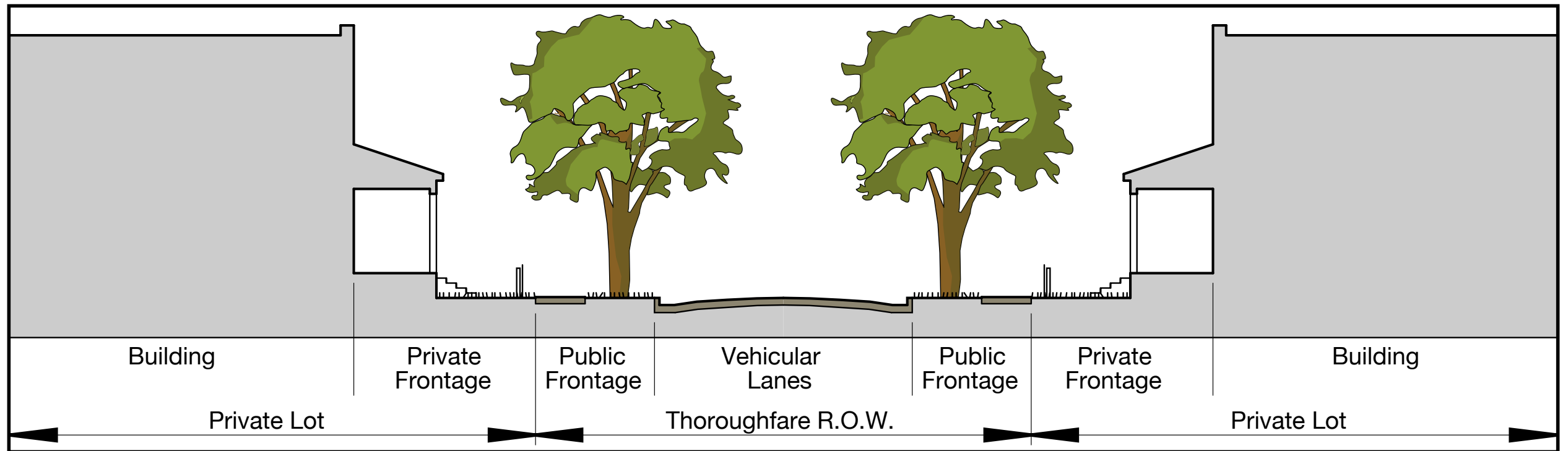
Property Size Breakdown



Dimensional Analysis of Zoning Categories

| Zoning Category | Principal Building | | | | | | | |
|--|--------------------|---------------------|--------------------|-----------------------------|--|--|------------------------|-------------------|
| | Height (max.) | Lot Width (min.) | Lot Area (min.) | Lot Coverage % (max.) | Setbacks | | | Density (max.) |
| | | | | | Front Yard (min.) | Side Yard (min.) | Rear Yard (min.) | |
| CRA: Urban Core | | | | | | | | |
| R-1AA: Medium Density Residential (MDR) | | | | | | | | |
| SF Detached | 35 ft. | 40 | 5000 | none | 30 | 6 | 30 | 8.7 |
| Duplex | | 60 | 7500 | | | | | 11.6 |
| SF Attached | | 30 | 3750 | | | | | 11.6 |
| R-1B MDR | | | | | | | | |
| SF Detached | 45 ft. | 30 | 3500 | 50* | 10 | 5 | 10 | 8.7 |
| Duplex | | 50 | 5000 | | | | | 11.6 |
| SF Attached | | 25 | 2500 | | | | | 17.4 |
| R-2A: High Density (HDR) - Multiple-family zoning district | | | | | | | | |
| < 100 of SF Zone or Zero-Lot-Line-Zone | 35 ft. | 100 | 20000 | 75* | 20 | 5 | 25 | 350 sq.ft. |
| > 100 of SF Zone or Zero-Lot-Line-Zone | | | | | 15 | 5 | 20 | |
| R-2: Office (O) - Residential/office zoning district | | | | | | | | |
| < 100 of Residential Zone | 45ft | - | - | 50* | 15 | 5 | 15 | - |
| > 100 of Residential Zone | | | | | 10 | 5 | 10 | |
| R-NC: Residential/neighborhood commercial zoning district | | | | | | | | |
| < 100 of Residential Zone | 35ft/varies | - | - | 50* | 15 | 5 | 15 | 4000 sq.ft. |
| > 100 of Residential Zone | 45ft/varies | | | | 10 | 5 | 10 | |
| R-NCB: Residential/neighborhood commercial business zoning | | | | | | | | |
| < 100 of Residential Zone | 35ft/varies | - | - | 50* | 15 | 5 | 15 | 4000 sq.ft. |
| > 100 of Residential Zone | 45ft/varies | | | | 10 | 5 | 10 | |
| C-1: Retail Commercial | | | | | | | | |
| Commercial | 45 ft. | - | - | 75* | none, unless adjacent to residential zone which requires a 20ft separation | | | 0.35? |
| C-2A: Downtown Retail Commercial | | | | | | | | |
| Commercial | 100 ft. | - | - | 100* | 10 max. | none, unless adjacent to residential zone which requires a 20ft separation | | 135 |
| C-2: Commercial | | | | | | | | |
| Commercial | 100 ft. | - | - | 100 / 75* | none, unless adjacent to residential zone which requires a 20ft separation | | | BD: 135 / 35 |
| C-3: Commercial zoning district | | | | | | | | |
| Wholesale & Light Industry | 100 ft. | - | - | 100 / 75* | none, unless adjacent to residential zone which requires a 20ft separation | | | BD: 135 / 35 |
| M-1: Industrial zoning district - (Light) | | | | | | | | |
| Light industrial zoning district. | 45 ft. / 100 ft.* | - | - | 75 | none, 20 ft buffer for non-residential / 40 ft buffer for industrial | | | - |

Public & Private Frontages



R-1AA & R-1A

ZONING SURVEY

EXISTING CONDITIONS

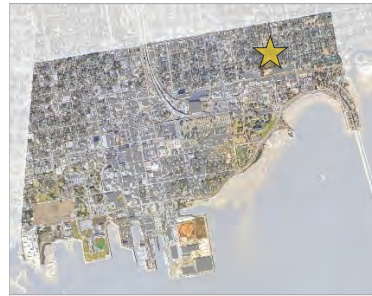
R-1AA: MEDIUM DENSITY RESIDENTIAL

ZONING SURVEY

EXISTING CONDITIONS

R-1A: MEDIUM DENSITY RESIDENTIAL

Quadrat



| | |
|-----------------|-------|
| Block Perimeter | 1450' |
| Avg. Units/Acre | 5.9 |

Disect Address: 1614 E La Rua St



| PUBLIC FRONTAGE | |
|--------------------|-------------------------|
| Public Frontage | Street |
| Right-Of-Way Width | 80' |
| Travel Lanes | 2 |
| Parking | Parallel - 2-sides (UM) |
| Pavement Width | 26' |
| Sidewalk Width | 6' |
| Planter Type | Strip |
| Planting Pattern | Random |
| Street Lighting | Post |
| Curb Type | Header |

| PRIVATE FRONTAGE | |
|-----------------------|---------------|
| Private Frontage | Common Lawn |
| Principal Building Ht | 2 Stories |
| Outbuilding Height | N/A |
| Building Type | Single Family |
| Garage Access | Alley Loaded |
| Lot Width | 48' |
| Frontage Buildout | 28' |
| Front Setback | 30' |
| Side Setback | 0' - 20' |
| GRND Level Use | Residential |
| Upper Level Use | Residential |

Quadrat



| | |
|-----------------|-------|
| Block Perimeter | 1440' |
| Avg. Units/Acre | 3.1 |

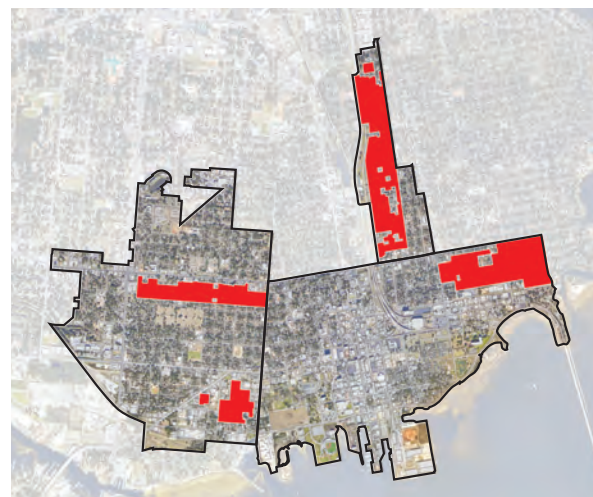
Disect Address: 920 W Gregory St



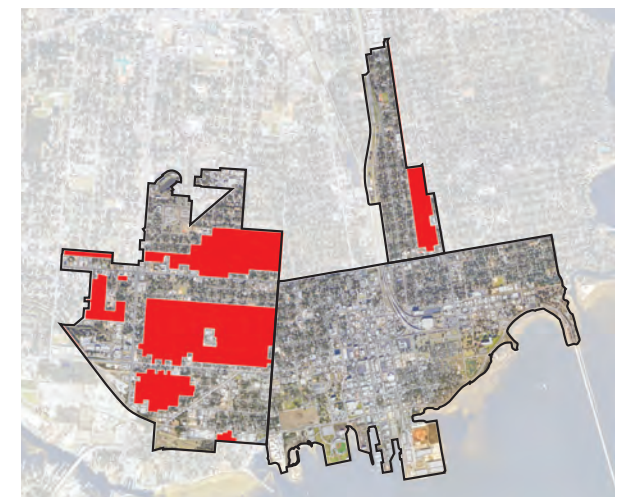
| PUBLIC FRONTAGE | |
|--------------------|-------------------------|
| Public Frontage | Street |
| Right-Of-Way Width | 72' |
| Travel Lanes | 2 |
| Parking | Parallel - 2-sides (UM) |
| Pavement Width | 24' |
| Sidewalk Width | 6' |
| Planter Type | Strip |
| Planting Pattern | Random |
| Street Lighting | Cobra Head |
| Curb Type | Rolling |

| PRIVATE FRONTAGE | |
|-----------------------|----------------------|
| Private Frontage | Porch & Fence |
| Principal Building Ht | 1 Story |
| Outbuilding Height | 1 Story |
| Building Type | Single Family |
| Garage Access | Front-Loaded in Rear |
| Lot Width | 60' |
| Frontage Buildout | 40' |
| Front Setback | 22' |
| Side Setback | 10' |
| GRND Level Use | Residential |
| Upper Level Use | - |

- In general the built form as represented by R-1AA is consistent in that there is a mix of 1 and 2-story buildings which make up this zoning category.
- There is a clear distinction between the character of R-1AAA and R-1AA, mostly due to allowed height and potential density, with narrower lots.
- R-1AA also has a mix of alley and drives accessing rear sited garages, whereas R-1AAA is primarily alley free. Roughly the majority of R-1AA don't have alleys.
- R1AA has examples of newer construction.



- R-1A is not dissimilar to R-1AA in setbacks, scale and character. In fact it is hard to distinguish between the two regarding their physical form as built within these CRA's.
- Both permit the same uses and from what has been seen land within the CRA does not take advantage of the attached single-family model permitted under R-1A, which is the largest difference in the dimensional standards.
- Consider combining R-1A and R1AA into one zone, as they are virtually the same.
- Even though duplexes and townhouses are permitted, very few, if any, are built.



Zoning: the good, the bad and the ugly

- FLU and Zoning aligned
- SRB (some better than others / ARB)
- 10 feet max. setbacks downtown to encourage walkable downtown
- Uses generally aligned to zoning (except C3)
- R-NC, recognizing need for residential-scaled retail
- General design regulations are great.

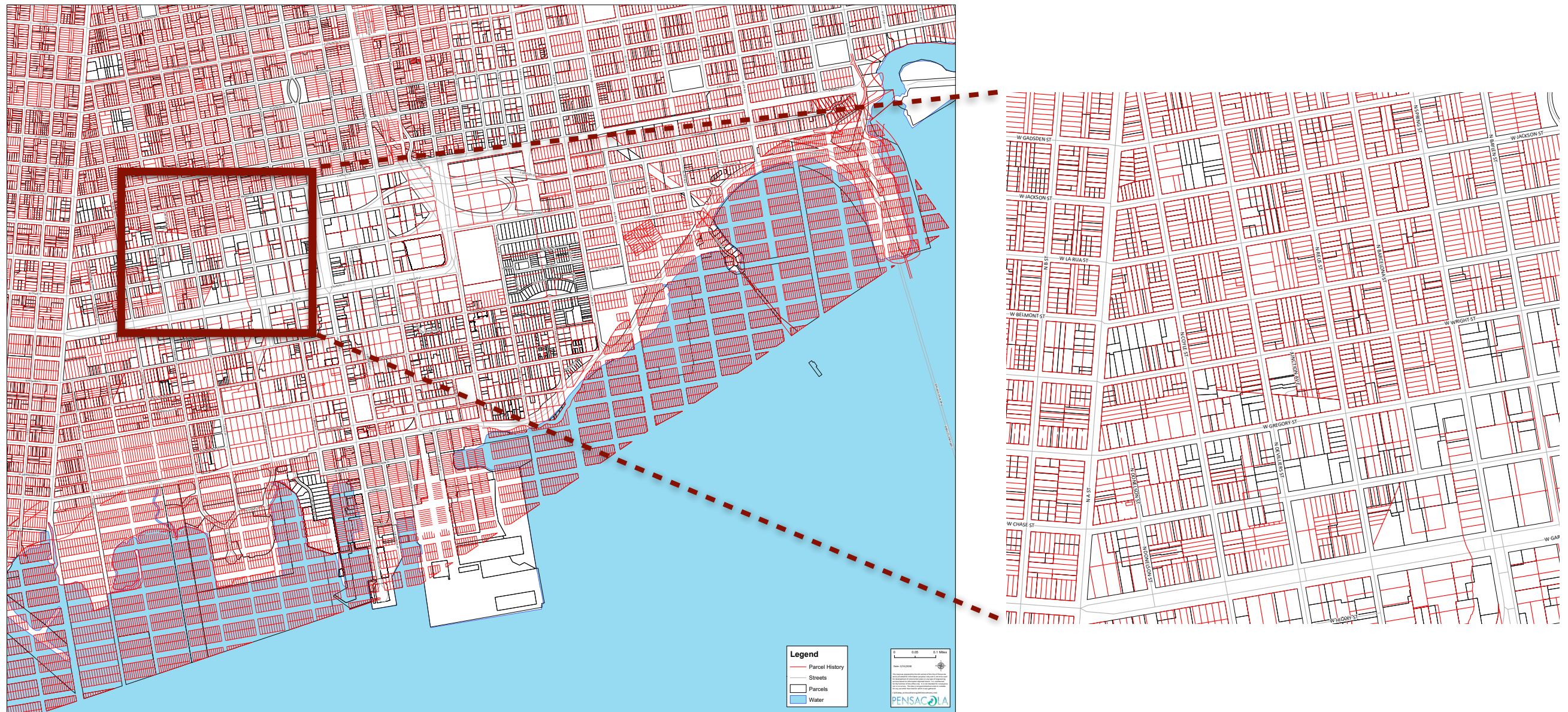
Zoning: the good, the bad and the ugly

- Unpredictable form
 - No / minimal standards for parking placement;
 - Little recognition of context;
 - Buildings not required to meet street where it matters;
 - Inverse relationship of lot coverage to height;
 - Permission for taller building for non-residential;
 - Parking requirements too high.
- Some SRD have ambiguous standards, subject to interpretation by Special Review Board (e.g.: GRD)
- Unintended consequences
 - Disincentivizing townhouses or mixed-use where needed.
- Inconsistencies
 - Parking requirements;
 - Zoning density discrepancy with MDR

Design Standards

- Discourages building more than minimum parking and if greater than 10% more, requires waiver.
- Techniques encouraged to minimize driveway and parking lot impacts:
 1. Visually minimize on-site surface parking and locate behind a building when possible.
 2. Minimize the number and width of driveways and curb cuts.
 3. Share driveways with abutting zoning lots.
 4. Locate driveways so they are visually less dominant.
 5. Permeable paving materials is encouraged for use in parking lots.
- Building entrances should be clearly visible from the street.
- Buildings should be sited and designed to encourage human activity on the street.
- Buildings should be compatible with or complement the architectural character of its context.
- Buildings should incorporate architectural features, elements and details that achieve a desirable human scale through the use of human-proportioned architectural features and site design elements clearly oriented to human activity.
- Buildings should avoid large blank walls facing the street, especially near sidewalks.
- Parking garages should not dominate street frontages.

Plat History



- Encouraging small lot redevelopment must remain.
- Sets up inequitable performance standards.
- If new form meets intent and standards of zoning, should be permitted.
- Define threshold for stormwater requirements to be more flexible
- Allow for off-site treatment in dense areas to create urban amenity.

Standards & Guidelines

- **Standards**, defined by "**shall**" are regulatory and mandatory. Expectation that new development will be required to comply with these Standards.
- Any deviation from the standards shall be evaluated and determined through the waiver or public process.
- **Guidelines**, defined by "**should**" are advisory and new development is encouraged to incorporate them as appropriate.
- Proposed overlay will supersede some zoning standards.

Residential Zones

Issues



Front Loaded Garages & Driveways



At Grade Entry



Lack of Front Yard & Frontage Standards



Proposed Regulations: Residential

Detached Single-Family & Duplexes (R-1AA, R-1A, R-1B)



Setbacks - Principal Building (feet)

| | |
|------------------|--------------|
| Front, Primary | 25 min. (30) |
| Front, Secondary | 5 min. (6) |
| Side | 5 min. (6) |
| Rear | 30 min. |

Frontage & Lot Occupation (min.)

| | |
|-----------|-----|
| Primary | 45% |
| Secondary | 40% |

Lot Occupation

| | |
|--------------|-----------------|
| Lot Width | min. 30 ft. |
| Lot Coverage | 50% max. (none) |

Building Height (max.)

| | |
|--------------------|---------------------------|
| Principal Building | 35 feet ⁽¹⁾⁽²⁾ |
| Accessory Building | 24 feet ⁽¹⁾ |

Parking (min.)

| | |
|------------|-----------------------|
| Off-street | 1/unit ⁽³⁾ |
|------------|-----------------------|

Setbacks - Accessory Building (feet)

| | |
|--------------------|---------------|
| e Front | 50 min. |
| f Front, Secondary | 5 min. (6) |
| g Interior Side | 1 min. (5) |
| h Rear | 5 min. (none) |

Frontage Yard Types

| | |
|----------------------|---------------|
| Fenced | Permitted |
| Shallow | Not Permitted |
| Urban | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt | Not Permitted |

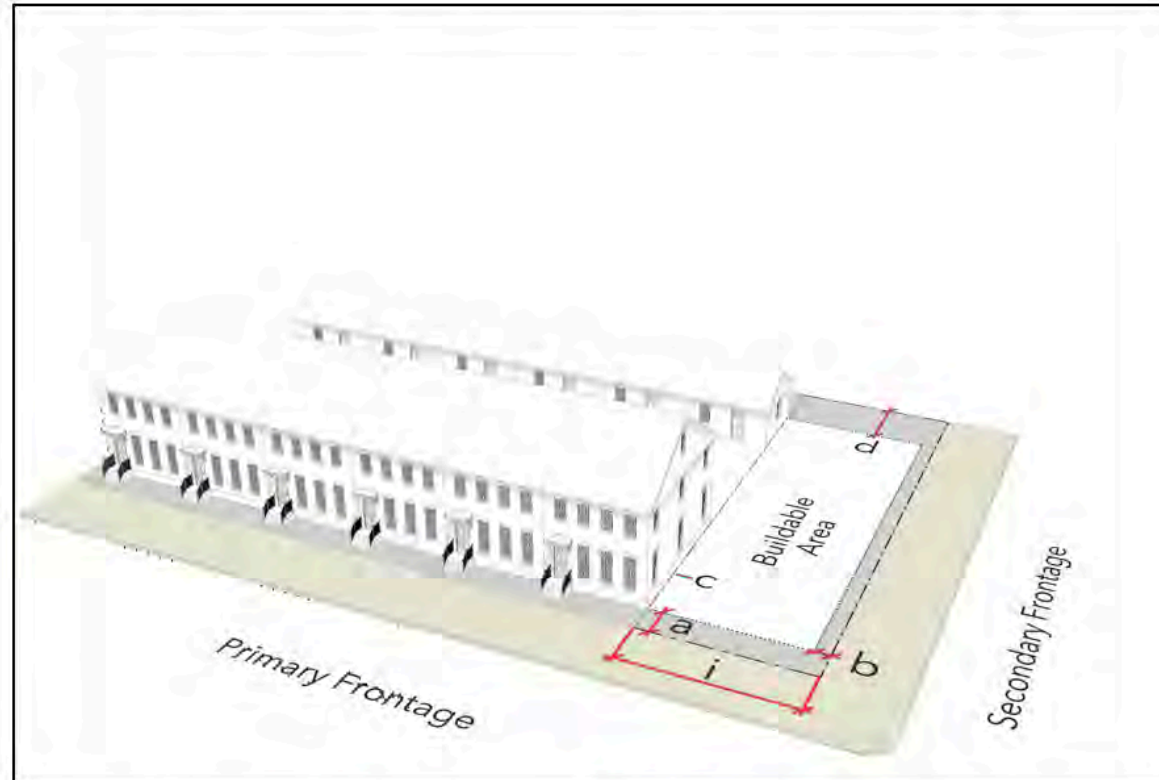
Facade Types

| | |
|--------------|---------------|
| Porch | Permitted |
| Stoop | Permitted |
| Common Entry | Not Permitted |
| Gallery | Not Permitted |
| Storefront | Not Permitted |

Notes:

- Measured to the bottom of the eave
- First floor elevation must be a minimum nine feet above sea level.
- Lots less than 30 feet in width have no minimum parking requirement

Attached Single-Family (Townhouses) (R-1A, R-1B) standards R-1B



Setbacks - Principal Building (feet)

| | |
|--------------------|-----------------|
| a Front, Primary | 8 min. (10) |
| b Front, Secondary | 5 min. |
| c Side | 0 or 5 min. (5) |
| d Rear | 30 min. |

Frontage & Lot Occupation (min.)

| | |
|-----------|-----|
| Primary | 60% |
| Secondary | 40% |

Lot Occupation

| | |
|--------------|----------------------|
| i Lot Width | 16 min. 60 feet max. |
| Lot Coverage | 75% max. (50%) |

Building Height (max.)

| | |
|--------------------|---------------------------|
| Principal Building | 45 feet ⁽¹⁾⁽²⁾ |
| Accessory Building | 24 feet ⁽¹⁾ |

Parking (min.)

| | |
|------------|--------|
| Off-street | 1/unit |
|------------|--------|

Setbacks - Accessory Building (feet)

| | |
|--------------------|---------------|
| e Front | 50 min. |
| f Front, Secondary | 5 min. (6) |
| g Interior Side | 1 min. (5) |
| h Rear | 5 min. (none) |

Frontage Yard Types

| | |
|----------------------|---------------|
| Fenced | Not Permitted |
| Shallow | Permitted |
| Urban | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt | Not Permitted |

Facade Types

| | |
|--------------|---------------|
| Porch | Permitted |
| Stoop | Permitted |
| Common Entry | Not Permitted |
| Gallery | Not Permitted |
| Storefront | Not Permitted |

Notes:

- (1) Measured to the bottom of the eave
- (2) First floor elevation must be a minimum nine feet above sea level.

R-1AA



Current

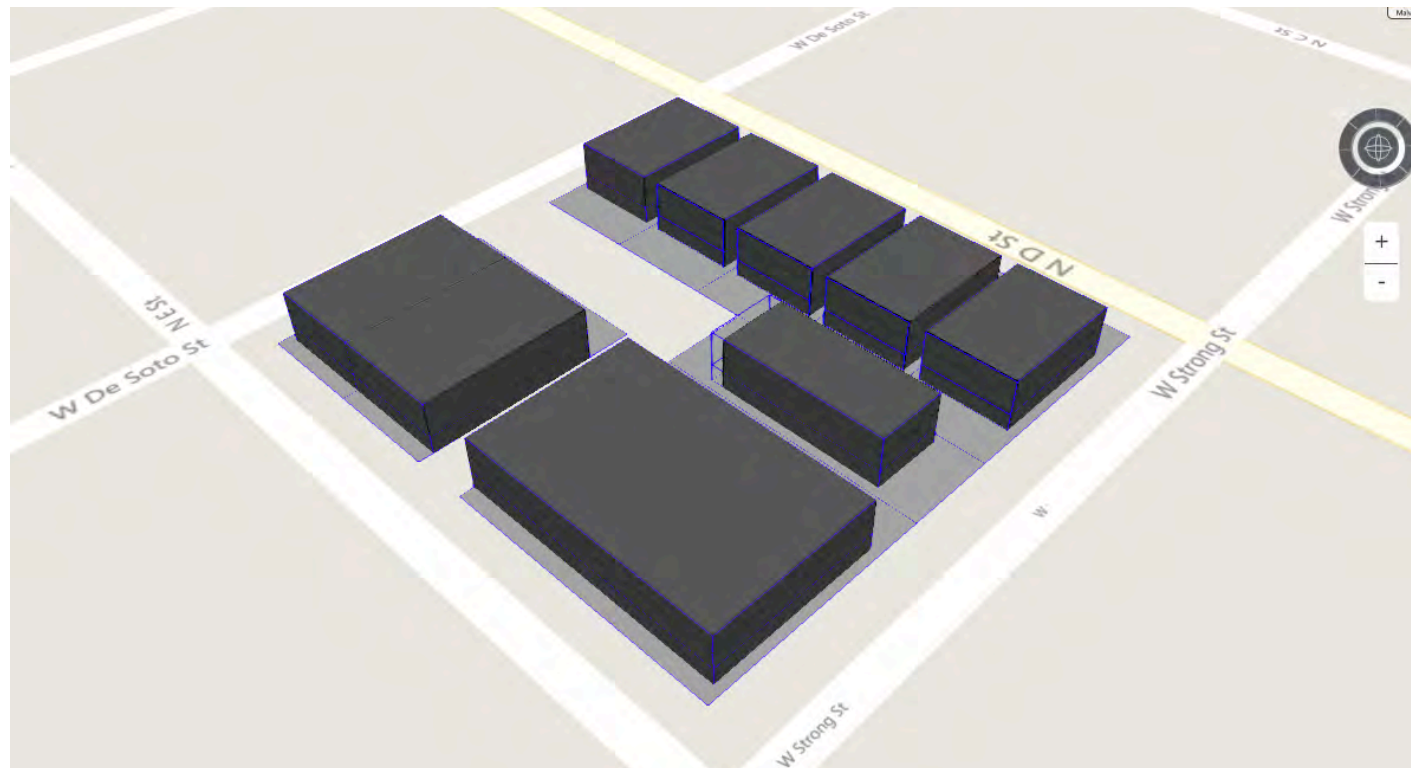


Proposed

R-1A

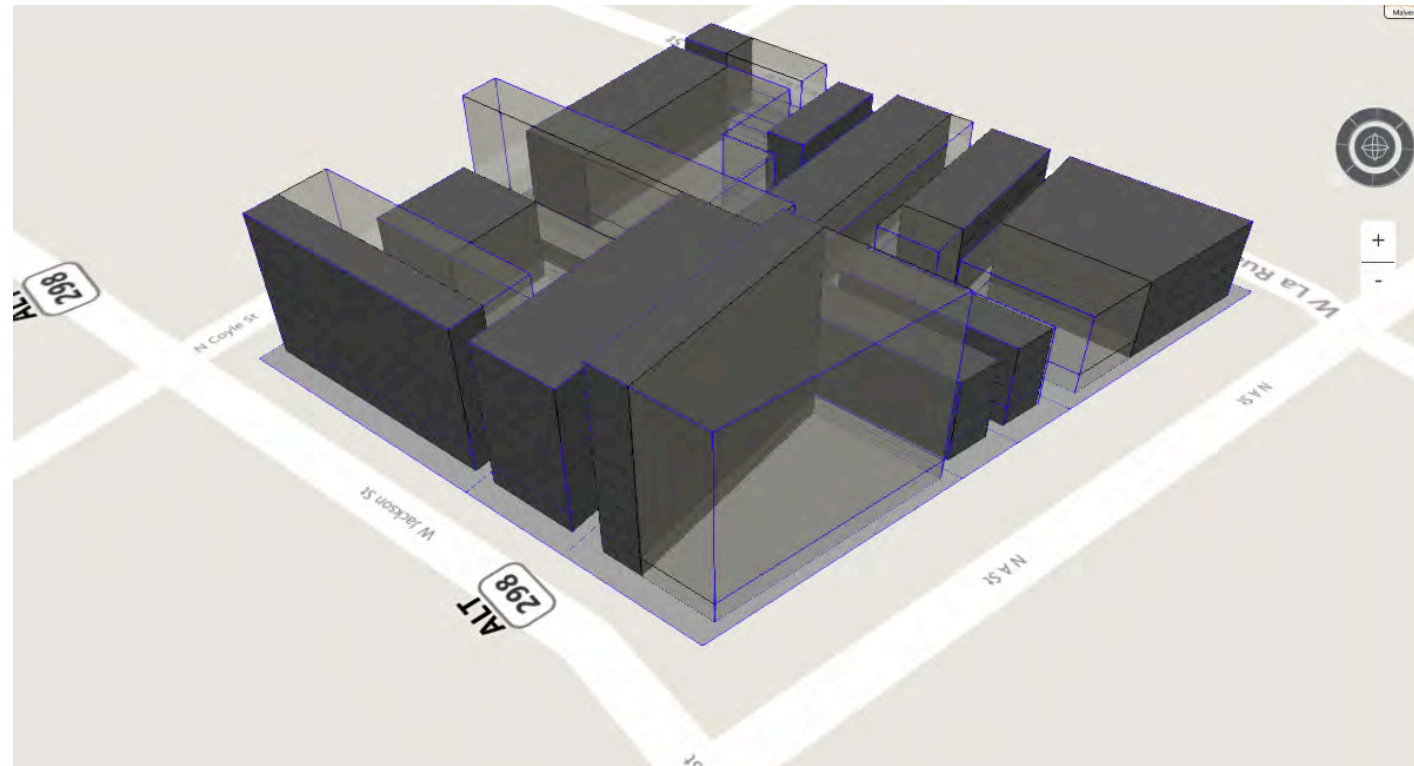


Current

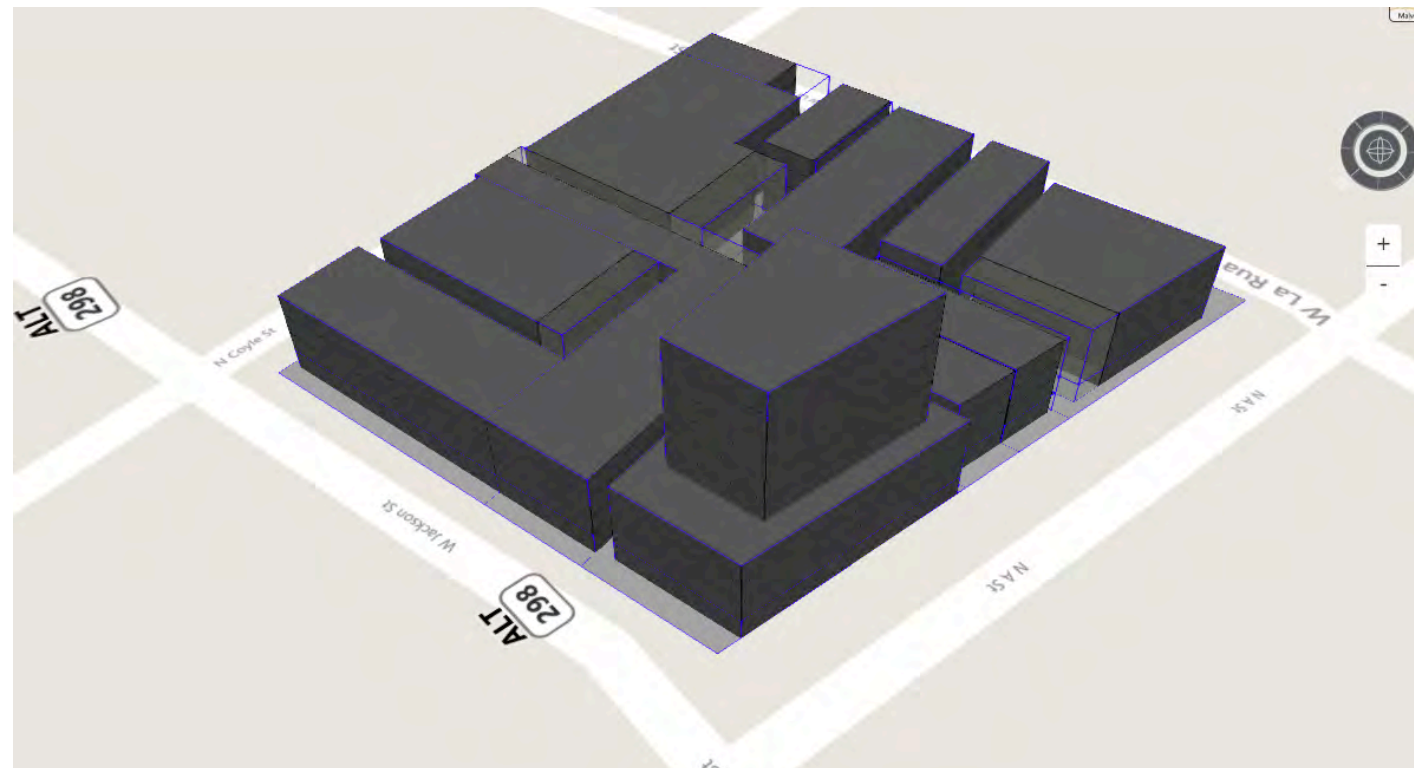


Proposed

R-1B



Current

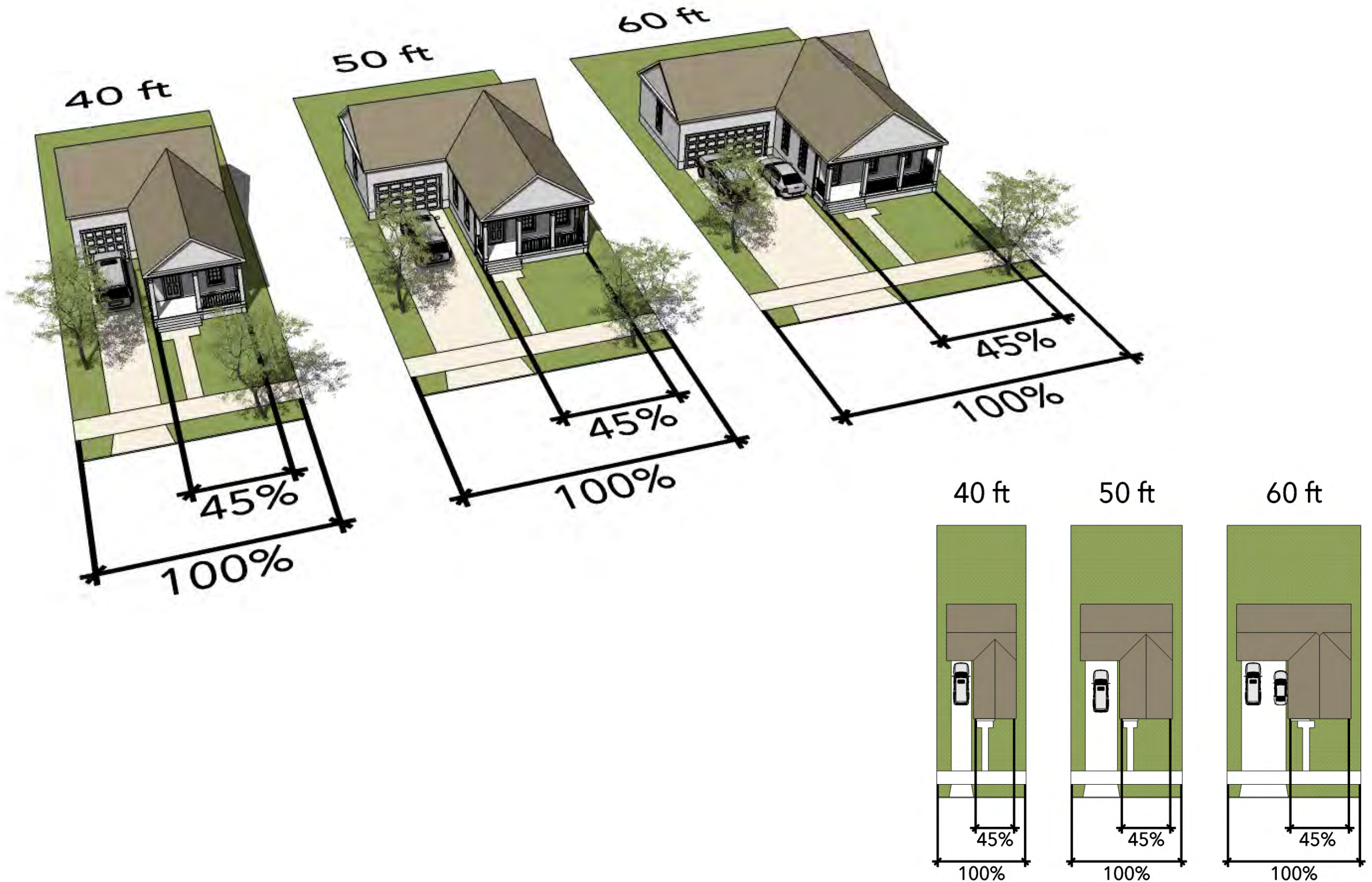


Proposed

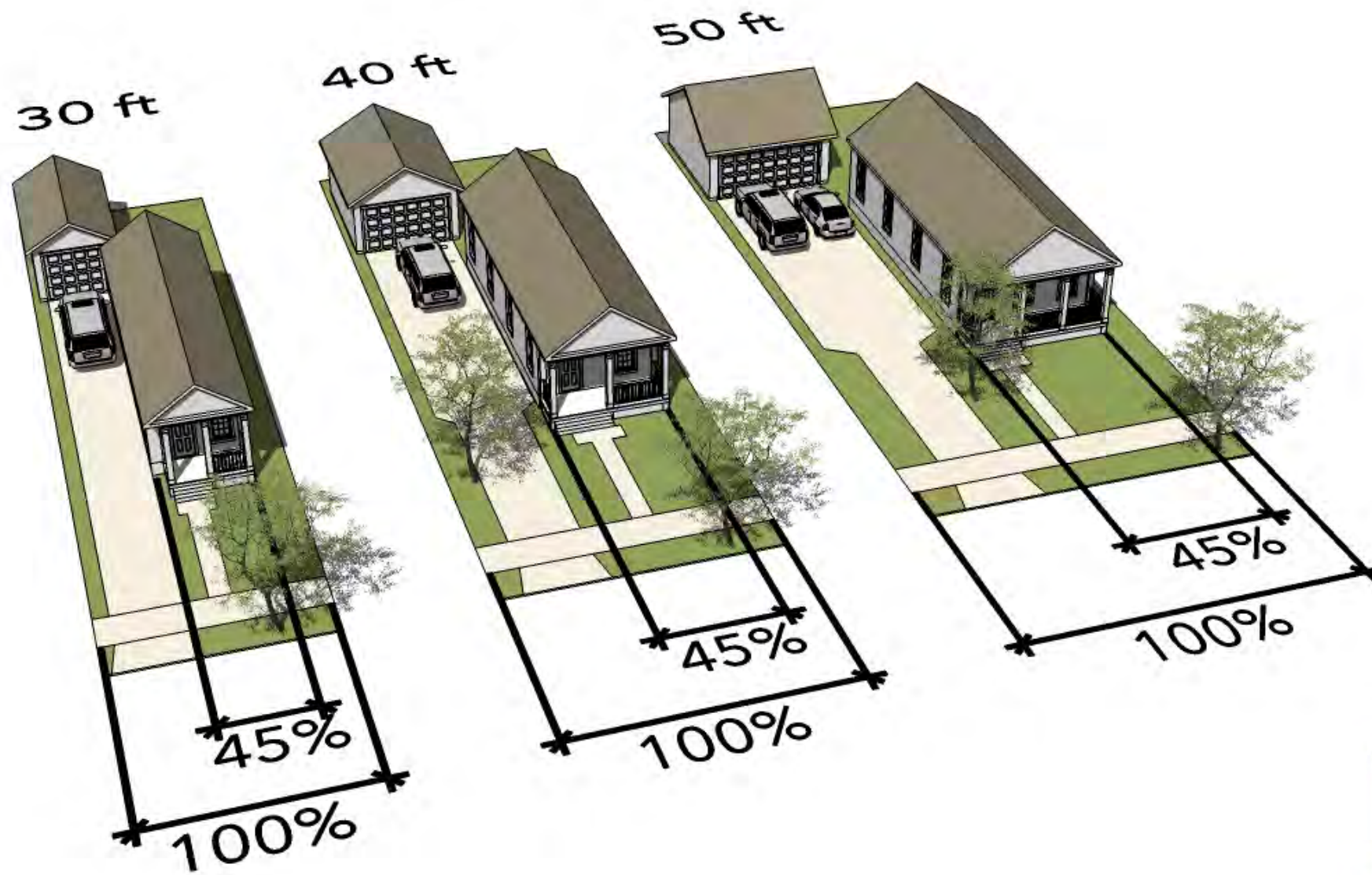
Front loaded garages & driveways



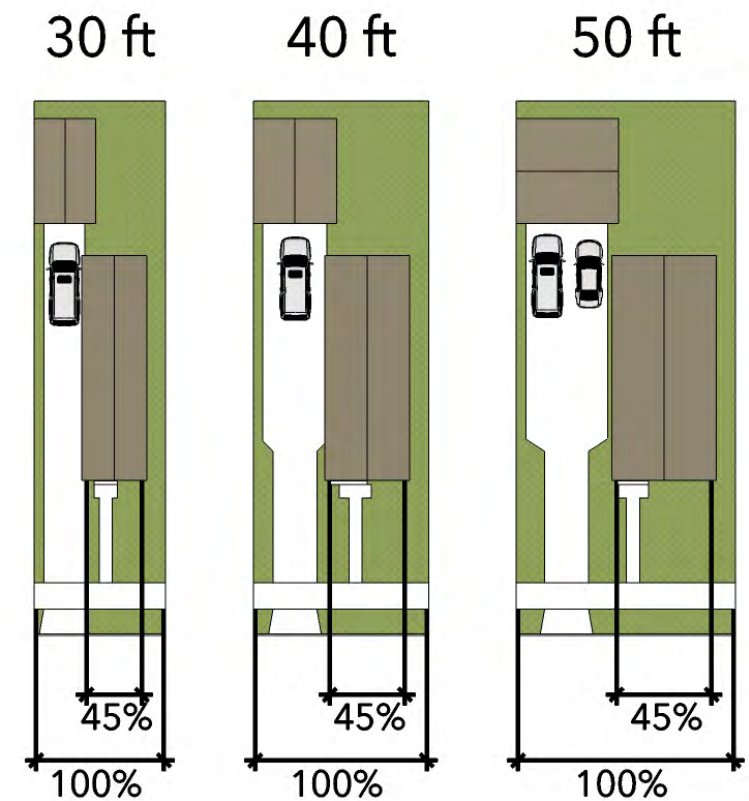
Front-loaded, Attached Garages



Front-loaded, Detached Garages

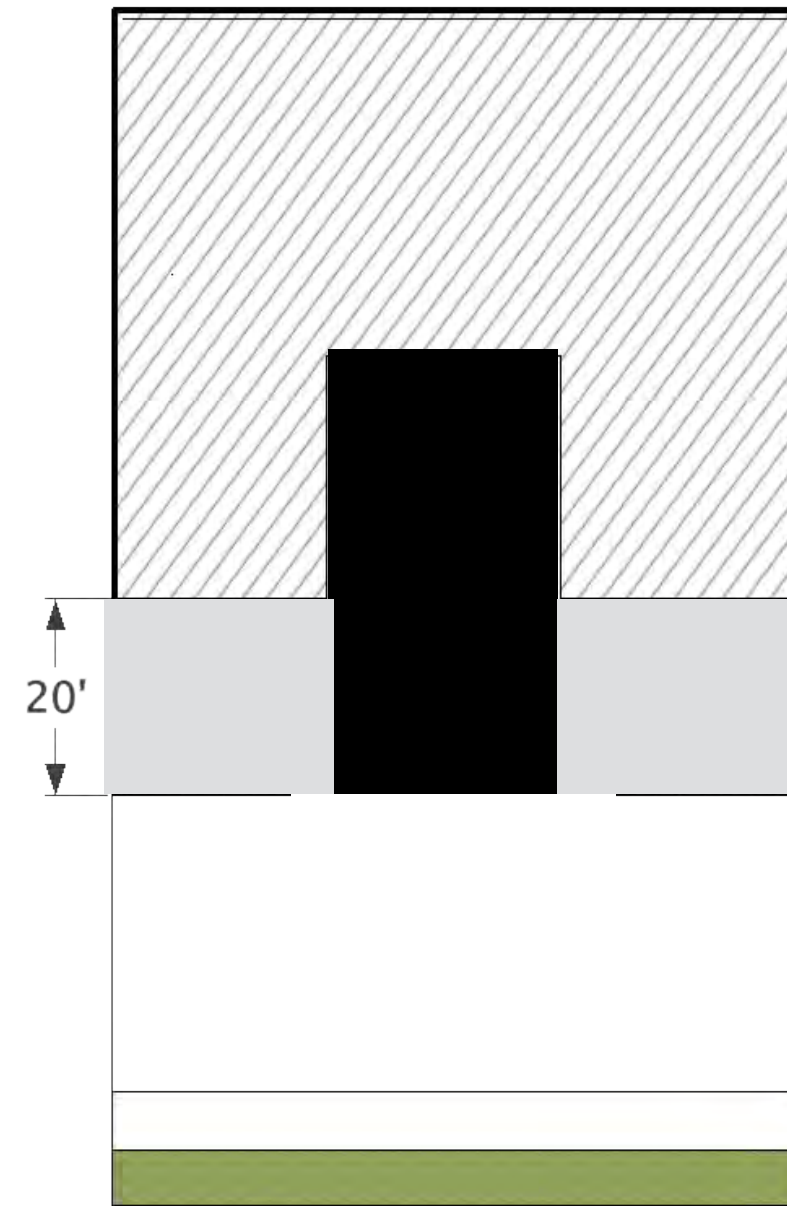


- Wider Houses
- Narrower lots



Parking Regulations

| Parking General |
|--|
| The parking for each zone is regulated according to the Form Standards Table. |
| Parking reductions are provided according to the Shared Parking Table. |
| Residential |
| Covered parking must be setback a minimum 20 feet behind the principal building face |
| Lots less than or equal to 30 feet in width have no minimum parking requirement. |
| Lots less than 42 feet must be accessed from a rear lane, where possible. *Where not possible parking placement shall meet the parking standards requirements. |
| Within residential zones (R-1AA...) parking shall only be permitted on driveways or within garages or carports. |
| *Paring waivers permitted for special lot conditions |



Long-Term Fix / Zoning Acupuncture

Townhouses

| Zoning Category | Density (max.) |
|--|----------------|
| CRA: Urban Core | |
| R-1AA: Medium Density Residential (MDR) | |
| SF Detached | 8.7 |
| Duplex | 11.6 |
| SF Attached | 11.6 |

| MEDIUM DENSITY RESIDENTIAL LAND USE—MDR | |
|---|-------------------------------------|
| R-1AA | One and two-family zoning district. |
| R-1A | One and two-family zoning district. |

FLUM: MDR:
17.4 du/acres max

- Townhouses NOT possible under current R-1AA, R-1A and R-2A zoning
- Currently, only possible in R-2 and R-NCs (no min lot width)
- Decide as community where you want to welcome townhouse in Rs

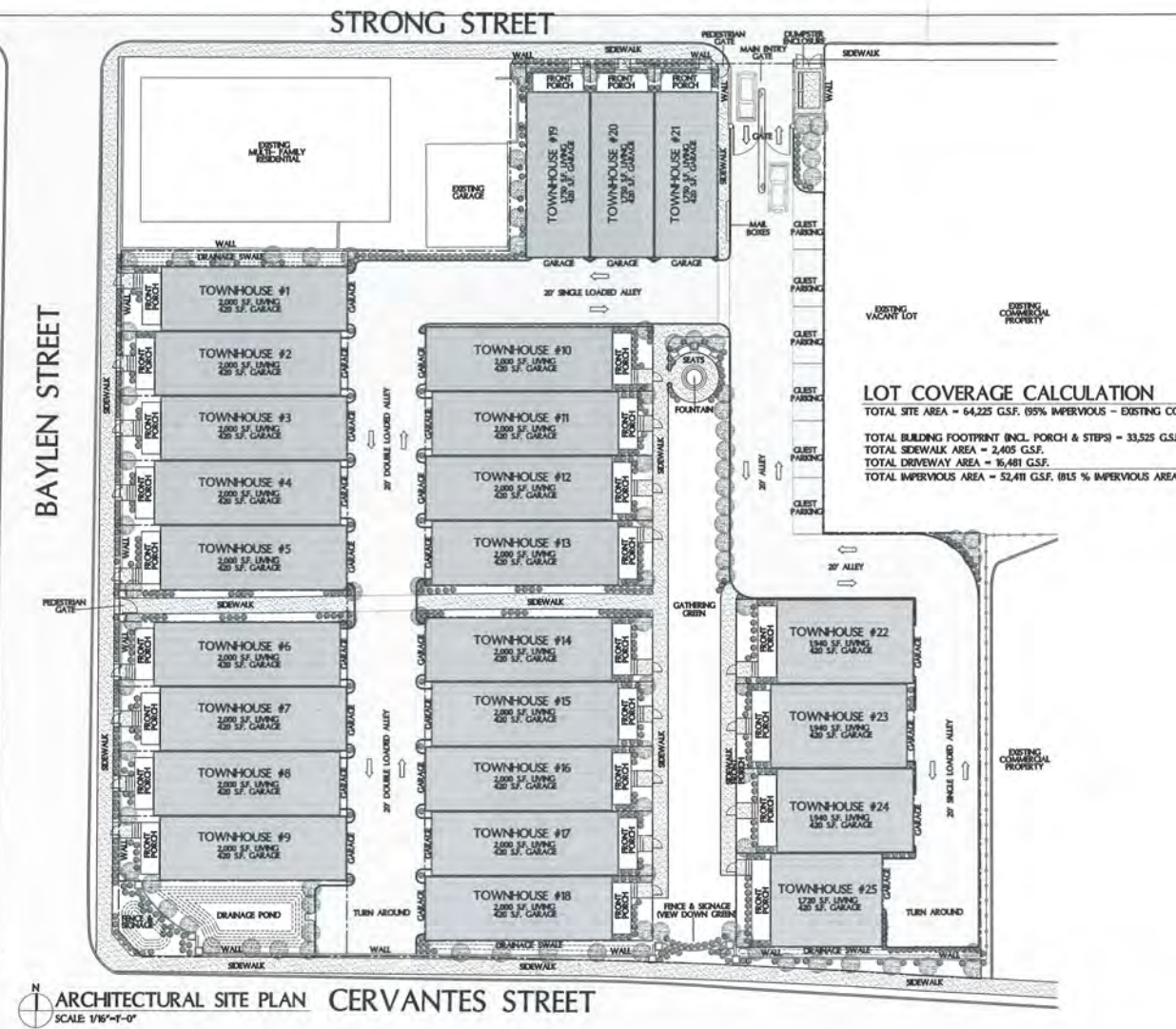
Coordinate Parking

TABLE 12-2.2
REGULATIONS FOR THE MEDIUM DENSITY RESIDENTIAL ZONING DISTRICTS

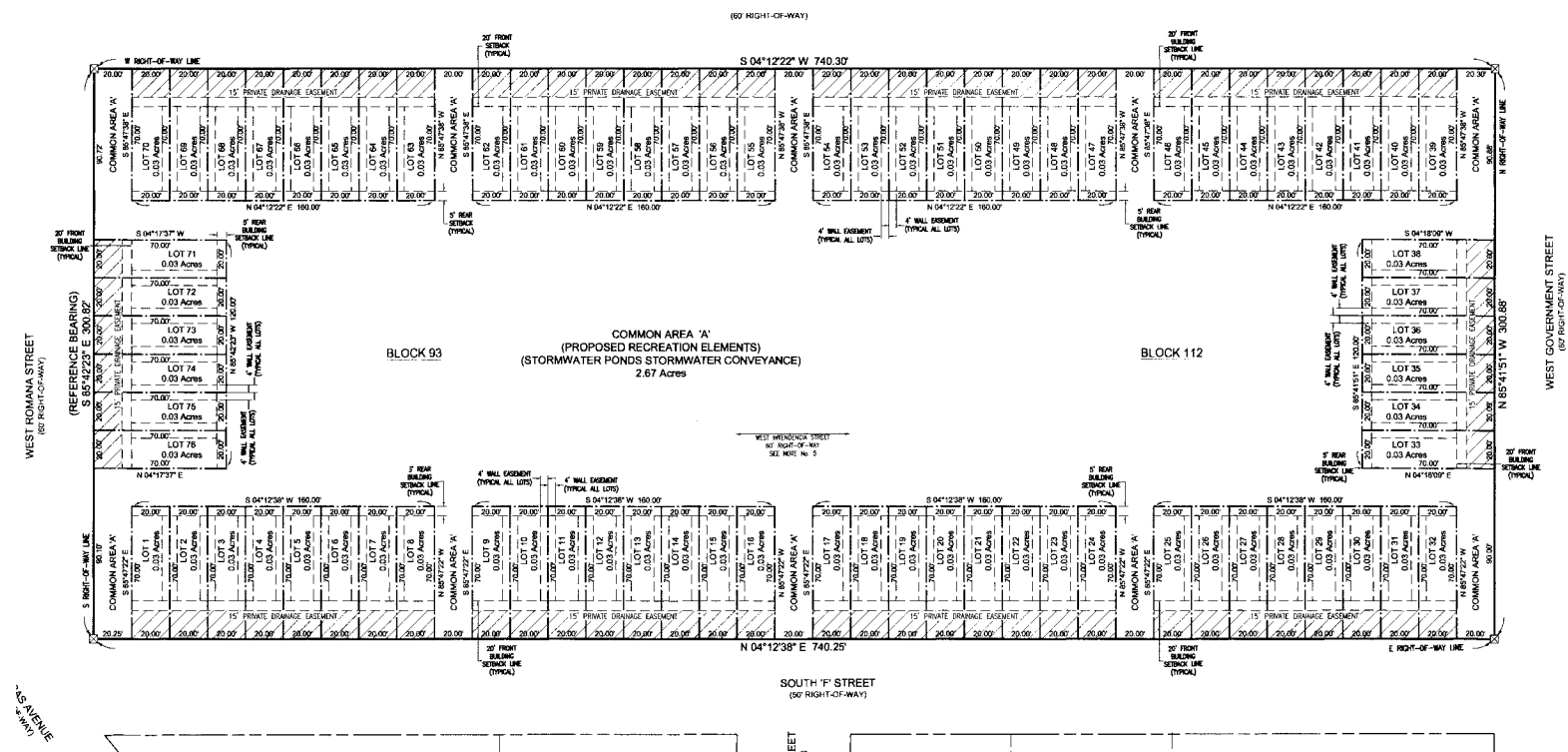
| Standards | R-1AA | | | R-1A | | |
|---|---|------------------------------|---------------------------------------|---|------------------------------|---------------------------------------|
| | Single Family Detached | Two-Family Attached (Duplex) | **Single Family Attached (Townhouses) | Single Family Detached | Two-Family Attached (Duplex) | **Single Family Attached (Townhouses) |
| Maximum Residential Gross Density | 8.7 units per acre | 11.6 units per acre | 11.6 units per acre | 12.4 units per acre | 17.4 units per acre | 17.4 units per acre |
| Minimum Lot Area | 5,000 s.f. | 7,500 s.f. | 3,750 s.f. | 3,500 s.f. | 5,000 s.f. | 2,500 s.f. |
| Lot Width at Minimum Building Setback Line | 40 feet | 60 feet | 30 feet | 30 feet | 50 feet | 25 feet |
| Minimum Lot Width at Street R-O-W Line | 40 feet | 50 feet | 25 feet | 30 feet | 50 feet | 25 feet |
| Minimum Yard Requirements *Front Yard Side Yard Rear Yard | (Minimum Building Setbacks) 30 feet 6 feet 30 feet | | | (Minimum Building Setbacks) 20 feet 5 feet 25 feet | | |
| Off-Street Parking | 1 space/unit | | 2 sp./unit | 1 space/unit | | 2 sp./unit |
| Maximum Building Height | 35 feet (Except as provided in Sec. 12-2-39) | | | 35 feet (Except as provided in Sec. 12-2-39) | | |

| | |
|--|---|
| Motel | 1 space/room |
| Museum | 1 space/300 s.f. |
| Nightclub | 1 space/75 s.f. |
| Nursery | 1 space/1,000 s.f. of lot area |
| Nursing Home | 1 space/2 beds |
| Office | |
| General Office | 1 space/300 s.f. |
| Accessory Office Unit | 1 space/300 s.f. |
| Government Office | 1 space/500 s.f. |
| Note: On-street parking within five hundred (500) feet of the building, except in residential districts, may be used towards this requirement for non-employee parking only. In any event, one off-street parking space shall be required for each employee in the building. | |
| Medical/Dental Office | 1 space/200 s.f. |
| Open Air Market | 1 space/300 s.f. |
| Printing or Publishing Firm | 1 space/300 s.f. |
| Private Club | 1 space/100 s.f. |
| Racquetball Club | 1 space/court |
| Radio or Television Station | 1 space/300 s.f. |
| Repair Shop | 1 space/300 s.f. |
| Residential | |
| Single-family, Duplex and Accessory Residential Unit | 1 space/unit (public street) 2 spaces/unit (private street) |
| Multi-family, Townhouse, Manufactured Home Unit | 1 space/unit |
| Rest Home | 1 space/2 beds |
| Restaurant | |
| Drive-in Only | 1 space/100 s.f. |
| Drive-through Only | 1 space/100 s.f. |
| Sit-Down Only | 1 space/100 s.f. (including outdoor dining areas) |
| Combination Drive-through/Sit-down | 1 space/100 s.f. (including outdoor dining and/or activity areas) |
| Retail Sales/Rental | |
| Boat | 1 space/500 s.f. |
| Carpet | 1 space/500 s.f. |
| Furniture | 1 space/500 s.f. |

Current Townhouse Projects

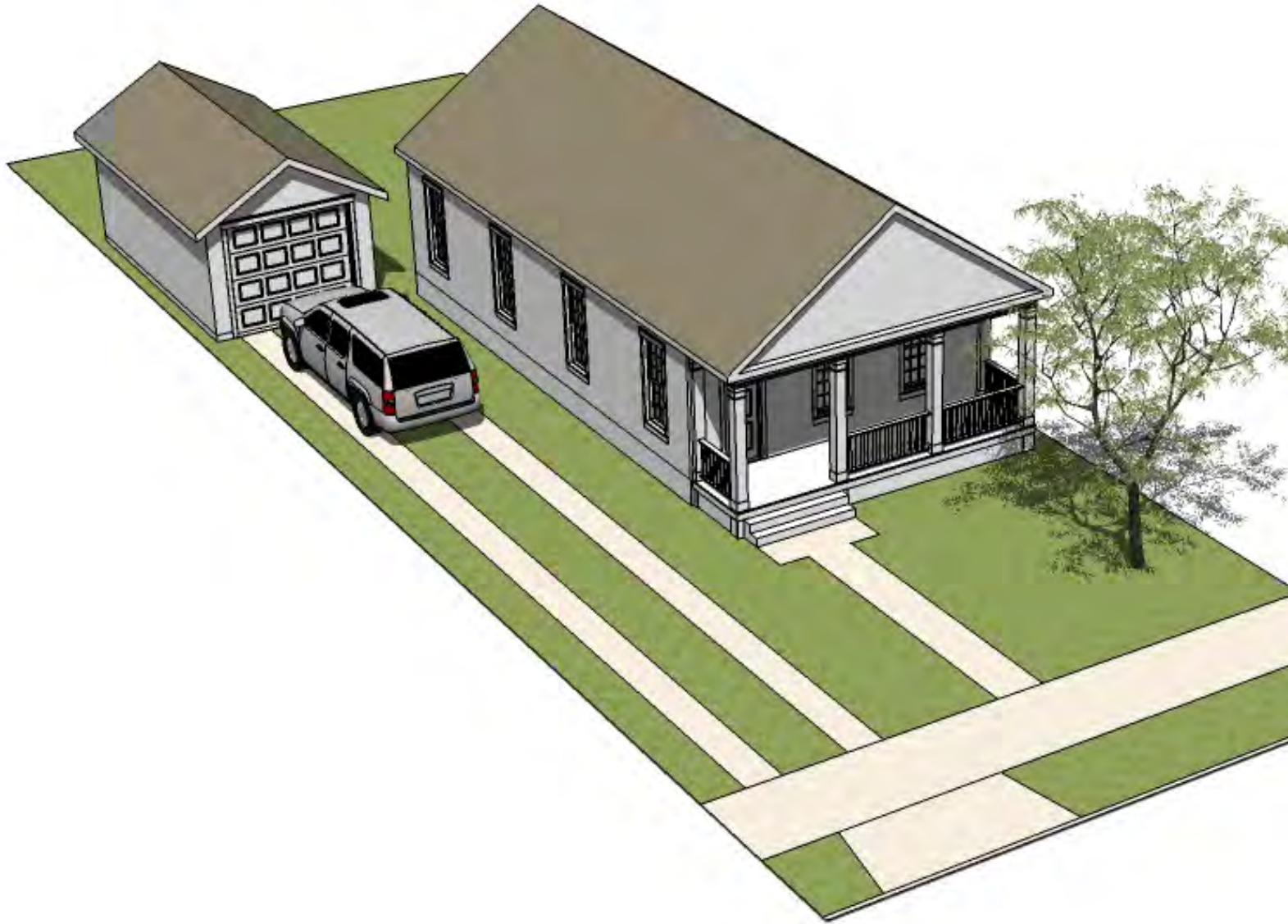


Current Townhouse Projects





Driveway Regulations



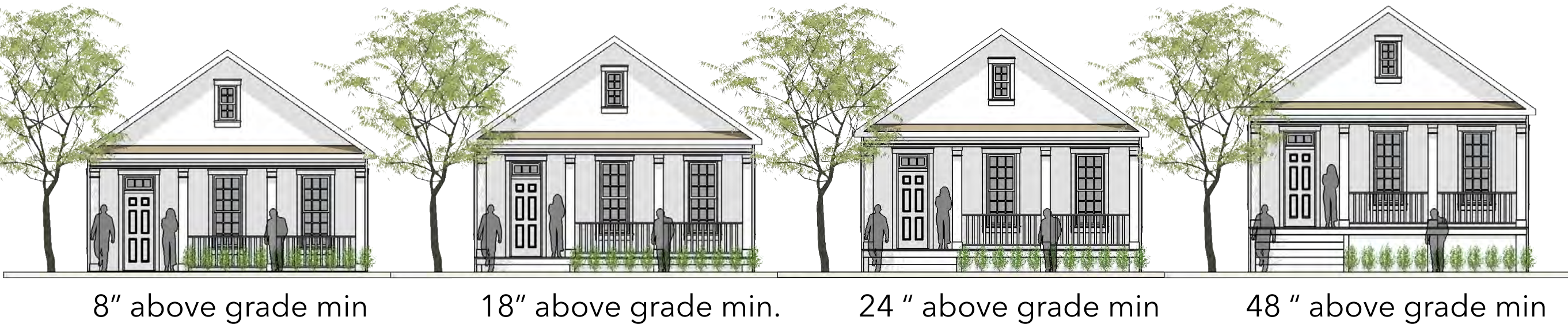
Driveways

- Driveways widths (residential except multifamily): curb cuts and driveway approach shall conform to the following requirements:
 - Driveway: Minimum driveway: 10 feet / Maximum driveway: 20 feet.*
 - * 20 feet driveway restricted to lots equal to or wider than 42 feet.
- Joint-use driveway: Minimum driveway: 20 feet / Maximum driveway: 24 feet 22 feet.
- Tandem parking is encouraged.
- Width (residential multifamily): curb cuts for driveways shall conform to the following requirements:
 - Minimum driveway: 20 feet / Maximum driveway: 24 feet when-combining ingress and egress.
 - Two separate driveways on one lot shall have a minimum separation of 20 feet.

Entry at grade



Entry at grade



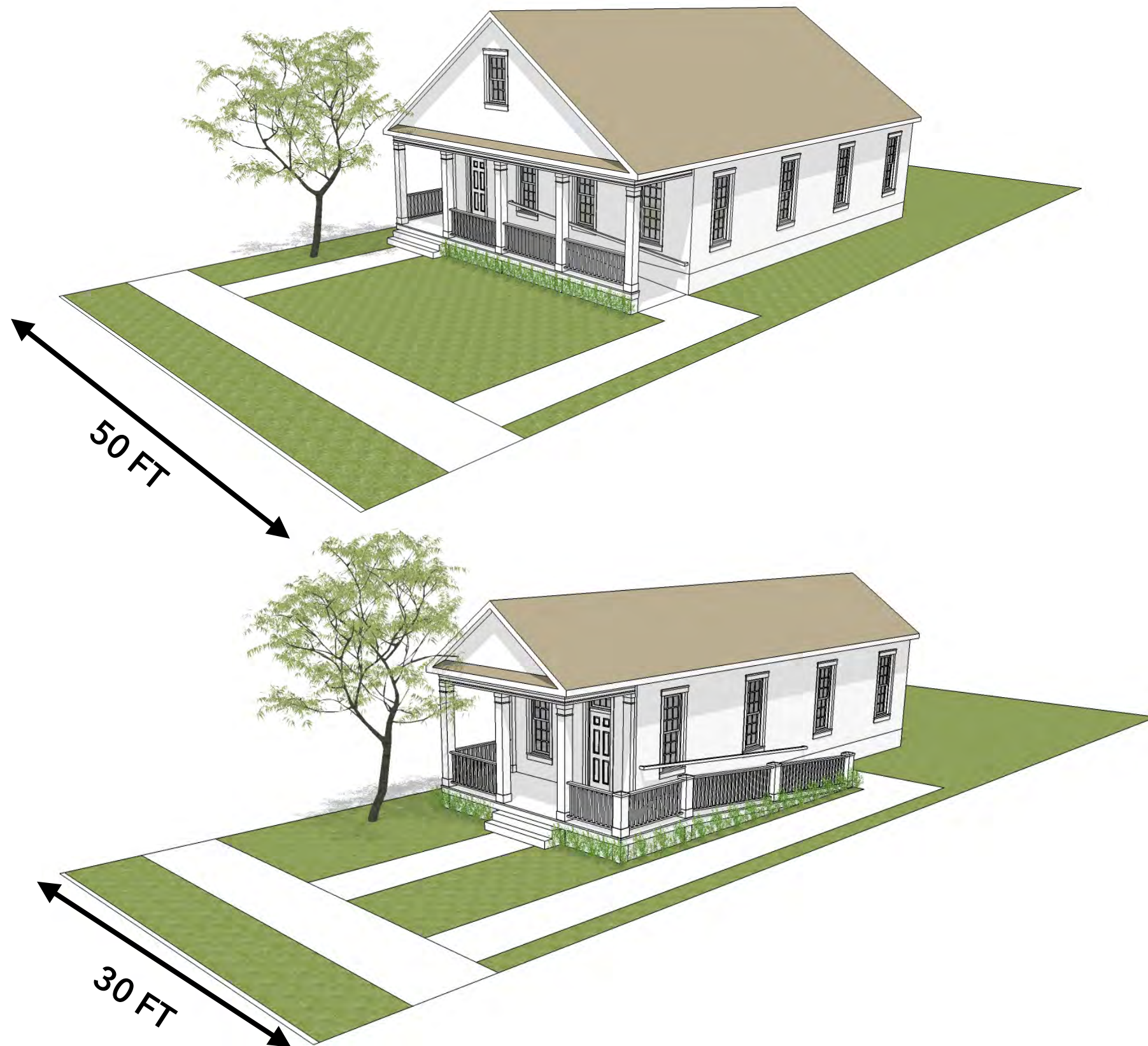
Foundation Height

Detached single-family: First floor elevation must be raised a minimum 24 inches and a maximum 36 inches above grade. First floor elevation must be a minimum nine feet above sea level.

Attached single-family (Townhouse): First floor elevation must be raised a minimum 36 inches off grade. First floor elevation must be a minimum nine feet above sea level.



ADA Accessibility



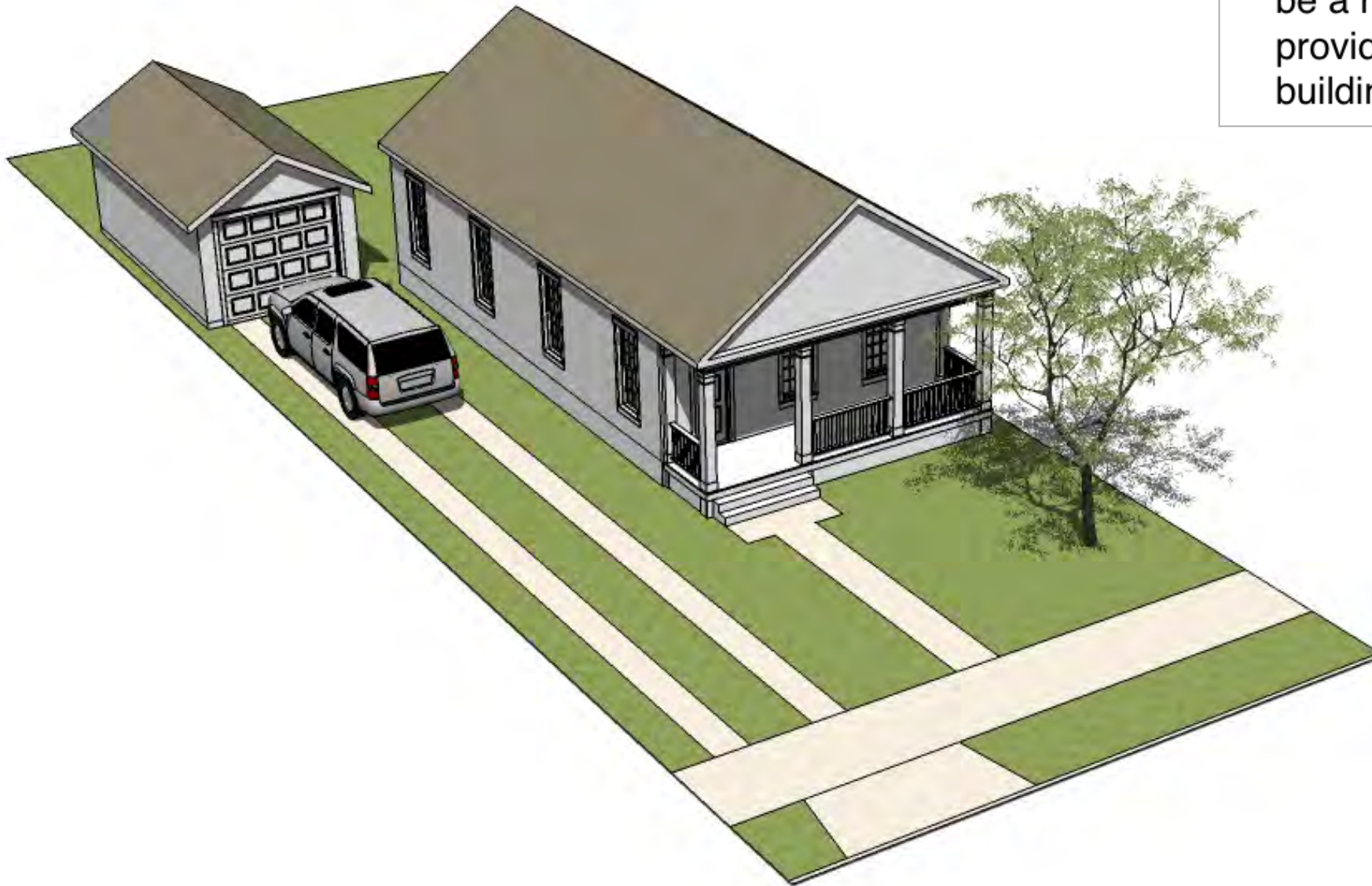
Lack of Front Yard and Frontage Standards



Front Yard Standards

Open Space For Front Yards

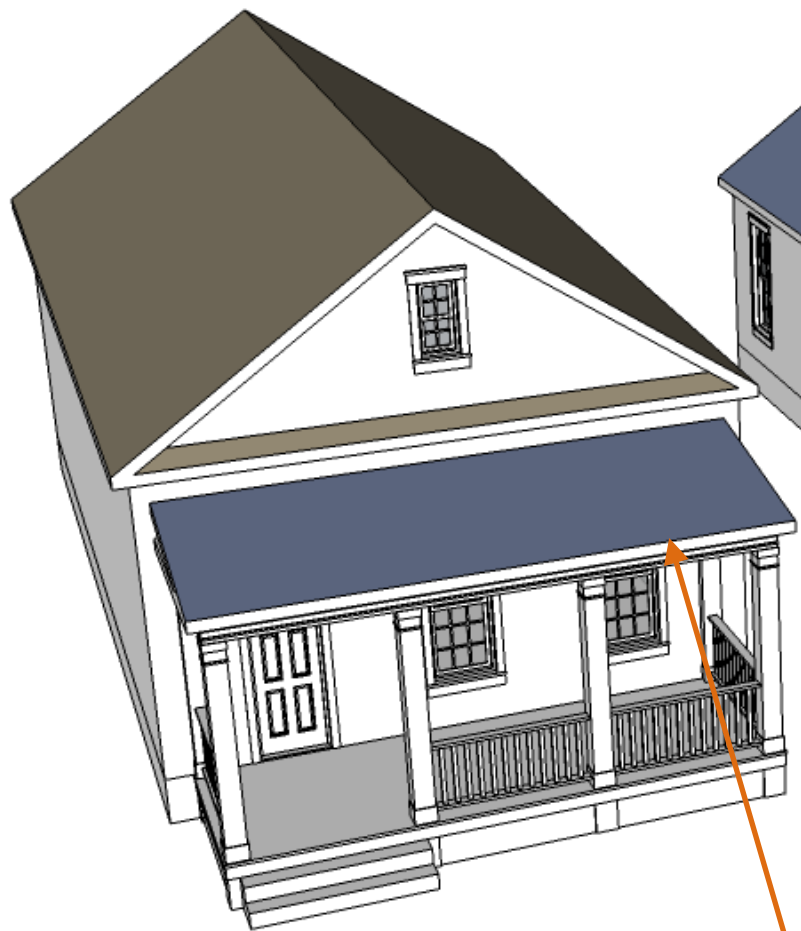
- The setback for multi-family buildings must be a minimum 50% pervious material, and provide a shade tree for every 50 feet of building frontage.



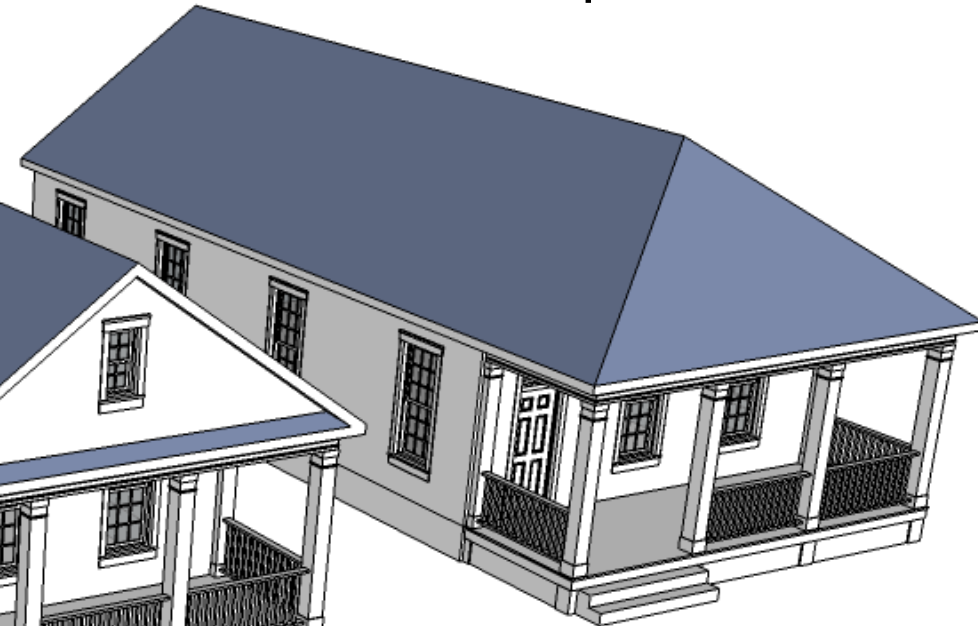
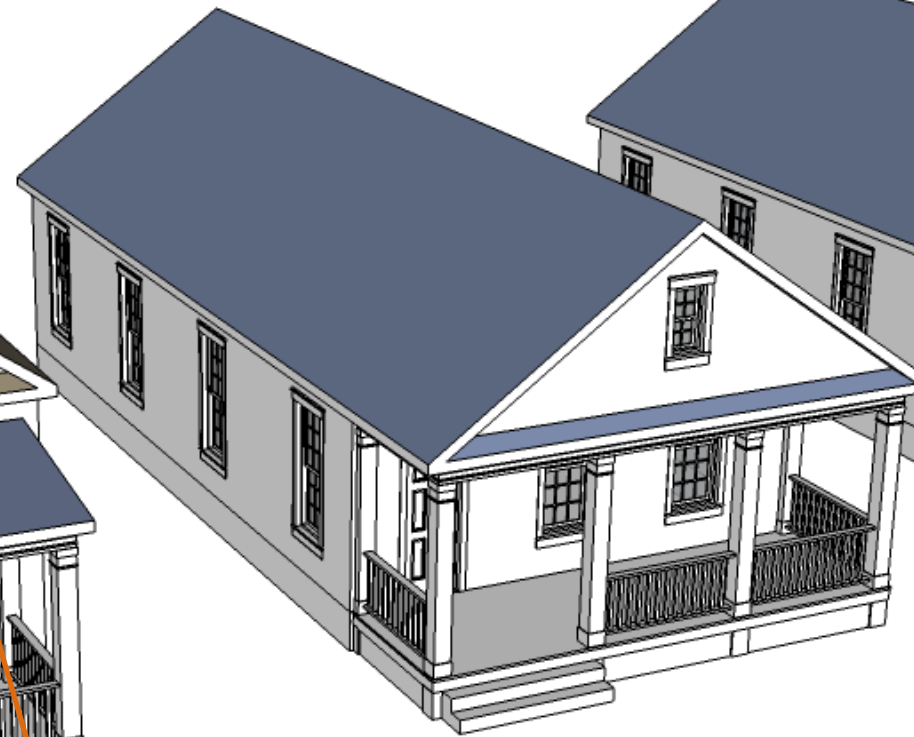
Proposed Regulations: Roof Pitch

Gable Roof

Hip Roof



Shed Roof



Roof Pitch

Gable or hipped roofs must have a minimum pitch of 6:12 and a maximum pitch of 9:12

Shed roofs must have a minimum pitch of 4:12.

Proposed Architectural Regulations



| Architecture |
|--|
| Windows must be vertical in proportion |
| Windows should have muntins. |
| Window panes must be vertical in proportion. |
| Single window panes along primary and secondary frontages must not exceed 20 square feet, excluding storefronts. |
| Glazing |
| Stained, reflective, tinted, and low-e glazing is prohibited. |
| Glazing is calculated according to the Glazing Table |

Proposed Regulations: Frontage Yard Types

Frontages

Minimum frontages shall be configured according to the Frontage Yard Types Table.

Private frontages must be configured according to the Frontage Yard Types Table.

Frontage Yard Types

A. Fenced Yard

| | |
|--------------|--|
| Illustration | |
| Surface | 50% minimum must be pervious material. A minimum of one tree is required. Paving is limited to walkways, driveways, and per setback. |
| Walkways | 1 per frontage providing access to building entries |
| Fencing | Permitted along frontage lines. Min. 30 inches, max. 42 inches. At or beyond building line, fence height may be 8 ft. max. |

B. Cluster Court

| | |
|--------------|--|
| Illustration | |
| Surface | 50% minimum must be landscaped with ground cover, trees, or understory trees. Paving is limited to walkways, driveways, and per setback. |
| Walkways | Court must be a min. 20 feet wide and a min. 1,000 sf in size and must have a walkway connecting the sidewalk at the primary frontage with building entries. |
| Fencing | Permitted at or beyond the building setback line, not along frontage lines. |

Frontage Yard Types

C. Shallow Yard

| | |
|--------------|---|
| Illustration | |
| Surface | Maximum setback of 8 feet. Landscaped in R-1A and R-1B and may be paved in R-NC and R-NCB. |
| Walkways | 1 per frontage providing access to building entries |
| Fencing | Permitted at or interior to the building setback line at primary street frontages. Permitted at or interior to secondary street frontage lines. Permitted at outdoor seating areas. |

D. Urban Yard

| | |
|--------------|--|
| Illustration | |
| Surface | Must be paved at sidewalk grade |
| Walkways | Must be paved at sidewalk grade. Vegetation is permitted in raised containers. |
| Fencing | Not permitted |

Frontage Yard Types

E. Pedestrian Forecourt

| | |
|--------------|--|
| Illustration | |
| Surface | Min. 80% paving at sidewalk grade. |
| Fencing | Permitted at or interior to building setback lines |
| Area | Forecourt: 2,400 sq.ft. max. and a min. 20 ft. wide up to 30% of the allowable frontage, and a max. 30 ft. deep. |
| Activation | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites. |

G. Vehicular Forecourt

| | |
|--------------|---|
| Illustration | |
| Surface | Driveway must be paved at sidewalk grade. The remainder of frontage setback may be paved or landscaped. |
| Fencing | Not permitted |
| Area | Forecourt: 3,000 sq.ft. max. |
| Activation | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites. |

Proposed Regulations: Residential Frontage Yard Types

Frontage Yard Types

A. Fenced Yard

Illustration



| | |
|-----------------|--|
| Surface | 50% minimum must be pervious material. A minimum of one tree is required, . Paving is limited to walkways, driveways, and per setback. |
| Walkways | 1 per frontage providing access to building entries |
| Fencing | Permitted along frontage lines. Min. 30 inches, max. 42 inches. At or beyond building line, fence height may be 8 ft. max. |

Frontage Yard Types

C. Shallow Yard

Illustration



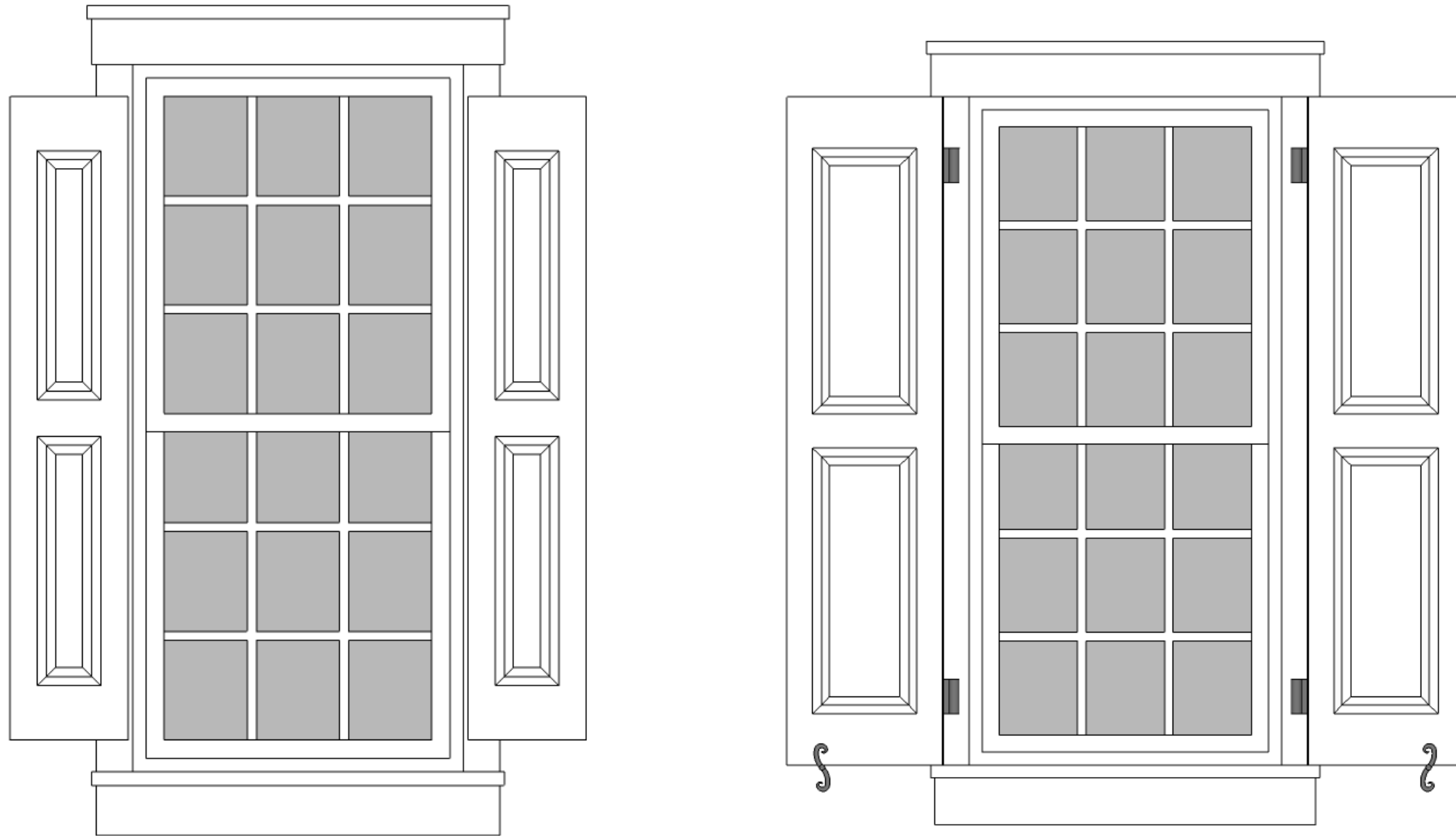
| | |
|-----------------|---|
| Surface | Maximum setback of 8 feet. Landscaped in R-1A and R-1B and may be paved in R-NC and R-NCB. |
| Walkways | 1 per frontage providing access to building entries |
| Fencing | Permitted at or interior to the building setback line at primary street frontages. Permitted at or interior to secondary street frontage lines. Permitted at outdoor seating areas. |

Porch Posts



- The width of the posts are related to the height of the porch.
 - Example: Porches with a height of 8 feet require a column with a diameter of 6" min.

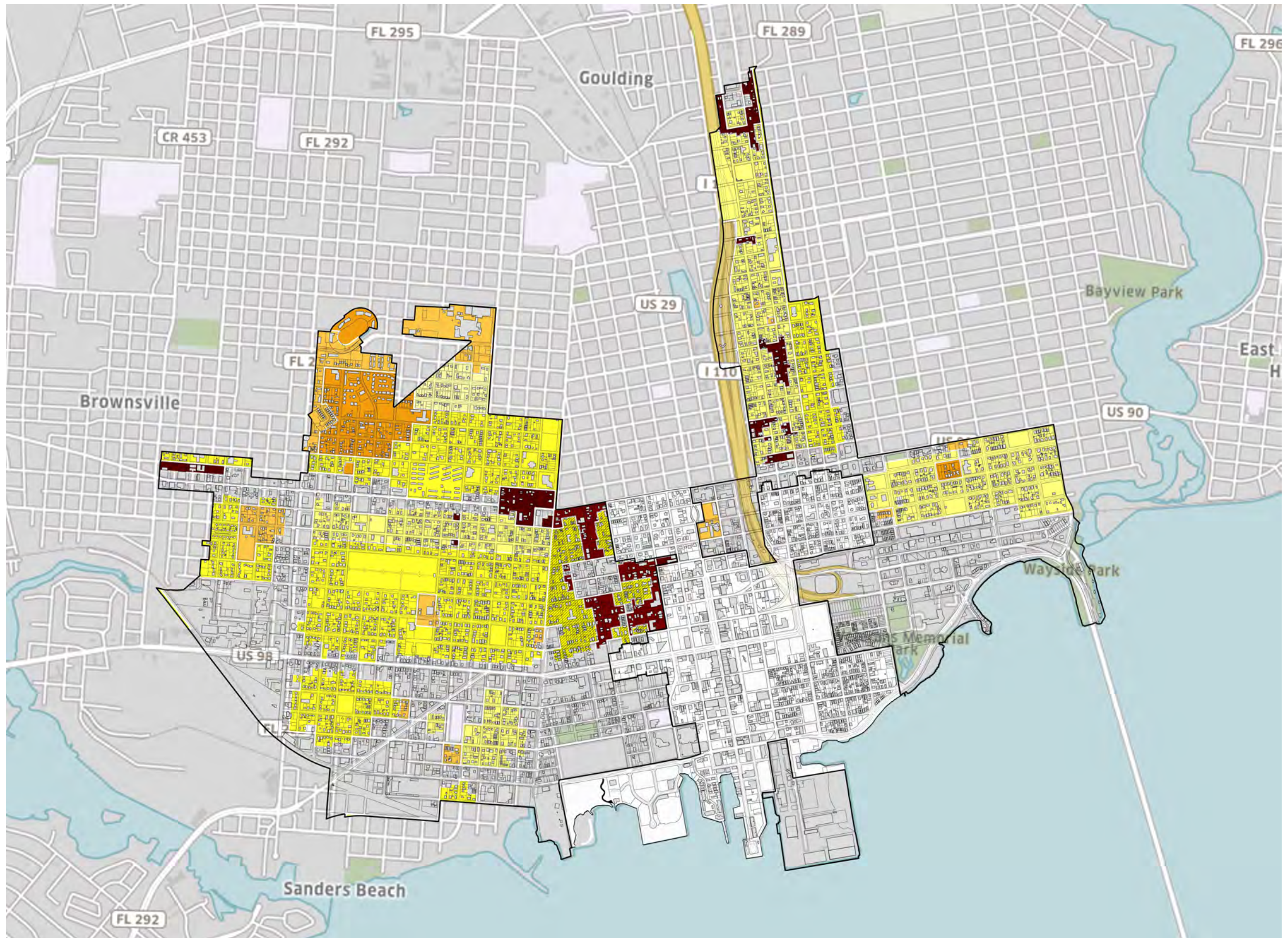
Shutters



- If shutters are provided:
 - They shall be sized to match window opening.
 - They shall be operable.

R-NC Zones

R-NCB and R-NC with Residential Zones



R-NCB

| Standards | Within 100 Feet of a Residential Zoning District | More Than 100 Feet From a Residential Zoning District |
|---|--|---|
| Minimum Yard Requirements (Minimum Building Setbacks) *Front Yard Side Yard Rear Yard | 15 feet (Also 5 feet see 15 feet Note 1) | 10 feet (Also 5 feet see 10 feet Note 1) |
| Maximum Building Height (At Building Setback Line) | 35 feet | 45 feet (Also see Note 2) |
| Lot Coverage Requirements For All Single-Family, Duplex, Townhouse or Zero- Lot-Line Residential Units | Maximum 50% (See Note 4) | |
| Lot Coverage Requirements For All Development Other Than Single-Family, Duplex, Townhouse or Zero- Lot-Line Residential Units: The maximum combined area occupied by all principal and accessory buildings | Building Height 1—4 stories 5—7 stories 8—9 stories (See note 4) | Building Coverage 30% 25% 20% |
| Maximum Floor Area for All Uses Listed Under section 12-2-7(B)(d) | 4,000 Square Feet (See Note 3) | |

Great addition, recognizing need for neighborhood-scaled commercial and mixed-use buildings.

Inadvertently, precluding mixed-use by discouraging residential uses.

R-NC & R-NCB

| Residential Neighborhood Commercial | | |
|-------------------------------------|---|--|
| R-NC | Single-family detached dwellings | |
| | Single-family attached | |
| | Multiple-family attached | |
| | Community residential homes | |
| | Cemeteries | |
| | Home occupations | |
| | Public parks and playgrounds | |
| | Private stables | |
| | Utility Structures | |
| | Childcare Facility | |
| | Private clubs and lodges | |
| | Boarding and lodging houses | |
| | Bed & Breakfast | |
| | Dormitories | |
| | Office | |
| | Hospitals & Clinics | |
| | Nursing Homes, Rest Homes, Convalescent Homes | |
| | Schools and educational institutions | |
| | Libraries and community centers | |
| | Churches | |
| | Social services homes/centers | |
| | Banks and financial institutions | |
| | Barber and beauty shops | |
| | Accessory structures | |
| | Studios | |
| | Retail food and drugstore | |
| | Personal service shops | |
| | Clothing and fabric stores | |
| | Home furnishing | |
| | Specialty shops | |
| | Bakeries | |
| | Consignment and Vintage clothing shops | |
| | Floral shops | |
| | Health clubs, spas, and exercise centers | |
| | Martial arts studios | |
| | Laundromats and dry cleaners | |
| | Laundry and dry cleaning pick-up | |
| | Outdoor sales of trees, shrubs, plants | |
| | Restaurants | |
| | Mortuary and funeral parlors | |
| | Appliance repair shops | |
| | Gasoline and service stations | |
| | Tattoo parlor/studio | |
| | Accessory buildings | |

| | |
|-------|---|
| R-NCB | Single-family detached dwellings |
| | Single-family attached |
| | Multiple-family attached |
| | Community residential homes |
| | Home occupations |
| | Public parks and playgrounds |
| | Utility Structures |
| | Childcare Facility |
| | Private clubs and lodges |
| | Boarding and lodging houses |
| | Bed & Breakfast |
| | Dormitories |
| | Office |
| | Hospitals & Clinics |
| | Nursing Homes, Rest Homes, Convalescent Homes |
| | Schools and educational institutions |
| | Libraries and community centers |
| | Churches |
| | Social services homes/centers |
| | Banks and financial institutions |
| | Barber and beauty shops |
| | Accessory structures |
| | Studios |
| | Retail food and drugstore |
| | Personal service shops |
| | Clothing and fabric stores |
| | Home furnishing |
| | Specialty shops |
| | Bakeries |
| | Consignment and Vintage clothing shops |
| | Floral shops |
| | Health clubs, spas, and exercise centers |
| | Martial arts studios |
| | Laundry and dry cleaning pick-up |
| | Outdoor sales of trees, shrubs, plants |
| | Restaurants |
| | Appliance repair shops |
| | Accessory buildings |

Form standards identical

Rethink boundaries, a little

Uses permitted are same,
except for:

- cemeteries
- private stables
- laundromat / dry cleaner
- funeral homes
- gas stations
- tattoo parlors

R-NCB or R-NC

Residential Beyond 100 ft of Residential Zones



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

BUILDING INTENSITY

| | |
|---------------------------------------|------------|
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 65,220 ft² |
| Maximum Office Area | 65,220 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 65,220 ft² |
| Maximum Building Footprint | 7,501 ft² |
| Lot Coverage | 50 % |
| Minimum Open Space | N/A |

HEIGHT LIMITATIONS (LEVELS)

| | |
|---|-----------|
| Total Building Height | 10 Levels |
| Principal Building Max. Height (Podium) | 10 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

SETBACKS

| | |
|------------------------------------|-------|
| Primary Frontage Minimum Setback | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | N/A |



■ Main Building
■ Lot
■ Building Setback limit

Up to 10 Stories
50% Lot Coverage
65,220 ft² Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-------------------|
| TOTAL BUILDING AREA | 17,280 ft² |
| Total Building Height | 3 Levels |
| Maximum Building Footprint | 7,501 ft² |
| Maximum Liner Footprint | 4,395 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 2,880 ft² |
| Lot Coverage | 50 % |
| FLR | N/A |

| | |
|--------------------------------|-------------------|
| RESIDENTIAL AREA NET | 14,400 ft² |
| Residential Units | 12 DU |
| Residential Units Average Size | 1,200 ft² |
| Residential Height (Levels) | 3 Levels |

| | |
|---------------------------------|-----------|
| PARKING AREA | |
| Total Parking Required | 12 Spaces |
| Total Shared Parking Required | 12 Spaces |
| Parking Structure Height | N/A |
| Total Provided Parking Capacity | 25 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | N/A |
| Parking Structure Area | N/A |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 25 Spaces |



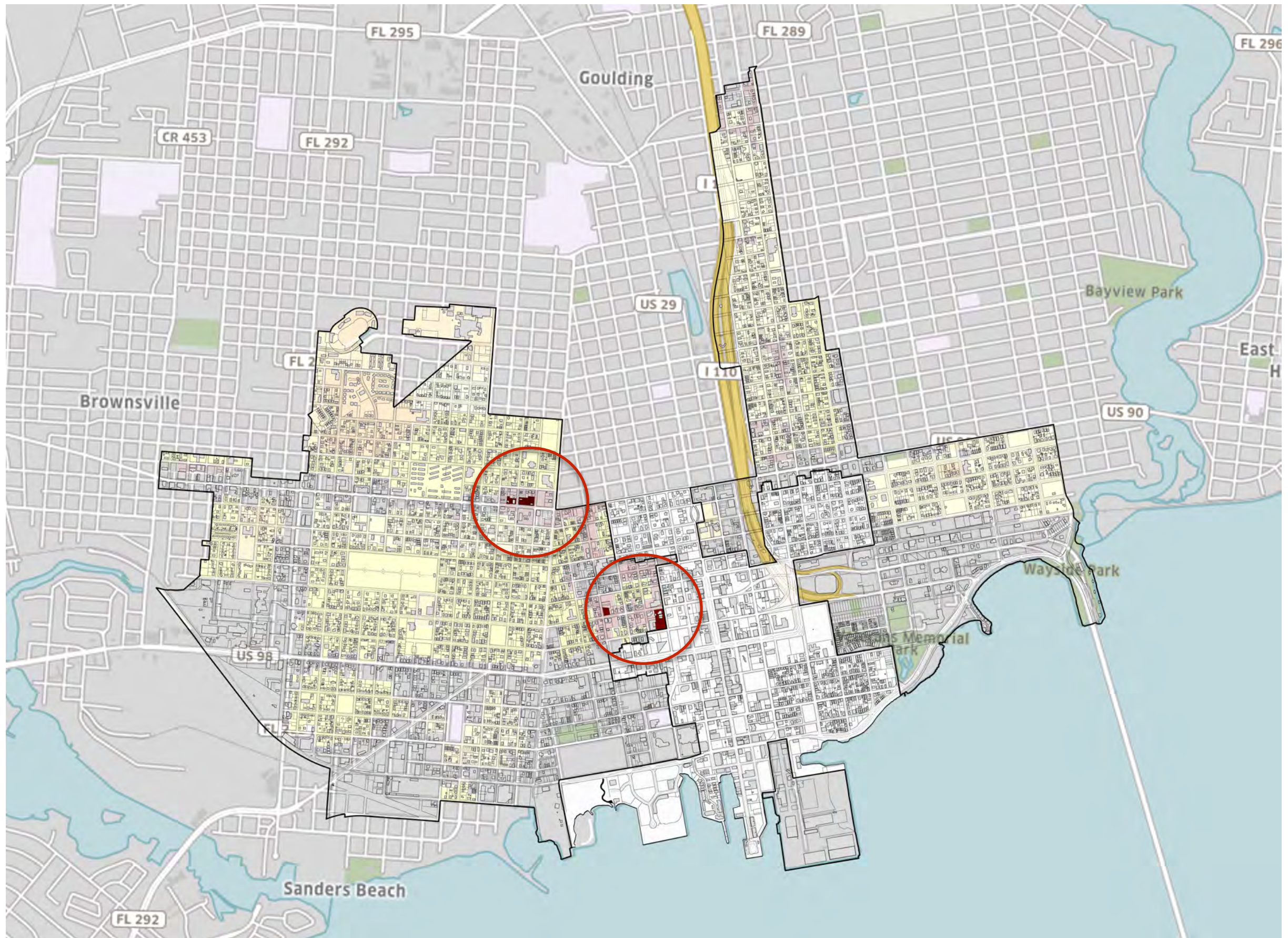
■ Residential
■ Lot

Resulting 3 Stories
Max Density Allowed
17,280 ft² Actual - 26%



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R-NCB and R-NC with Residential Zones 100 ft Buffer



R-NCB or R-NC

Residential Within 100 ft of Residential Zones



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

BUILDING INTENSITY

| | |
|---------------------------------------|------------|
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 22,505 ft² |
| Maximum Office Area | 22,505 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 22,505 ft² |
| Maximum Building Footprint | 7,501 ft² |
| Lot Coverage | 50 % |
| Minimum Open Space | N/A |

HEIGHT LIMITATIONS (LEVELS)

| | |
|---|----------|
| Total Building Height | 3 Levels |
| Principal Building Max. Height (Podium) | 3 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

SETBACKS

| | |
|------------------------------------|-------|
| Primary Frontage Minimum Setback | 15 ft |
| Secondary Frontage Minimum Setback | 15 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 15 ft |
| Second Layer Dimension | N/A |



■ Main Building
■ Lot
■ Building Setback limit

Up to 3 Stories
50% Lot Coverage
22,505 ft² Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-------------------|
| TOTAL BUILDING AREA | 17,280 ft² |
| Total Building Height | 3 Levels |
| Maximum Building Footprint | 7,501 ft² |
| Maximum Liner Footprint | 4,352 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 2,880 ft² |
| Lot Coverage | 50 % |
| FLR | N/A |

| | |
|--------------------------------|-------------------|
| RESIDENTIAL AREA NET | 14,400 ft² |
| Residential Units | 12 DU |
| Residential Units Average Size | 1,200 ft² |
| Residential Height (Levels) | 3 Levels |

| | |
|---------------------------------|-----------|
| PARKING AREA | |
| Total Parking Required | 12 Spaces |
| Total Shared Parking Required | 12 Spaces |
| Parking Structure Height | N/A |
| Total Provided Parking Capacity | 25 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | N/A |
| Parking Structure Area | N/A |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 25 Spaces |



■ Residential
■ Lot

Resulting 3 Stories
Max Density Allowed
17,280 ft² Actual - 76%



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R-NCB or R-NC

Non-Residential up to 4 Stories



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|---------------------------------------|------------|
| BUILDING INTENSITY | |
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 18,002 ft² |
| Maximum Office Area | 18,002 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 18,002 ft² |
| Maximum Building Footprint | 4,500 ft² |
| Lot Coverage | 30 % |
| Minimum Open Space | N/A |

| | |
|---|----------|
| HEIGHT LIMITATIONS (LEVELS) | |
| Total Building Height | 4 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

| | |
|------------------------------------|-------|
| SETBACKS | |
| Primary Frontage Minimum Setback | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | N/A |



■ Main Building
■ Lot
■ Building Setback limit

Up to 4 Stories
30% Lot Coverage
18,002 ft² Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-----------|
| TOTAL BUILDING AREA | |
| Total Building Height | 3 Levels |
| Maximum Building Footprint | 4,500 ft² |
| Maximum Liner Footprint | 3,542 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 2,100 ft² |
| Lot Coverage | 30 % |
| FLR | N/A |

| | |
|------------------------|----------|
| OFFICE AREA NET | |
| Office Height (Levels) | 3 Levels |

| | |
|---------------------------------|-----------|
| PARKING AREA | |
| Total Parking Required | 35 Spaces |
| Total Shared Parking Required | 35 Spaces |
| Parking Structure Height | N/A |
| Total Provided Parking Capacity | 35 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | N/A |
| Parking Structure Area | N/A |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 35 Spaces |



■ Office
■ Lot

Resulting 3 Stories
Surface Parking
12,600 ft² Actual - 70%



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R-NCB or R-NC

Non-Residential up to 7 Stories



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

BUILDING INTENSITY

| | |
|---------------------------------------|------------|
| Dwelling Units per Acre | 17 du/acre |
| Dwelling Units Allowed | 6 units |
| Maximum Commercial Area | 26,250 ft² |
| Maximum Office Area | 26,250 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 26,250 ft² |
| Maximum Building Footprint | 3,750 ft² |
| Lot Coverage | 25 % |
| Minimum Open Space | N/A |

HEIGHT LIMITATIONS (LEVELS)

| | |
|---|----------|
| Total Building Height | 7 Levels |
| Principal Building Max. Height (Podium) | 7 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

SETBACKS

| | |
|------------------------------------|-------|
| Primary Frontage Minimum Setback | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | N/A |



■ Main Building
■ Lot
■ Building Setback limit

Up to 7 Stories
25% Lot Coverage
26,250 ft2 Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-------------------|
| TOTAL BUILDING AREA | 13,200 ft² |
| Total Building Height | 4 Levels |
| Maximum Building Footprint | 3,750 ft² |
| Maximum Liner Footprint | 3,328 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 2,200 ft² |
| Lot Coverage | 25 % |
| FLR | N/A |

| | |
|------------------------|-------------------|
| OFFICE AREA NET | 11,000 ft² |
| Office Height (Levels) | 4 Levels |

PARKING AREA

| | |
|---------------------------------|-----------|
| Total Parking Required | 37 Spaces |
| Total Shared Parking Required | 37 Spaces |
| Parking Structure Height | N/A |
| Total Provided Parking Capacity | 37 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | N/A |
| Parking Structure Area | N/A |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 37 Spaces |



■ Office
■ Lot

Resulting 4 Stories
Surface Parking
13,200 ft2 Actual - 50%



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R-NCB or R-NC

Non-Residential up to 9 Stories



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|---------------------------------------|------------|
| BUILDING INTENSITY | |
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 27,007 ft² |
| Maximum Office Area | 27,007 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 27,007 ft² |
| Maximum Building Footprint | 3,000 ft² |
| Lot Coverage | 20 % |
| Minimum Open Space | N/A |

| | |
|---|----------|
| HEIGHT LIMITATIONS (LEVELS) | |
| Total Building Height | 9 Levels |
| Principal Building Max. Height (Podium) | 9 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

| | |
|------------------------------------|-------|
| SETBACKS | |
| Primary Frontage Minimum Setback | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | N/A |



■ Main Building
■ Lot
■ Building Setback limit

Up to 9 Stories
20% Lot Coverage
27,007 ft2 Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-----------|
| TOTAL BUILDING AREA | |
| Total Building Height | 5 Levels |
| Maximum Building Footprint | 3,000 ft² |
| Maximum Liner Footprint | 0 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 2,400 ft² |
| Lot Coverage | 20 % |
| FLR | N/A |

| | |
|------------------------|----------|
| OFFICE AREA NET | |
| Office Height (Levels) | 5 Levels |

| | |
|---------------------------------|-----------|
| PARKING AREA | |
| Total Parking Required | 40 Spaces |
| Total Shared Parking Required | 40 Spaces |
| Parking Structure Height | N/A |
| Total Provided Parking Capacity | 40 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | N/A |
| Parking Structure Area | N/A |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 40 Spaces |



■ Office
■ Lot

Resulting 5 Stories
Surface Parking
14,400 ft2 Actual - 50%



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R-NCB or R-NC

Proposed Urban Form



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|---------------------------------------|------------|
| BUILDING INTENSITY | |
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 42,005 ft² |
| Maximum Office Area | 42,005 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 42,005 ft² |
| Maximum Building Footprint | 10,501 ft² |
| Lot Coverage | 70 % |
| Minimum Open Space | N/A |

| | |
|---|----------|
| HEIGHT LIMITATIONS (LEVELS) | |
| Total Building Height | 4 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

| | |
|------------------------------------|-------|
| SETBACKS | |
| Primary Frontage Minimum Setback | 5 ft |
| Secondary Frontage Minimum Setback | 5 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | 25 ft |



■ Main Building
■ Lot
■ Building Setback limit

Up to 4 Stories
70% Lot Coverage
42,005 ft² Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-------------------|
| TOTAL BUILDING AREA | 39,302 ft² |
| Total Building Height | 4 Levels |
| Maximum Building Footprint | 10,501 ft² |
| Maximum Liner Footprint | 5,289 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 5,682 ft² |
| Lot Coverage | 70 % |
| FLR | N/A |

| | |
|--------------------------------|-------------------|
| RESIDENTIAL AREA NET | 12,000 ft² |
| Residential Units | 10 DU |
| Residential Units Average Size | 1,200 ft² |
| Residential Height (Levels) | 2 Levels |

| | |
|------------------------|-------------------|
| OFFICE AREA NET | 12,000 ft² |
| Office Height (Levels) | 2 Levels |

| | |
|----------------------------|------------------|
| COMMERCIAL AREA NET | 4,409 ft² |
| Commercial Height (Levels) | 1 Levels |

| | |
|---------------------------------|------------------|
| PARKING AREA | 5,211 ft² |
| Total Parking Required | 31 Spaces |
| Total Shared Parking Required | 31 Spaces |
| Parking Structure Height | 1 Levels |
| Total Provided Parking Capacity | 31 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | 15 Spaces |
| Parking Structure Area | 5,211 ft² |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 16 Spaces |



■ Commercial
■ Office
■ Lot
■ Parking
■ Residential

Resulting 4 Stories
Surface Parking (Covered)
39,302 ft² Actual - 93%



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Commercial & Mixed Use Zones

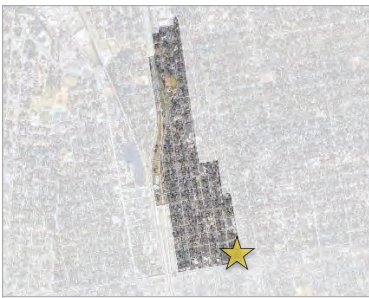
Commercial Zoning

ZONING SURVEY

EXISTING CONDITIONS

C-1: RETAIL COMMERCIAL

Quadrat



| | |
|-----------------|-------|
| Block Perimeter | 1175' |
| Avg. Units/Acre | 0.7 |

Disect Address: 870 E Cervantes St

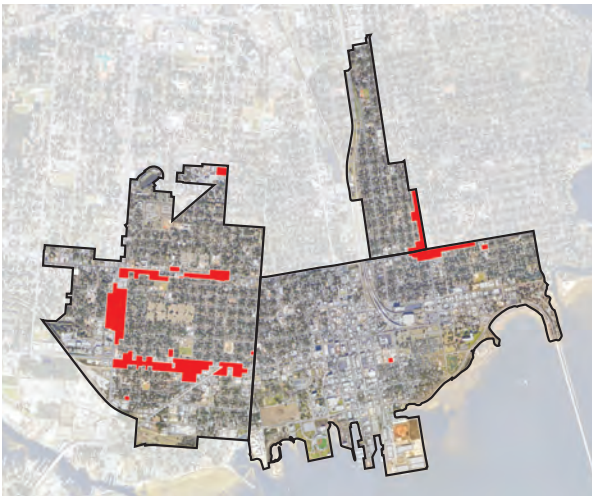


| PUBLIC FRONTAGE | |
|--------------------|------------|
| Public Frontage | Street |
| Right-Of-Way Width | 70' |
| Travel Lanes | 4 |
| Parking | N/A |
| Pavement Width | 46' |
| Sidewalk Width | 6' |
| Planter Type | Strip |
| Planting Pattern | None |
| Street Lighting | Cobra Head |
| Curb Type | Rolling |



| PRIVATE FRONTAGE | |
|-----------------------|----------------------|
| Private Frontage | Shopfront |
| Principal Building Ht | 1 Story |
| Outbuilding Height | N/A |
| Building Type | Commercial |
| Garage Access | Parking Lot in Front |
| Lot Width | 260' |
| Frontage Buildout | 146' |
| Front Setback | 70' |
| Side Setback | 38' - 76' |
| GRND Level Use | Commercial |
| Upper Level Use | - |

- C-1 has little to no consistency within its built form, nor is it a clear representation of the zoning code, simply because the zoning code does not provide a predictable outcome.
- There are very few parameters in place for C-1, other than height and lot coverage.
- There is a combination of strip commercial to home office conversions.
- There is a range of urban typologies and building heights visible across C-1.



Unpredictable in form

C-2 permits +2 x capacity of C-1 but yields same form

C-1 and C-2 similar uses

Too permissive at street frontages

C-3 light industrial & confused

C-1



C-2

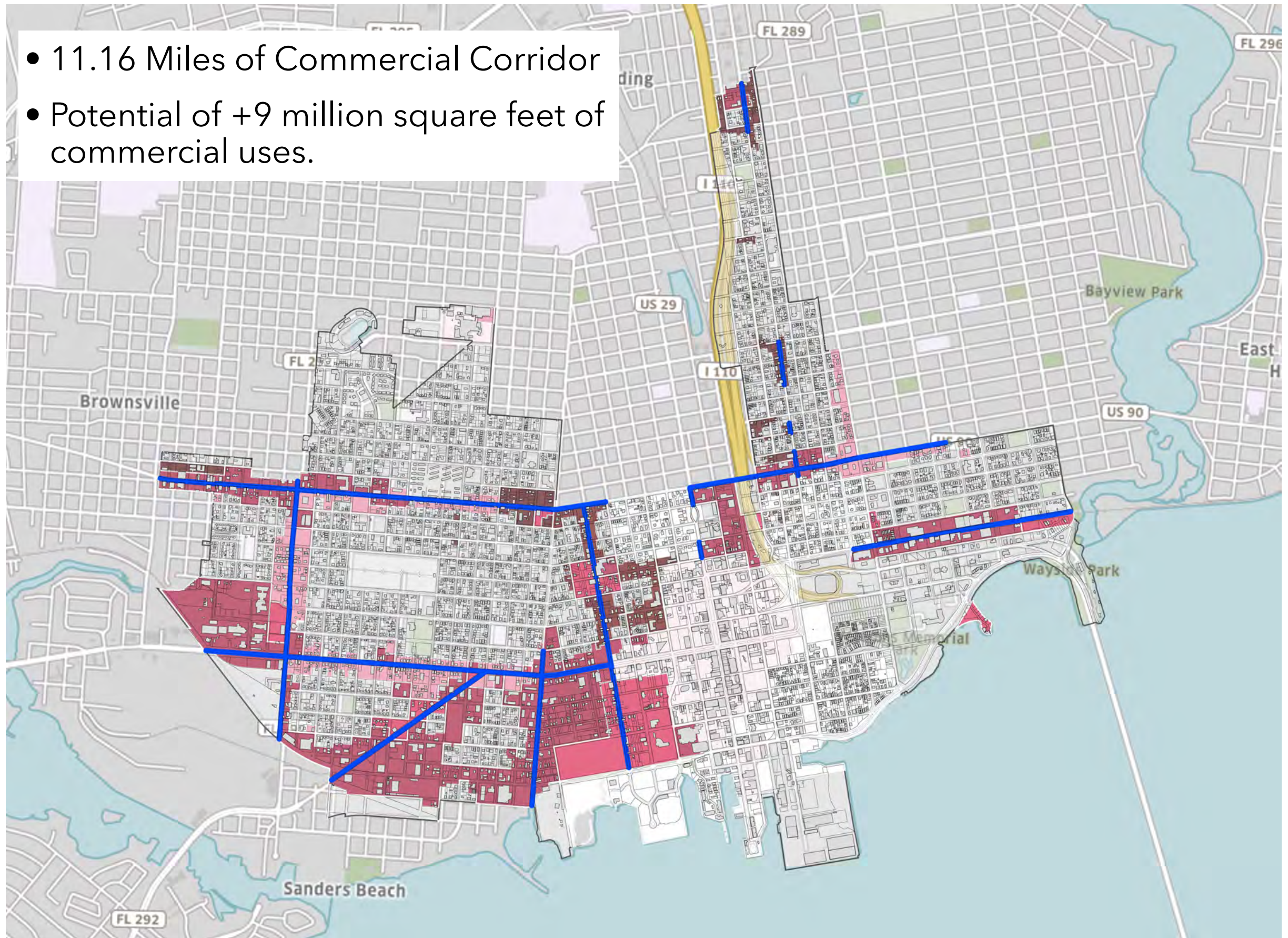


C-2A



Commercial Corridors

- 11.16 Miles of Commercial Corridor
- Potential of +9 million square feet of commercial uses.



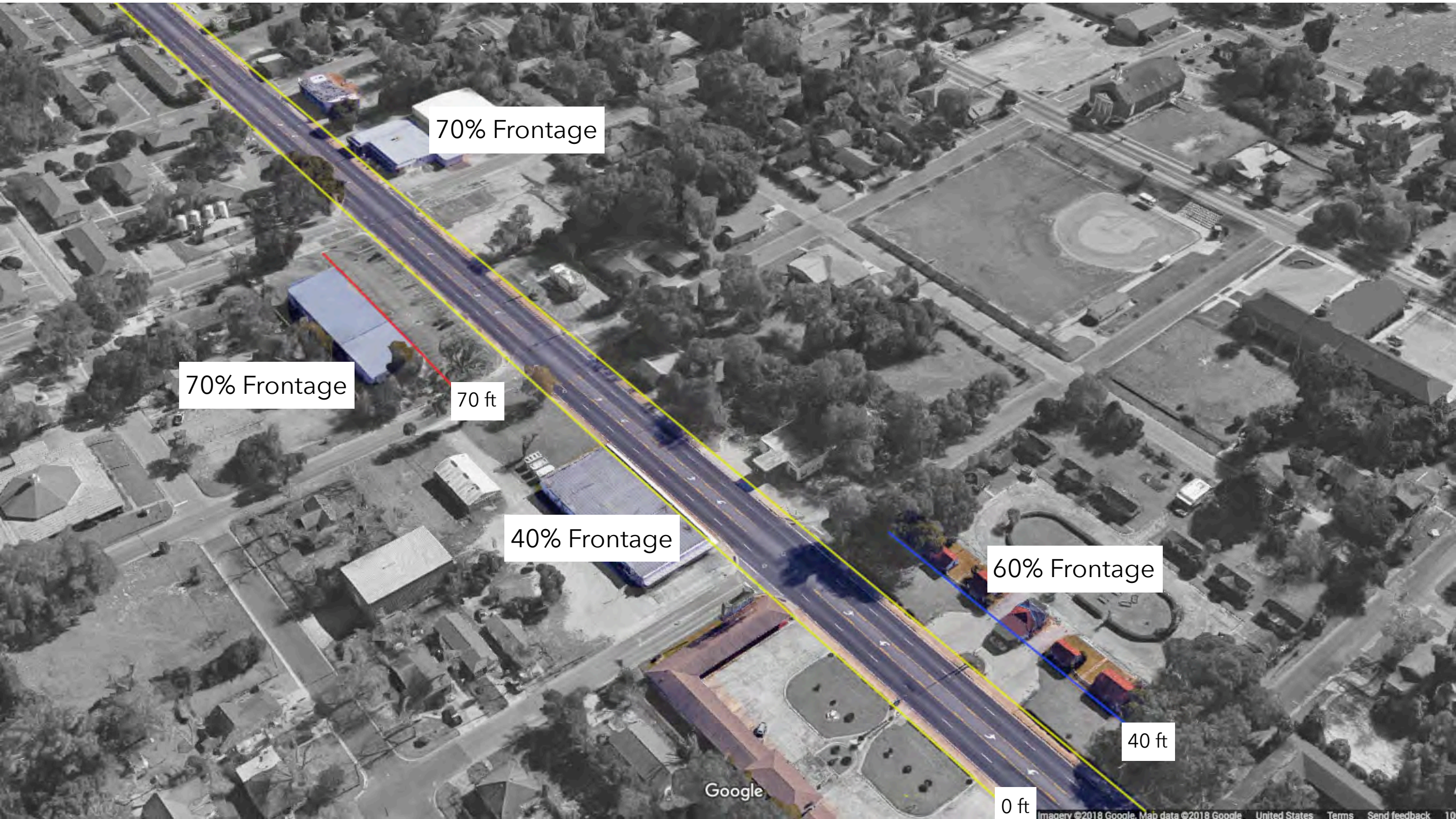
Commercial Corridors

| | Linear Length ft | Doble Sided | SubTotal Length | Intersection reduction | Total Linear Length | In Miles | 60 ft depth building footprint | Stories | Total ft2 |
|-------------------|------------------|-------------|-----------------|------------------------|---------------------|--------------|--------------------------------|---------|---------------------|
| West Cervantez | 8,588 | TRUE | 17,176 | 30.00% | 12,023.20 | 2.28 | 721,392.00 | 3 | 2,164,176.00 |
| East Cervantes | 4,084 | FALSE | 4,084 | 30.00% | 2,858.80 | 0.54 | 171,528.00 | 3 | 514,584.00 |
| West Wright St | 7,778 | TRUE | 15,556 | 30.00% | 10,889.20 | 2.06 | 653,352.00 | 3 | 1,960,056.00 |
| South A St | 2,800 | TRUE | 5,600 | 30.00% | 3,920.00 | 0.74 | 235,200.00 | 2 | 470,400.00 |
| Barracas Avenue | 3,700 | TRUE | 7,400 | 30.00% | 5,180.00 | 0.98 | 310,800.00 | 2 | 621,600.00 |
| South de Villiers | 5,152 | TRUE | 10,304 | 30.00% | 7,212.80 | 1.37 | 432,768.00 | 3 | 1,298,304.00 |
| Palafox | 1,028 | FALSE | 1,028 | 30.00% | 719.60 | 0.14 | 43,176.00 | 3 | 129,528.00 |
| N Davis Hwy | 2,454 | TRUE | 4,908 | 30.00% | 3,435.60 | 0.65 | 206,136.00 | 2 | 412,272.00 |
| South L St | 4,934 | TRUE | 9,868 | 30.00% | 6,907.60 | 1.31 | 414,456.00 | 2 | 828,912.00 |
| East Wright | 4,132 | TRUE | 8,264 | 30.00% | 5,784.80 | 1.10 | 347,088.00 | 2 | 694,176.00 |
| | | | | | | | | | |
| Subtotals | 44,650 | | 84,188 | | 58,931.60 | 11.16 | 3,535,896.00 | | 9,094,008.00 |

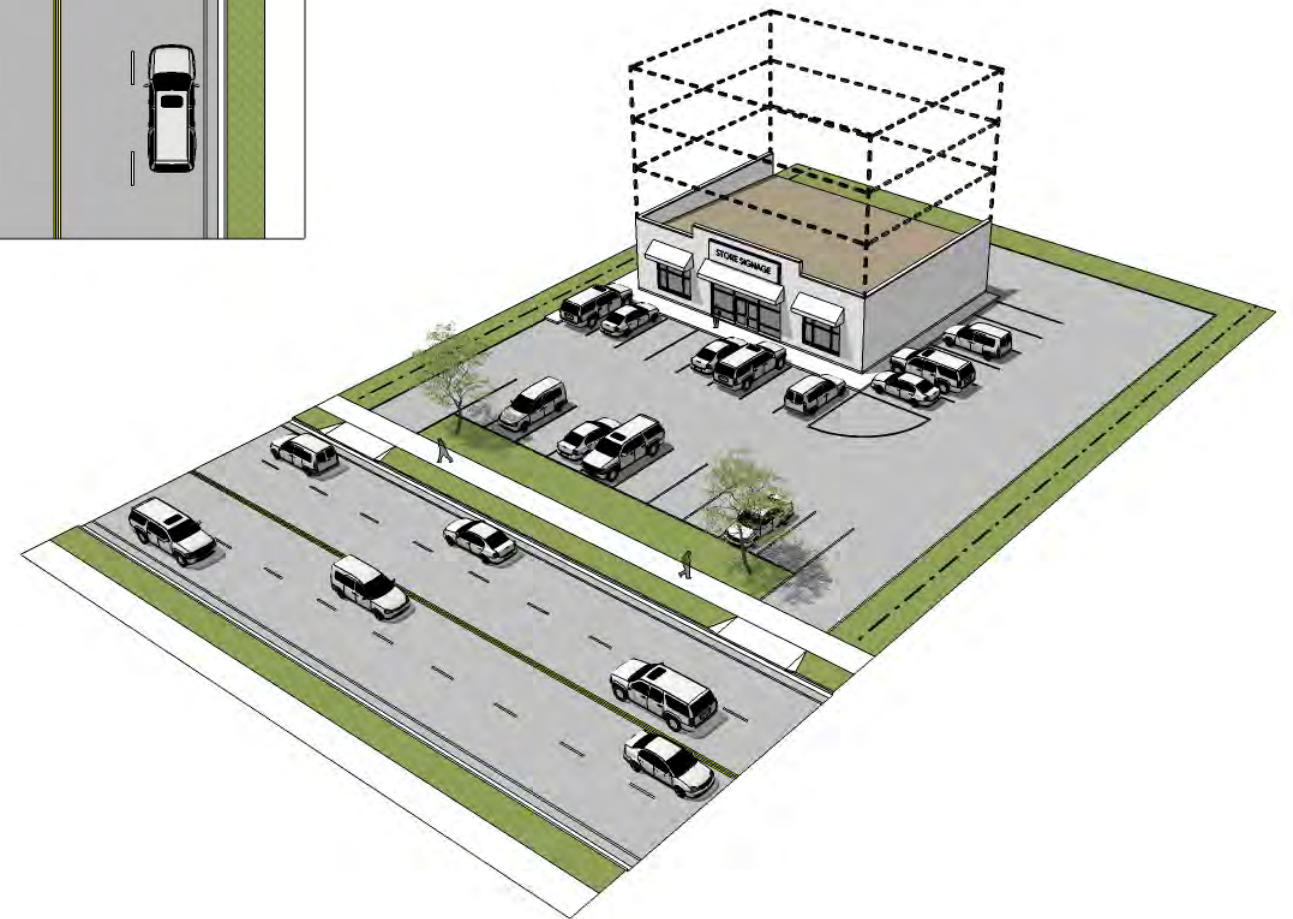
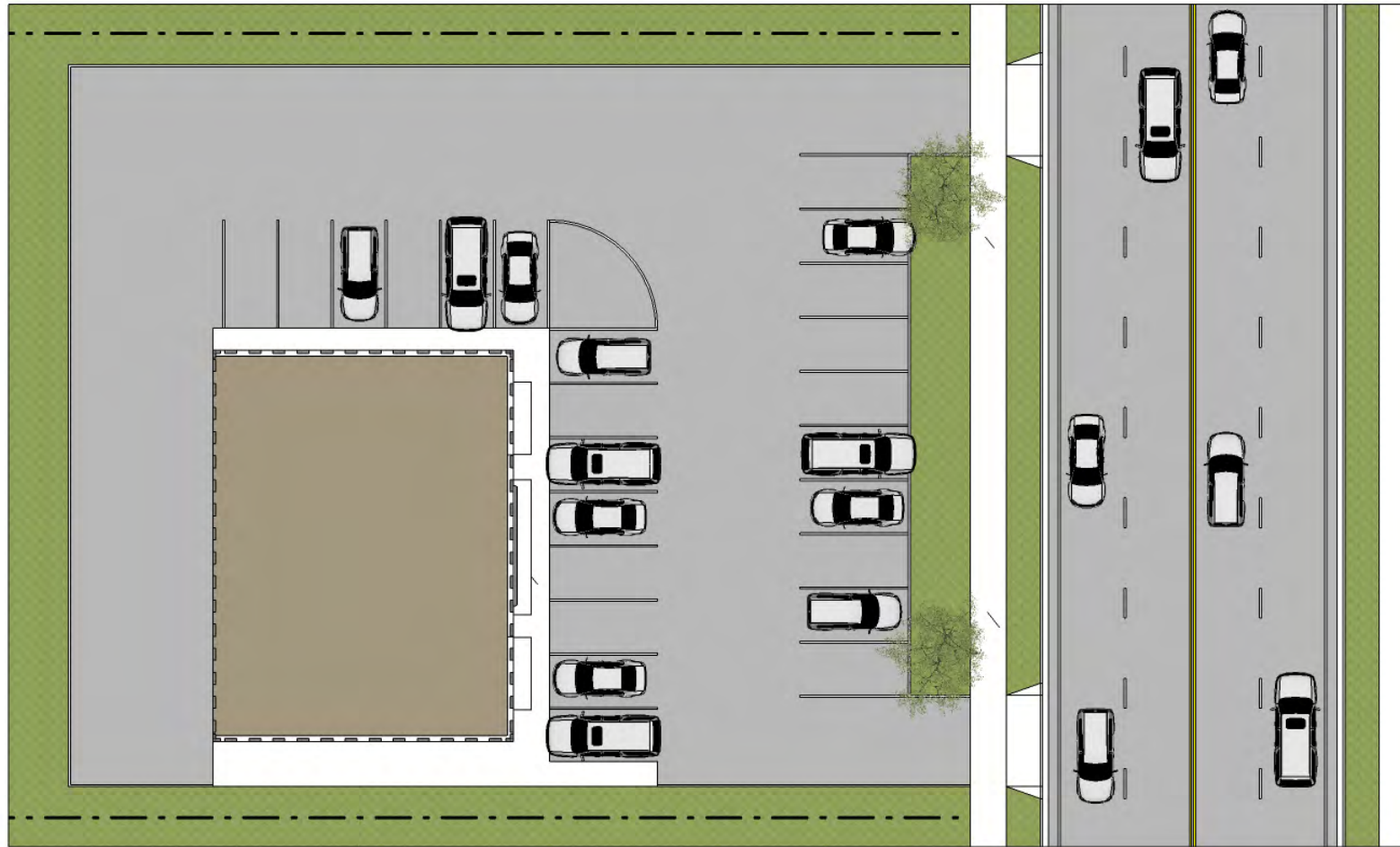
Existing Commercial Frontages - Cervantes St



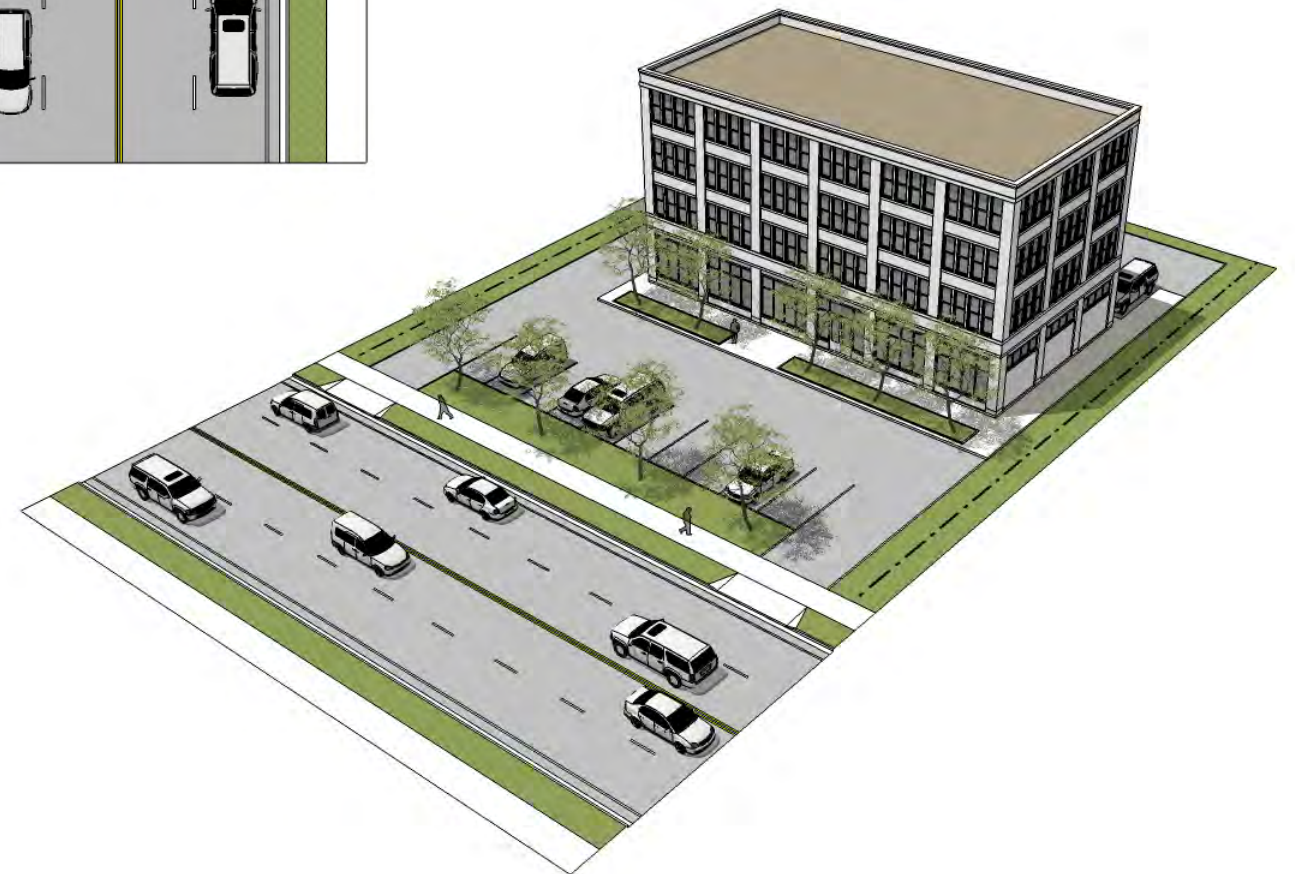
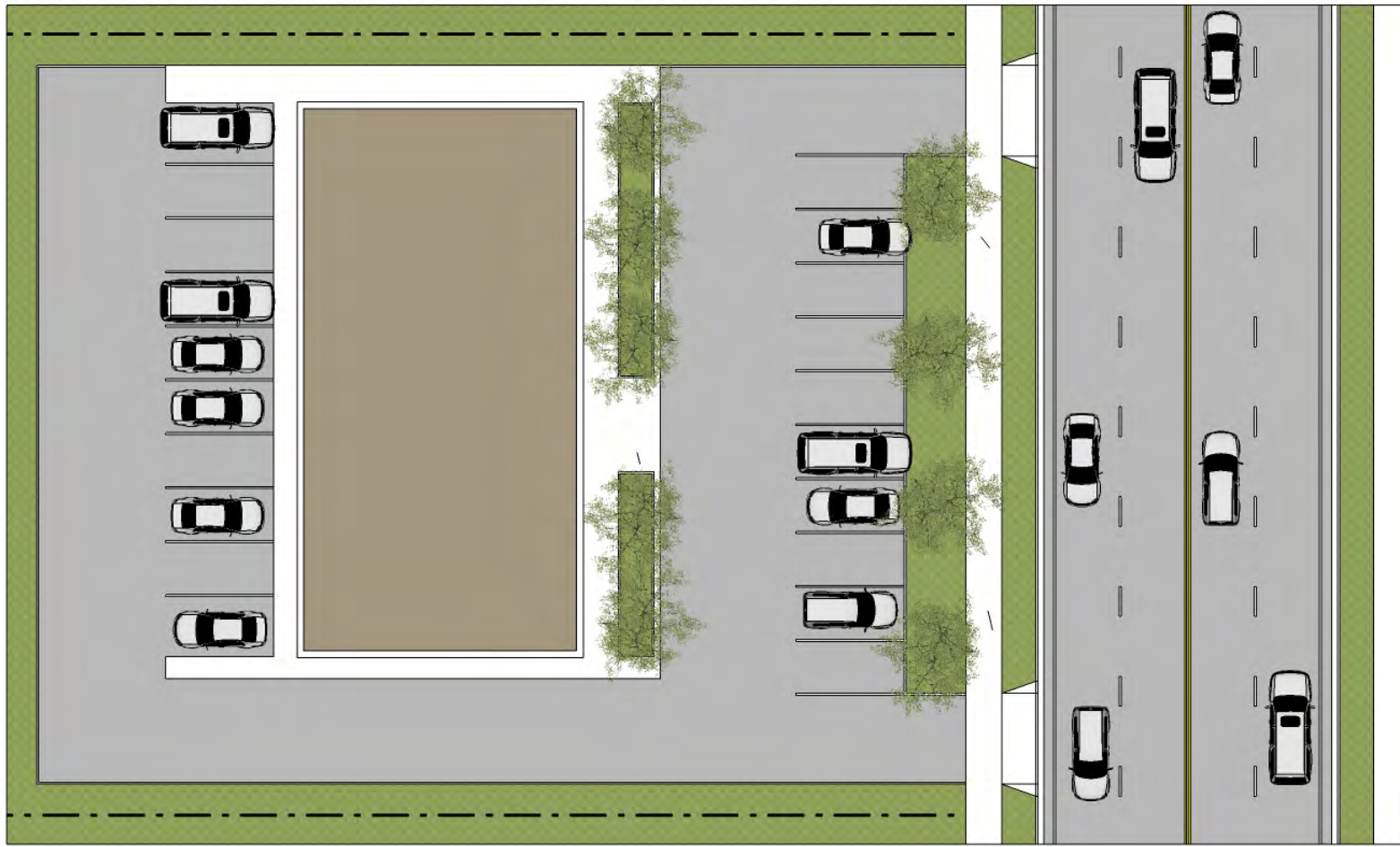
Existing Commercial Frontages - Cervantes St



Commercial Frontages: Suburban



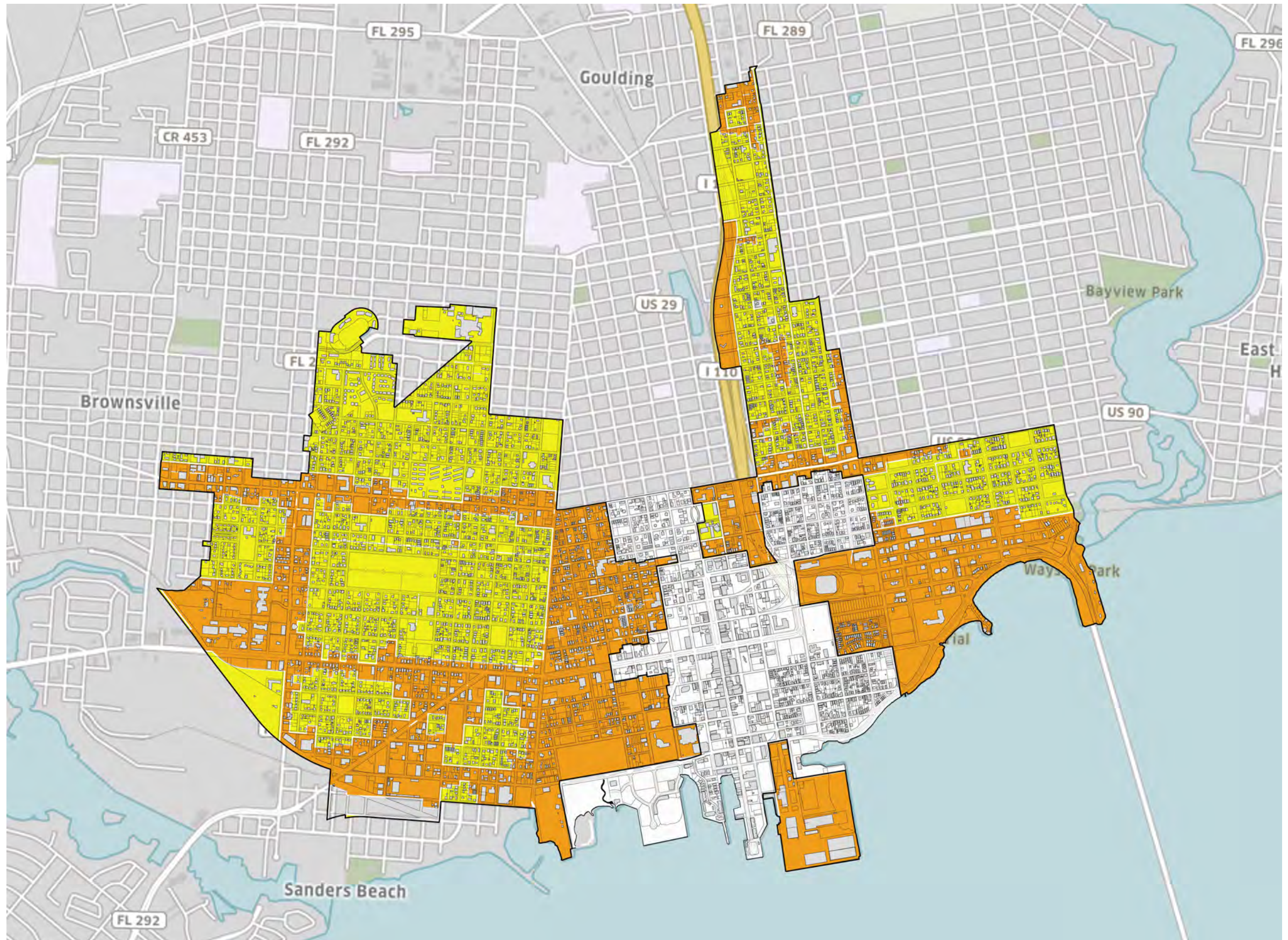
Commercial Frontages: Hybrid Zones



Commercial Frontages: Urban



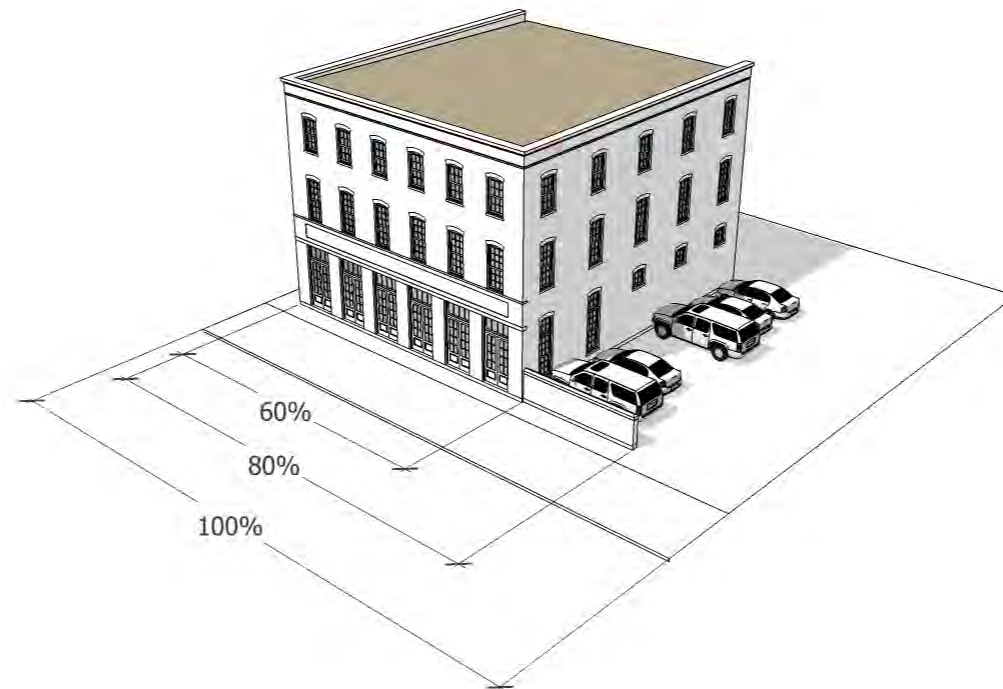
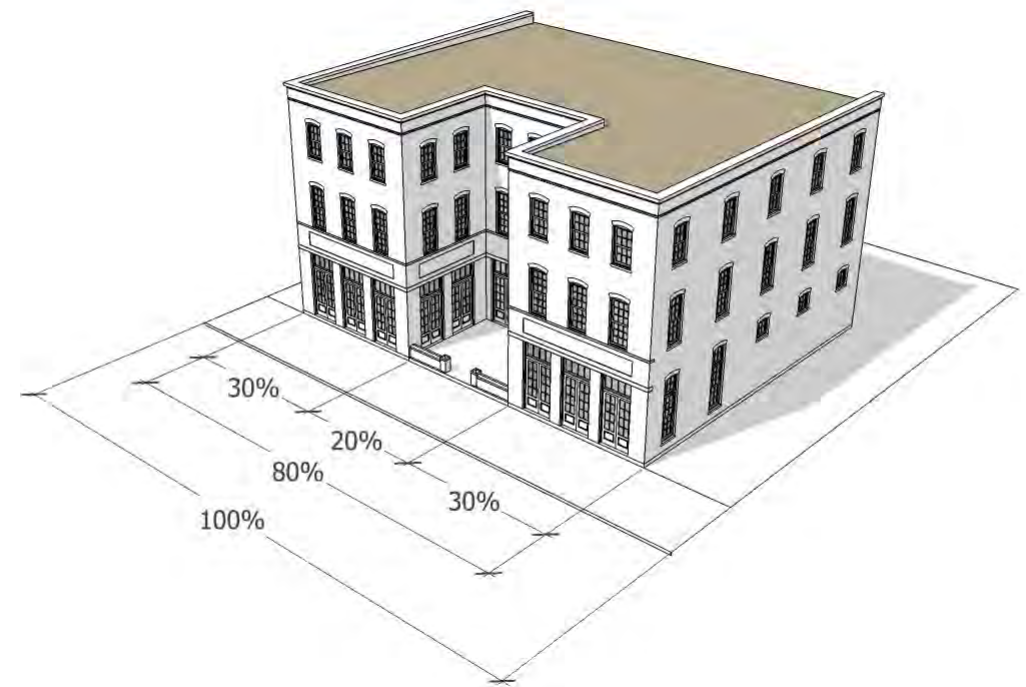
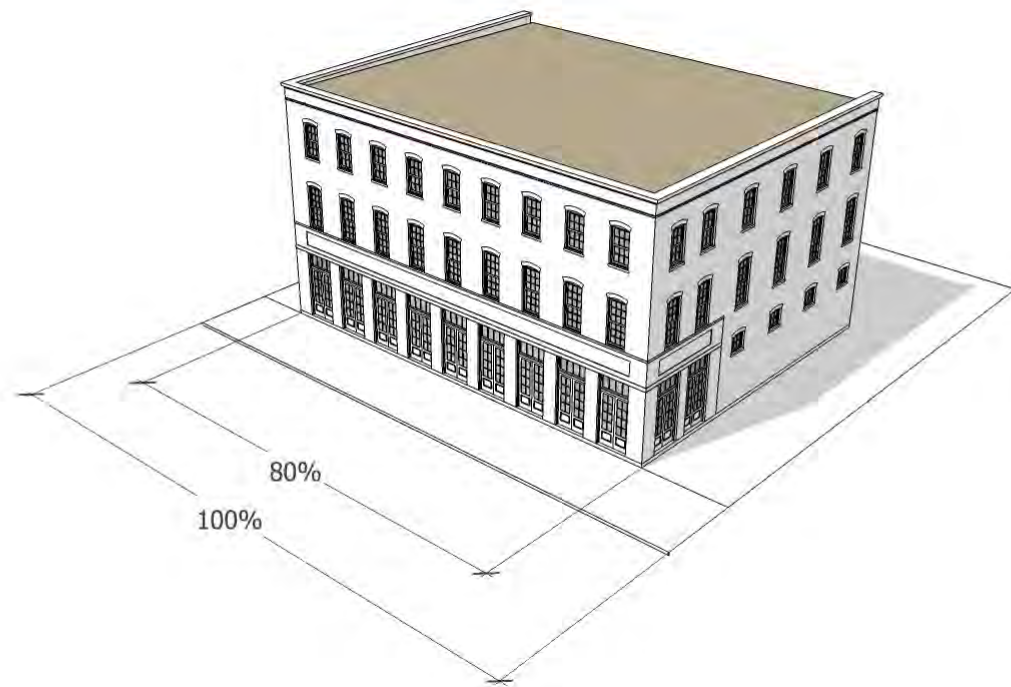
Context Zones & Nodes



Hybrid vs/ Urban Types



Frontage Occupation



C-1

Current form - Step-back



ZONING ALLOWANCES

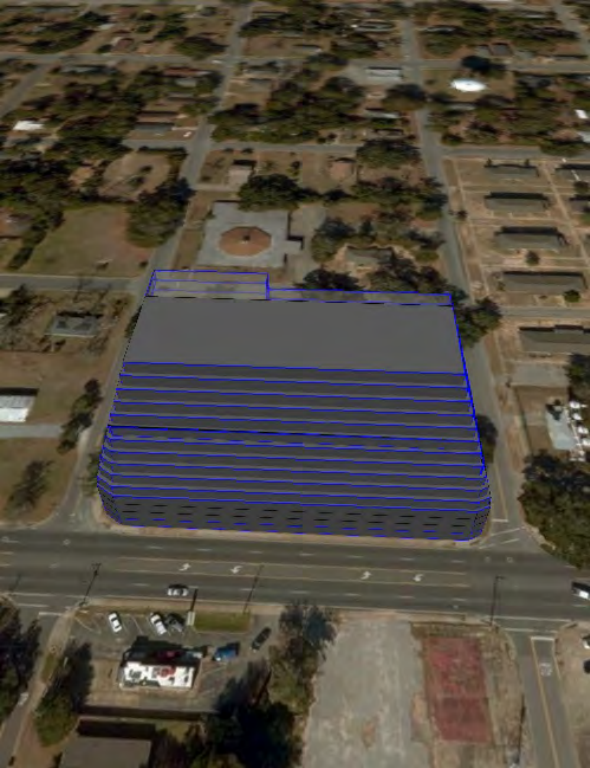
Maximum Lot Capacity

| | | | | |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086 | Lot Area | 44431 sqft | Gridics LLC |
| Address | 1580 W Cervantes St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | C-1 | Miami, FL |

| | |
|---------------------------------------|-------------|
| BUILDING INTENSITY | |
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 35 units |
| Maximum Commercial Area | 404,561 ft² |
| Maximum Office Area | 404,561 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 404,561 ft² |
| Maximum Building Footprint | 33,322 ft² |
| Lot Coverage | 75 % |
| Minimum Open Space | 25 % |

| | |
|---|-----------|
| HEIGHT LIMITATIONS (LEVELS) | |
| Total Building Height | 15 Levels |
| Principal Building Max. Height (Podium) | 15 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | N/A |
| Bonus Allowed Height | N/A |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

| | |
|------------------------------------|-------|
| SETBACKS | |
| Primary Frontage Minimum Setback | 0 ft |
| Secondary Frontage Minimum Setback | 0 ft |
| Side Minimum Setback | 0 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | N/A |



Main Building

Lot

Building Setback limit

Up to 15 Stories

75% Lot Coverage

404,561 ft2 Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086 | Lot Area | 44431 sqft | Gridics LLC |
| Address | 1580 W Cervantes St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | C-1 | Miami, FL |

| | | |
|------------------------------------|------------|-------------|
| TOTAL BUILDING AREA | | 376,685 ft² |
| Total Building Height | 14 Levels | |
| Maximum Building Footprint | 33,322 ft² | |
| Maximum Liner Footprint | 0 ft² | |
| Maximum Tower Footprint | N/A | |
| Maximum Commercial Tower Footprint | N/A | |
| Common Space Area | 35,300 ft² | |
| Lot Coverage | 75 % | |
| FLR | N/A | |

| | | |
|--------------------------------|-----------|------------|
| RESIDENTIAL AREA NET | | 35,000 ft² |
| Residential Units | 35 DU | |
| Residential Units Average Size | 1,000 ft² | |
| Residential Height (Levels) | 3 Levels | |

| | | |
|------------------------|----------|-------------|
| OFFICE AREA NET | | 141,500 ft² |
| Office Height (Levels) | 7 Levels | |

| | | |
|---------------------------------|-------------|-------------|
| PARKING AREA | | 164,885 ft² |
| Total Parking Required | 502 Spaces | |
| Total Shared Parking Required | 502 Spaces | |
| Parking Structure Height | 5 Levels | |
| Total Provided Parking Capacity | 502 Spaces | |
| On-Street Parking Capacity | N/A | |
| Off-Site Parking Capacity | N/A | |
| Parking Structure Capacity | 502 Spaces | |
| Parking Structure Area | 164,885 ft² | |

| | |
|--------------------------|-----|
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | N/A |



Parking

Residential

Office

Lot

Resulting 14 Stories

Structure Parking

176,500 ft2 Net Actual - 43%



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C1 - Urban

Proposed Urban Form



ZONING ALLOWANCES

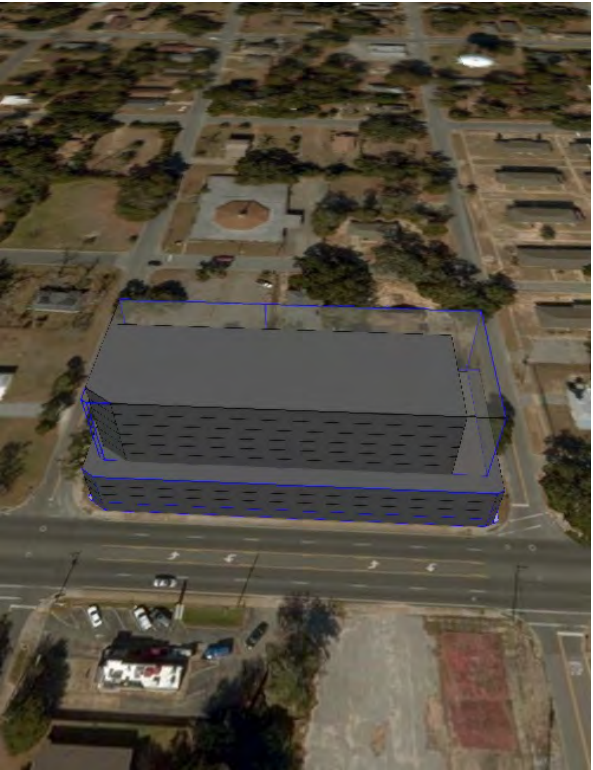
Maximum Lot Capacity

| | | | | |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086 | Lot Area | 44431 sqft | Gridics LLC |
| Address | 1580 W Cervantes St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | C-1 | Miami, FL |

| | |
|---------------------------------------|-------------|
| BUILDING INTENSITY | |
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 35 units |
| Maximum Commercial Area | 261,384 ft² |
| Maximum Office Area | 261,384 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 261,384 ft² |
| Maximum Building Footprint | 35,548 ft² |
| Lot Coverage | 80 % |
| Minimum Open Space | N/A |

| | |
|---|-----------|
| HEIGHT LIMITATIONS (LEVELS) | |
| Total Building Height | 10 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | 6 Levels |
| Bonus Allowed Height | 10 Levels |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

| | |
|------------------------------------|-------|
| SETBACKS | |
| Primary Frontage Minimum Setback | 0 ft |
| Secondary Frontage Minimum Setback | 5 ft |
| Side Minimum Setback | 5 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | 25 ft |



■ Main Building
■ Lot
■ Building Setback limit

Up to 10 Stories - 4 Story Base
80% Lot Coverage
261,384 ft2 Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086 | Lot Area | 44431 sqft | Gridics LLC |
| Address | 1580 W Cervantes St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | C-1 | Miami, FL |

| | |
|------------------------------------|--------------------|
| TOTAL BUILDING AREA | 261,380 ft² |
| Total Building Height | 10 Levels |
| Maximum Building Footprint | 35,548 ft² |
| Maximum Liner Footprint | 12,128 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 27,950 ft² |
| Lot Coverage | 80 % |
| FLR | N/A |

| | |
|--------------------------------|-------------------|
| RESIDENTIAL AREA NET | 33,110 ft² |
| Residential Units | 35 DU |
| Residential Units Average Size | 946 ft² |
| Residential Height (Levels) | 3 Levels |

| | |
|------------------------|-------------------|
| OFFICE AREA NET | 96,535 ft² |
| Office Height (Levels) | 8 Levels |

| | |
|----------------------------|-------------------|
| COMMERCIAL AREA NET | 10,105 ft² |
| Commercial Height (Levels) | 1 Levels |

| | |
|---------------------------------|-------------------|
| PARKING AREA | 93,680 ft² |
| Total Parking Required | 260 Spaces |
| Total Shared Parking Required | 260 Spaces |
| Parking Structure Height | 4 Levels |
| Total Provided Parking Capacity | 278 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | 248 Spaces |
| Parking Structure Area | 93,680 ft² |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 30 Spaces |



■ Commercial
■ Parking
■ Lot
■ Office
■ Residential

Mixed-Use
Structure Parking
167,700 ft2 Net Actual - 64%



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C2 and C3 - Hybrid

Proposed Urban Hybrid Form



ZONING ALLOWANCES

Maximum Lot Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

BUILDING INTENSITY

| | |
|---------------------------------------|------------|
| Dwelling Units per Acre | 35 du/acre |
| Dwelling Units Allowed | 12 units |
| Maximum Commercial Area | 43,081 ft² |
| Maximum Office Area | 43,081 ft² |
| Maximum Commercial Establishment Area | N/A |
| FLR | N/A |
| Maximum Built Area | 43,081 ft² |
| Maximum Building Footprint | 8,282 ft² |
| Lot Coverage | 80 % |
| Minimum Open Space | N/A |

HEIGHT LIMITATIONS (LEVELS)

| | |
|---|----------|
| Total Building Height | 6 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A |
| Principal Tower Allowed Height | 2 Levels |
| Bonus Allowed Height | 6 Levels |
| Maximum Office Height | N/A |
| Maximum Commercial Height | N/A |

SETBACKS

| | |
|------------------------------------|-------|
| Primary Frontage Maximum Setback | 40 ft |
| Secondary Frontage Minimum Setback | 5 ft |
| Side Minimum Setback | 0 ft |
| Rear Minimum Setback | 10 ft |
| Second Layer Dimension | 25 ft |



■ Main Building
■ Lot
■ Building Setback limit

Up to 6 Stories - 4 Story Base
80% Lot Coverage
43,081 ft2 Potential



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CAPACITY ANALYSIS

Maximum Capacity

| | | | | |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073 | Lot Area | 15002 sqft | Gridics LLC |
| Address | 701 N De Villiers St | Zoning Code | City of Pensacola (January 2018) | 169 E Flagler Street |
| City | Pensacola | Parcel Zoning | R-NCB | Miami, FL |

| | |
|------------------------------------|-------------------|
| TOTAL BUILDING AREA | 41,925 ft² |
| Total Building Height | 6 Levels |
| Maximum Building Footprint | 8,282 ft² |
| Maximum Liner Footprint | 4,661 ft² |
| Maximum Tower Footprint | N/A |
| Maximum Commercial Tower Footprint | N/A |
| Common Space Area | 5,177 ft² |
| Lot Coverage | 80 % |
| FLR | N/A |

| | |
|------------------------|-------------------|
| OFFICE AREA NET | 22,000 ft² |
| Office Height (Levels) | 5 Levels |

| | |
|----------------------------|------------------|
| COMMERCIAL AREA NET | 3,885 ft² |
| Commercial Height (Levels) | 1 Levels |

| | |
|---------------------------------|-------------------|
| PARKING AREA | 10,863 ft² |
| Total Parking Required | 56 Spaces |
| Total Shared Parking Required | 56 Spaces |
| Parking Structure Height | 3 Levels |
| Total Provided Parking Capacity | 57 Spaces |
| On-Street Parking Capacity | N/A |
| Off-Site Parking Capacity | N/A |
| Parking Structure Capacity | 33 Spaces |
| Parking Structure Area | 10,863 ft² |
| Underground Parking | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | 24 Spaces |



■ Commercial
■ Office
■ Parking
■ Lot

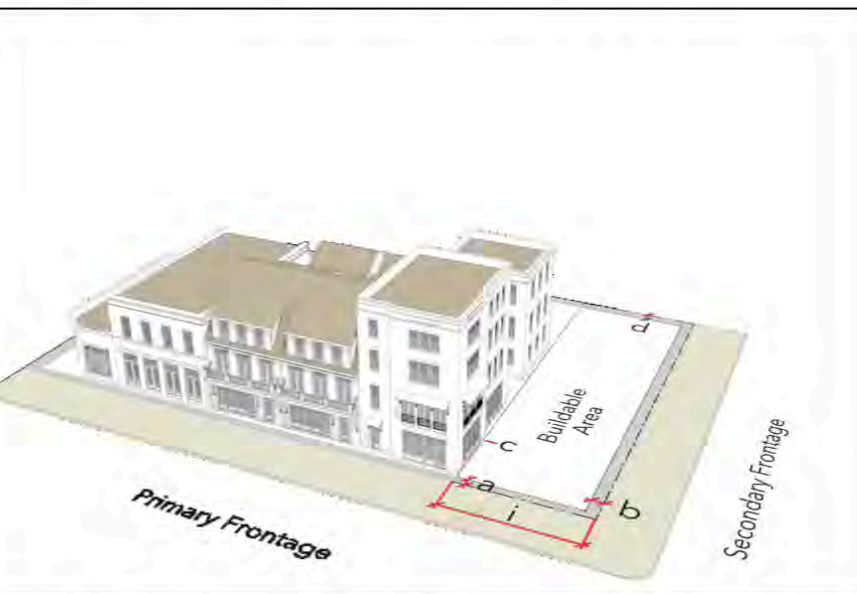
Mixed-Use
Surface / Structure Parking
41,925 ft2 Actual



The contents of the Results herein are believed to be accurate, but are not guaranteed. The Results are indicative of the current land conditions and are intended for reference only. They should not be relied upon for development purposes, and their use does not guarantee governmental approval or permitting for any project. Results are based on basic general calculations that are rounded. Furthermore, although the results are site specific, they are based on general assumptions, such as development distances, heights and areas. They do not take into account variations such as, but not limited to easements, topography, or existing built elements. The Results should be independently verified before being relied upon for any particular site design development.

Proposed Regulations: MF, MU, & Com.

Neighborhood: Commercial / MF Residential (R-NC, R-NCB, C-1)



| Setbacks - Principal Building (feet) | |
|--------------------------------------|------------------|
| Front, Primary | 5 max. / 15 max. |
| Front, Secondary | 5 max. / 15 max. |
| Side | 0 or 5 min. |
| Rear | none |

| Frontage & Lot Occupation (min.) | |
|----------------------------------|-----|
| Primary | 80% |
| Secondary | 50% |

| Lot Occupation | |
|----------------|-----------------|
| Lot Width | 16 ft. min. |
| Lot Coverage | 75% (50% - 75%) |

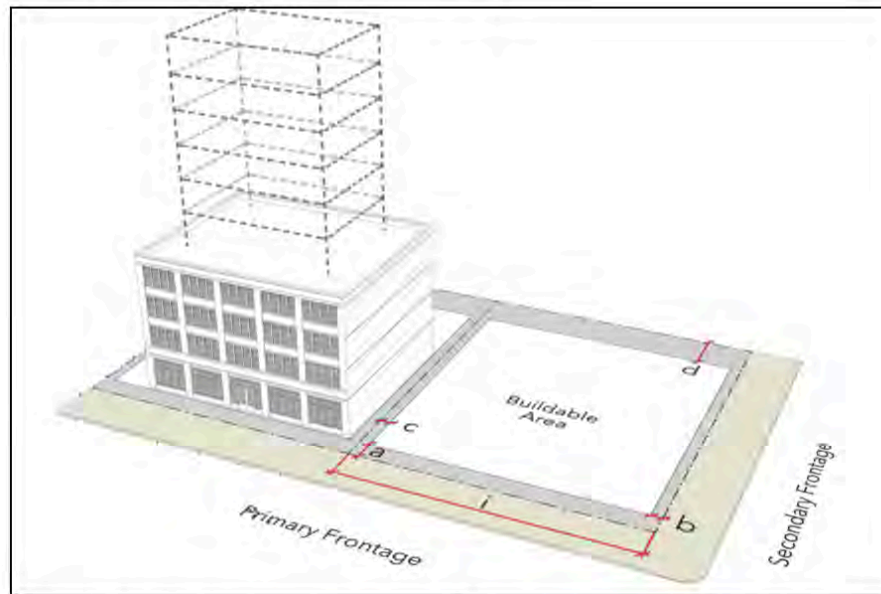
| Building Height (max.) | |
|------------------------|--------------------------|
| Principal Building | 4 stories ⁽²⁾ |
| Accessory Building | N/A |

| Off-street Parking (min.) | |
|---------------------------|------------------------------|
| residential | 1/unit |
| commercial | 3/1000 sq.ft. ⁽³⁾ |

Notes:

First floor elevation must be a minimum nine feet above sea level.
Storefronts less than 1,500 sq.ft. only need to provide 1 space

Core: Commercial / MF Residential (C-2, *C-3)



| Setbacks - Principal Building (feet) | |
|--------------------------------------|------------------|
| a Front, Primary | 5 max. / 15 max. |
| b Front, Secondary | 5 max. / 15 max. |
| c Side | 0 or 5 min. |
| d Rear | none |

| Frontage & Lot Occupation (min.) | |
|----------------------------------|-----|
| Primary | 80% |
| Secondary | 60% |

| Lot Occupation | |
|----------------|-------------|
| i Lot Width | 16 ft. min. |
| Lot Coverage | 100% max. |

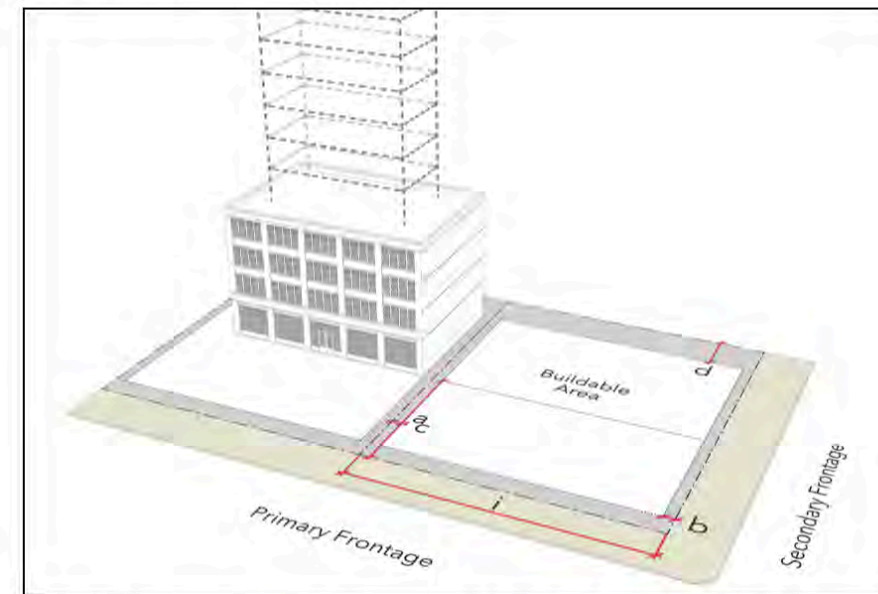
| Building Height (max.) | |
|------------------------|---------------------------|
| Principal Building | 10 stories ⁽²⁾ |
| Accessory Building | N/A |

| Off-street Parking (min.) | |
|---------------------------|-----------------------|
| residential | 1/unit ⁽³⁾ |
| commercial | 3/1000 sq.ft. |

Notes:

⁽²⁾ First floor elevation must be a minimum nine feet above sea level.

Hybrid Commercial (C-3)



| Setbacks - Principal Building (feet) | |
|--------------------------------------|-------------|
| a Front, Primary | 60 max. |
| b Front, Secondary | 40 max. |
| c Side | 0 or 5 min. |
| d Rear | none |

| Frontage & Lot Occupation (min.) | |
|----------------------------------|-----|
| Primary | 60% |
| Secondary | 40% |

| Lot Occupation | |
|----------------|-------------|
| i Lot Width | 16 ft. min. |
| Lot Coverage | 100% max. |

| Building Height (max.) | |
|------------------------|---------------------------|
| Principal Building | 10 stories ⁽²⁾ |
| Accessory Building | N/A |

| Off-street Parking (min.) | |
|---------------------------|---------------|
| residential | 1/unit |
| commercial | 3/1000 sq.ft. |

Notes:

⁽²⁾ First floor elevation must be a minimum nine feet above sea level.

| Setbacks - Accessory Building (feet) | |
|--------------------------------------|-----|
| e Front | N/A |
| f Front, Secondary | N/A |
| g Interior Side | N/A |
| h Rear | N/A |

| Frontage Yard Types | |
|----------------------|---------------|
| Fenced | Not Permitted |
| Shallow | Permitted |
| Urban | Permitted |
| Pedestrian Forecourt | Permitted |
| Vehicular Forecourt | Permitted |

| Facade Types | |
|--------------|---------------|
| Porch | Not Permitted |
| Stoop | Not Permitted |
| Common Entry | Permitted |
| Gallery | Permitted |
| Storefront | Permitted |

| Off-street Parking (min.) | |
|---------------------------|---------------|
| residential | 1/unit |
| commercial | 3/1000 sq.ft. |

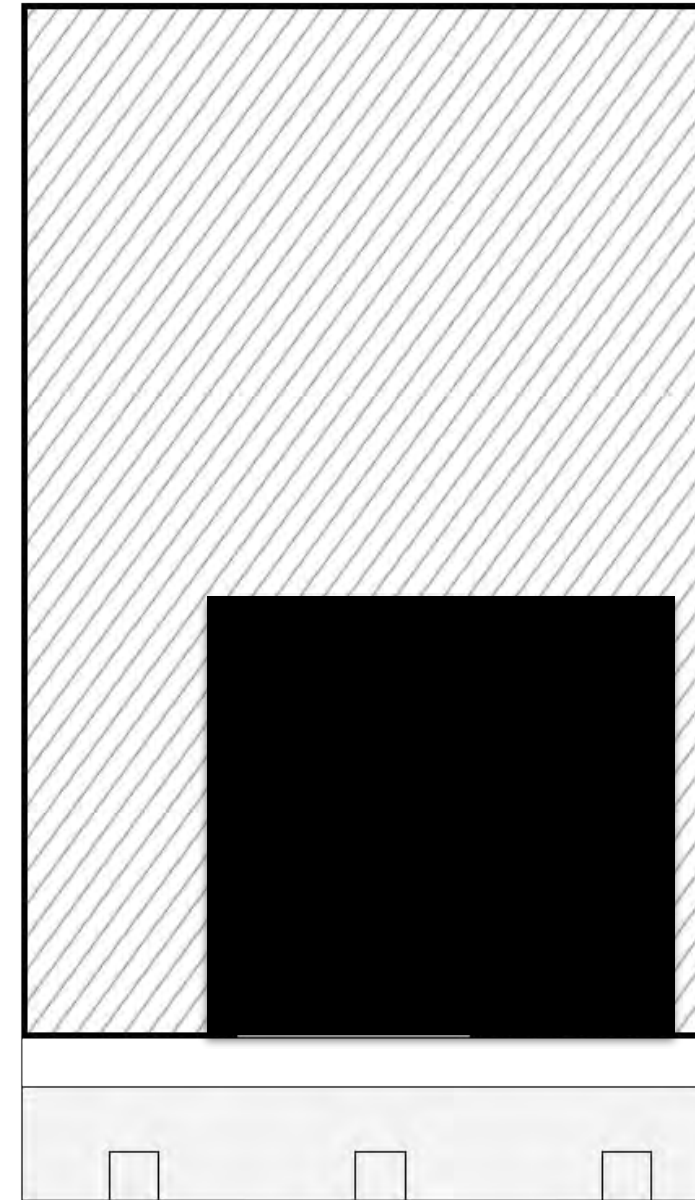
| Off-street Parking (min.) | |
|---------------------------|---------------|
| residential | 1/unit |
| commercial | 3/1000 sq.ft. |

Notes:

⁽²⁾ First floor elevation must be a minimum nine feet above sea level.

Parking Regulations

| Parking General |
|---|
| Commercial |
| Off-street parking shall not extend beyond the principal building face. |
| Commercial uses less than 1,500 square feet are exempt from parking requirements. |



Proposed Regulations: Height for all others

| Height |
|--|
| The height for each zone is regulated according to the Form Standards Table. |
| Height is measured in feet for residential and by stories for commercial. |
| When measured in feet, the measurement is from grade to bottom of the eave. |
| Single-family residential: Minimum first floor height is 10 feet for a 2-story building. Minimum first floor height for a 1-story building is 12 feet. |
| Multi-family residential: Floor height is a minimum 12 feet and a maximum 16 feet. |

4 - 10 Stories



Proposed Regulations: Facade Types

| Porch | |
|--------------|---|
| Entry Grade | Minimum 18 inches above grade |
| Requirements | <ul style="list-style-type: none"> Required at the primary building entrance. Porches must be a minimum 6 feet in depth. Porches and related structures may project into frontage setbacks a maximum 10 feet. Porch openings shall be vertical in proportion. |



| Stoop | |
|--------------|---|
| Entry Grade | Minimum 36 inches and a maximum 48 inches above grade |
| Requirements | <ul style="list-style-type: none"> A stoop is required at building entrances, projecting from the facade. Wood is prohibited for stoop railings. Stoops and related structures may project into frontage setbacks no more than 100%. |



| Common Entry | |
|--------------|--|
| Entry Grade | 20 in. max. from sidewalk grade |
| Requirements | <ul style="list-style-type: none"> A single collective entry to a multi-family lobby is required at the primary building entrance. Canopies and awnings are permitted to project into frontage setbacks up to 100% of their depth. |



| Gallery | |
|--------------|--|
| Entry Grade | At sidewalk grade |
| Requirements | <ul style="list-style-type: none"> Where a gallery occurs, it is required along a minimum of 80% of the frontage. Galleries must be no less than 8 feet in depth with no less than 12 feet of vertical clearance. Awnings are not permitted in galleries. |



| Arcade & Colonnade | |
|--------------------|---|
| Entry Grade | At sidewalk grade |
| Requirements | <ul style="list-style-type: none"> Where an Arcade or Colonnade occurs, it is required along a minimum of 80% of the frontage. Galleries must be no less than 8 feet in depth with no less than 12 feet of vertical clearance. Awnings are not permitted in galleries. |



| Storefront | |
|--------------|--|
| Entry Grade | At sidewalk grade |
| Requirements | <ul style="list-style-type: none"> A storefront is required at the primary entrance of the tenant space. Storefront glazing must meet the minimum ground floor glazing requirements by according to the Glazing Table district |


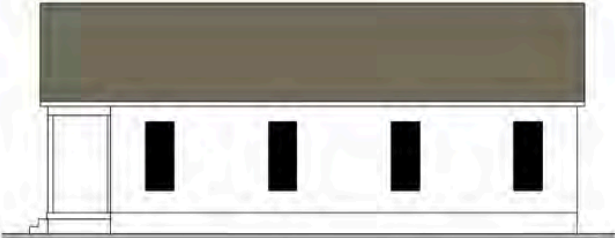




Proposed Regulations: Facade Types

| Porch | |
|--------------|--|
| Entry Grade | Minimum 18 inches above grade |
| Requirements | <ul style="list-style-type: none">• Required at the primary building entrance.• Porches must be a minimum 6 feet in depth.• Porches and related structures may project into frontage setbacks a maximum 10 feet.• Porch openings shall be vertical in proportion. |

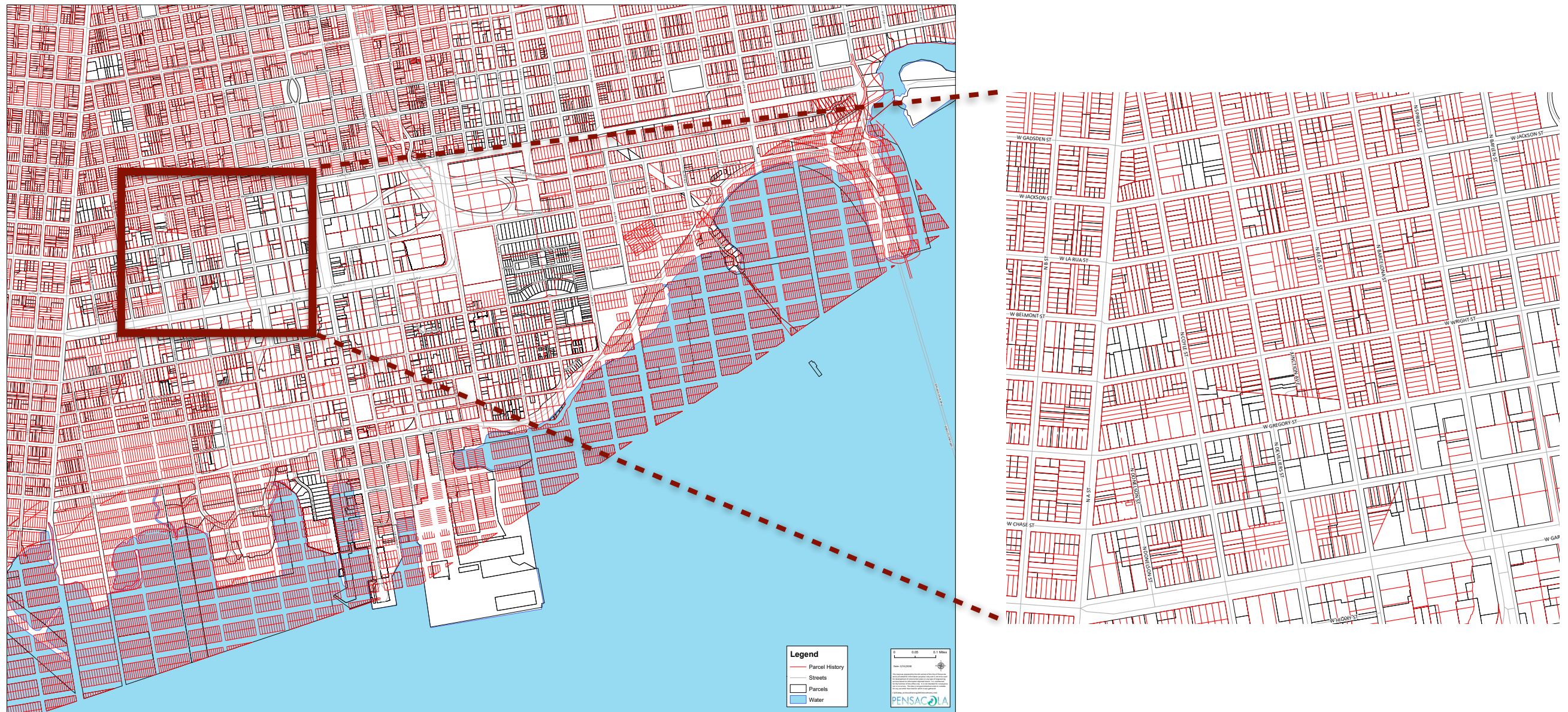


Glazing Regulations

| Glazing Requirements | |
|--|--|
| Single-family Residential | |
| At Grade | Minimum 25% along primary frontages, and 20% along secondary frontages |
| Above Grade | Minimum 20% along primary and secondary frontages |
| <div><div>Primary Frontage</div><div>Secondary Frontage</div></div> | |
| Multi-family & Commercial | |
| At Grade | Minimum 70% along primary frontages, and 50% along secondary frontages |
| Above Grade | Minimum 35% along primary and secondary frontages |
| <div><div>Primary Frontage</div><div>Secondary Frontage</div></div> | |

Open Space

Plat History



- Encouraging small lot redevelopment must remain.
- Sets up inequitable performance standards.
- If new form meets intent and standards of zoning, should be permitted.
- Define threshold for stormwater requirements to be more flexible
- Consider more regional, off-site stormwater facilities, rather than lot-by-lot.

Westside: Open Space Network



Townhouse Court

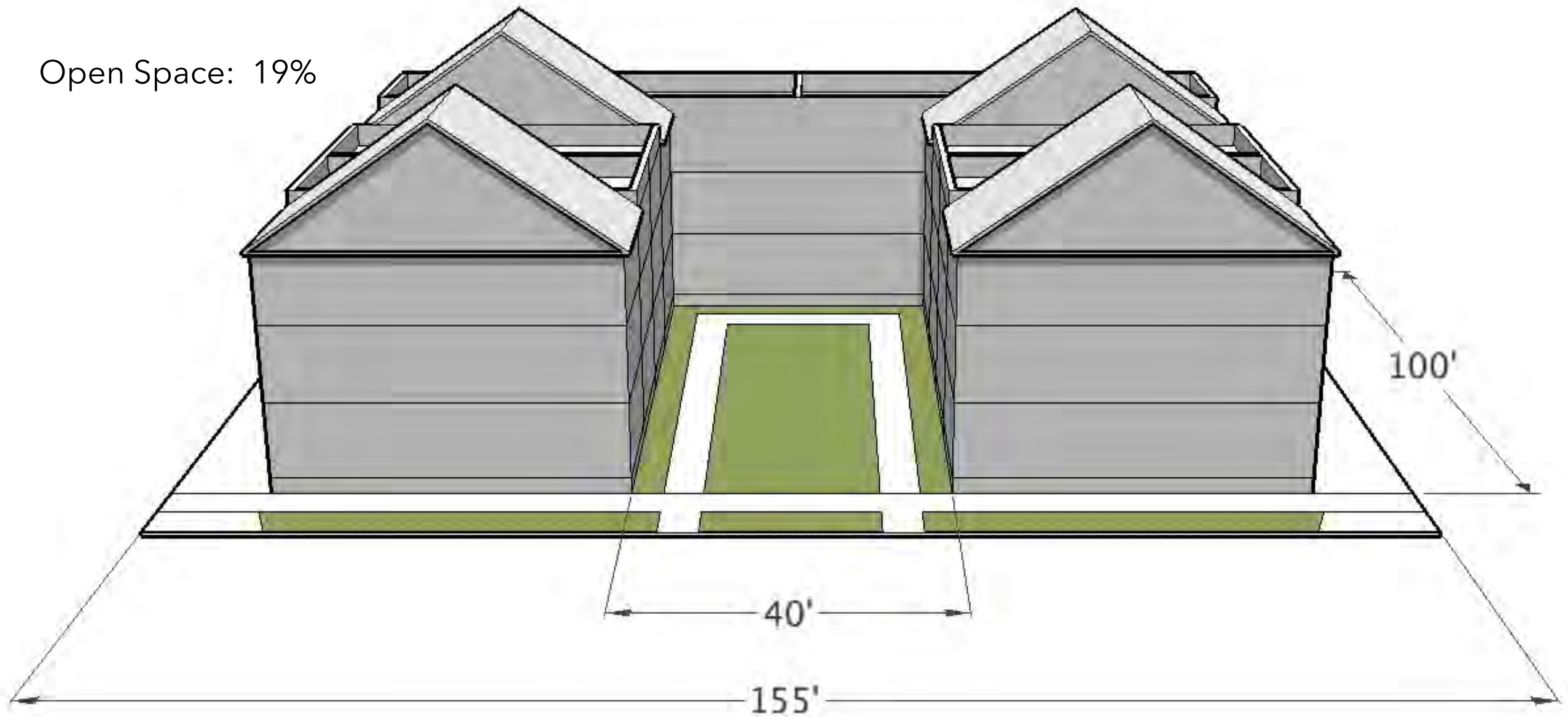


Townhouse Court

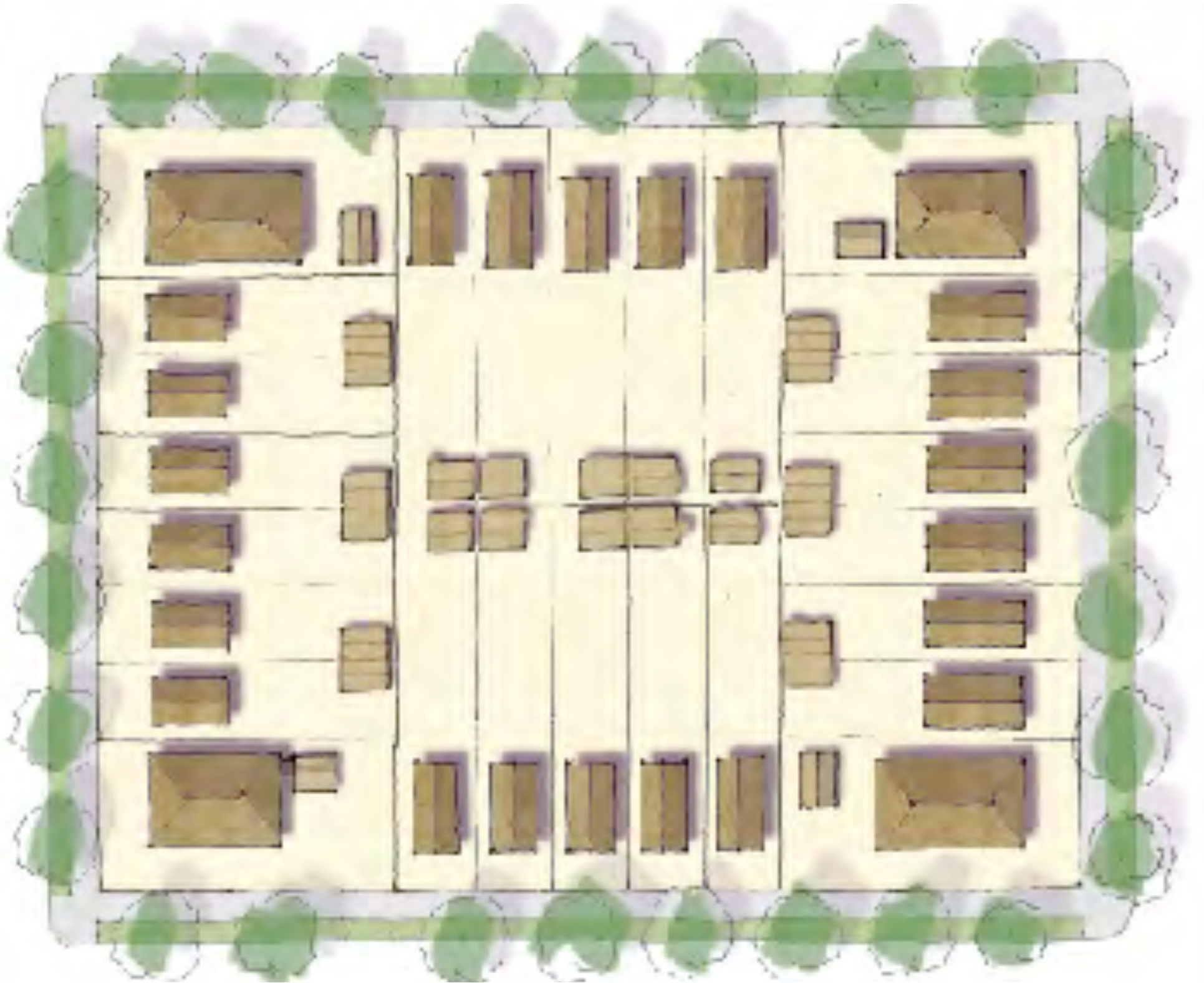
10 Townhouses

.35 acre

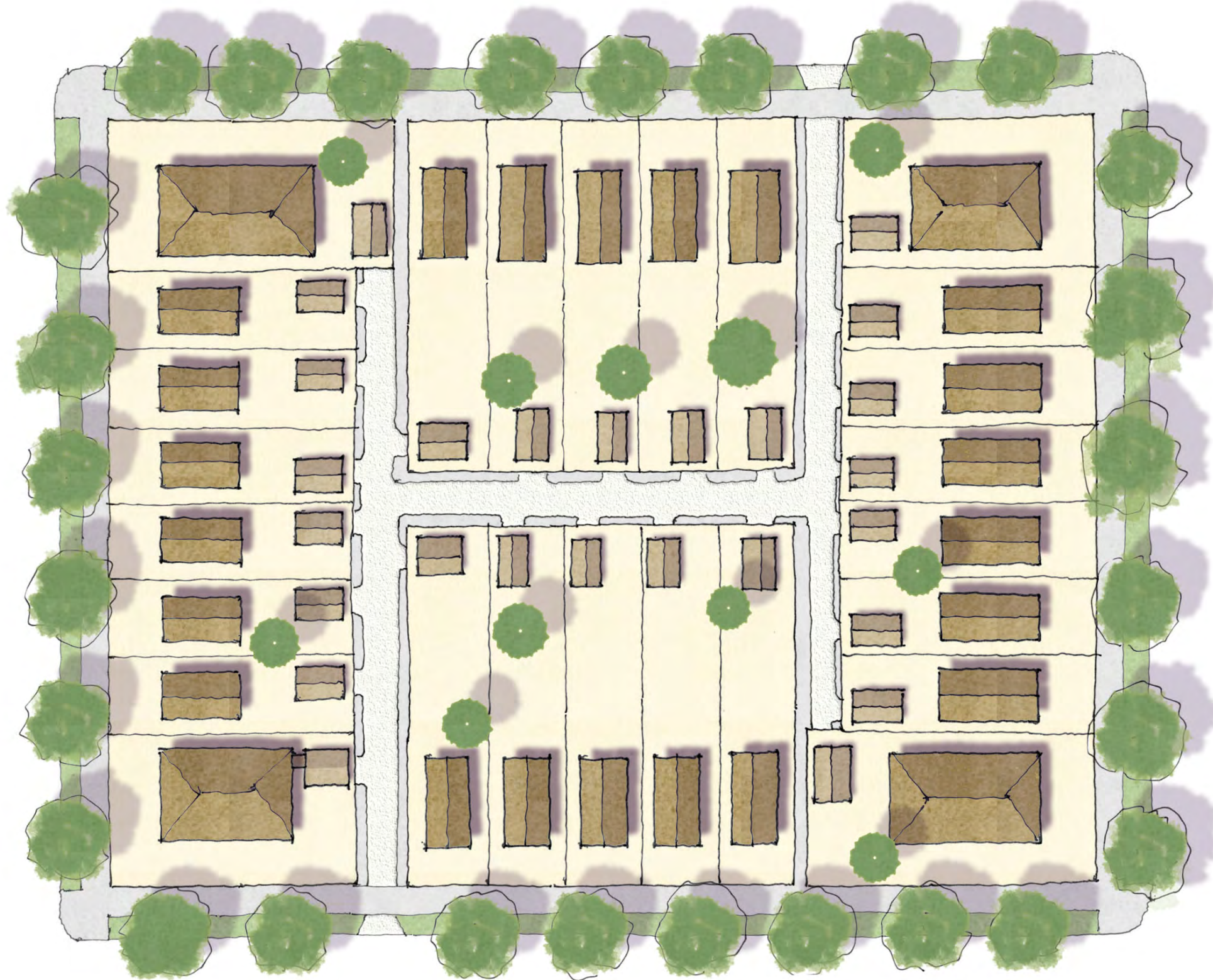
Open Space: 19%



Typical R-1A Block



Typical R-1A Block



Typical R-1A Block w/ Cottage Court



Proposed Regulations: Open Space for Subdivisions

Open Space For Subdivisions

- Developments for four lots, or on 2 acres or more, whichever is greater: 3% of the total land area.
- Development for six lots or greater than 2 acres, whichever is greater: 5% of the total land area.
- Open space shall be provided in addition to the the tree protection landscape requirements established in [section 12-6-4](#). In the event a buffer yard is required between the multifamily development and an adjacent single-family land use or zoning district, the buffer yard land area requirements may be credited toward the recreation/open space land area requirement.
- Open space shall have a minimum of one side along a street frontage and may not be abutted by rear lanes or rear lot lines.
- Open space should be configured in accordance with Table: Open Space Types. (designated as plazas, squares, greens, playgrounds, pocket parks).

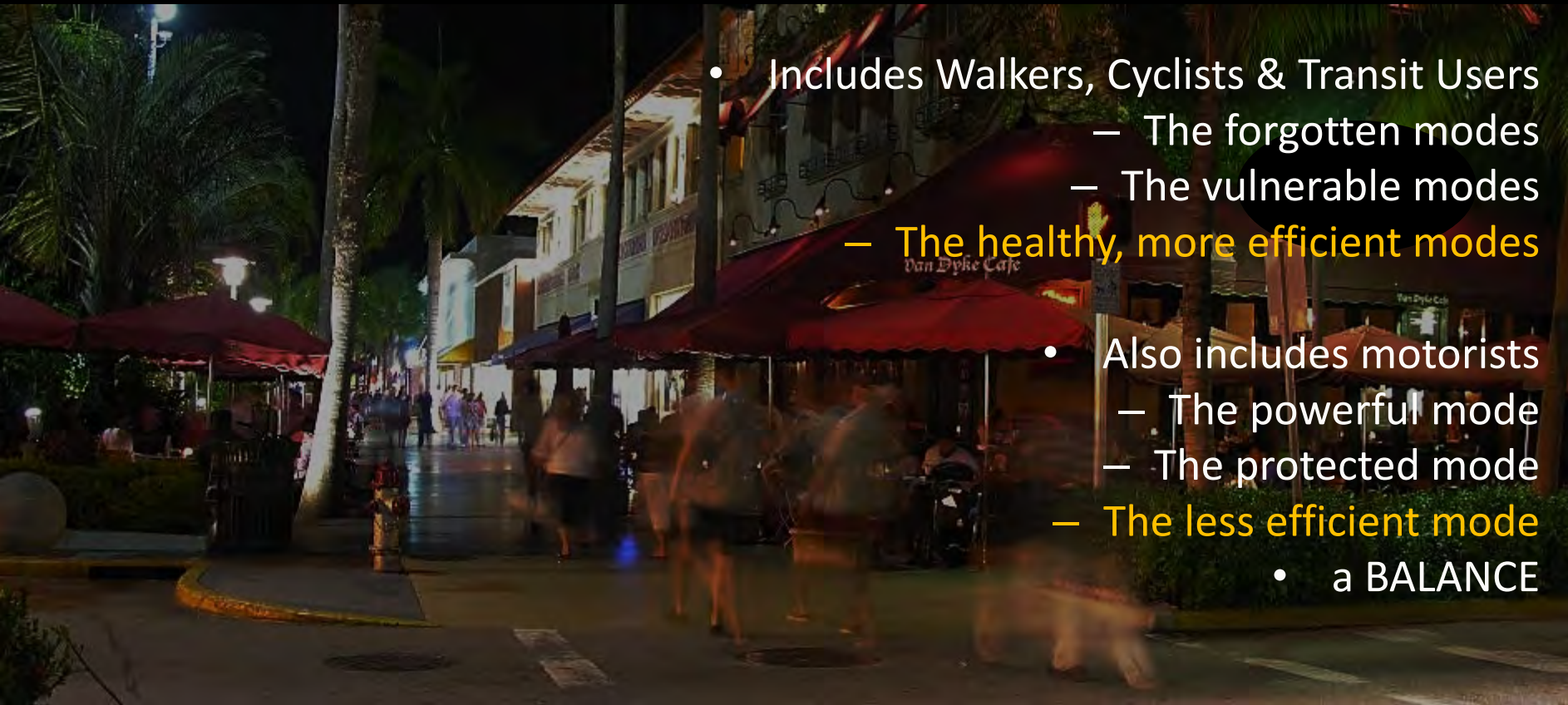
Open Space Design

| Open Space Type | Location and Dimensions | | | | Improvements | | | | |
|--|-------------------------------|-----------------------------------|--------------|---------------------------------|--------------------|-------------------|-----------------------------|-----------------------------|---------------------------------|
| | Zones | T-Fare Frontage | Size | Dimension | Impervious Surface | Building Coverage | Landscape | Seating | Lighting |
|  | A. Park | R-1AA, R-1A | 1 side min. | 1 ac. min. 10 ac. max. | n/a | TBD | 1 canopy tree per 8,000 sf. | 1 seat per 2,000 sf | Required along walkways |
|  | B. Green | R-1AA, R-1A, R-1B, R-2A | 2 sides min. | 0.5 ac. min. 5 ac. max. | 80 ft. min. | 40% max. | 5% max. | 1 canopy tree per 4,000 sf. | 1 seat per 1,500 sf Required |
|  | C. Pocket Park | R-1AA, R-1A, R-1B, R-2A, R-NC's | 1 side min. | 1,000 sf. min. 0.25 ac. max. | 30 ft. min. | 50% max. | 3% max. | 1 canopy tree per 4,000 sf. | 1 seat per 1,000 sf Required |
|  | D. Square | R-1B, R-2A, R-NC's, C-1, C-2, C-3 | 2 sides min. | 0.2 ac. min. 3 ac. max. | 80 ft. min. | 60% max. | 25% max. | 1 canopy tree per 4,000 sf. | 1 seat per 1,000 sf Required |
|  | E. Plaza | R-NC's, C-1, C-2, C-3 | 1 side min. | 0.2 ac. min. 2 ac. max. | 40 ft. min. | 50 - 80% | 15% max. | 1 canopy tree per 6,000 sf. | 1 seat per 1,000 sf Required |
|  | F. Passage (mid-block) | R-1B, R-2A, R-NC's, C-1, C-2, C-3 | n/a | n/a | 12-40 ft. in width | 80% max. | n/a | n/a | n/a Required |

Walkability

Walkability = Safe, attractive, good for Business

- Includes Walkers, Cyclists & Transit Users
 - The forgotten modes
 - The vulnerable modes
 - The healthy, more efficient modes
- Also includes motorists
 - The powerful mode
 - The protected mode
 - The less efficient mode
 - a BALANCE





principle 1. context

LU 1 TR 2

...transportation design
must be subordinate to
urban design in walkable
communities



NEW Standards for Walkability

Recommended Manuals for use in Street Design for the CRA

- FDOT CSI Complete Streets Initiative
 - for State Facilities
- Florida Greenbook - Chapter 19, TND f
 - For Local City streets

Chapter 19, TND

Traditional Neighborhood Design

Specifications
needed for local,
walkable street
design

Florida Department of Transportation



Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways

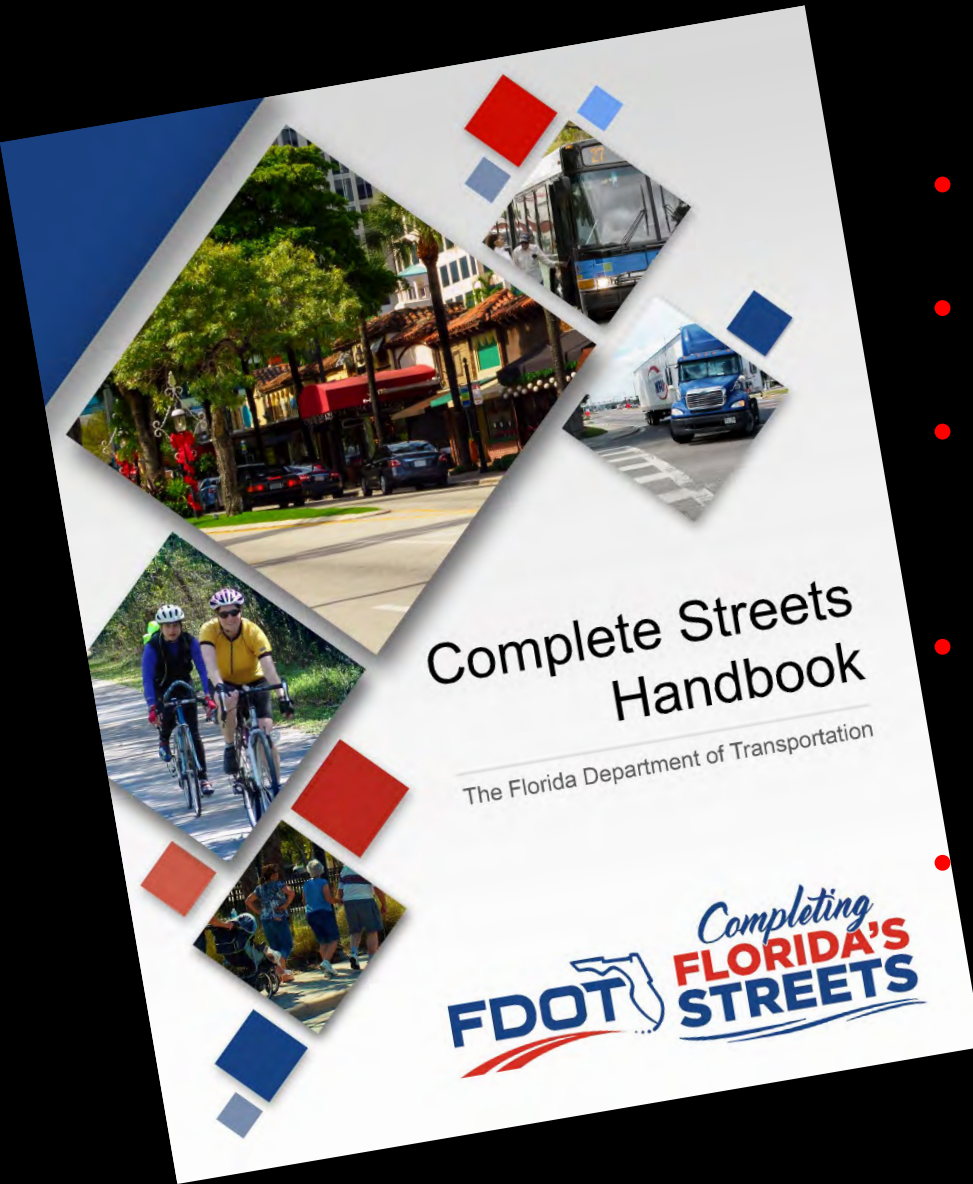
(Commonly known as the "Florida Greenbook")

<http://www.dot.state.fl.us/rddesign/FloridaGreenbook/FGB.shtm>

FDOT Office
Office of Design
Topic # 625-000-015

Date of Publication
2016 Edition

Complete Streets Initiative (CSI) Handbook



- External Draft in April 2017
- Final in June 2017
- Ties in various FDOT standards and procedures
- Explains context-based design criteria and standards
- Provides groundwork for the FDOT Design Manual (FDM)



C3C-Suburban Commercial

Mostly non-residential uses with large building footprints and large parking lots within large blocks and a disconnected or sparse roadway network.

C4-Urban General

Mix of uses set within small blocks with a well-connected roadway network. May extend long distances. The roadway network usually connects to residential neighborhoods immediately along the corridor or behind the uses fronting the roadway.

C5-Urban Center

Mix of uses set within small blocks with a well-connected roadway network. Typically concentrated around a few blocks and identified as part of a civic or economic center of a community, town, or city.





























































C6-Urban Core

Areas with the highest densities and building heights, and within FDOT classified Large Urbanized Areas (population >1,000,000). Many are regional centers and destinations. Buildings have mixed uses, are built up to the roadway, and are within a well-connected roadway network.

Context Classification System



C1 C2 C2T C3R C3C C4 C5 C6

| Context Roadway | Rural | Rural Town | Suburban | Urban | Urban Core |
|--------------------|---|---|---|---|---|
| | | | | | |
| Principal Arterial |    |    |    |    |    |
| Minor Arterial |    |    |    |    |    |
| Collector |    |    |    |    |    |
| Local |    |    |    |    |    |

Legend










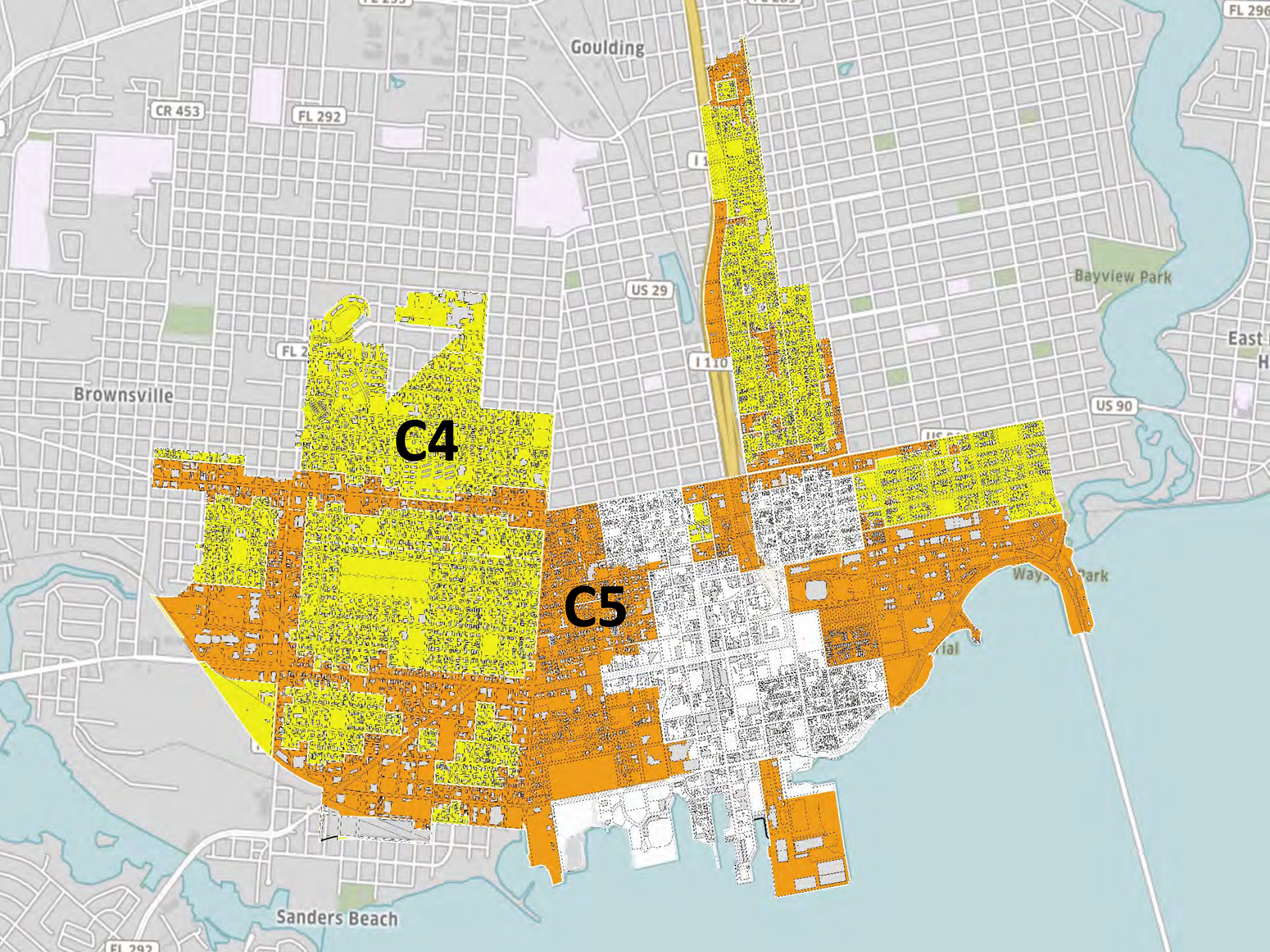
| | | |
|---|--|--|
|  Low |  Medium |  High |
|  Low |  Medium |  High |
|  Low |  Medium |  High |

Figure 2 Expanded FCS conceptual typical user priority





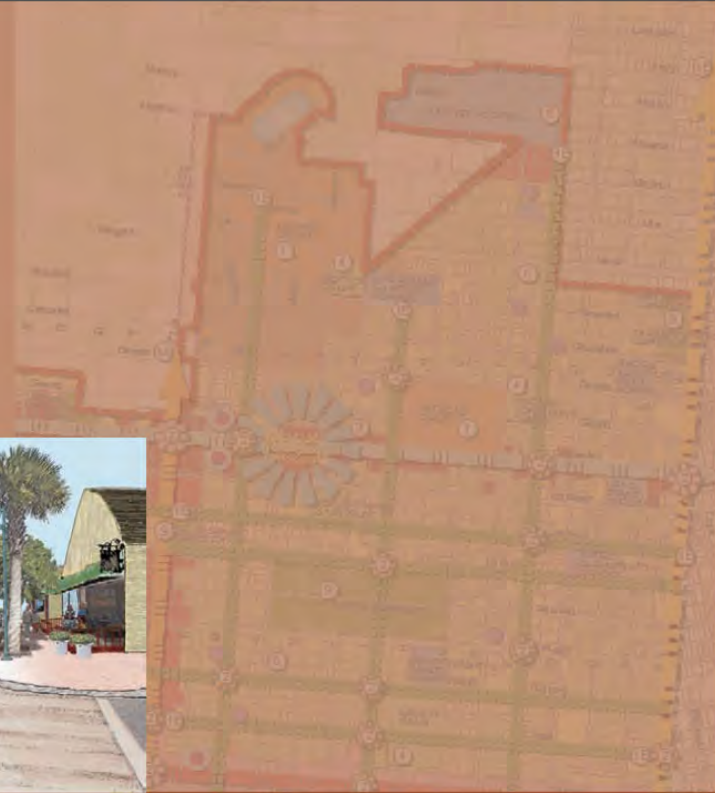
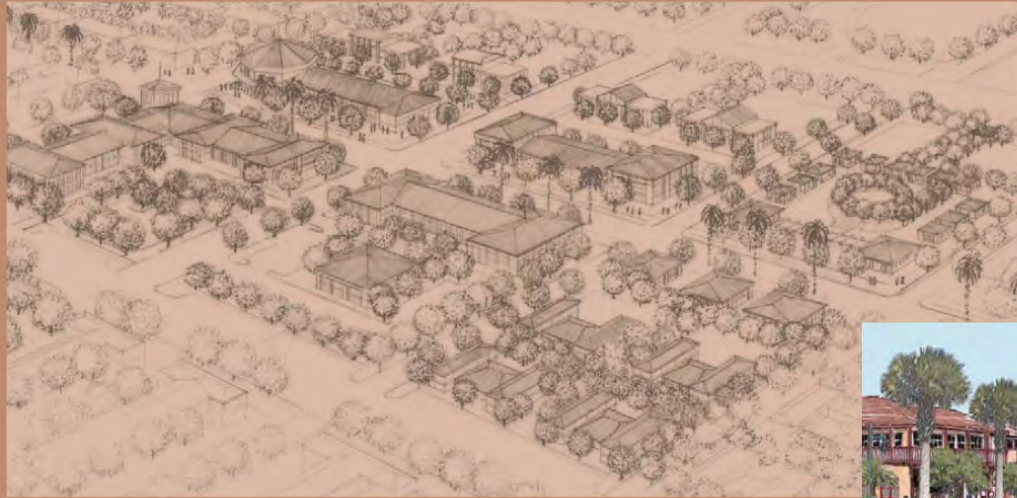
Context Classification - C5 Urban Center



Context Classification - C3 Suburban Commercial

Cervantes -

- Vision is of redevelopment.
- Atkins Corridor Study stated
 - Alternative a. 4 Lanes
 - Alternative b. 2 lanes.
- Atkins suggested Village nodes with Transition areas between
- FDOT Context Classifications are
 - C4 Urban General in Residential
 - C5 Urban Center on the Corridors.
- Traffic is OK at two lanes. Thus commuting traffic is OK.



westside community redevelopment area plan

Prepared for the City of Pensacola, Florida

April 2007

Prepared by:



Commercial Corridor: Pace Boulevard

Pace Boulevard serves the Westside Redevelopment Area as the major north-south commercial corridor marked with sub-standard parcel sizes. While this area consists of long-standing businesses that provide an economic base for the City as well as the Westside Redevelopment Area, the current conditions indicate a deteriorated physical environment and haphazard commercial growth. The western edge of the corridor, north of Cervantes Street, spans multiple jurisdictions warranting an increased level of coordination and planning to create a coherent identity for future investment. South of Garden Street, the west edge of Pace Boulevard, consists of a large tract of vacant land, owned by the Alabama and Gulf Coast Railroad, which when redeveloped could potentially be subdivided to accommodate a diverse range of commercial establishments (office/destination retail/ services) in the future.

The intent of the redevelopment plan is to sustain the long term viability of the existing businesses while buffering views of the harsh physical conditions of the properties. This can be accomplished through TIF sponsored clean-up activities, landscaping, code-enforcement and development regulations for future commercial uses.

Objective:

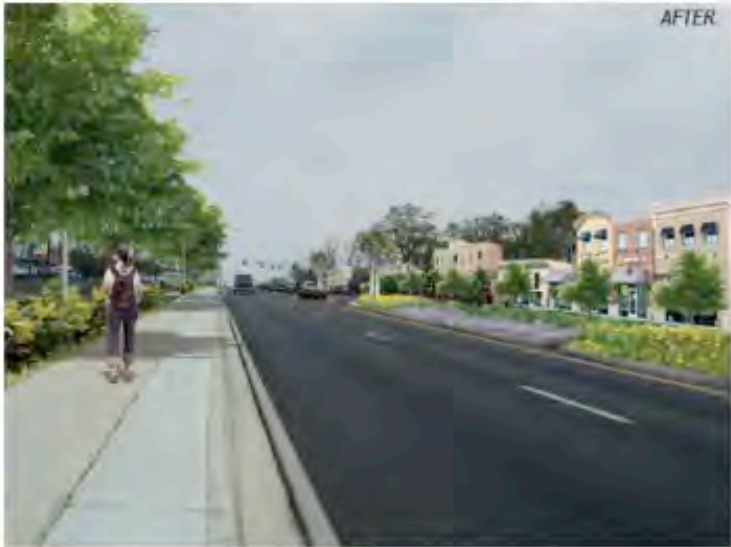
Integrate existing commercial development into the functional and aesthetic framework of the redevelopment vision retaining the economic benefits of these uses, while improving their visual impact. Establish an identity for the corridor and encourage private sector investment that addresses the needs of the neighborhood.

ACTION STRATEGIES

- Initiate physical improvements to enhance the overall visual appearance of the commercial corridor such as redesigning and improving the corridor's existing right-of-way conditions. This includes constructing elements such as a center median, carriage way, sidewalks, landscaping, lighting and shared access to adjacent uses.
- Concentrate and consolidate existing commercial uses to prepare for any new development and utilize the services of a realtor and/or the City's land management team to assemble and acquire land for the development of large sized marketable retail sites.
- Identify priority sites for developing large scale neighborhood retail center such as a supermarket, a grocery store and complementing retail that addresses the needs of the residents.
- Initiate discussions to pursue joint improvement projects with the Escambia County Community Redevelopment Agency, to create a unified streetscape character for the corridor (along sections of the corridor in the Brownsville Neighborhood and properties located on Pace Boulevard north of Cervantes Street)
- Provide business owners and developers with incentives such as tax breaks to upgrade existing retail services and to maintain control of the character of infill development.
- Identify and partner with key business owners that support the redevelopment efforts along the corridor. Encourage adaptive re-use of underutilized and obsolete commercial uses, where possible.
- Adopt design standards to ensure visual integration and a sense of identity for the entire corridor.



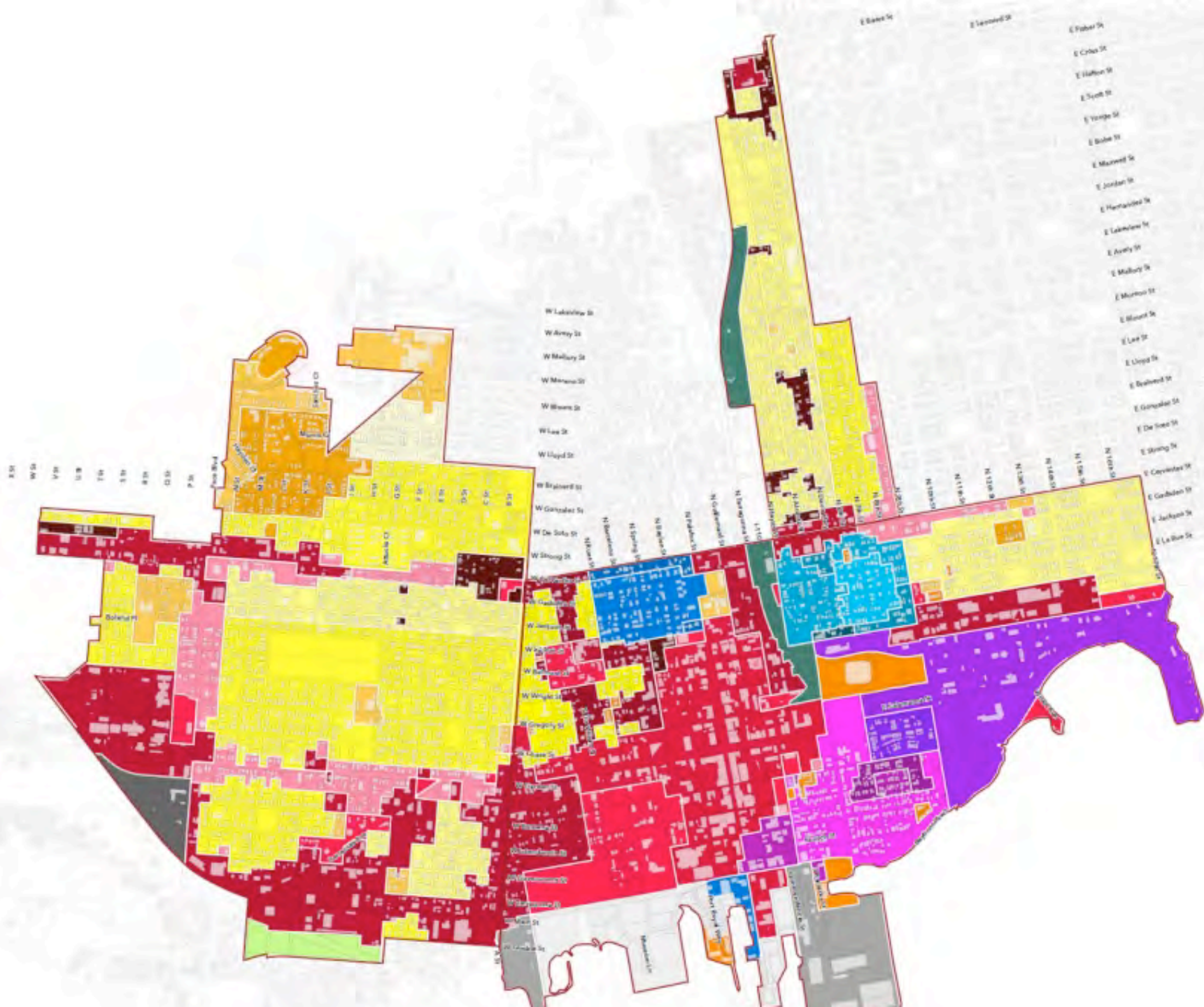
Existing Conditions: Pace Boulevard



AFTER

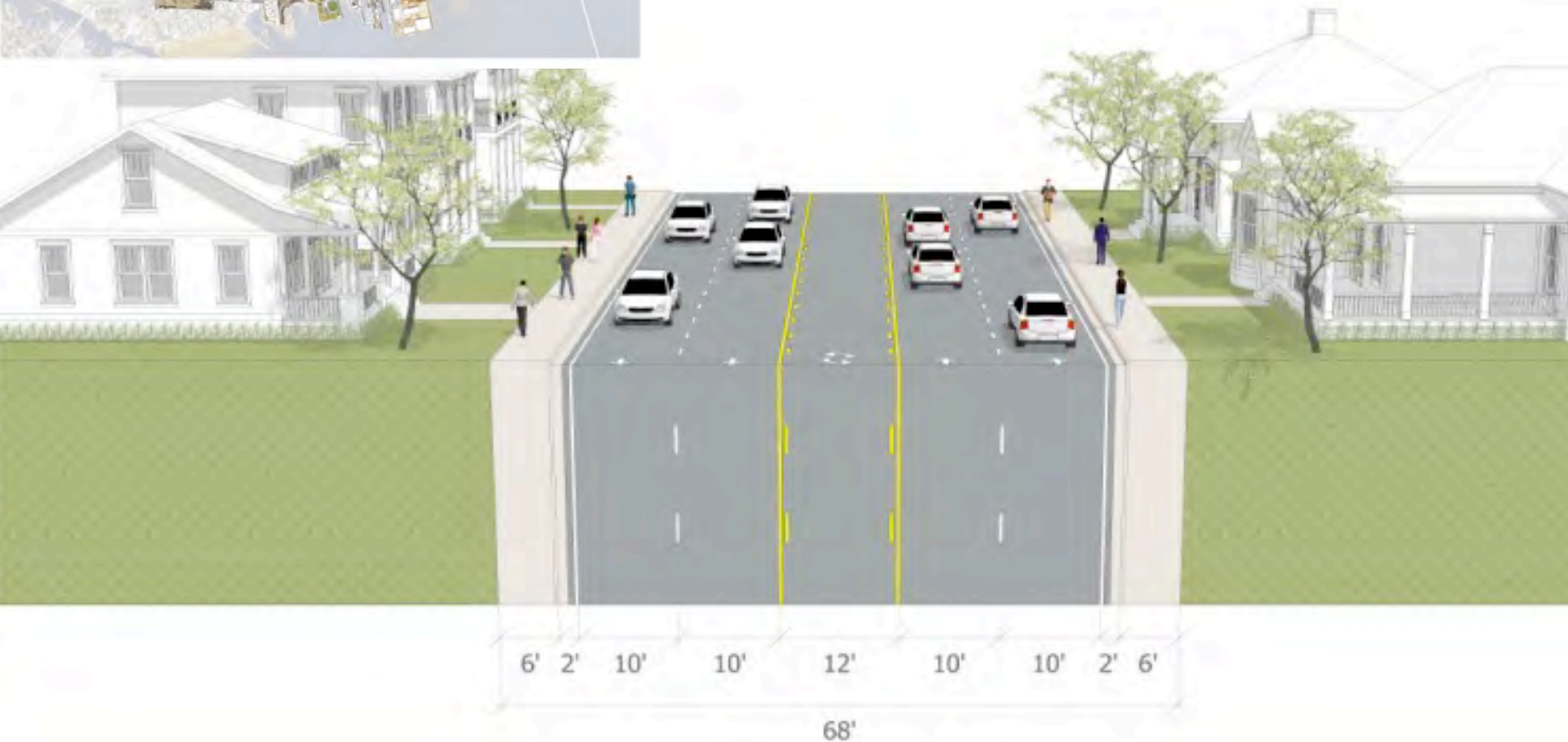


Typical Streetscape Section: Pace Boulevard





West Cervantes Street



Atkins Corridor Study

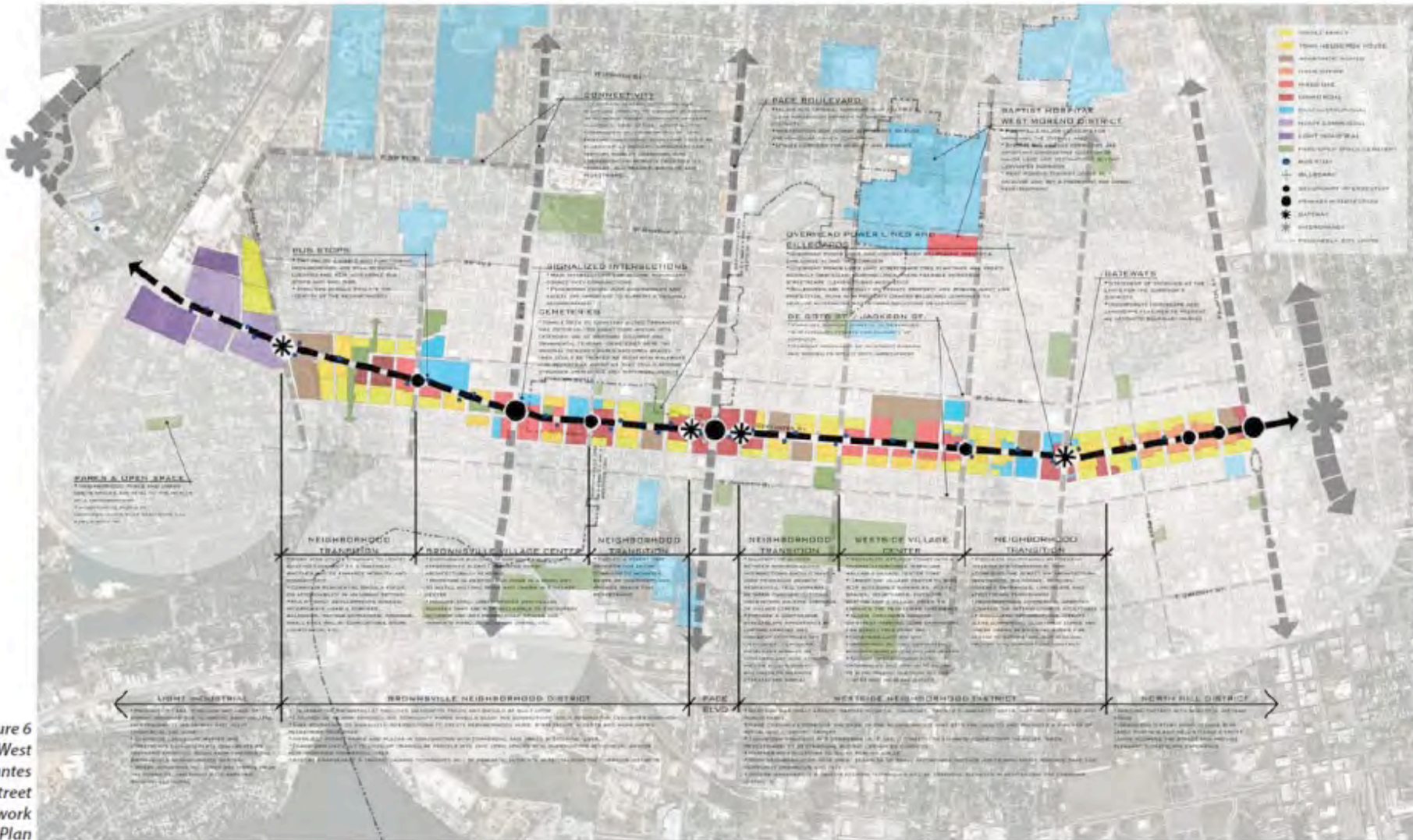
- Alternative a. 4 Lanes
- Alternative b. 2 lanes.



Prepared for:
Florida-Alabama
TPO
Transportation Planning Organization

West Florida
**Regional
Planning
Council**

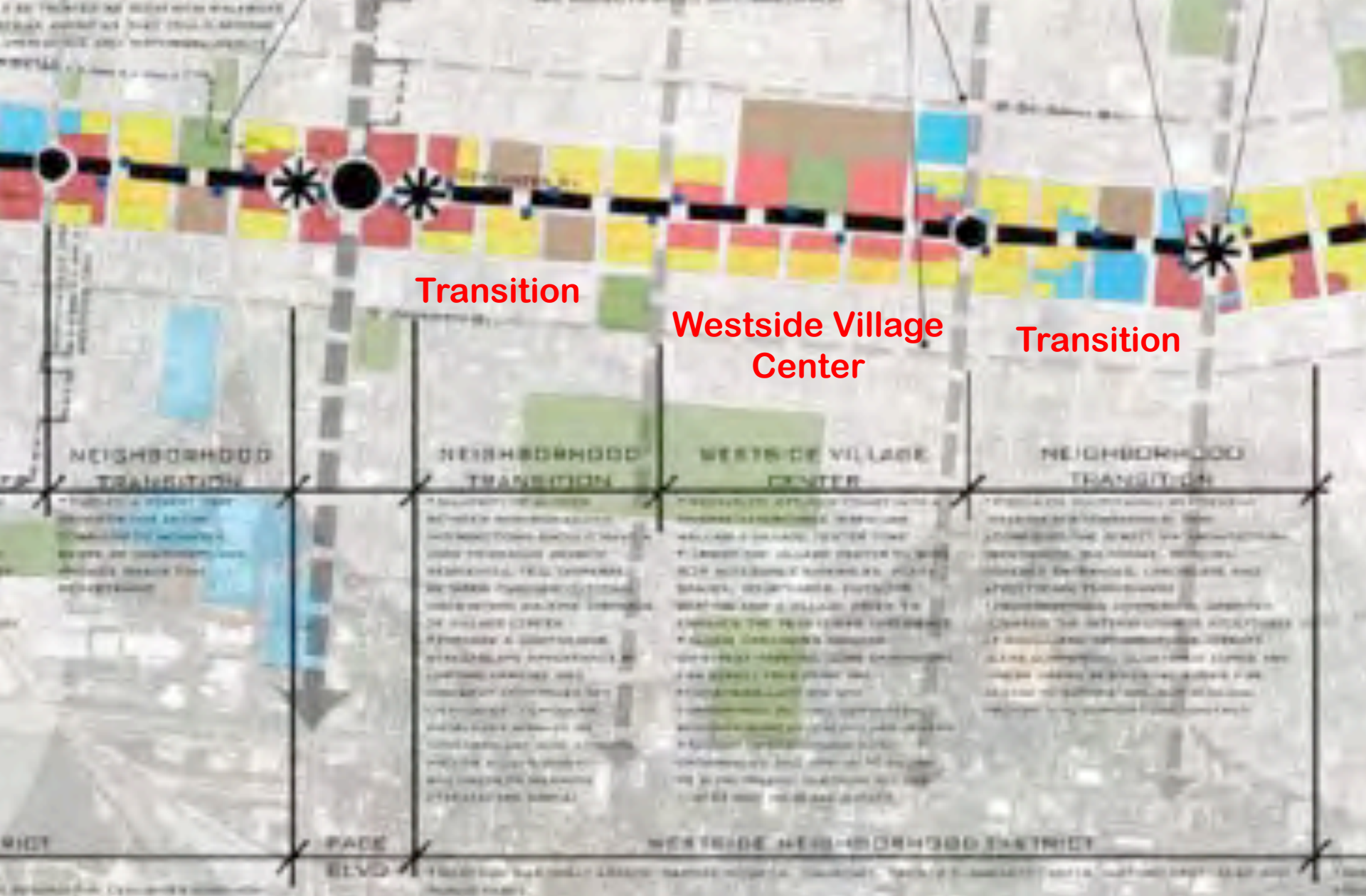
Prepared by:
ATKINS
December 2016



W. Cervantes Framework Plan Analysis



W Cervantes Framework Plan details



W Cervantes Framework Plan details

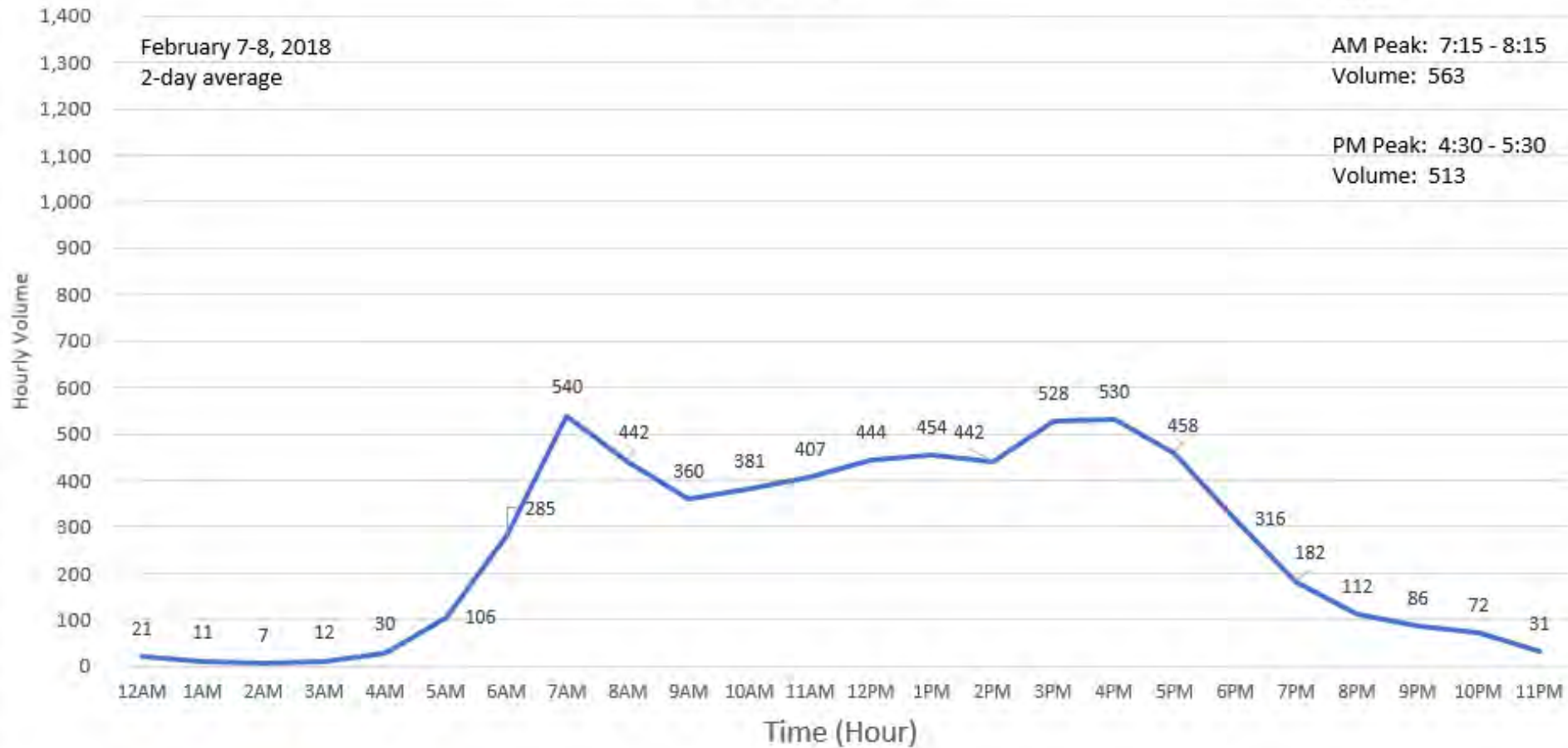
Hourly Vehicle Traffic Profile
W. Main between B Street & C Street
Eastbound

Daily Volume (unadj.)
6,252

AM Peak: 7:15 - 8:15
Volume: 563

PM Peak: 4:30 - 5:30
Volume: 513

February 7-8, 2018
2-day average



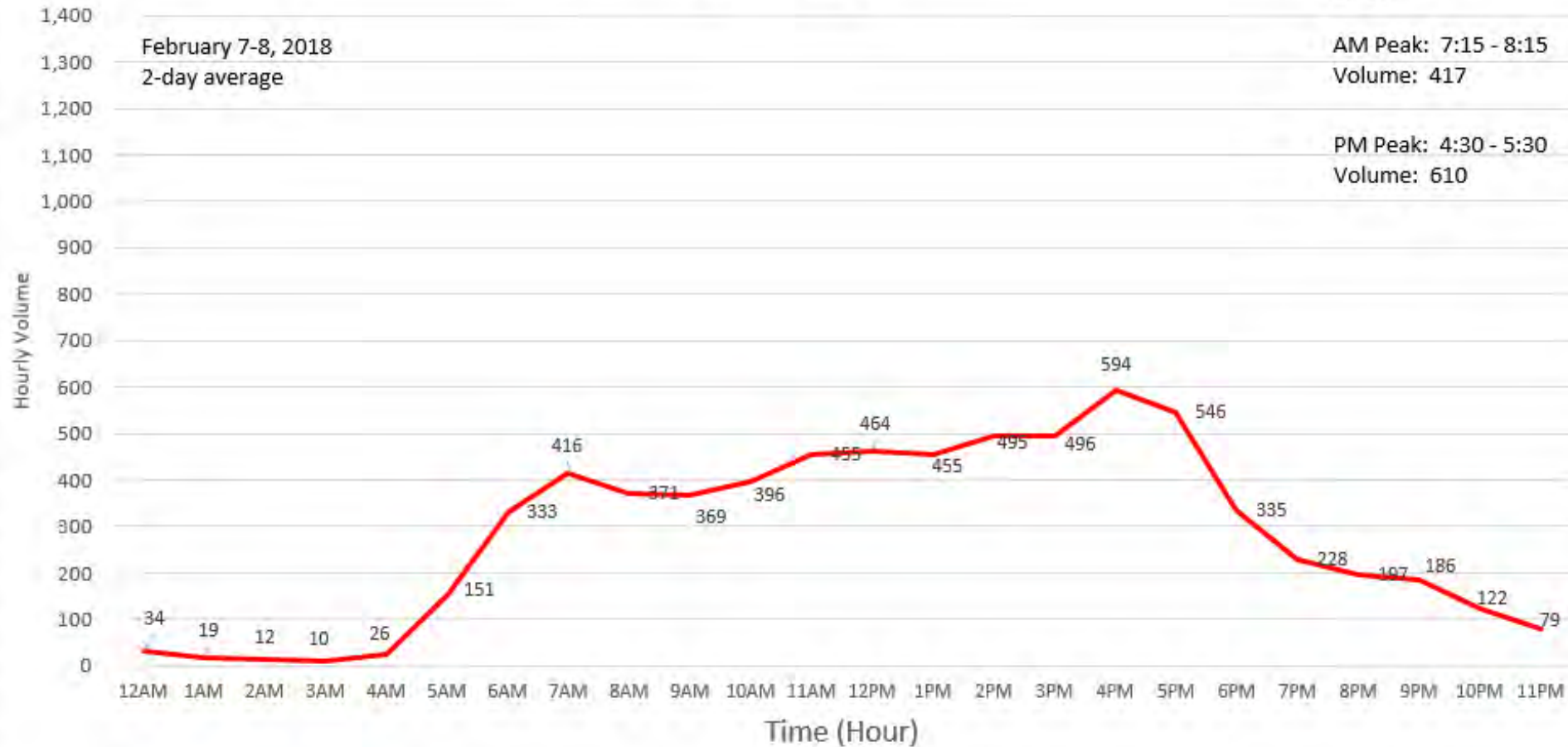
Hourly Vehicle Traffic Profile W. Main between B Street & C Street Westbound

Daily Volume (unadj.)
6,783

February 7-8, 2018
2-day average

AM Peak: 7:15 - 8:15
Volume: 417

PM Peak: 4:30 - 5:30
Volume: 610



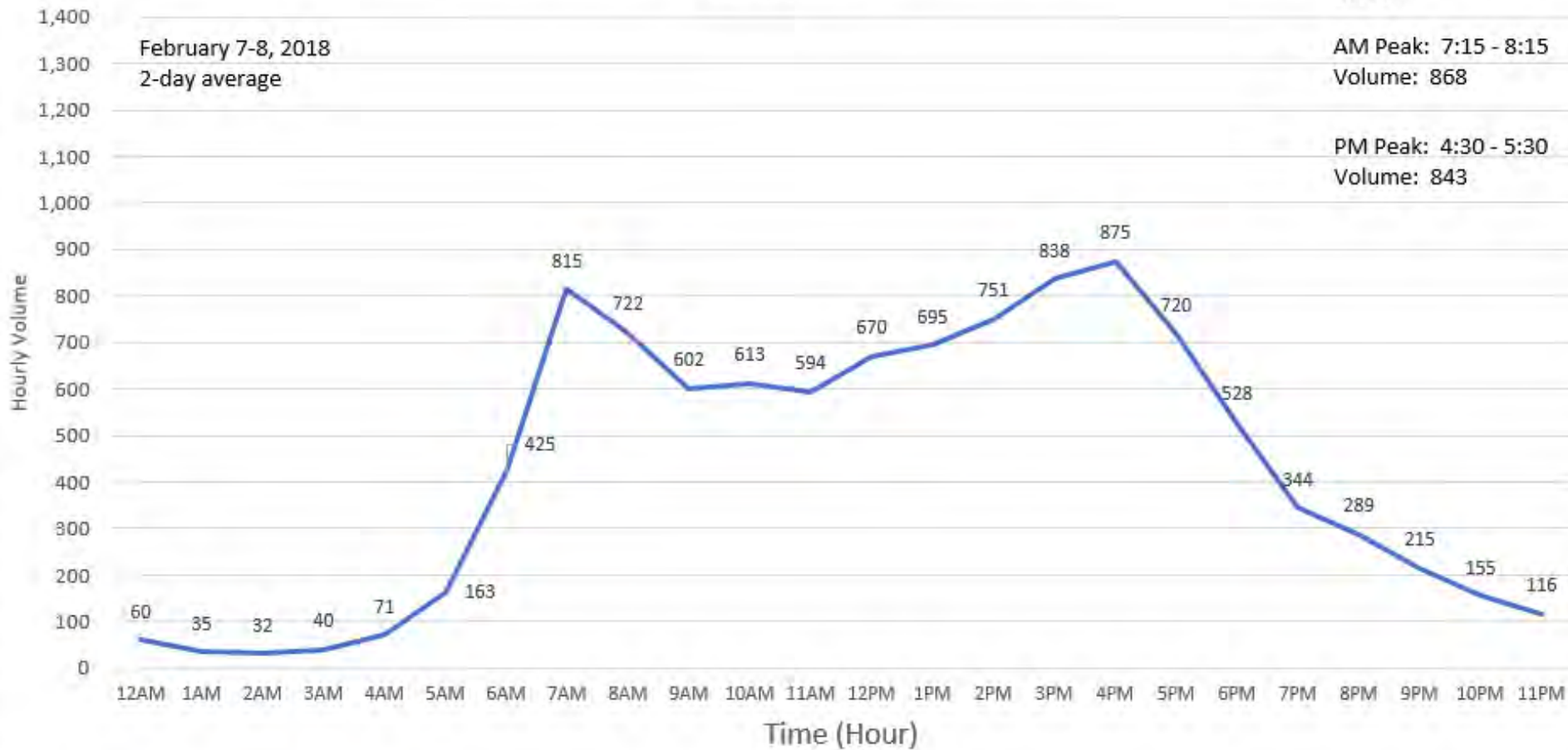
Hourly Vehicle Traffic Profile US 90 / W. Cervantes between B Street & C Street Eastbound

Daily Volume (unadj.)
10,364

AM Peak: 7:15 - 8:15
Volume: 868

PM Peak: 4:30 - 5:30
Volume: 843

February 7-8, 2018
2-day average



Hourly Vehicle Traffic Profile

US 90 / W. Cervantes between B Street & C Street

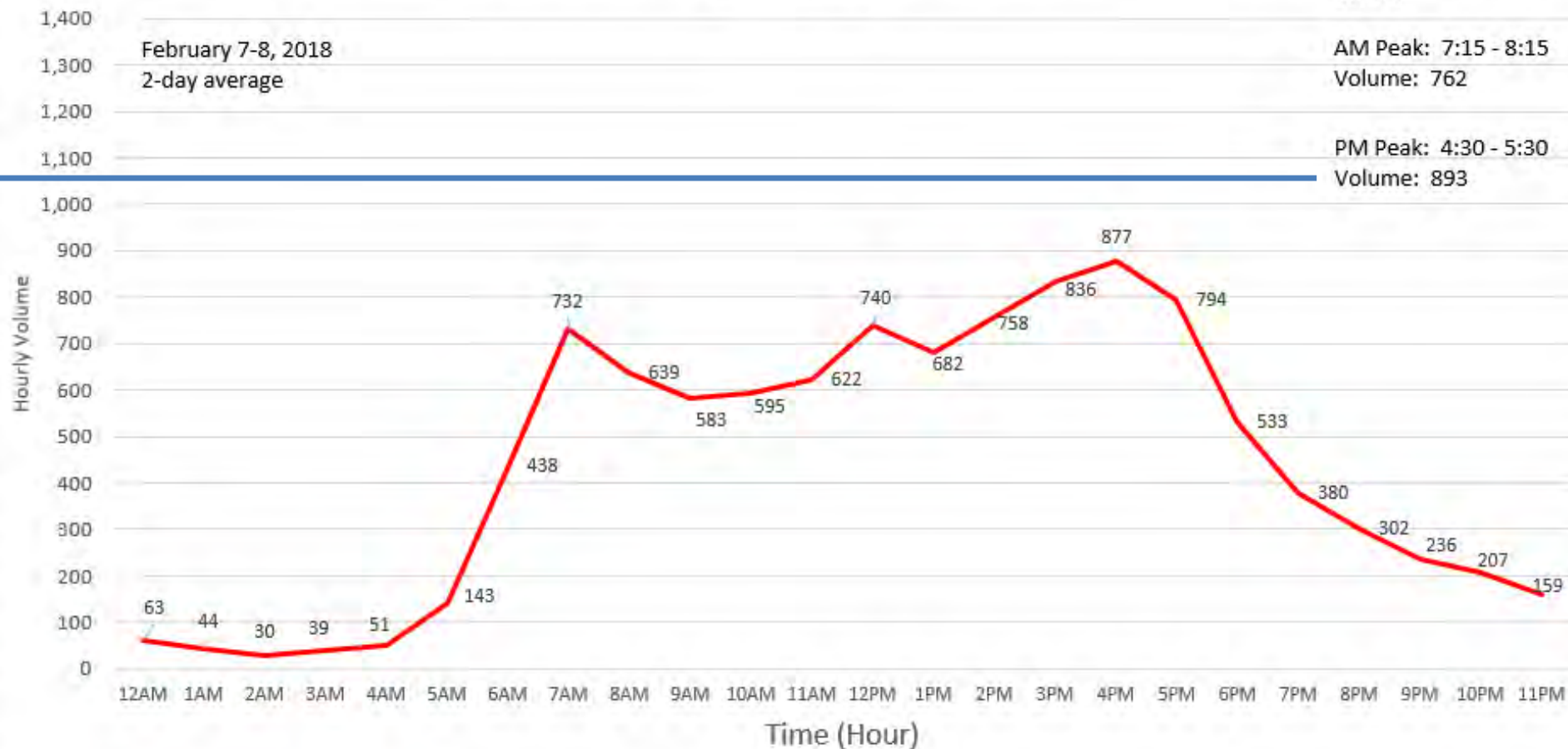
Westbound

Daily Volume (unadj.)
10,478

AM Peak: 7:15 - 8:15
Volume: 762

PM Peak: 4:30 - 5:30
Volume: 893

February 7-8, 2018
2-day average



Design Elements

Trees - Examples : North A Street, Avondale,
Live Oaks. Shade is Key.

Root Barriers and Un-compacted soils!

Parking -

Parallel 8 feet, no larger,
Angle 16' off curb.

Parkway Strips [planting]

place shade trees and manage utility placement

Sidewalks

Vary with context

6' residential

12' commercial

Short Term

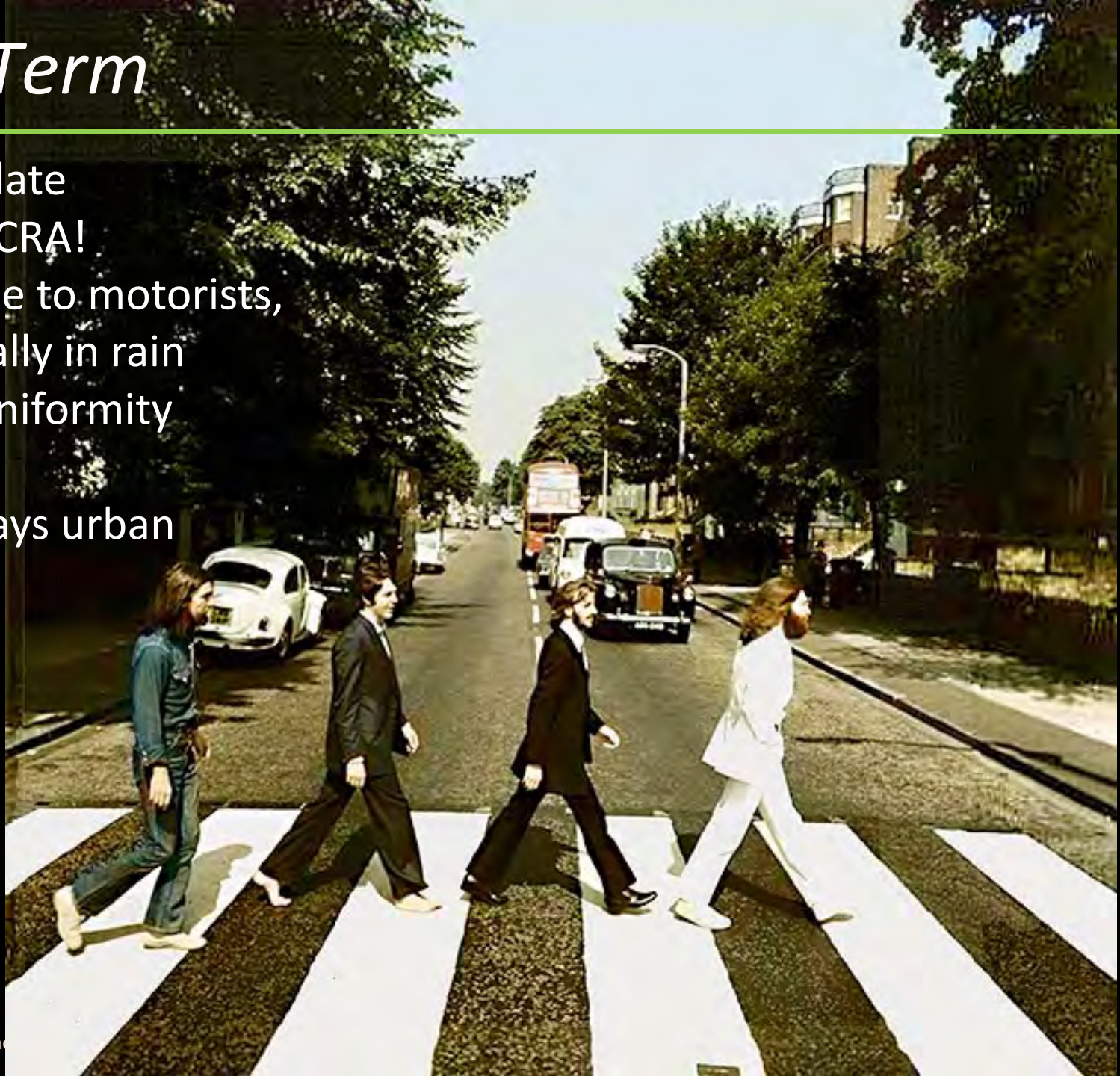
Crosswalk Update

Abbey Up CRA!

Most visible to motorists,
Especially in rain

Safety in uniformity

It clearly says urban









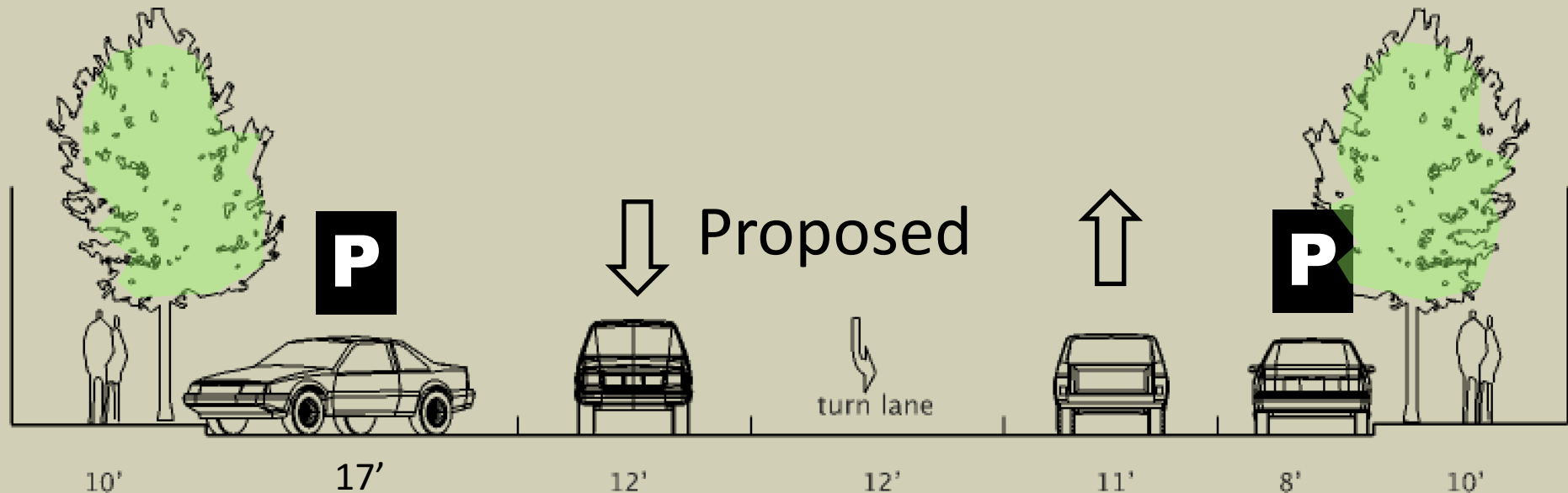
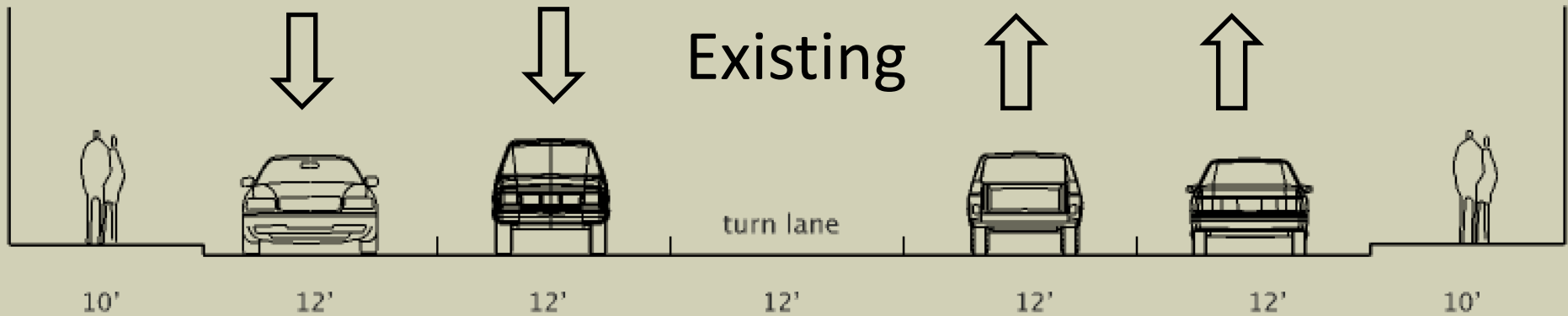




13th St, Columbus, GA

(looking west)

← Pavement Curb to Curb = 60 feet →







CRA: Urban Design & Code Amendment City of Pensacola

**Final Charrette Presentation
February 15, 2018**

DPZ
CODESIGN

with

Hall Planning & Engineering