



City of Pensacola

Architectural Review Board

Agenda - Final-revised

Thursday, May 21, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Call to Order / Quorum

Approval of Minutes

1. [20-00218](#) MARCH 19, 2020 ARCHITECTURAL REVIEW BOARD

Attachments: [ARB Meeting Minutes March 19, 2020](#)

Open Forum

New Business

2. [20-00219](#) ITEM 1 - 213 E. WRIGHT STREET

Attachments: [Florida Master Site File](#)
[Images](#)
[Staff Email](#)
[Application Packet](#)

3. [20-00246](#) ITEM 2 - 425 AND 427 E. ROMANA STREET

Attachments: [Florida Master Site File](#)
[Images](#)
[ARB Minutes from March 2019](#)
[March 2019 Materials](#)
[ARB Application.pdf](#)
[Addendum - Letter to ARB from Christian Wagley](#)

4. [20-00221](#) ITEM 3 - 100 BLK W. GARDEN STREET

Attachments: [Images](#)
[ARB Minutes from September 19, 2019](#)
[Application Packet](#)

5. [20-00222](#) ITEM 4 - 15 W. STRONG STREET
- Attachments: [Images](#)
 [ARB Minutes from March 19, 2020](#)
 [March 2020 Packet by Staff](#)
 [Application Packet REVISED 5.18.2020](#)
 [Addendum - Memo for Existing Buildings on N. Baylen Street](#)
6. [20-00247](#) ITEM 5 - 800 BLK N. BAYLEN STREET
- Attachments: [Images](#)
 [ARB Minutes from September 2017](#)
 [September 2017 Application from Staff](#)
 [Application Packet REVISED 5.18.2020](#)
7. [20-00234](#) ITEM 6 - 314 S. ALCANIZ STREET
- Attachments: [Images](#)
 [Minutes from December 2019 Meeting](#)
 [Conceptual Drawings from December 2019 Meeting](#)
 [Minutes from February 2020 Meeting](#)
 [Application Packet](#)
8. [20-00242](#) ITEM 7 - 919 N. BAYLEN STREET
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet REVISED 5.19.2020](#)
9. [20-00245](#) ITEM 8 - 113 N. PALAFOX STREET
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet](#)
10. [20-00248](#) ITEM 9 - 415 N. ALCANIZ STREET
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [ARB Minutes from March 2020](#)
 [Application Packet](#)

11. [20-00243](#) ITEM 10 - 1915 N. 11TH AVENUE
- Attachments: [Images](#)
 [Application Packet](#)
 [Land Development Code Section 12-12-5](#)

12. **20-00274** ITEM 11 - 190 W. GOVERNMENT STREET
- Attachments: Images
 MC Blanchard ARB Application-signed.pdf

13. **20-00278** ITEM 12 - 804 E. WRIGHT STREET
- Attachments: Images
 ARB Minutes from March 2020
 March 2020 Agenda Packet Provided by Staff
 Application Packet_Revised 5.21.2020
 Addendum_Site Photos of Stormwater Management Areas at DUH

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00218

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 3/11/2020

SUBJECT:

March 19, 2020 Architectural Review Board



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 19, 2020

MEMBERS PRESENT: Chairperson Quina, Vice Chairperson Crawford, Board Member Fogarty, Board Member Mead, Board Member Villegas

MEMBERS ABSENT: Board Member Campbell-Hatler, Board Member Salter

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Assistant City Attorney Lindsay, Assistant Planning Director Cannon, Network Engineer Chris Johnston

OTHERS PRESENT: James Bozeman, Bryan Creed, George Williams, Myles Sampson, Brian Spencer, Melanie Nichols

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present and explained the Board procedures to the audience as well as the City's adoption of social distancing requirements to limit the spread of Covid-19.

APPROVAL OF MINUTES

Board Member Villegas made a motion to approve the February 20, 2020 minutes, seconded by Board Member Fogarty, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

18 and 20 E. Garden St

PHBD

Contributing Structures

C-2A

Action taken: Approved.

Scott Sallis is requesting approval to renovate the storefronts of two retail spaces. This project came before the Board at the February 2020 meeting where modifications to 20 E. Garden Street was approved as presented. A request for modifications to 18 E. Garden Street was, however, denied due to consideration of the sill walls.

Mr. Sallis addressed the Board and presented historical pictures which illustrated the many different facades of the properties and the extent of glazing. Mr. Pristera advised they had found the pictures, and the walls were not original as well.

Board Member Crawford made a motion to approve, seconded by Board Member Mead. With no audience speakers, the motion carried unanimously.

Item 2 **415 N. Alcaniz Street** **OEHPD / OEHC-1**
Contributing Structure

Action taken: Conceptual approval with exceptions.

Scott Sallis is requesting *CONCEPTUAL* approval to renovate the 1928 Mount Olive Christian Church.

Mr. Sallis addressed the Board and stated Nashville developers purchased this building and agreed to disrupt the exterior of the building as little as possible. He explained it would be a boarding house, airbnb style with a custom restaurant. Chairperson Quina suggested this could also become an affordable housing project. He also asked about window placement, and Mr. Sallis stated they had not decided since this was conceptual, and they had not chosen a brand. The large worship center would require a different system, and budget might not allow for a curtain wall system. He indicated the original smaller windows were wood with the taller sanctuary windows being steel with single-pane glass.

Board Member Mead indicated it appeared the exterior was unpainted brick, and the pale beige diminished the pediment; he was concerned about preserving as much as possible the historic fabric of the brick since it appeared to be a dominating character of the building. Mr. Sallis indicated the overall masonry of the building was chaotic, and different sides of the building were using masonry in different ways. They were not led to work hard to preserve it in that sense. The masonry inside was chaos, with one wall being tile, with the other brick, and there was no order. He explained they were painting the building, and the masonry wall had no ability to place a vapor barrier; with the present codes, they would have a weather barrier on the exterior walls and insulate from the inside. He also stated the clients and neighborhood were happy with their approach. Mr. Mead was concerned with the treatment of the brick sides of the pediment and the difference between the base and body. Mr. Sallis explained the white pediment was not original; it was brick covered in stucco. The parking lot will be paved with pavers and can be used as an event space. He advised they were required to have 9 to 10 parking spaces; they would also have street parking and with CRA reductions, no parking for the restaurant. Regarding the paint, staff stated typically, this Board had not reviewed paint colors for Old East Hill, and Board Member Mead stated it was not the paint color but painting over the brick that was a concern since it was a contributing structure.

Board Member Mead made a motion to approve conceptually with the following exceptions: Further discussion of painting the brick and the impact of the selection of colors and the method of painting the brick, and the details on how they affect the pediments both the primary and secondary. Board Member Villegas seconded the motion. Staff advised there were comments from the neighborhood which indicated they were happy with the project but concerned about parking. **The motion then carried unanimously.**

Item 3 **804 E. Wright Street** **OEHPD / OEHC-2**
New Construction
Action taken: Approved with abbreviated review.

George Williams is seeking final approval for a new single story retail building. The new space will be an addition to the DUH commercial campus and has been designed to match the existing building to the east.

Mr. Williams presented to the Board and furnished information to the Board members and stated the structure would be a continuation of the main structure. He advised the original building they were adjacent to needs repainting and minor repair to the board and batten. The landscape plan was being designed. The survey had been completed but there was no stormwater plan, however the plan was to use the property between the buildings as a nice swell; the original plan for a pond had been negated. The neighborhood wanted to make sure the materials presented would be the ones installed. He also indicated they had adequate parking without adding additional spaces. Board Member Mead advised he liked the relating to the railroad warehouse. Regarding the brackets, he asked if they had considered inspiration from the railhouse since the brackets did not really relate to the site. He asked about the lighting detail, and Mr. Williams stated they would have soffit lighting under the overhang. Board Member Villegas felt the renderings were not presented properly and had a problem with final approval, and Board Member Crawford agreed. Board Member Mead agreed the landscaping was a concern and explained the cedar tree should probably be kept. Board Member Fogarty was concerned with the bracket columns looking spindly. **Board Member Crawford made a motion to approve with an abbreviated review on landscaping, more detail on the bracket columns for the front porch, final stormwater layout and final storefront details. Board Member Villegas seconded the motion, and it carried unanimously.**

Item 4

400 BLK Cevallos St

**PHD / HC-1 Wood
Cottages**

New Construction

Action taken: Approved with abbreviated review.

Brian Spencer is requesting final approval for a new multi-family residential building. This project received conceptual approval in September 2017. While the scale of the building has changed, the configuration of the setbacks and design concept remain consistent with those approved in 2017.

Mr. Spencer presented to the Board and advised this project provided high density with concealed parking. The condominium project consists of 8 residences, ranging from 1100 sq ft to 2010 sq ft. He explained the neighboring property was also an 8 residency condominium structure. He indicated all materials had been furnished to the Board. He also stated there was an intentional skirting on the sides, providing a more neighborhood feel base. He advised Marvin fiberglass windows were a much better product for historical structures. He explained they were using a combination of Artisan lapsiding and board and batten with a Benjamin Moore color palette, along with two types of guardrails, one being louvered and the other picket. He also stated there would be a standing seam metal roof. Chairperson Quina suggested this structure would complete the corner. Board Member Crawford pointed out two miniscule brackets holding up the massive bay. Board Member Mead suggested considering the same setup as the Bayfront side to give more substance. Board Member Crawford suggested a corbeled beam. Board Member Villegas addressed the board and batten mix, and Mr. Spencer felt that as the mass moved around the curve, he wanted to accentuate that with a change in the direction of the material.

Board Member Crawford made a motion to approve with the name of the paint chips, a review of the brackets on the east facing balcony, and the landscape plan for an abbreviated review. The motion was seconded by Board Member Fogarty and carried unanimously.

Item 5 **5 E. Garden Street** **PHBD / C-2A**
Contributing Structure

Action taken: Approved with material provided.

Carter Quina, Quina Grundhoefer Architects, is requesting approval to install nine new aluminum windows in existing masonry openings.

Chairperson Quina recused himself since he was presenting the item. He advised that Perrett wood was the preferred product for the third floor, using the all wood mahogany windows to match the original vinyl window along with insulated impact-rated glass. The same window will be used on the second floor as Phase II. He also explained by using this product, they were assured of their tax credit for a 20 percent savings. He pointed out there were no original windows left.

Board Member Mead made a motion to approve. Board Member Crawford asked that the material be provided as part of the approval; the amendment was accepted. The motion was seconded by Board Member Villegas, and it carried 4 to 1 with Chairperson Quina recusing.

Item 6
Demolition / Contributing Structure **211 W. Cervantes Street** **NHPD / PC-1**

Action taken: No action taken.

Bryan Creed will be requesting approval to demolish a contributing structure at the April 2020 meeting. The following discussion is meant to introduce the Board to the proposed project and to request that the Board hold a special on-site meeting to gather information. No action on this item will be taken at this meeting.

Mr. Creed addressed the Board and stated he purchased the building in January, and after discussion with Mr. Spencer, it was suggested that the building be taken down to provide a safer structure for the proposed project. It was noted that Historical Preservation Planner Harding, Mr. Pristera and Board Member Villegas had already toured the building. Mr. Pristera advised it would be his fear it would be a reconstruction, tearing it down to the frame, removing the roof, and he was trying to track down the history of the changes to see what would be original and significant to its story. He explained it was a hodge-podge of things and encouraged the Board members to go through it. Board Member Villegas stated there had been a fire in the roof, but it consisted of old heart pine and would not be as much of a reconstruction project. Mr. Creed stated the intended use would be an assisted living facility which would feel like a home to the residents.

Historical Preservation Planner Harding stated that originally they had wanted to hold a special meeting on this property, but the Building Official advised they should not have a special meeting because it was not ADA complaint and not safe enough to have a large group tour at the same time. He also advised North Hill had been invited to tour the building. Board Member Mead explained this was an atypical structure on Cervantes, and

he was not aware of any other structure in town like it. Board Member Villegas stated she had already visited the structure and did not want to push her opinion until other members had visited.

Mr. Spencer explained this would be an introduction which might lead to a replacement for the Board to review. He explained that West Florida Preservation Inc. played a major role in reviewing the proposed replacements both architecturally and from a programming standpoint. At one point, a law firm had proposed to build there, but West Florida did not believe that was the appropriate use. He advised there were memorable streetscape elements and pieces which could reappear in a new building and rejuvenate the streetscape.

Board Member Villegas agreed with the hodge-podge context. Historically, there was also space for the marrying of ideas, and there were many historical structures in our country where they chose to bring together ideas which had different architectural designs. In the last two years, the buildings within that two-block area had been purchased and were being restored. Board Member Mead stated when West Cervantes was widened, they took more of the frontage of the south side and asked that staff furnish more information on the various plans or possibilities with road diet and what would be feasible. Staff advised that this structure was zoned commercial PC-1 and furnished the setbacks. Mr. Spencer stated if any variances were necessary to maintain the proximity and the scale, including height variances, they would put forth a conceptual design requesting those variances. They completely recognized the importance of the continuity of streetscape.

Ms. Nichols furnished the Board with pictures of the Cervantes gateway and presented an overview of North Hill properties which had been renovated. She explained you need to look past the scars, and at least the interior is already blown out for a new use. They appreciated Mr. Creed and Mr. Spencer for their efforts but wanted the Board to review this property seriously since this was a one-of-a-kind structure. Chairperson Quina confirmed that from North Hill's perspective, similar homes in similar conditions had been restored to pleasant and stable uses. Mr. Creed provided his email and phone number to the Board and thanked them for their time and consideration.

Item 7

15, 17, 19 W. Strong St

NHPD / PC-1

New Construction

Action taken: Denied.

Jim Bozeman is requesting approval for changes to three new single-family residences. This project initially came before the Board in September 2017 and was approved with comments. At that time, a Variance to reduce the required rear yard setback was also approved. Because of design changes, the current plans were referred to the Board during the required Planning and Zoning Review.

Chairperson Quina confirmed this was the continuation of the Covington Place project. Mr. Bozeman stated one of the changes was to make the porch 6' instead of 4' and inside they opened up the side units with a side porch which allowed the owners to go out on a small patio. The color scheme was basically the same.

Ms. Nichols advised North Hill was excited about the new plan with the porches being deepened. In 2017, the project originally had turned wood spindles and wood railings, but when the project was executed, it turned into aluminum railings and handrails. Also, the

courtyard wall was lost, and the stair handrails in some places reach down to city sidewalks. The gate was pushed forward to the street and attached to the staircase. These new homes will face Victorian homes, so they were concerned in getting them right moving forward, ensuring any changes return to the Board. Mr. Bozeman advised he would be addressing the gates and the aluminum rails. Board Member Mead asked what happened regarding all the variations. The first set of buildings were built, but now they were significantly modifying exterior elevations in a far more derogatory way, architecturally speaking, compared to what was approved in 2017, particularly with those facing the east and west sides. He was still concerned with the porches, railings and gates with regard to those previously approved. He did not feel comfortable at all with the application here when there was a significant departure unexplained and did not know how they would accomplish what the Board was asked to approve. Mr. Bozeman stated when the next units were turned in, he would not have aluminum. Board Member Mead stated his real issue was when the Board approved something and it did not happen, what was its purpose. He did not feel comfortable moving forward with a change under these circumstances and did not know why the unapproved changes were put in.

Senior Planner Statler could not speak to the unapproved changes but to current policy and procedure. She advised that Planning and Zoning was now fully entrenched in plan review, and all of the plans that come through are looked at with Historical Preservation Planner Harding dealing with the historical districts, and everything the Board sees, he sees; he reviews page by page the construction documents versus what they have submitted, what the Board approved, comparing it to any additional supplemental information which might have been approved as well. She advised they have that system in place now, but could not speak to what happened earlier. She explained moving forward we have a good check and balance method in place. Board Member Mead explained whatever happened with this developer, was approved by the developer first with the process of going forward between the developer and contractor. With a lot more of this site to go forward, he was very concerned about the process and wanted to know where the breakdown occurred. Stated advised they could research more, but with the current procedure, Planning and Zoning has been involved with inspections and permitting in the construction process; construction documents were submitted to the Building Department, and when that happens, Planning and Zoning review would occur. Minor deviations were usually handled internally with an abbreviated review, but this did not meet that criteria. He did expect a number of these projects to come back before the Board as they review these projects in historic districts.

Board Member Mead made a motion to deny the application from the change of the September 2017 approval on the grounds that the deviation from the side elevations are a significant detriment to the street affect of the structure both to the public and to the adjoining property owner and are not in keeping with the overall architectural affect of the front elevation and saw no reason to approve it. Board Member Crawford seconded the motion. He stated the Board would have other applications for structures not yet approved and wanted to know where the process broke down whether it be on the City side or if we could from City records determine where it broke down on the other side if that was the case. He wanted to know the applicant brought forward the project in good faith and did not conclude there was bad faith, but could not conclude there was

good faith all around either.

Mr. Fox stated he came on after the structure was built as a point of contact and would be a point of contact for the future buildings, overseeing the project and sales effort as well. He could not speak to the breakdown. Staff advised they would look through MaxxVault for a history on the project. Mr. Fox gave his contact information if there were any questions moving forward. **The motion then carried unanimously.** Chairman Quina explained a denial meant the applicant must submit a reapplication for next month. He explained the Board wanted to see the changes and a resubmittal for April.

It was determined due to the Covid-19 virus, the scheduling of the April 2020 ARB meeting would be up to Council.

ADJOURNMENT – With no further business, the meeting adjourned at 4:00 p.m.

Respectfully Submitted,



Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00219

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 4/8/2020

SUBJECT:

New Business - Item 1
213 E. Wright Street
Palafox Historic Business District / Zone C-3
Contributing Structure

BACKGROUND:

Tim Buttell is requesting approval to attached the bottom portion of the Pensacola Beach sign onto the east façade of a brick structure. The intent of the installation is not advertisement and it is not meant to attract attention to a specific organization or business. Rather, the intent is to display a local piece of history similar to a mural.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-21 *Palafox Historic Business District*

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site #8 **ES03684**
 Field Date 8-21-2011
 Form Date 8-29-2011
 Recorder # _____

Site Name(s) (address if none) 201-203 E. Wright St Pensacola, Fl Multiple Listing (DHR only) _____
 Survey Project Name Downtown Pensacola Historic Business District Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☐ structure ☒ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 213 Direction E Street Name Wright Street Type Street Suffix Direction _____
 Address: 213 E Wright Street
 Cross Streets (nearest / between) S. E. Corner of N. Tarragona St. and E. Wright St.
 USGS 7.5 Map Name PENSACOLA USGS Date 2009 Plat or Other Map _____
 City / Town (within 3 miles) Pensacola In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 46 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 000S009007001009 Landgrant _____
 Subdivision Name Old City Tract Block _____ Arpent _____ Lot pt 9
 UTM Coordinates: Zone ☒ 16 ☐ 17 Easting 479516 Northing 3364991
 Other Coordinates: X: 30.416796 Y: -87.21328 Coordinate System & Datum NAD83/WGS84
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1925 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use _____ From (year): _____ To (year): _____
 Current Use _____ From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe HPBD Architecture Review Board

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories _____
 Exterior Fabric(s) 1. Brick 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. parapet
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) _____

Distinguishing Architectural Features (exterior or interior ornaments) Brick: red, corbelled

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Brick 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Brick 2. _____
 Main Entrance (stylistic details) _____

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): ☐ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This is a large brick warehouse built in 1958.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☐ FL State Archives/photo collection ☒ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search
☐ other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Photographic reference numbers:

HPPB 83.17 Frames 18A and 20

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Commercial vernacular structure typical in size and scale.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization _____
 Document description Architectural Review Board Files File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Cynthia A. Catellier 850-288-0189 Affiliation City of Pensacola/University of West Florida

Recorder Contact Information 222 Main St Donald W. Kelly Planning Services Coordinator 850-436-5655
 (address / phone / fax / e-mail)

Required Attachments

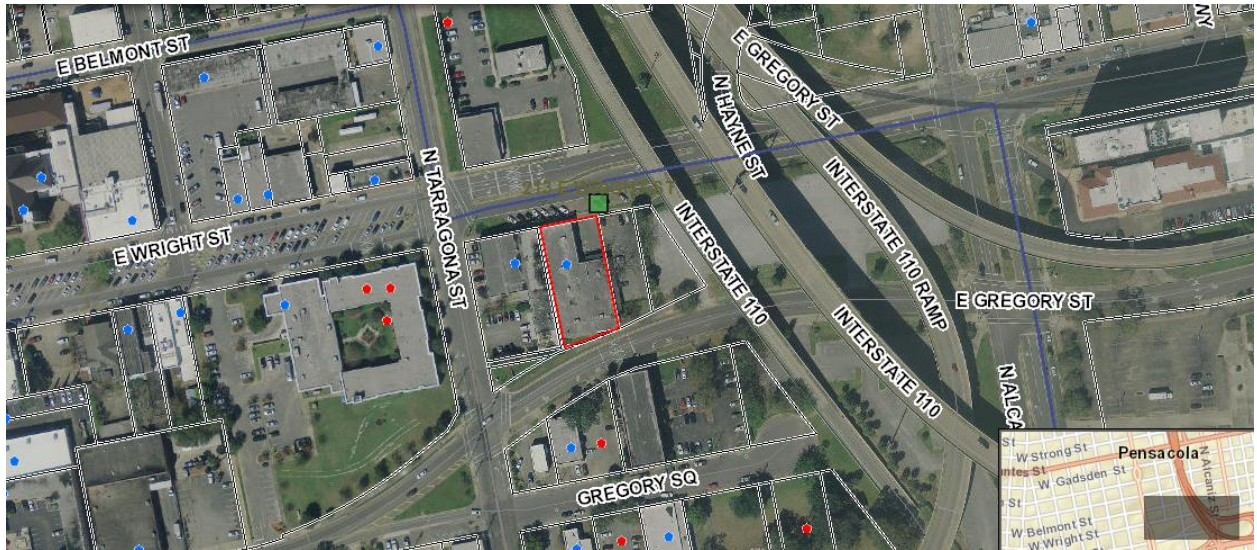
- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



Delivery Van
Parking Only

213 E. Wright Street



Gregg Harding

Subject: FW: Sign or Art in the Palafox Historic Business District

From: Gregg Harding

Sent: Wednesday, March 25, 2020 2:25 PM

To: Heather Lindsay <HLindsay@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>

Cc: Leslie Statler <LStatler@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>

Subject: RE: Sign or Art in the Palafox Historic Business District

Thank you everyone! It looks like we are all on the same page and I'll proceed with the ARB application.

Best,

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

gharding@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Heather Lindsay <HLindsay@cityofpensacola.com>

Sent: Wednesday, March 25, 2020 1:11 PM

To: Sherry Morris <SMorris@cityofpensacola.com>; Gregg Harding <GHarding@cityofpensacola.com>

Cc: Leslie Statler <LStatler@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>

Subject: RE: Sign or Art in the Palafox Historic Business District

Legal is comfortable with calling this art.

Heather F. Lindsay

Assistant City Attorney

Visit us at <https://www.cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1614

HLindsay@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Sherry Morris <SMorris@cityofpensacola.com>

Sent: Wednesday, March 25, 2020 1:08 PM

To: Gregg Harding <GHarding@cityofpensacola.com>

Cc: Heather Lindsay <HLindsay@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>

Subject: Re: Sign or Art in the Palafox Historic Business District

I'm still inclined to treat it more like a mural than a sign, but since we are referring it to the full board regardless, let's just make sure we are all on the same page.

Sent from my iPhone

On Mar 25, 2020, at 12:48 PM, Gregg Harding <GHarding@cityofpensacola.com> wrote:

Hi all,

I have an ARB applicant who want to install part of the old Pensacola Beach signage onto the side of a contributing structure in the Palafox Historic Business District ... Sherry, you and I discussed this one the other day, but at the time I thought it would be the freestanding sailfish portion. The address is 213 E. Wright Street which is not a major thoroughfare. I have attached several photos. My question is – Would we consider this signage? If so, it's way too big. However, it is not advertising anything in particular. My first reaction is to consider it as an art installation which is the applicant's intention (art / historic novelty / etc.) – kind of in the same vein as the historic murals. Also, the applicant does not want to light it. Any insight or input would be appreciated. Thanks!!

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

gharding@cityofpensacola.com

<image003.png>

Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

**Architectural Review Board Application
Full Board Review**



Application Date: 3/28/2020

Project Address: 213 E Wright Street
Applicant: Tim Buttell
Applicant's Address: 213 E Wright Street, Pensacola, FL 32501
Email: tbuttell@peopleshomehealth.com **Phone:** 850-723-7076
Property Owner: Ed Carson, Carson-Loveell

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:


- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Would like to hang the Pensacola Beach sign (bottom portion) on the exterior of the building

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

03/28/20
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



213 E WRIGHT ST
EAST PARKING LOT

213 E. Wright Street









City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00246

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 4/9/2020

SUBJECT:

New Business - Item 2
425 and 427 E. Romana Street
Pensacola Historic District / HC-1 / Brick Structures
Contributing Structure and New Construction

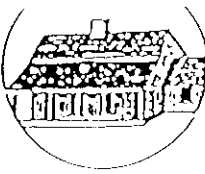
BACKGROUND:

Christian Voelkel, Irby & Voelkel Engineering, is seeking *CONCEPTUAL* approval for the design of a new residence as well as modifications to an existing contributing structure. The proposed work includes the combination of two lots into one parcel. A two-story single family dwelling will be constructed in the rear portion of the site's buildable area. Although this property is located within the Brick Structures District, Streetscapes Type 1 and 2 for the Wood Cottages District are allowed. Proposed work to the existing contributing structure will include adding a brick base and front wood details. A request to relocate the existing structure to the rear of the lot was denied by the Board in March 2019. At that meeting, the Board agreed that placing a proposed main structure in the rear yard would be acceptable.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTION:

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*
Sec. 12-2-10(A)(6) *PHD, Restoration, rehabilitation, alterations or additions to existing contributing structures in the Historic District*
Figure 12-2.2 *Streetscape, Type II*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES 2486
Recorder # _____
Field Date 4 /27 /95
Form Date 7 /26 /95

☒ Original
☒ Update

SITE NAMES (addr. if none) 427 E. ROMANA ST. [MULT. LIST. #8 _____]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 427 E. ROMANA ST.
CROSS STREETS nearest/between BETW. S. ALCANIZ ST. AND S. FLORIDA BLANCA ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-002-322
SUBDIVISION NAME OLD CITY TRACT BLOCK 22 LOT NO. 323
OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO _____

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING 1 1 1 0 NORTHING 1 1 1 0]
PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

STYLE FRAM EXTERIOR PLAN RECT NO. STORIES 1
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GA Materials SHCO
Secondary strucs. (dormers etc.) _____
CHIMNEY: No. 1 Materials BRIC LOCATIONS CENTER RIDGE
WINDOWS (types, materials, and placements) DHS, 6/6, WOOD

MAIN ENTRANCE (stylistic details) _____
PORCHES: #open _____ #closed _____ #incised _____ Locations NORTH/1 STORY HIP, 2 BAY,
Porch roof types ACCESS FROM NORTH
EXTERIOR ORNAMENT _____

INTERIOR PLAN _____ CONDITION: ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☒ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains _____
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8

HISTORYCONSTRUCTION DATE 1880 CIRCA ☒ yes ☐ no

ARCHITECT: (last name first) UNKNOWN

BUILDER: (last name first) UNKNOWN

MOVES ☐ yes ☐ no Dates _____ Orig. addr. _____ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____ADDITIONS ☐ yes ☐ no Dates _____ Nature _____

ORIGINAL USES (give dates) RESIDENCE

INTERMEDIATE USES (give dates)

PRESENT USES (give dates) RESIDENCE

OWNERSHIP HISTORY (especially original owner) BESSIE T. AND MARY PARKER (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	Local Designation Category _____
Individually elig. for Nat. Register?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	
Potential contributor to NR district?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available)

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.

Location of negatives/neg. nos. R16, F1-2

RECORDER

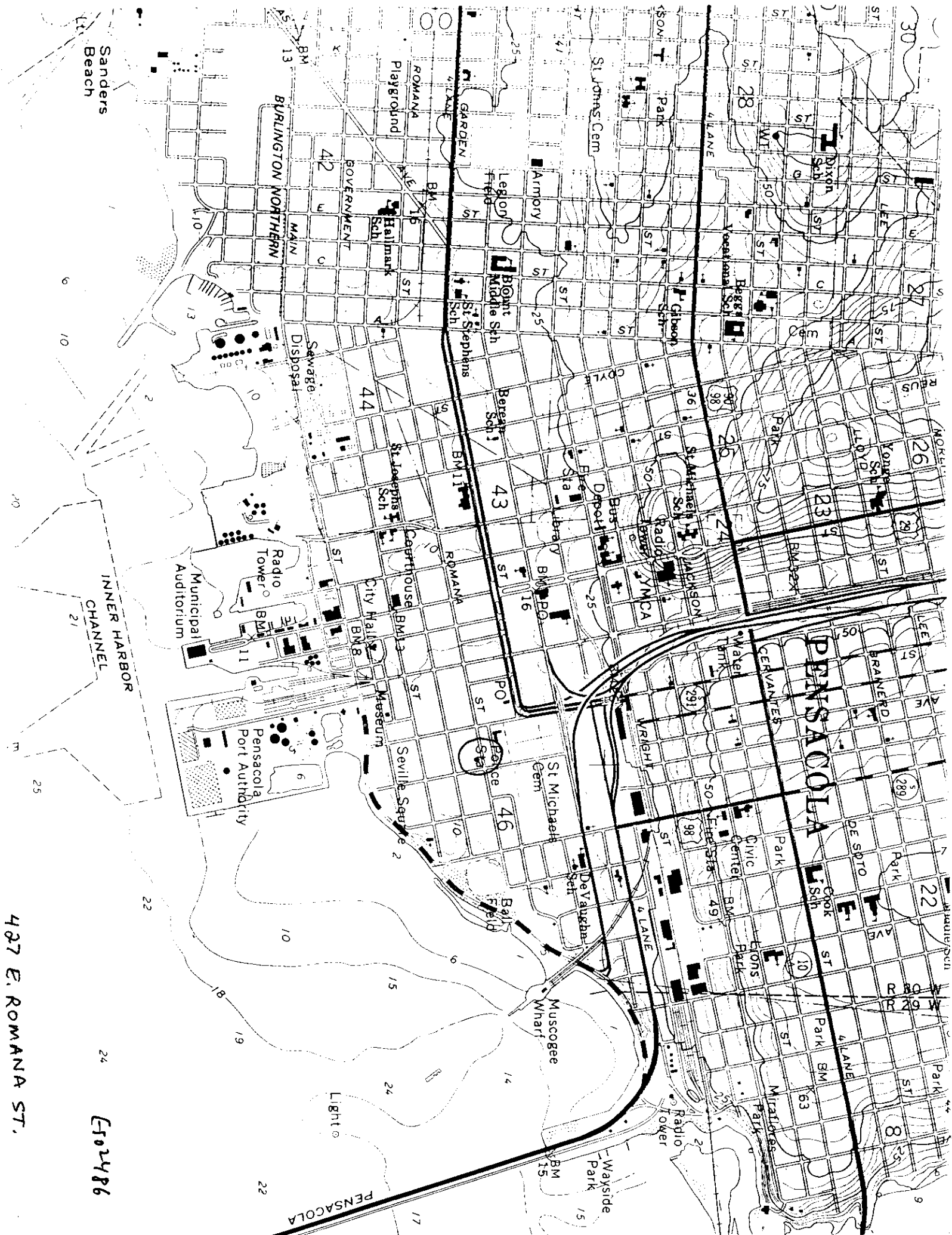
NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: Guide to the 1992 Historic Structure Form of the Florida Site File.

OFFICIAL EVALUATIONS		OFFICIAL EVALUATIONS	
NR DATE	KEEPER-NR ELIGIBILITY	Y	N
SEPC-NR ELIGIBILITY	Y	N	
LOCAL DESIGNATION	Y	N	
Local office			

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE-SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

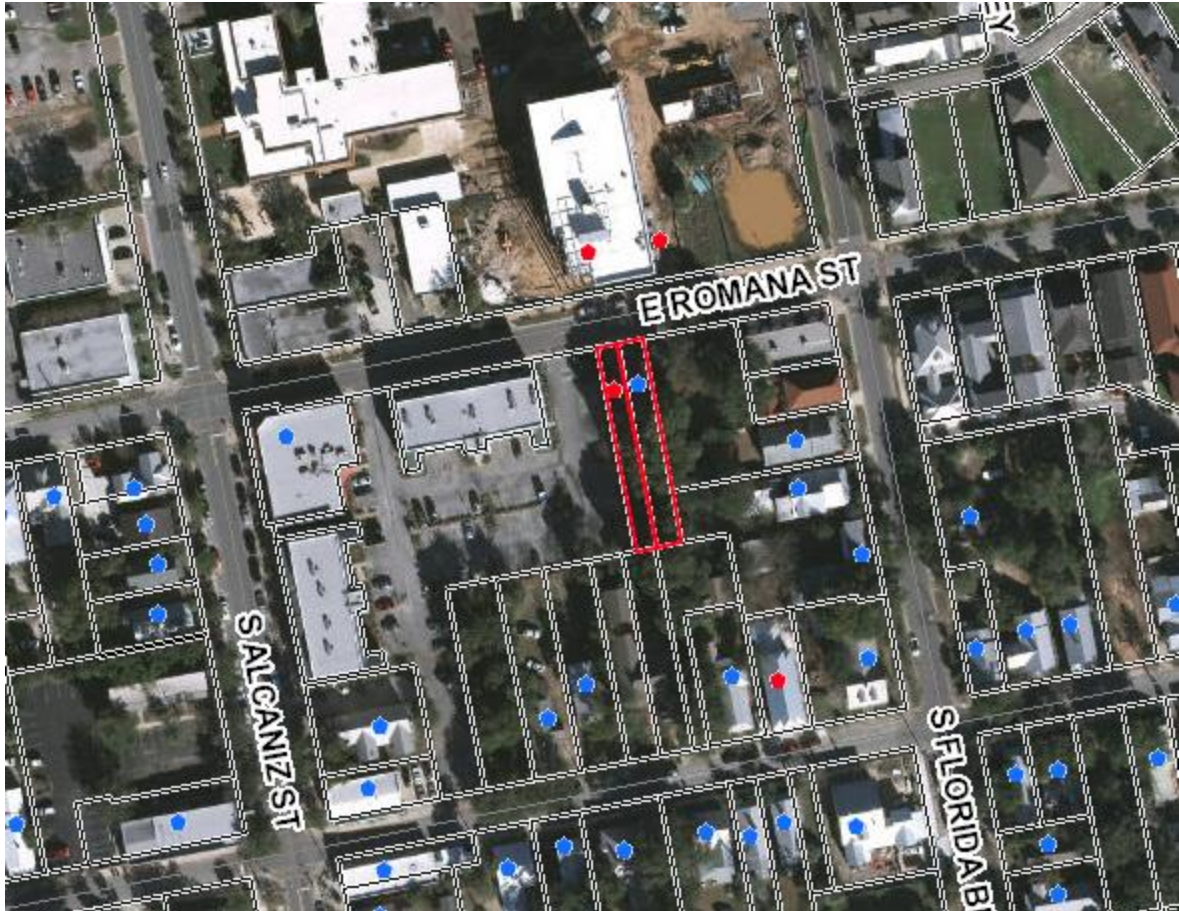


427 E. ROMANA ST.

E102486



425 – 427 E. Romana Street



Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 21, 2019

Item 5	425 E. Romana Street	PHD
Contributing Structure	427 E. Romana Street	HC-1 / Brick Structures

Action Taken: Denied without prejudice on relocation-conceptual approval for building in rear.

Matt Caldwell, Caldwell Home Builders, is requesting *CONCEPTUAL* approval for the relocation of a Contributing Structure and the construction of a new single family residence.

Mr. Caldwell presented to the Board and stated they wanted to relocate the existing structure to the rear and build in front, and the design of the new home was completely open. It was determined the existing structure was around 675 sq. ft. Chairman Quina asked for Mr. Pristera's comments, and he preferred leaving the house where it was. Mr. Mead indicated if the structure was moved back on the lot, he felt strongly about maintaining its proximity to the lot line to keep some visual element to the street. If they could preserve some visibility of that structure by keeping it close to the lot line, they would gain more interior room, and if it required a variance, he was amenable to that. Chairman Quina asked if two single family houses were allowed on one lot. Ms. Deese explained because of the size of the original structure, they were able to consider that as an accessory structure, and it met the percentages. Mr. Caldwell stated his client was open to any suggestions. Mr. Crawford explained that flipping the location might also help with the parking. Ms. Campbell suggested leaving the structure at its current location and managing a curb cut.


Mr. Mead made a motion to deny without prejudice for consideration of the removal, with an understanding that conceptual approval will be given to building something along the lines of what is proposed on the rear section of the lot. Ms. Campbell seconded the motion. Chairman Quina explained the Board was amenable with placing the main structure in the rear yard. With no speakers, **the motion carried unanimously.**

March 2019 Application

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: 
Brandi Deese, Assistant Planning Services Administrator

DATE: March 12, 2019

SUBJECT: New Business - Item 5
425 E. Romana Street
427 E. Romana Street
PHD / HC-1 / Brick Structures
Contributing Structure

BACKGROUND

Matt Caldwell, Caldwell Home Builders, is requesting *CONCEPTUAL* approval for the relocation of a Contributing Structure and the construction of a new single family residence. The applicant is proposing a project incorporating the existing contributing structure into the long-term plans for the re-development of the property. Each lot originally contained a contributing structure. Per ARB records, the structure previously located at 425 E. Romana Street was relocated to the Pensacola Historic Village in 2008.

The scope of the current proposal combines the two lots into one parcel and relocates the existing contributing structure toward the rear of the property, centering the structure on the new parcel. A two-story single family dwelling would then be constructed at the front of the property. The new structure would have lap siding and a metal roof. Due to the uniqueness of the project, the applicant would like to obtain a comfortable level of feasibility with respect to ARB's approval before proceeding with design plans for their clients.

Please find attached all relevant documentation for your review.

March 2019 Application



Architectural Review Board Application Full Board Review

Application Date: 02/28/2019

Project Address: 425 & 427 East Romana St. Pensacola Florida 32502

Applicant: Caldwell Home Builders Inc. (Matt Caldwell)

Applicant's Address: 103 Bay Bridge Dr. Gulf Breeze Florida 32561

Email: matt@caldwellhomebuildersinc.com **Phone:** 850-516-4820

Property Owner: Dr. Kiumars Shams

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

~~Conceptual / Inquiry - We would like to inquire of the Board the feasibility of relocating the existing home at 427 E. Romana St. to the purposed location on the conceptual site plan provided. Our client, Dr. Shams, owns both 427 and 425 E. Romana Street and desires to combine the two (2) 20' wide lots into one (1) 40' wide property, relocate the current home to the rear of the property and build a new home that meets all the requirements of the board and the Pensacola Land Development Code for the district. We are fully aware and understand the process, requirements and approvals needed to build within the Pensacola Historic District, however because the project will require relocating an existing contributing structure, we're simply not sure if this project is possible. Before we spend too much of our clients time and money we would simply like to inquire of the board as to whether or not relocating an existing contributing structure in this district in the manor proposed on the site plan would be allowed, so long as all other requirements and approvals were met.~~

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

March 2019 Application



March 2019 Application



March 2019 Application



March 2019 Application



Property to North - Levin center for IHMC research

EAST ROMANA STREET

EDGE OF STREET

SIDEWALK

R/W

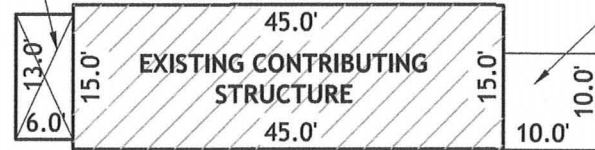
20.0'

20.0'

R/W

EXISTING FRONT PORCH

178.92'



EXISTING WOOD DECK

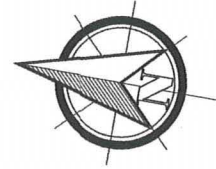
427 E. ROMANA ST.

20.0'

425 E. ROMANA ST.

20.0'

178.92'



1-1 EXISTING SITE LAYOUT
SCALE: 1" = 20'-0"

March 2019 Application

Title:
New Residential Design for
SINGLE FAMILY RESIDENCE
425 & 427 ROMANA STREET
PENSACOLA, FL 32502
Prepared for:
CALDWELL



94 E Garden St
Pensacola, FL 32502
Office: (850) 439-0877
Fax: (850) 469-0351
FLCA 9511

www.IrbyEngineering.com

Date

Revision

Designed By: FRS & JCV
Checked By: JCV
Project #: 000-181007

Sheet: 1 of 3

FOR REVIEW ONLY
without signature and seal.

DIGITAL COPY
FOR REVIEW/BID ONLY

(Not to be used for permitting without the
engineer's original signature and seal)

J. Christian Voelkel

FLPE 82229

EAST ROMANA STREET

EDGE OF STREET

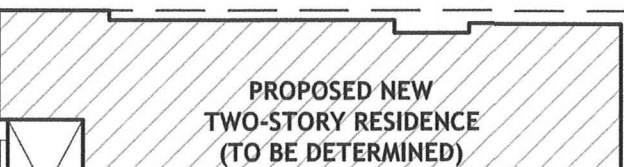
SIDEWALK

R/W

40.0'

15.0' FROM
STREET B.S.L.

R/W



178.92'

5.0' B.S.L.

EXISTING FRONT PORCH

12.5'

20.5'

40.0'

RELOCATED EXISTING
CONTRIBUTING STRUCTURE

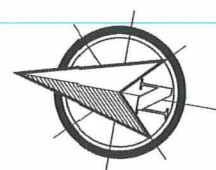
12.5'

20.0' B.S.L.

PROPOSED
FOUNTAIN

178.92'

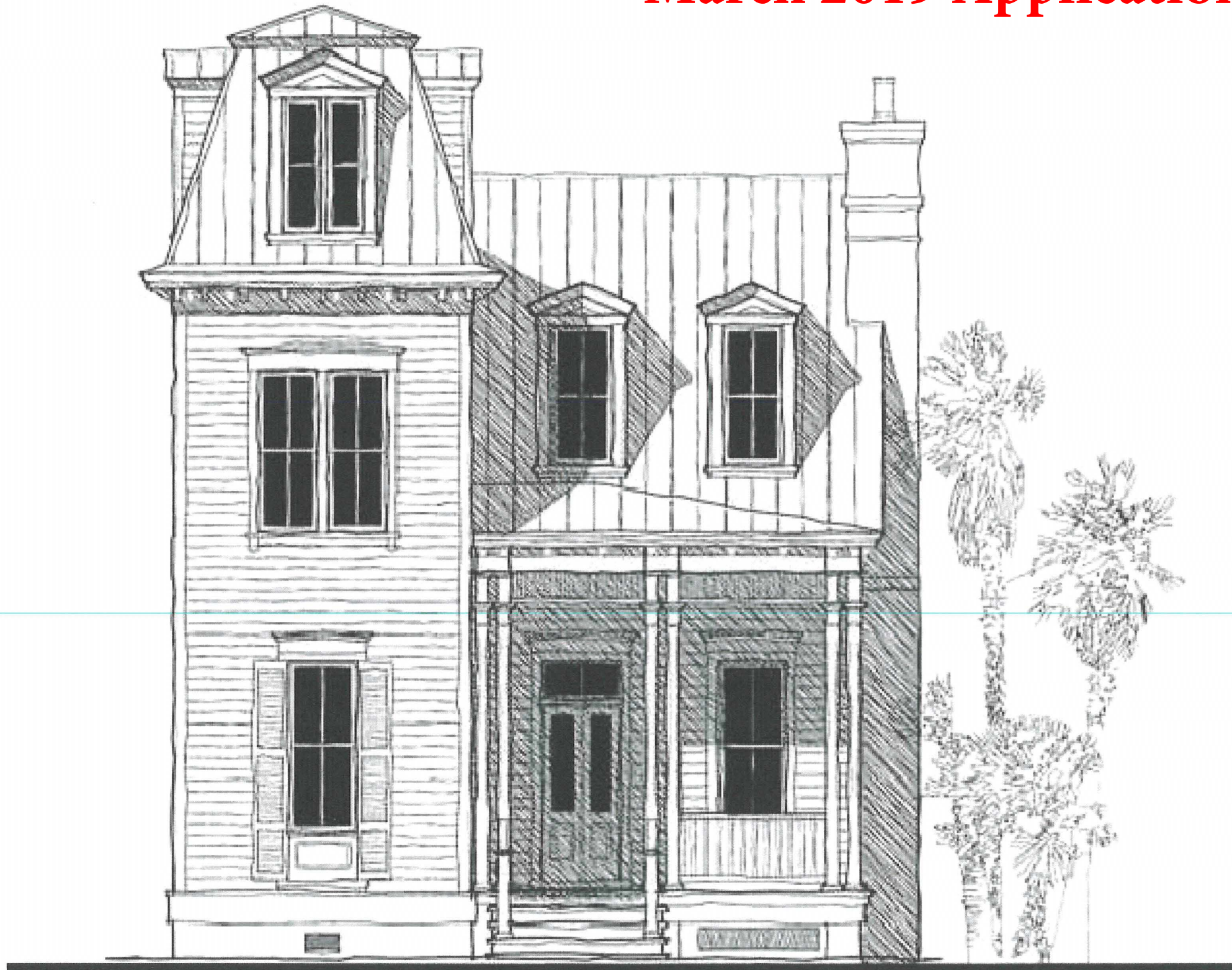
NEW STREET ADDRESS TO
BE DETERMINED



1-2 PROPOSED NEW SITE LAYOUT
SCALE: 1" = 20'-0"

PRELIMINARY / CONCEPTUAL

March 2019 Application



2-1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: THE ELEVATIONS AND FLOOR PLANS
CONTAINED IN THESE PLANS ARE CONCEPTUAL
PROVIDED BY THE CLIENT AND NOT THE
PROPERTY OF IRBY & VOELKEL ENGINEERING.

Title:
New Residential Design for
SINGLE FAMILY RESIDENCE
425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502
Prepared for:
CALDWELL



94 E Garden St
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Sheet: 2 of 3

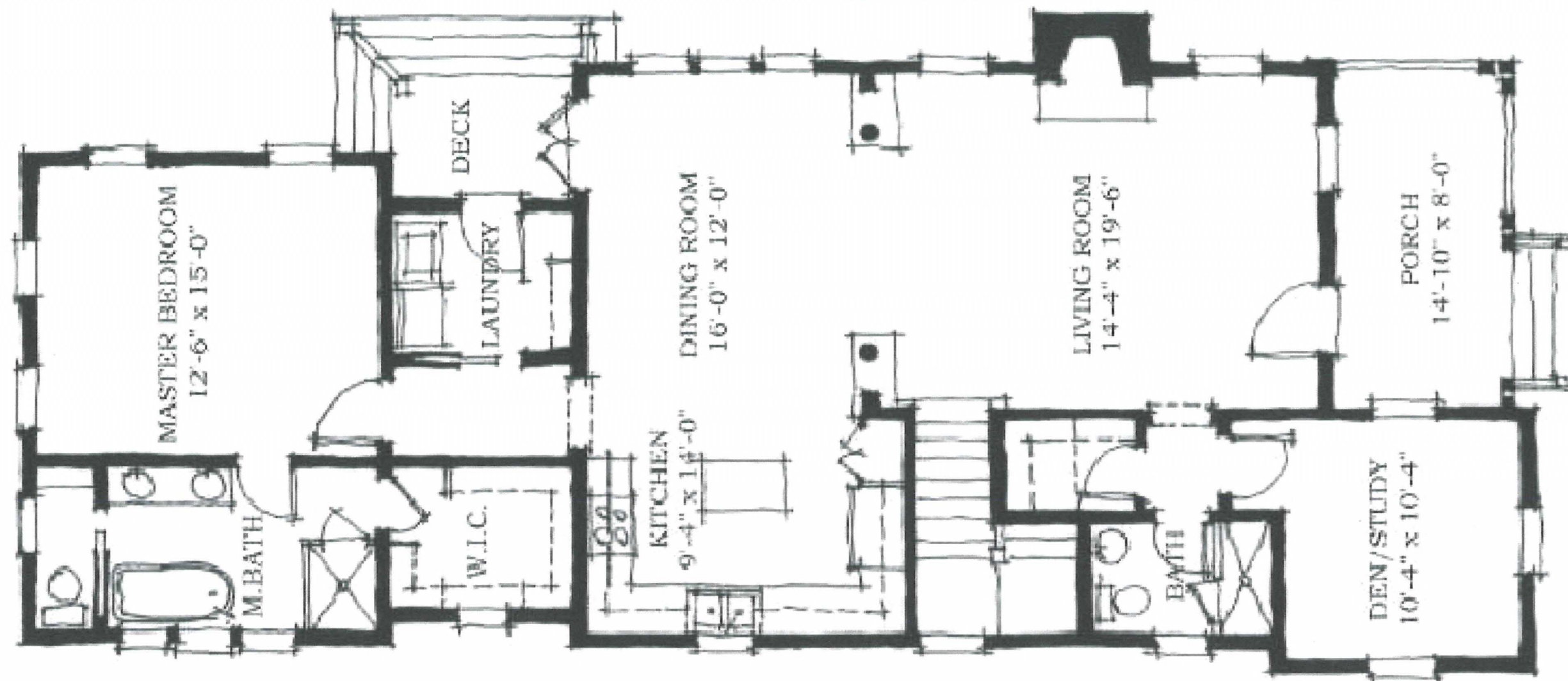
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J. Christian Voelkel

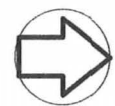
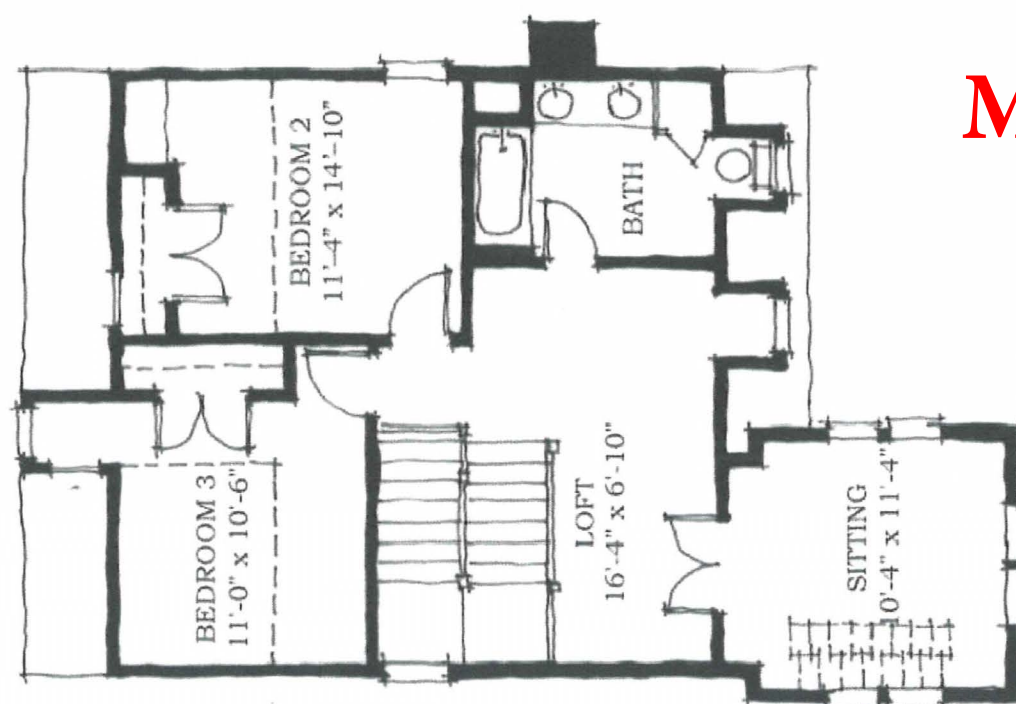
FLPE 82229



N

3-1

PROPOSED
FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



N

3-2

PROPOSED
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

March 2019 Application

NOTE: THE ELEVATIONS AND FLOOR PLANS
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New Residential Design for
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Prepared for:
CALDWELL



94 E Garden St
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Designed By: FRS & JCV
Checked By: JCV
Project #: 000-181007

Sheet: 3 of 3

FOR REVIEW ONLY
without signature and seal.

**DIGITAL COPY
FOR REVIEW/BID ONLY**

(Not to be used for permitting without the
engineer's original signature and seal)



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

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Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. Christian Voelkel
Applicant Signature

3/26/2020
Date

FLORIDA BUILDING CODE 2017

DESIGN CRITERIA:

1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530/560.1-13).
4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

1. DEAD AND LIVE LOADS PER ASCE 7
2. FLOOR LIVE LOAD = 40PSF
3. ATTIC LIVE LOAD = 10PSF
4. ROOF LIVE LOAD = 20PSF
5. WIND LOAD AS PER ASCE 7

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

1. STRUCTURAL STEEL = 36 KSI (MINIMUM)
2. CONCRETE REINFORCING BARS = GRADE 60 (ASTM A-615)
3. CONCRETE = 2,500 PSI @ 28 DAYS
4. BOLTS = GRADE A325
5. THREADED ROD = GRADE A307 (SAE 1018)
6. ANCHOR BOLTS = GRADE F1554
7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

1. THE DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
3. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CORRECTIONAL COSTS.
4. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS, ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
5. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
6. ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATIONS INSURANCE, AND CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
8. RECOMMEND ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

1. NAILS SHALL BE CORROSION-RESISTANT.
2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AT LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
2. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER.
3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAGE (0.105 INCH) SHANK WITH A MINIMUM $\frac{3}{8}$ " DIAMETER HEAD.
4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF $\frac{3}{4}$ " INTO THE ROOF SHEATHING. WHERE ROOF SHEATHING IS LESS THAN $\frac{3}{4}$ " THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)
 - * TWO LAYERS REQUIRED.
 - * 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
 - * 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS 19 INCHES.
 - * FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - * FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
 - * FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
6. SATURATED FELT UNDERLAYMENT (ROOF SLOPE ≥ 4:12).
 - * ONE LAYER REQUIRED.
 - * APPLY IN SINGLE FASHION.
 - * INSTALL STARTING FROM THE EAVE AND LAPPED 2- INCHES.
 - * FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - * FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
 - * FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
7. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).
 - * AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.
 - * OVERLAP SHALL BE A MINIMUM OF 3".
 - * EAVE DRIP EDGES SHALL EXTEND $\frac{1}{2}$ " BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
 - * DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT. IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
 - * DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPLICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#5 BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1.5" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#11 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

[illegible]

ROOF COMPONENTS COMPLIANCE STANDARDS	
ASPHALT SHINGLES	ASTM D 225 -OR- D 3462
UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)	ASTM D 4869 TYPE II -OR- TYPE IV
UNDERLAYMENT (ROOF SLOPE ≥ 4:12)	ASTM D 4869 TYPE IV
SELF ADHERING POLYMER MODIFIED BITUMEN SHEET	ASTM D 1970
NAILS	ASTM F 1667
WOOD SCREWS	ANSI/ASME B 18.6.1
CORROSION RESISTANCE (FASTENERS)	ASTM A 641 CLASS I
CORROSION RESISTANCE (CLIPS)	0.90 OZ/FT ² ASTM A 90/A 90M

SITE PREPARATION:

- A GEOTECHNICAL SOIL REPORT WAS NOT FURNISHED FOR THIS PROJECT. CONTRACTOR SHALL VERIFY ASSUMED SOIL CONDITIONS WITH GEOTECHNICAL ENGINEER FOR MINIMUM 1,500 psf.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD.
- ALL FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS MAXIMUM AND TO 95% MODIFIED PROCTOR DENSITY.

**COMPONENTS &
CLADDING ZONES**

NOT TO SCALE

1-2

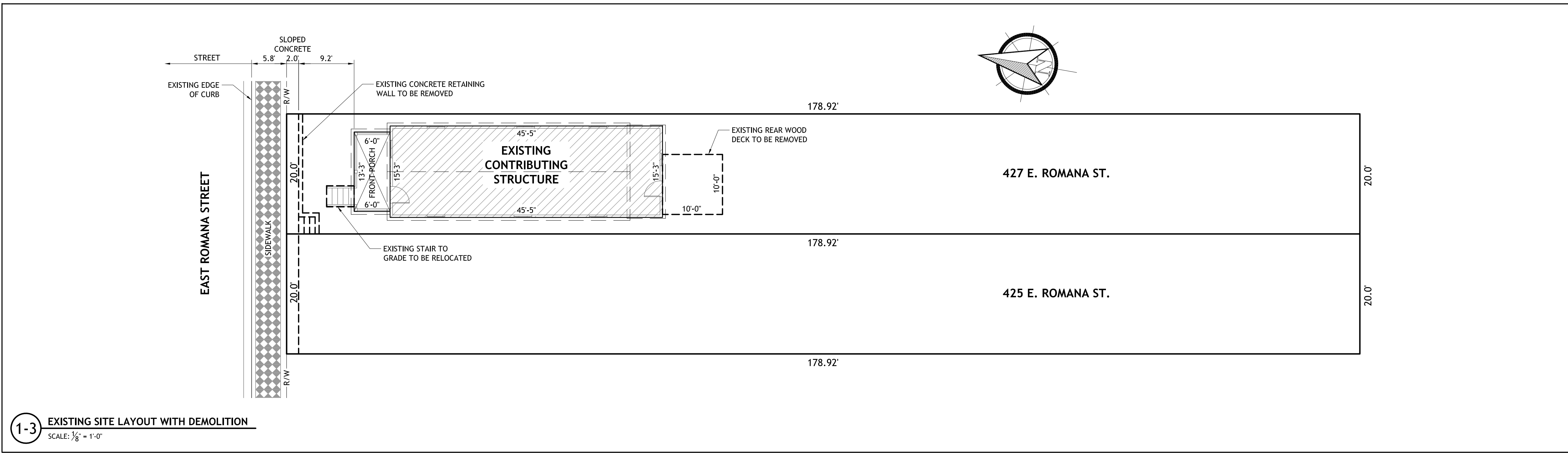


SHAMS RESIDENCE

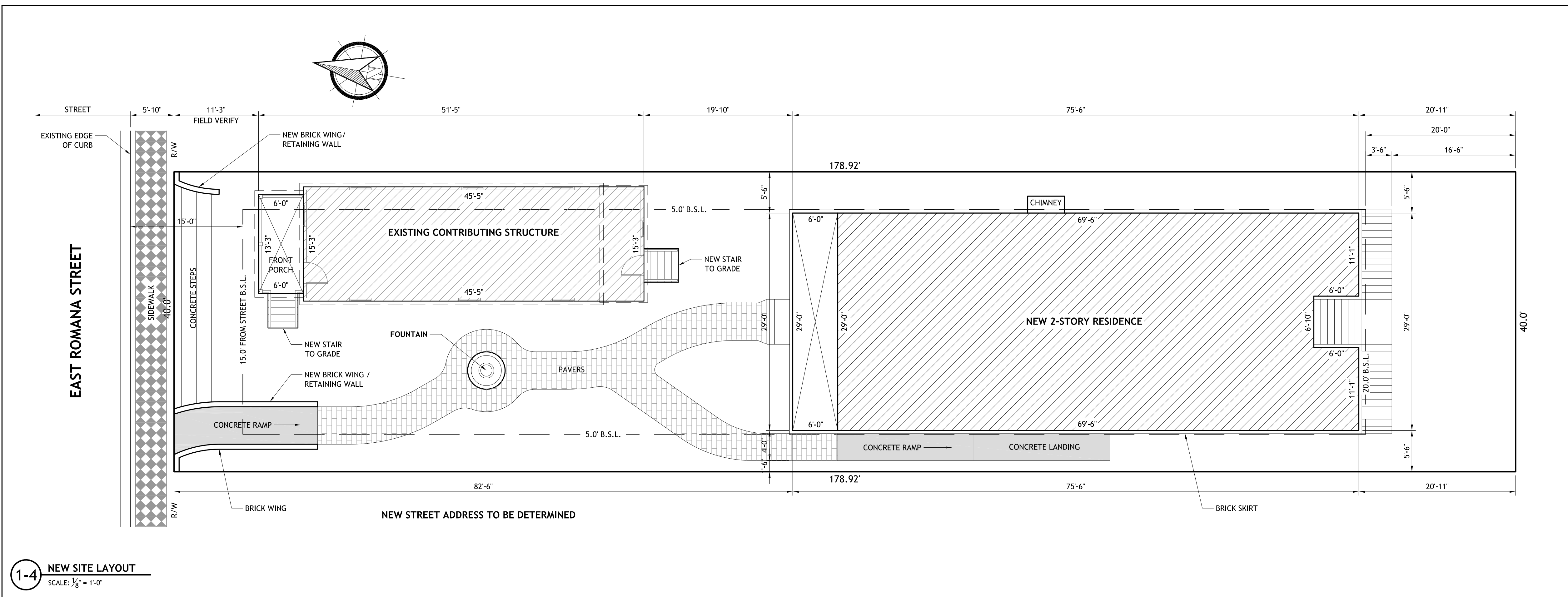
425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502

<p><u>NEW RESIDENCE AREAS:</u></p> <p>FIRST FLOOR CONDITIONED SPACE: 1,975 S.F.</p> <p>SECOND FLOOR CONDITIONED SPACE: 1,535 S.F.</p> <p>TOTAL CONDITIONED SPACE: 3,510 S.F.</p> <p>FIRST FLOOR FRONT PORCH: 174 S.F.</p> <p>SECOND FLOOR FRONT BALCONY: 174 S.F.</p> <p>SECOND FLOOR REAR PORCH / SUN DECK: 307 S.F.</p>	<p><u>SCOPE OF WORK:</u></p> <p>...</p>
---	--

1-1 WIND DESIGN & LOADING DATA
NOT TO SCALE




1-3 **EXISTING SITE LAYOUT WITH DEMOLITION**
SCALE: 1/8" = 1'-0"



1-4 NEW SITE LAYOUT
SCALE: $\frac{1}{8}" = 1'-0"$

Title: **NEW RESIDENTIAL DESIGN FOR
SHAMS RESIDENCE
425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502**
Prepared for: **CALDWELL BUILDERS**

 **Irby & Voelkel
Engineering**

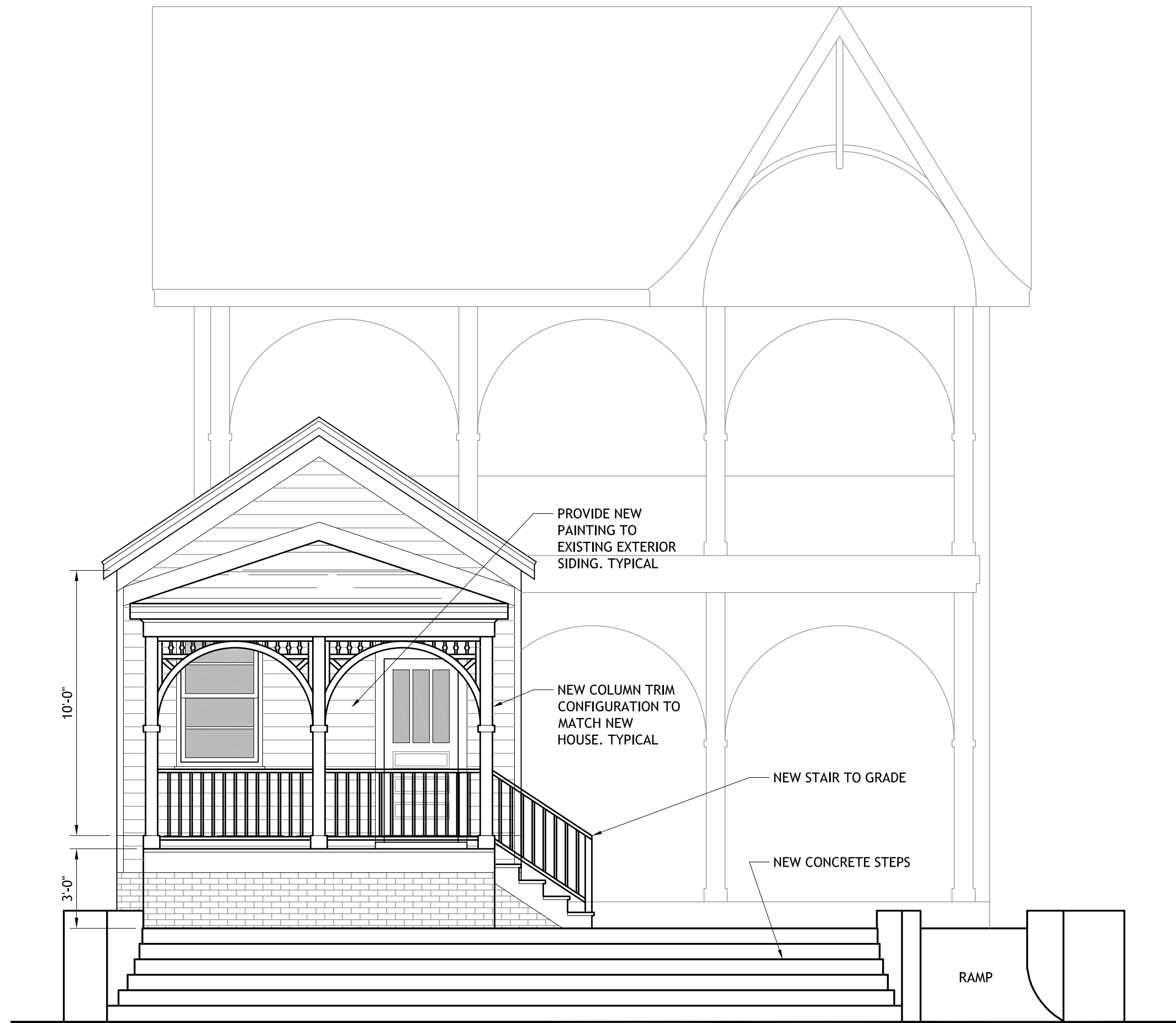
312 N. NEW WARRINGTON RD., UNIT 1A
PENSACOLA, FL 32506
FL CA: 9511

www.IrbyEngineering.com
Office: (850) 439-0877
Fax: (850) 469-0351

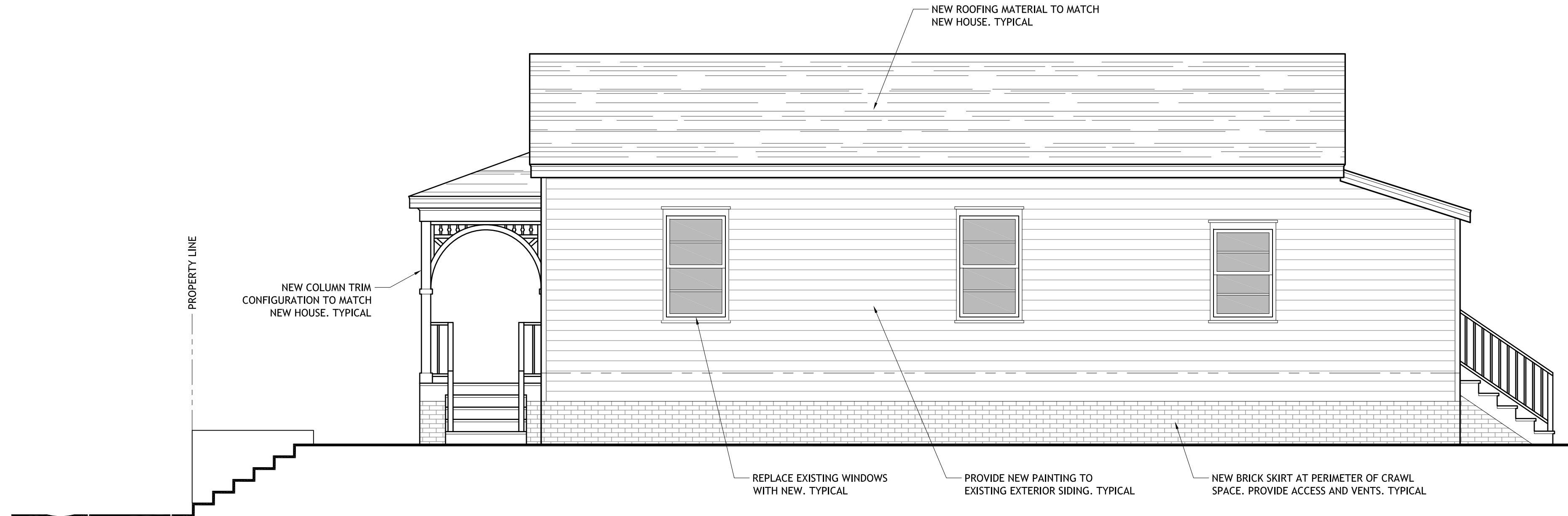
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engineer's original signature and seal)

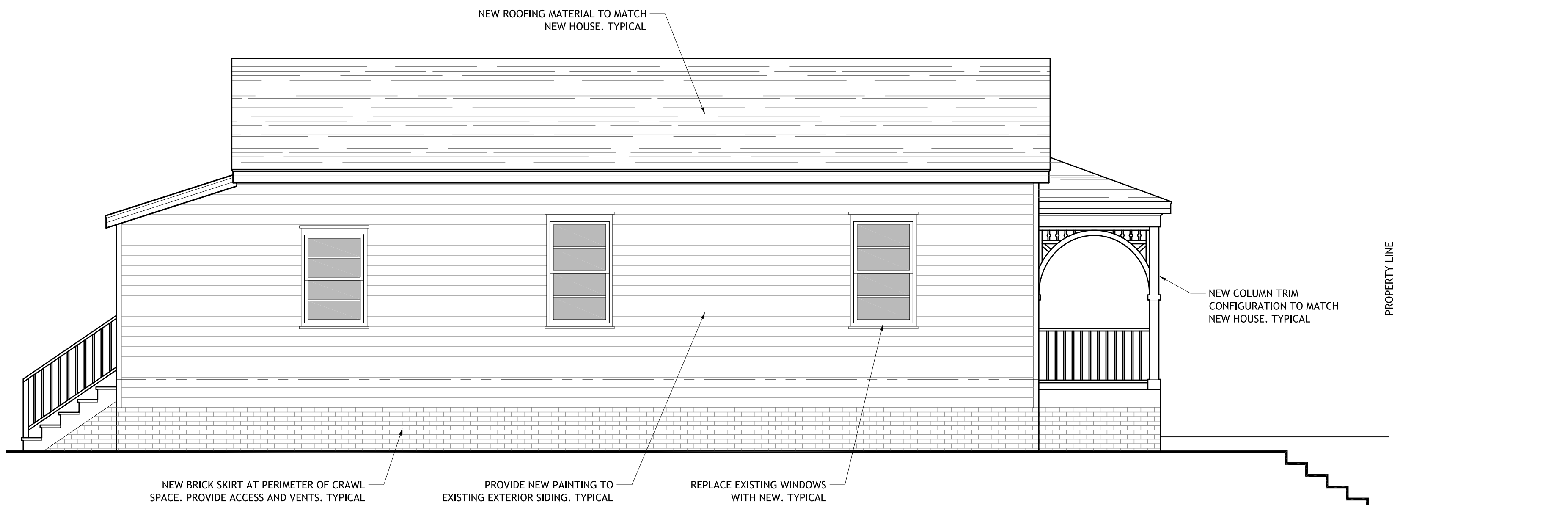
Scale: As Noted



2-1 EXISTING CONTRIBUTING STRUCTURE - NORTH ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2-2 EXISTING CONTRIBUTING STRUCTURE - WEST ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2-3 EXISTING CONTRIBUTING STRUCTURE - EAST ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2-4 EXISTING CONTRIBUTING STRUCTURE - SOUTH ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$

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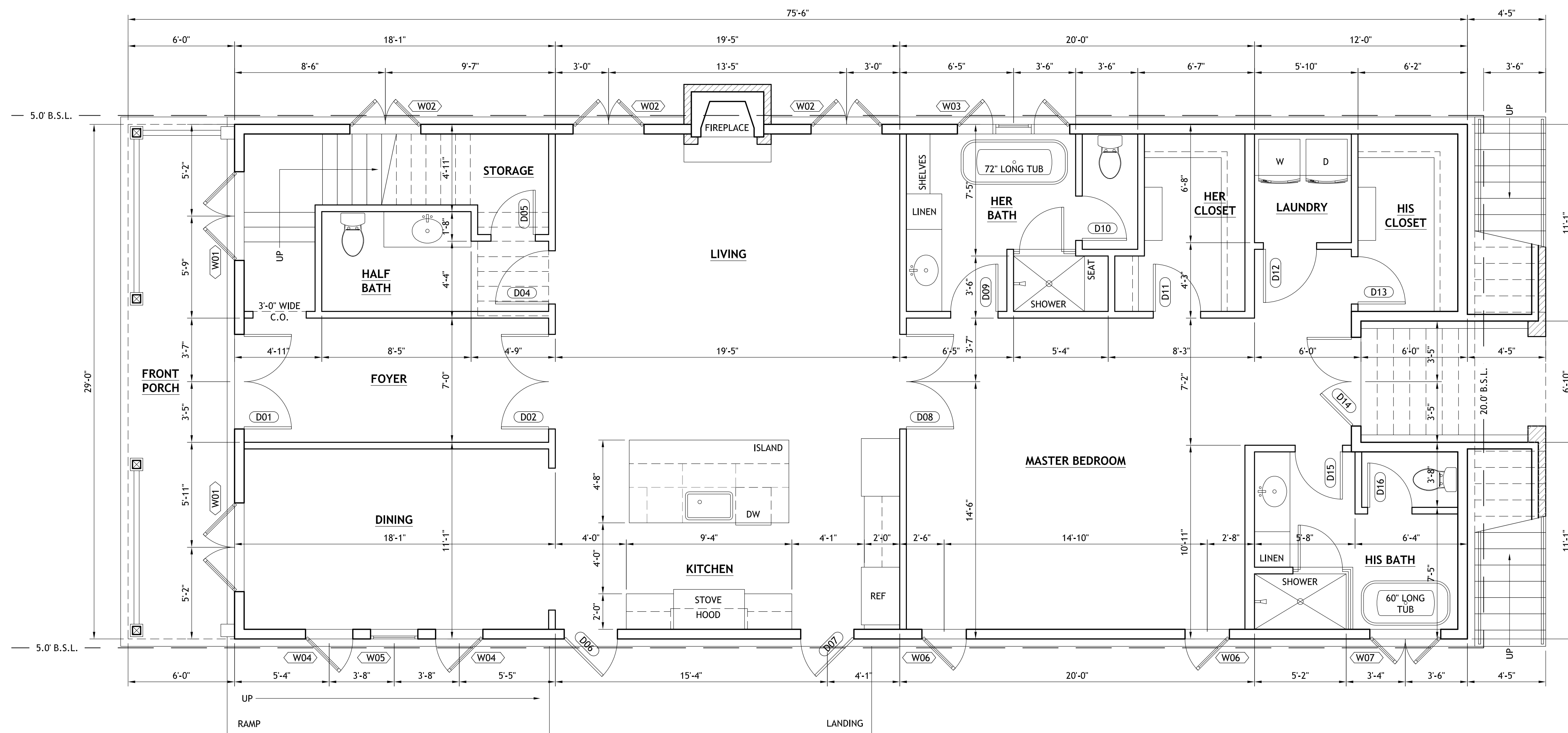
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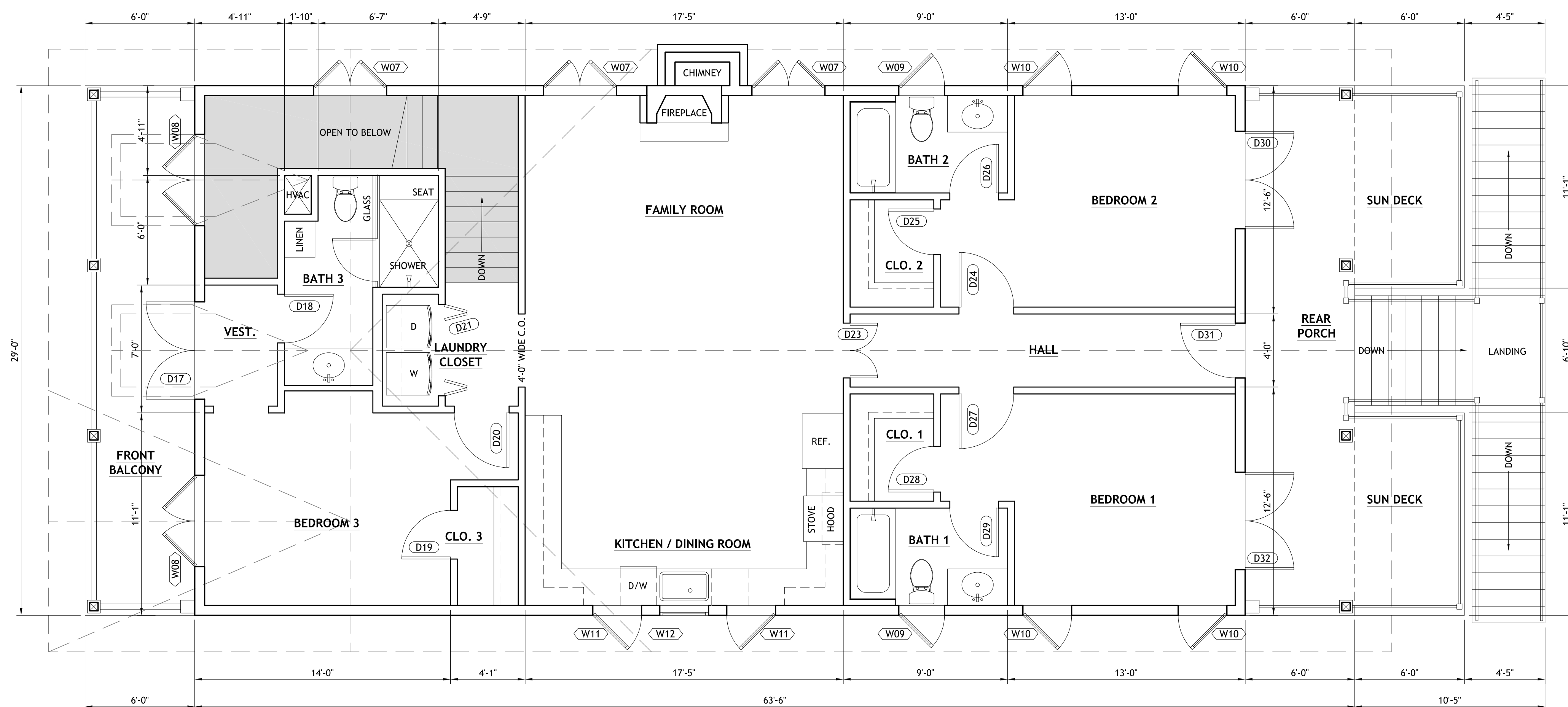
Designed By: JCV / FRS
Checked By: JCV
Project #: 000-181007

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Sheet: 2 of X



3-1 NEW HOUSE
FIRST FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



3-2 NEW HOUSE
SECOND FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

DOOR SCHEDULE						
TAG	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	TYPE	FLORIDA PRODUCT APPROVAL NUMBER
D01	5'-4"	9'-0"	EXTERIOR DOOR	WOOD	SWING (PAIR)	
D02	5'-4"	9'-0"	INTERIOR DOOR	WOOD/GLASS	SWING (PAIR)	.....
D04	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D05	2'-6"		INTERIOR DOOR	WOOD	SWING	.....
D06	3'-0"	9'-0"	EXTERIOR DOOR	CLAD/GLASS	SWING	
D07	3'-0"	9'-0"	EXTERIOR DOOR	CLAD/GLASS	SWING	
D08	5'-4"	9'-0"	INTERIOR DOOR	WOOD	SWING	.....
D09	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D10	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D11	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D12	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D13	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D14	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D15	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D16	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D17	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D18	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D19	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D20	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D21	5'-0"	8'-0"	INTERIOR DOOR	WOOD	BI-FOLD (PAIR)	.....
D23	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING (PAIR)	.....
D24	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D25	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D26	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D27	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D28	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D29	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING	.....
D30	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D31	3'-0"	8'-0"	EXTERIOR DOOR	CLAD	SWING	
D32	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	

WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	QTY.	EGRESS
W01	(2) 2'-8"	7'-0"	CASEMENT		2	---
W02	(2) 2'-0"	7'-0"	CASEMENT		3	---
W03	(3) 2'-0"	6'-0"	(2) CASEMENT (1) FIXED		1	---
W04	2'-8"	7'-0"	CASEMENT		2	---
W05	2'-8"	7'-0"	FIXED		1	---
W06	2'-6"	6'-0"	CASEMENT		2	YES
W07	(2) 2'-0"	6'-0"	CASEMENT		4	---
W08	(2) 2'-8"	6'-0"	CASEMENT		4	YES
W09	2'-6"	5'-0"	CASEMENT		2	---
W10	2'-8"	6'-0"	CASEMENT		4	YES
W11	2'-8"	4'-6"	CASEMENT		2	---
W12	2'-8"	4'-6"	FIXED		1	---

WINDOW NOTE: GLAZED OPENINGS SHALL BE PROTECTED AS SPECIFIED IN ASCE 7-10 SECTION 26.10.3

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PENSACOLA, FL 32502
Prepared for: CALDWELL BUILDERS

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Office: (850) 439-0877
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Date

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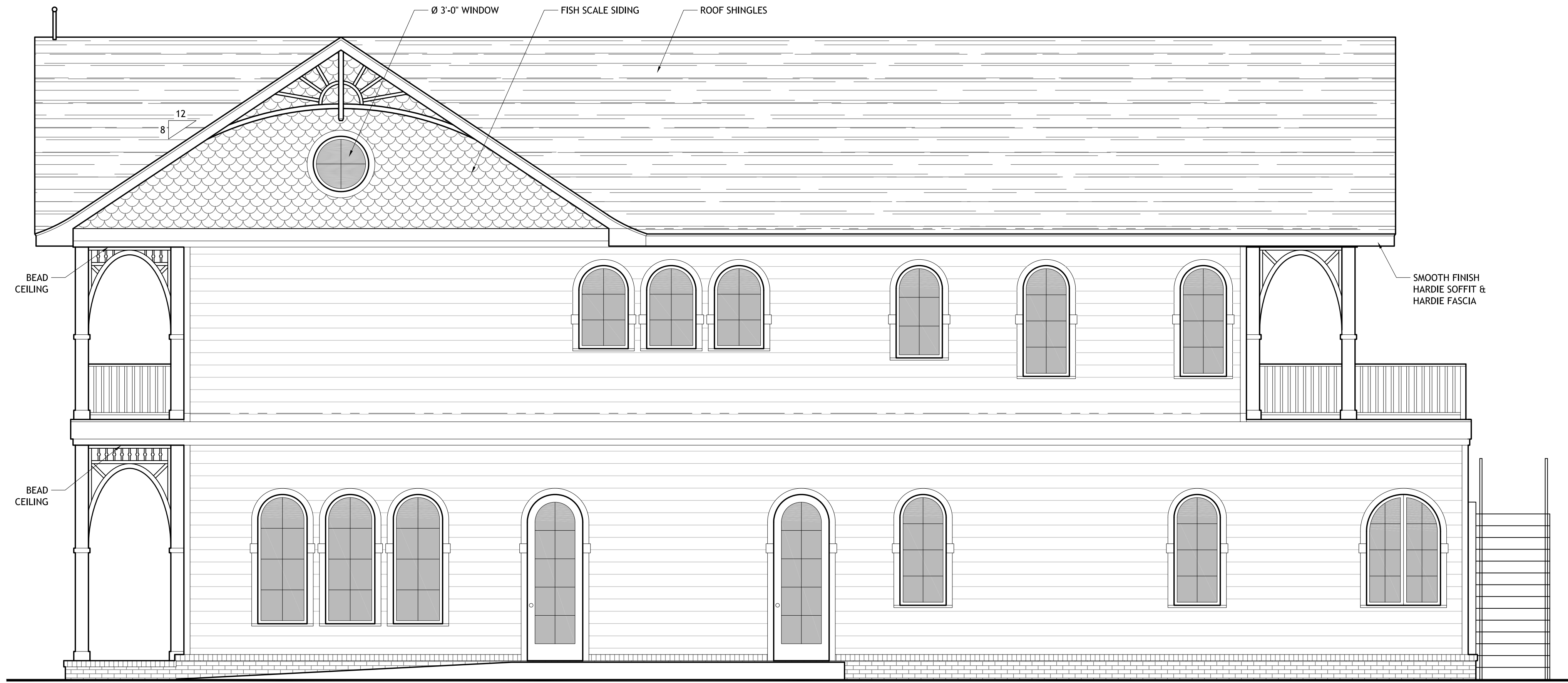
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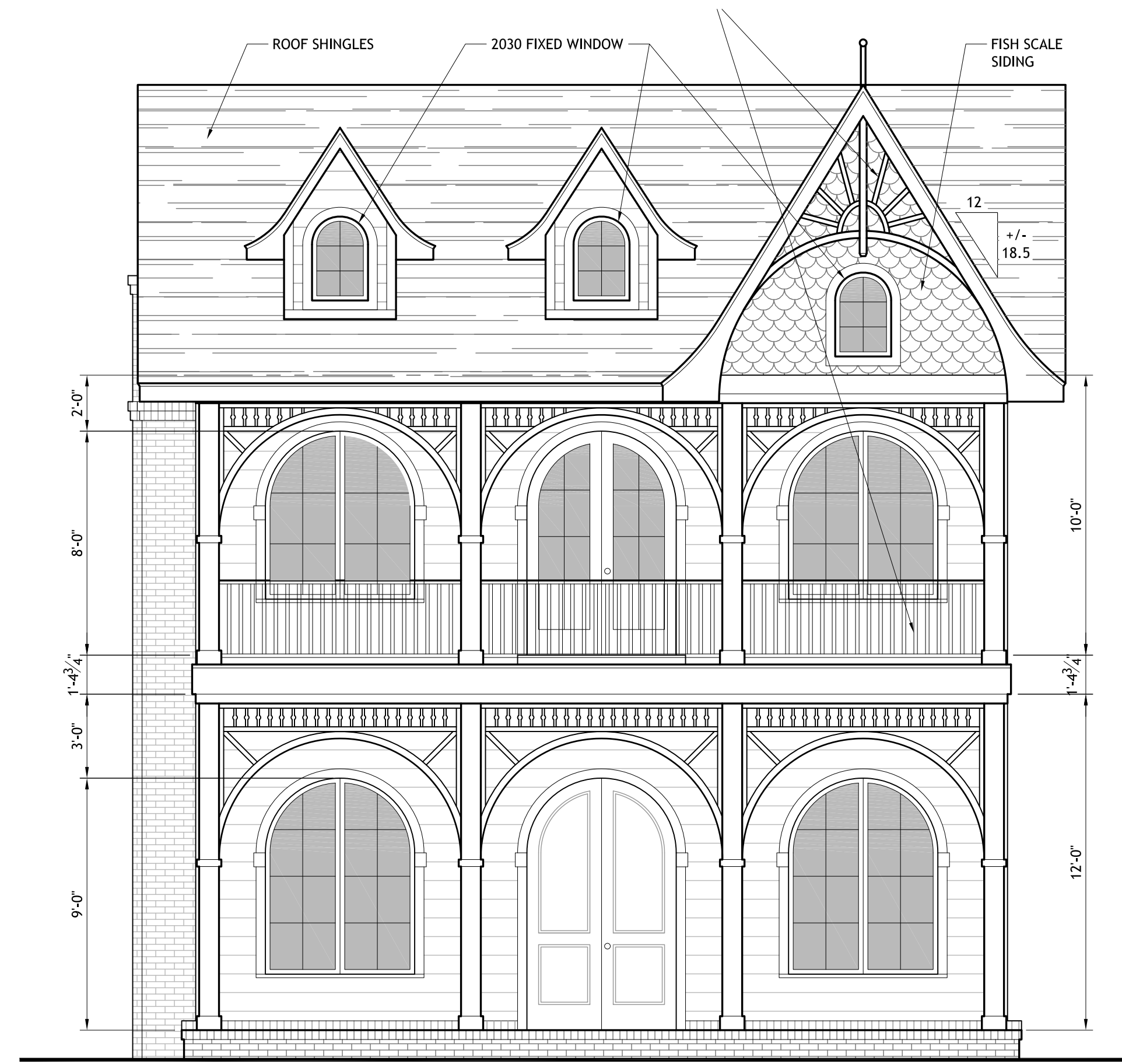
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Project #: 000-181007

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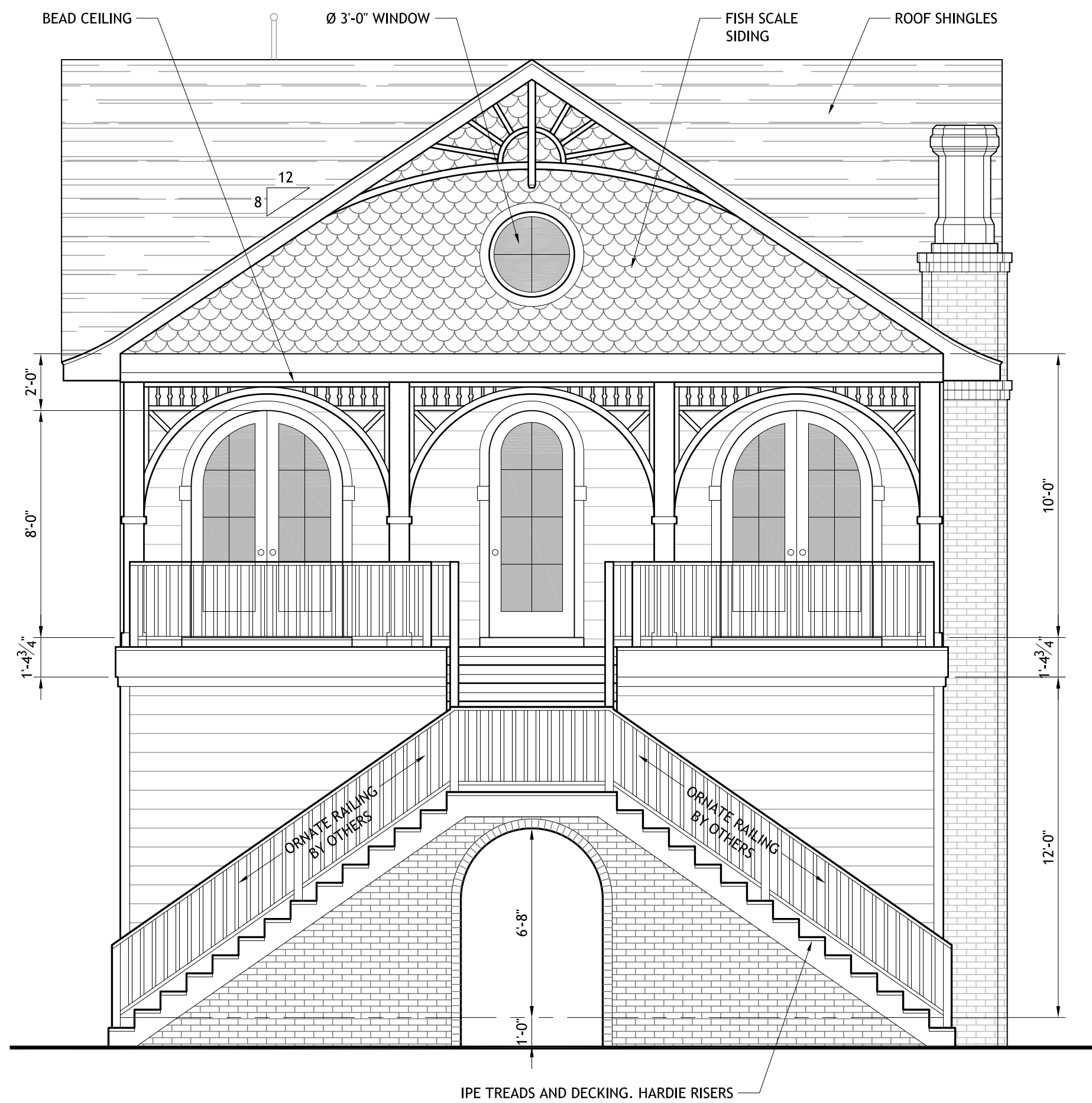
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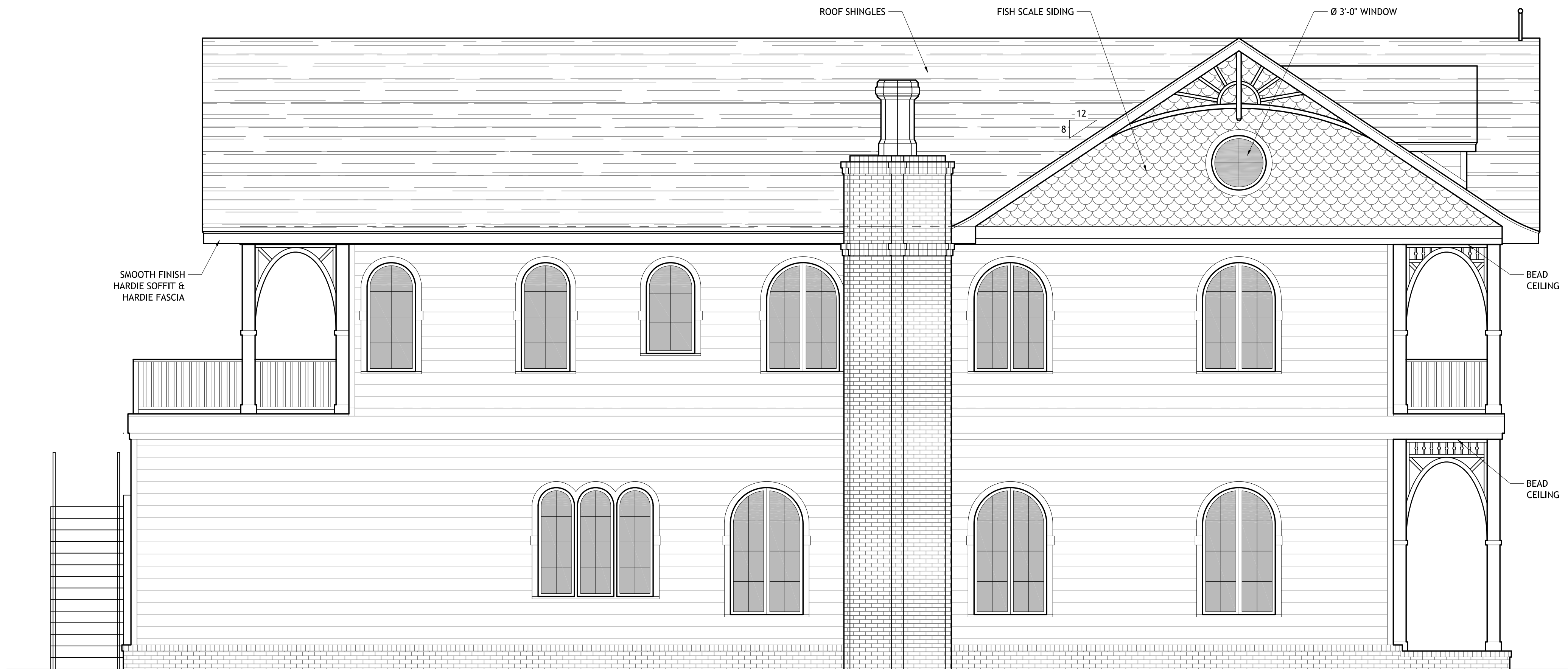
4-1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4-2 NORTH ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



4-3 SOUTH ELEVATION - REAR
SCALE: 1/4" = 1'-0"



4-4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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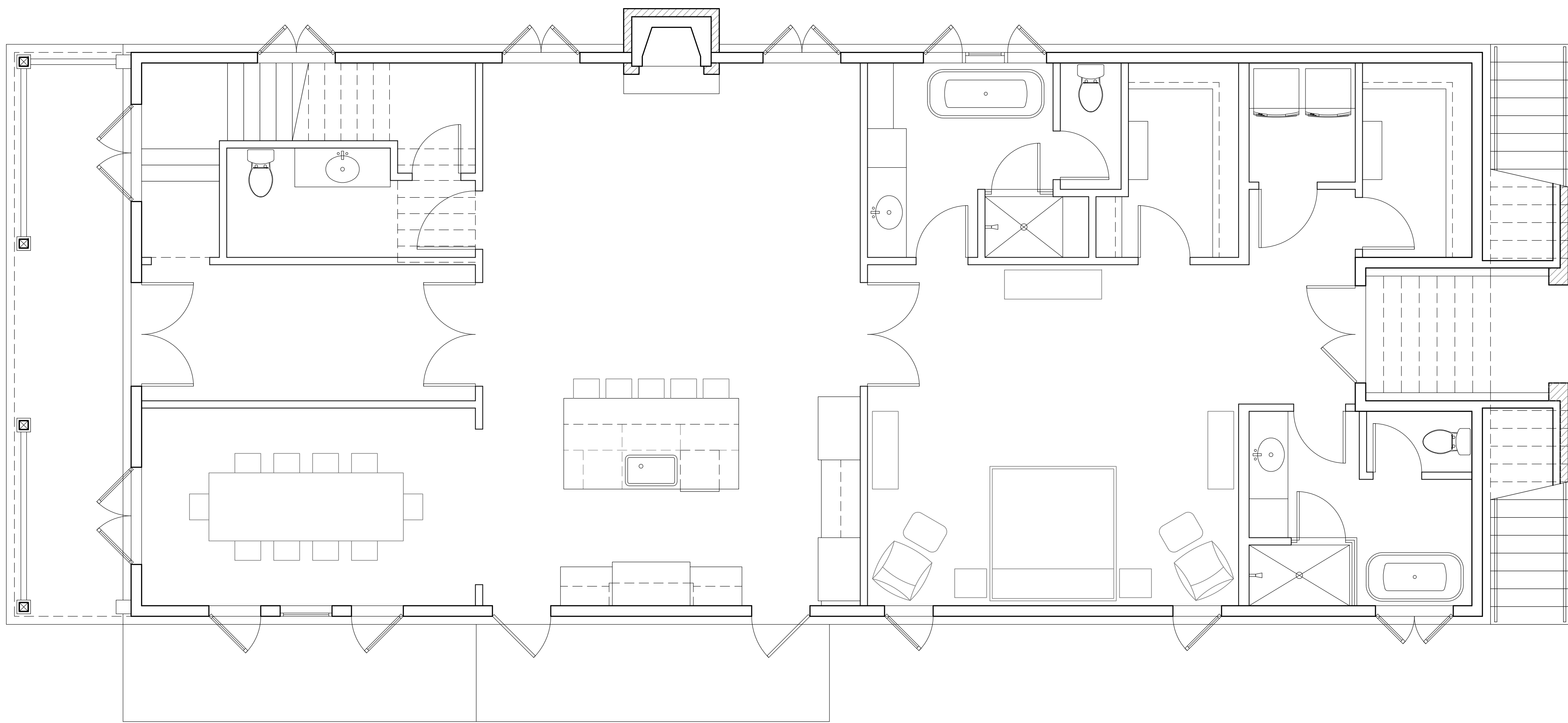
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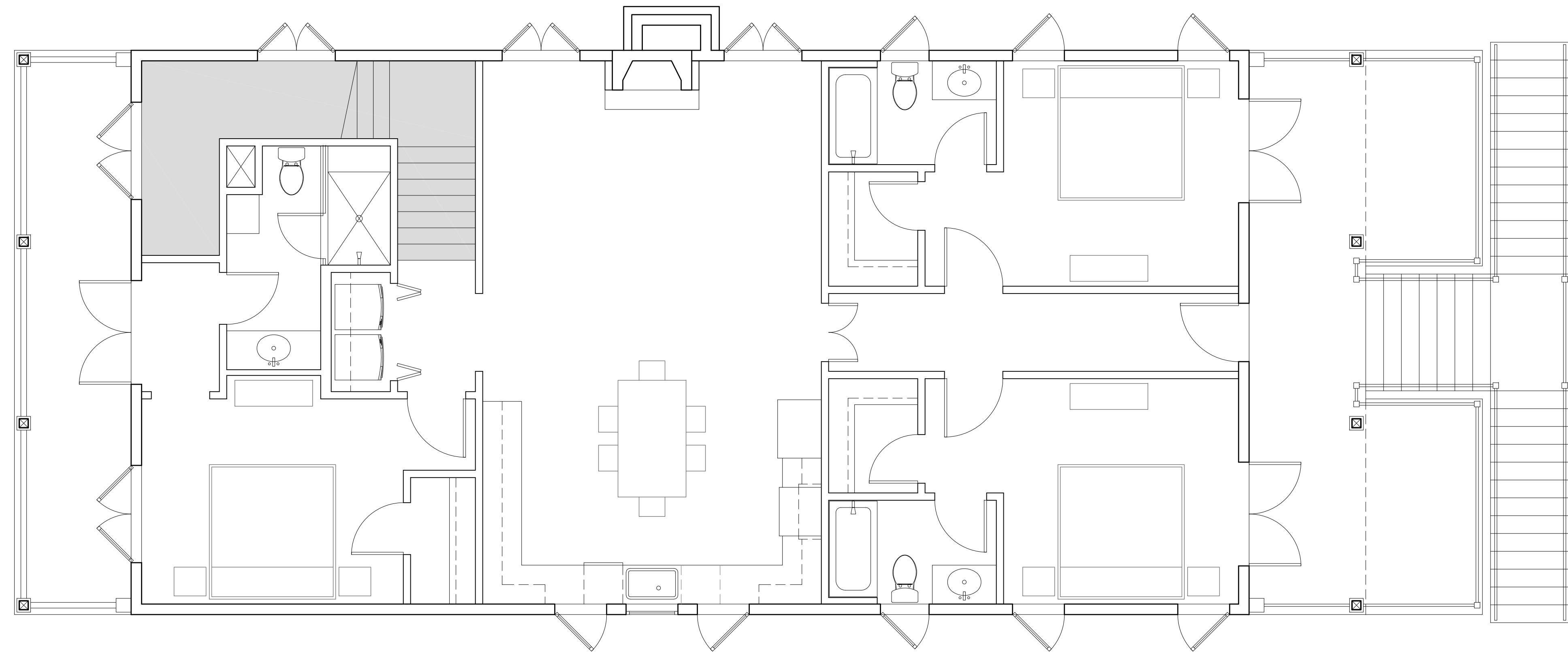
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Checked By: JCV
Project #: 000-181007

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Sheet: 4 of X



5-1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N



5-2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N

ELECTRICAL LEGEND	
	CEILING MOUNTED LIGHT FIXTURE (RECESSED)
	VANITY LIGHT
	CEILING MOUNTED LIGHT FIXTURE
	BATHROOM VENT
	SMOKE DETECTOR
	WALL SWITCH
	WALL SWITCH (3-WAY)
	240V RECEPTACLE
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE w/ GROUND FAULT CIRCUIT INTERRUPTER
	CEILING FAN
	PORCH LIGHT
	4-BULB FLUORESCENT LIGHT
	WEATHERPROOF BOX/COVER
	OVER DOOR LED LIGHT
	CHANDELIER
	FLOOD LIGHT
NOTE: FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY OWNER AND ELECTRICIAN.	

PROVIDE
ELECTRICAL
LAYOUT

Title:
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Checked By: JCV
Project #: 000-181007

Scale: As Noted

Sheet: 5 of X

Gregg Harding

From: Christian Wagley <christianwagley@gmail.com>
Sent: Friday, May 15, 2020 7:36 AM
To: Gregg Harding
Subject: [EXTERNAL] comments on ARB Item 2--425 and 427 E. Romana St.

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hello Gregg:

Please provide the following comments to the ARB members ahead of the May 21 meeting:

I wish to provide my own personal comments on Item 2--425 and 427 E. Romana St. The proposed new structure does not show a sufficient finished floor elevation (FFE) to complement the existing conditions in the District. If such construction is permitted in any preservation district, it could be argued that it should be allowed in all such districts to include Old East Hill where I reside. I ask the Board to require an FFE of at least 18" on this structure, though 24" may be more appropriate and more in-line with other nearby structures.

There are a number of examples of recent infill construction in all of the preservation districts in which the finished floor elevation detail was not confirmed as part of the review process (either by ARB or Building Inspections), and the structures built have a finished floor elevation of one foot or less. With off-grade construction being such a fundamental part of the character of the preservation districts, these structures do not meet the LDC standard of being *"complementary to the overall character of the district in height, proportion, shape, scale, style and building materials."*

This basic element of our historic residential building stock was even recognized and codified by the city in the creation of urban design standards that now apply to most of the Urban Core CRA outside of areas that receive ARB review. In these areas an FFE of at least 18" is required on new residential structures.

Thank you for your service, and for your consideration of my comments.

Christian Wagley
(850) 687-9968



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00221

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 4/8/2020

SUBJECT:

New Business - Item 3
100 BLK W. Garden Street
Palafox Historic Business District / Zone C-2A
New Construction

BACKGROUND:

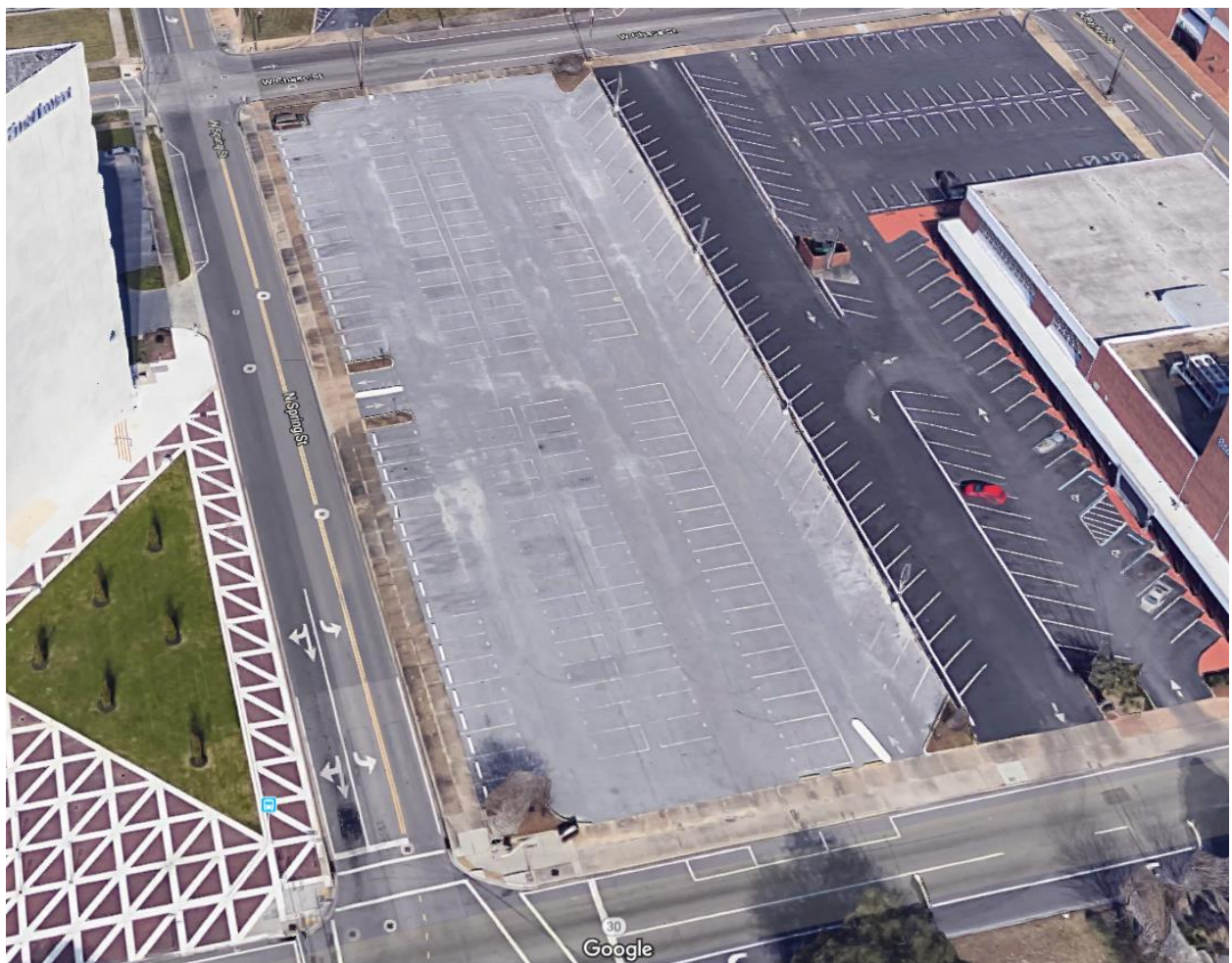
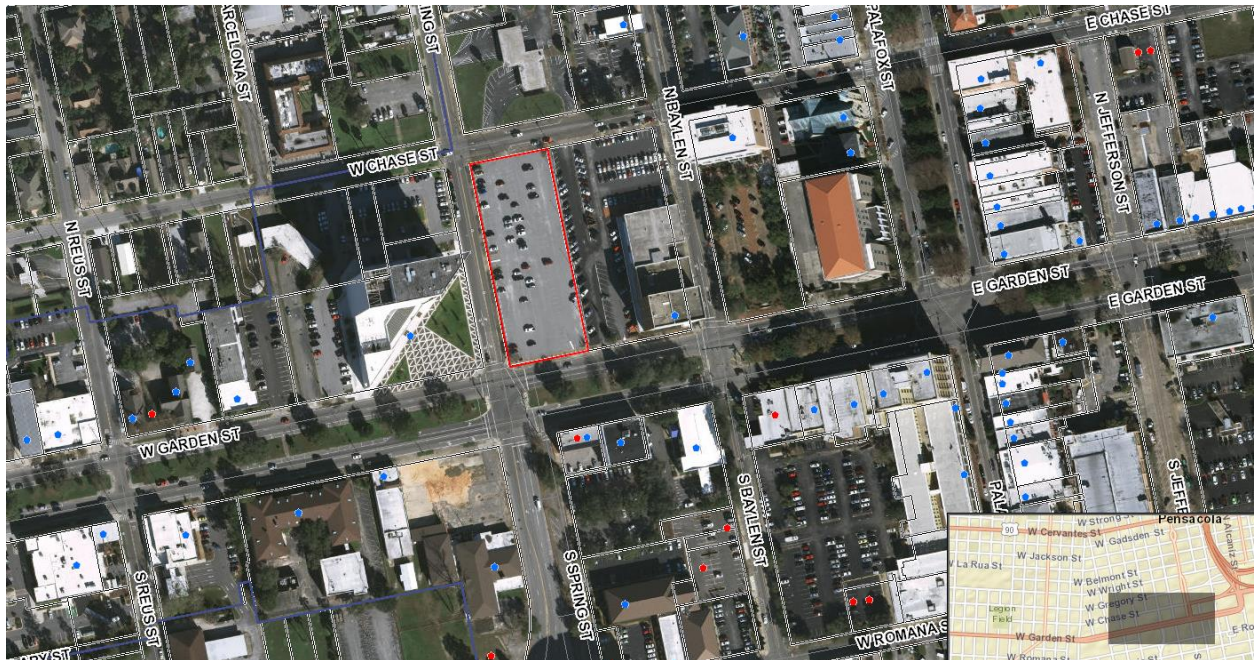
Jordan Yee is requesting a second *conceptual review* for a two-story commercial development. This project received conceptual approval in September 2019. The future site will be located in the south half of an existing parking lot on the northeast corner of Garden and Spring Streets. The proposed plans include accommodations for a large food hall and several outside areas. The food hall will feature indoor and outdoor covered seating, a kitchen support facility, event space and restrooms.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-21 *Palafox Historic Business District*

100 BLK W. Garden Street



Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

September 19, 2019

Item 13

100 BLK W. Garden Street

PHBD

New Construction

C-2A

Action taken: Conceptual Approval with comments.

Jordan Yee is requesting *conceptual* approval for a two-story commercial development. The future site will be located in the south half of an existing parking lot on the northeast corner of Garden and Spring Streets. Mr. Salter recused himself from the item since he was involved with the project. Mr. Yee presented to the Board and stated they wanted conceptual approval for a food hall to be located in a vacant parking lot. He pointed out the adjacent buildings were built in the 1970s, and this was an urban corner. The structure would front both Garden and Spring. Mr. McKenzie stated the concept was the same as European markets. It would house local artisan restaurants and local boutiques. It would also have an entertainment element. Mr. Yee had provided supplemental information but stated the plan was essentially the same. He clarified there would be 10 to 11 vendors with different types of food, and the food hall was a low entry for new businesses in Pensacola. Chairman Quina preferred the new version of the Spring Street entry presenting more of a shade structure and thought it was very appropriate for that corner. Mr. Yee indicated they wanted a fenced children's area for families. Mr. Mead suggested pines along the Spring Street side. Ms. Campbell-Hatler suggested a playground in the center with the tables surrounding so parents could watch their children. Mr. Mc Kenzie advised they wanted to use more sculpture rather than regular playground equipment. He also indicated the second floor could be used for meeting purposes. Ms. Fogarty indicated this was a great concept for that corner. **Mr. Mead made a motion to approve conceptually, seconded by Ms. Campbell-Hatler, and it carried 4 to 1 with Mr. Salter abstaining.**

Pensacola Food Halls, LLC.

Belmont Hall



110 W Garden St
Pensacola, FL 32502

02/22/2020 ISSUE FOR PROGRESS

THE OTHER COMPANY, LLC

5216 SW 91ST DRIVE
GAINESVILLE, FA 32608

Project Description

The project shall encompass the main Food Hall, Kitchen, Restrooms, and second floors Events Space with Terrace and Restrooms, as well as the satellite stand-alone Restaurant at the corner, and exterior improvements.

Building Description

The building is designed to appear as a set of canopies/roofs that are floating over the food hall space. These roofs will be clad below the beam outside of the exterior wall, and within the beam pockets inside of the exterior wall. Large expanses of storefront glazing is provided to allow a clear connection to the outdoors.

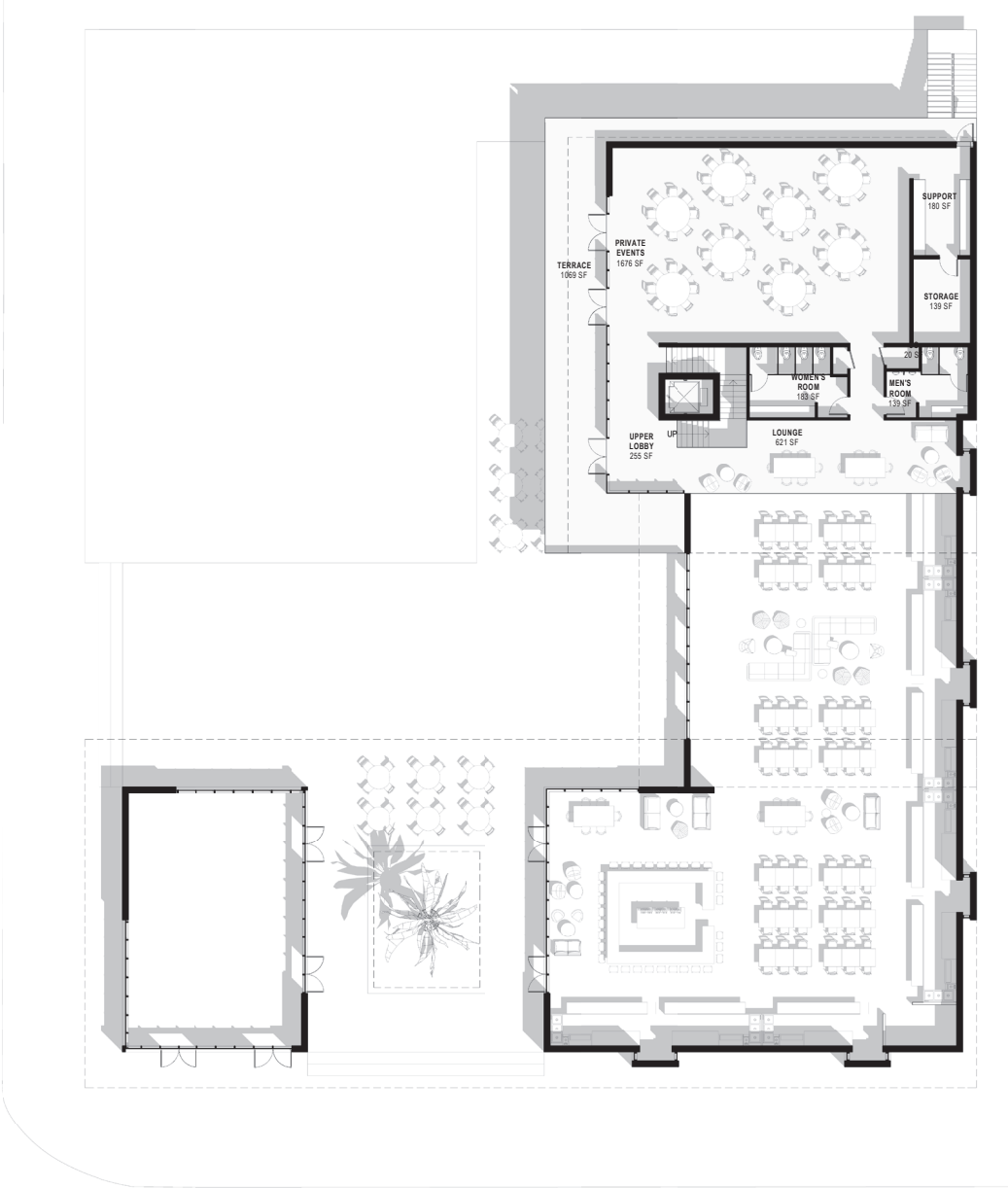
CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020

ARCHITECTURAL TEST FIT

CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



GROUND LEVEL **Garden St**



SECOND LEVEL

THE BRYANT PARK EFFECT
EVERYTHING + ANYTHING AT THE SAME TIME

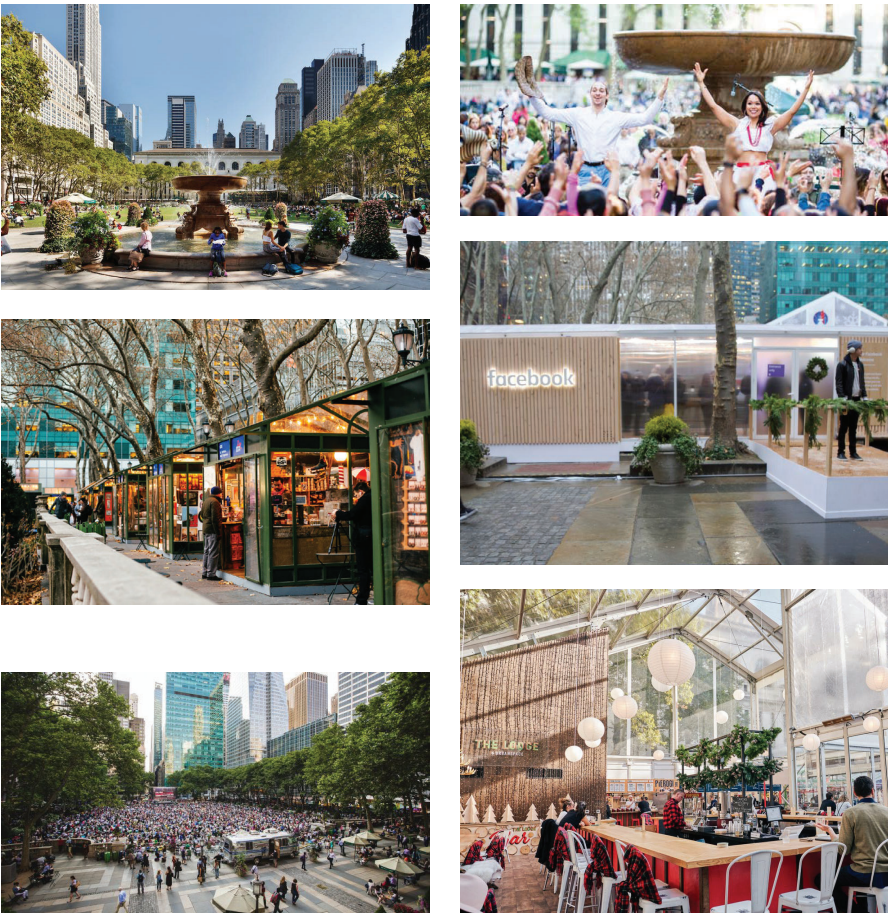
CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



THE GREAT LAWN

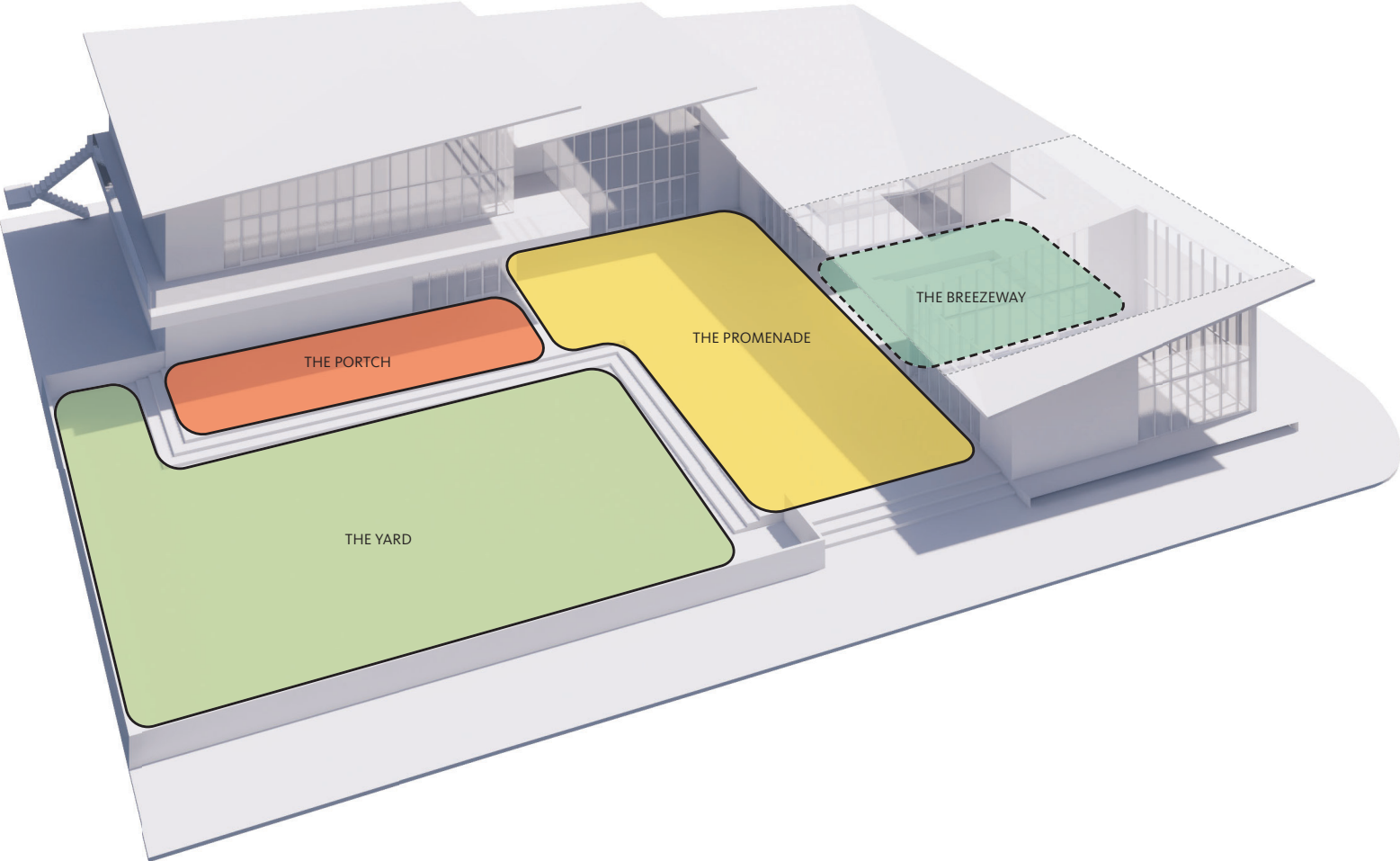


THE GROVE



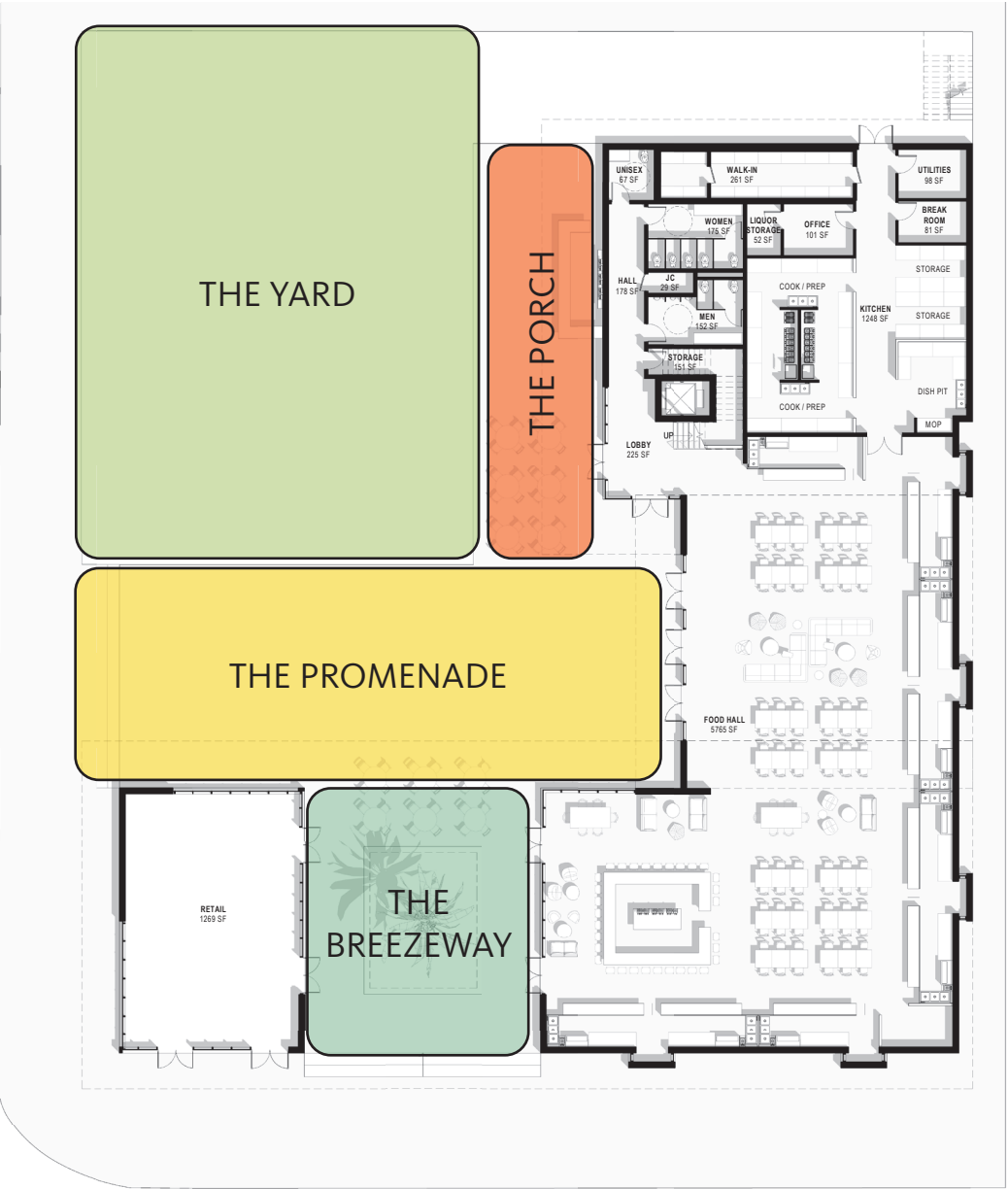
THE TERRACE

EXTERIOR ZONES
A BALANCE + CHOICE OF EXPERIENCES



NORTH WEST AXON

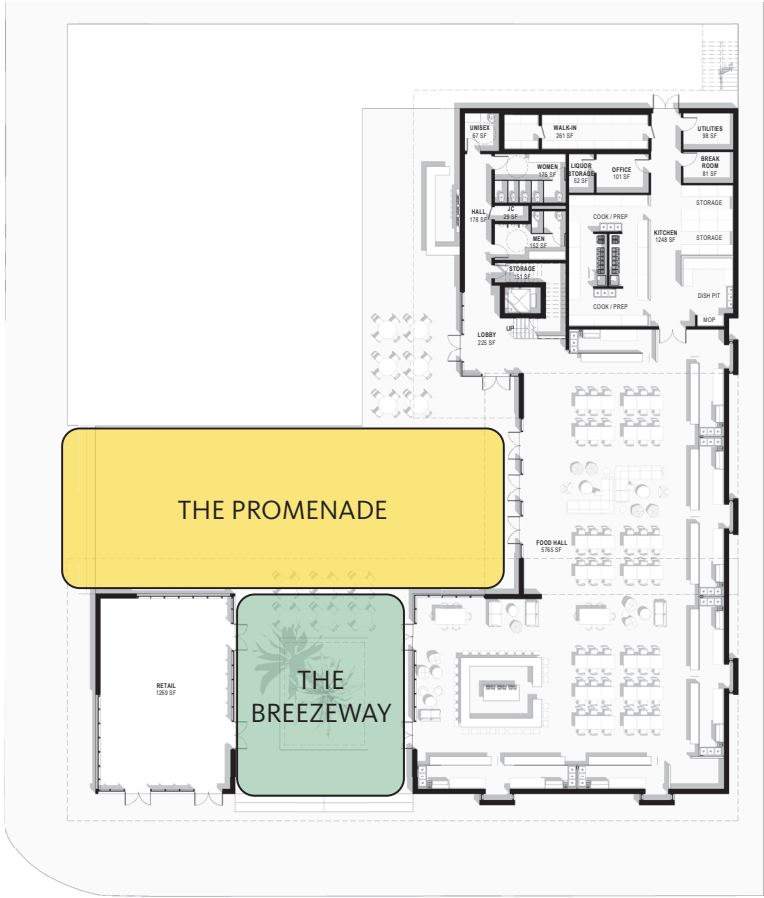
CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



GROUND LEVEL

EXTERIOR ZONES
ENTRY + ENGAGEMENT

CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



THE BREEZEWAY

THE PROMENADE

EXTERIOR ZONES
RELAX + PLAY

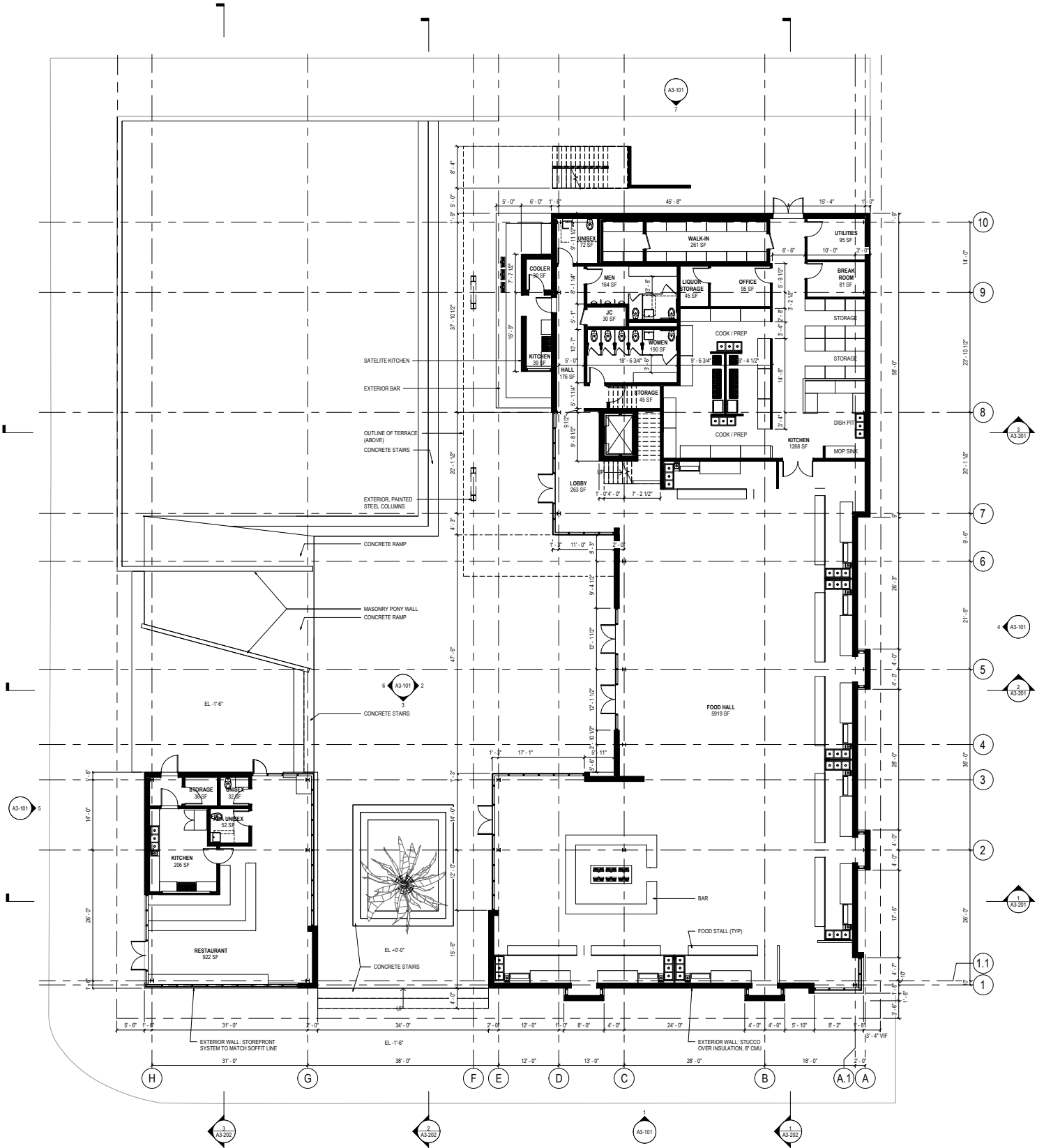
CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



THE YARD



THE PORCH



1 CONSTRUCTION PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

Pensacola Food Halls, LLC.
110 W Garden St
Pensacola, FL 32502

The Other Company, LLC
5216 SW 91st Drive
Gainesville, FL 32608

Date Description

Seal / Signature

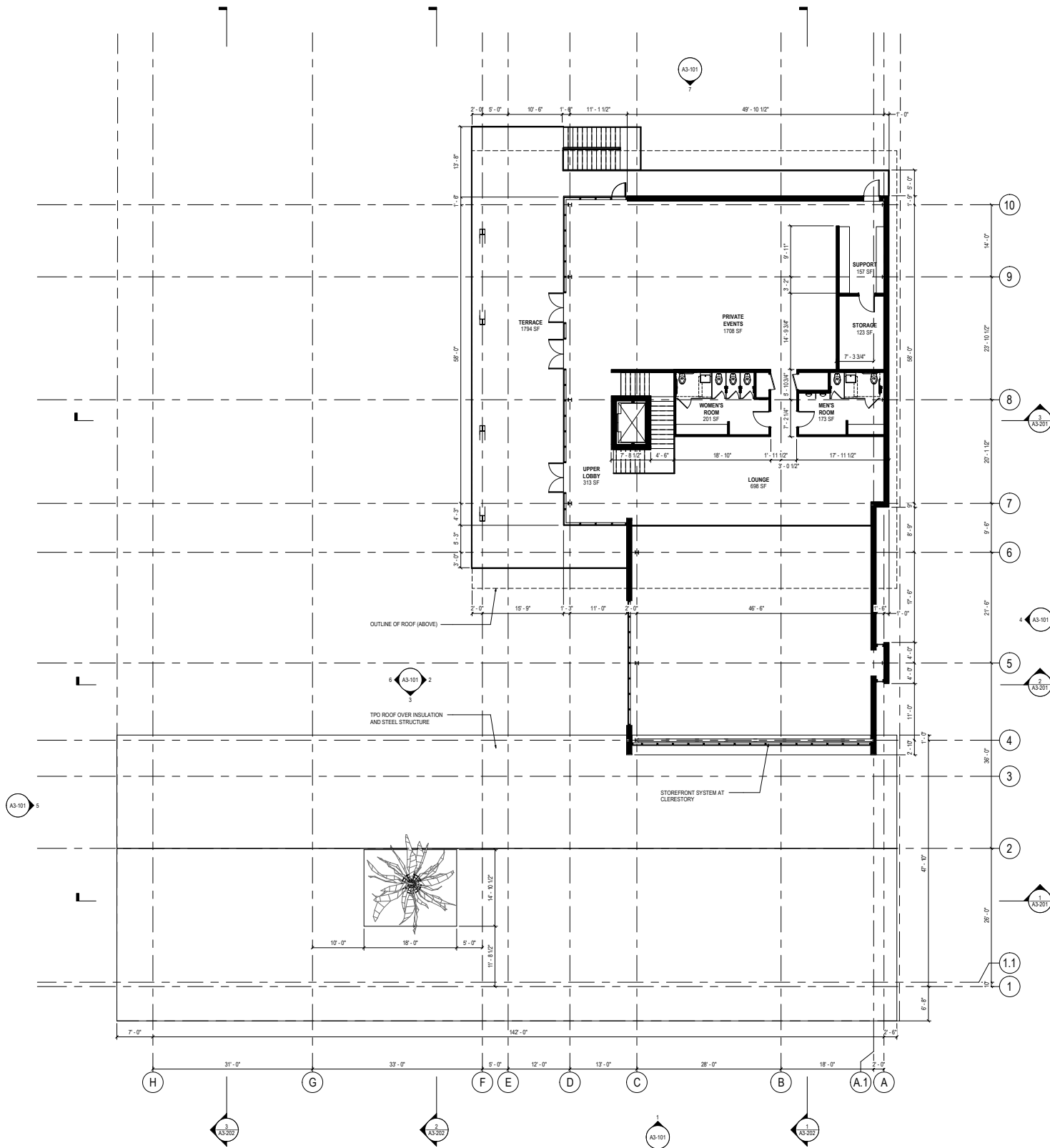
NOT FOR CONSTRUCTION

Project Name
Belmont Hall

Description
FLOOR PLANS - LEVEL 01

Scale
1/8" = 1'-0"

A1-101



1 CONSTRUCTION PLAN - LEVEL 02
SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

Pensacola Food Halls, LLC.
110 W Garden St
Pensacola, FL 32502

The Other Company, LLC
5216 SW 91st Drive
Gainesville, FL 32608

Date Description

Seal / Signature

NOT FOR CONSTRUCTION

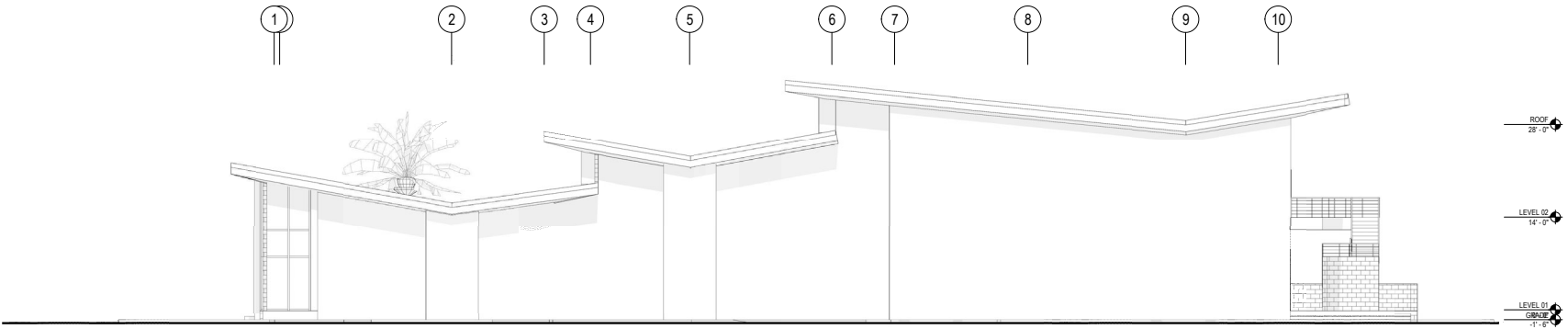
Project Name
Belmont Hall

Description
FLOOR PLAN - LEVEL 02

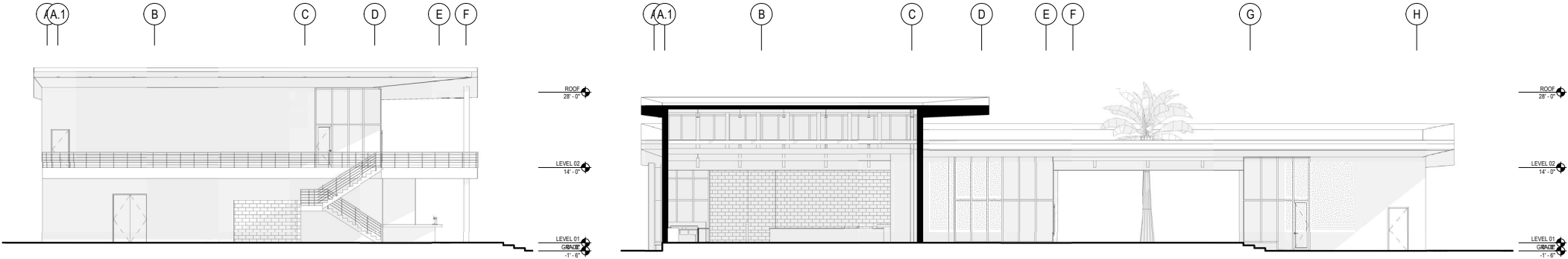
Scale
1/8" = 1'-0"

A1-102

KEY PLAN

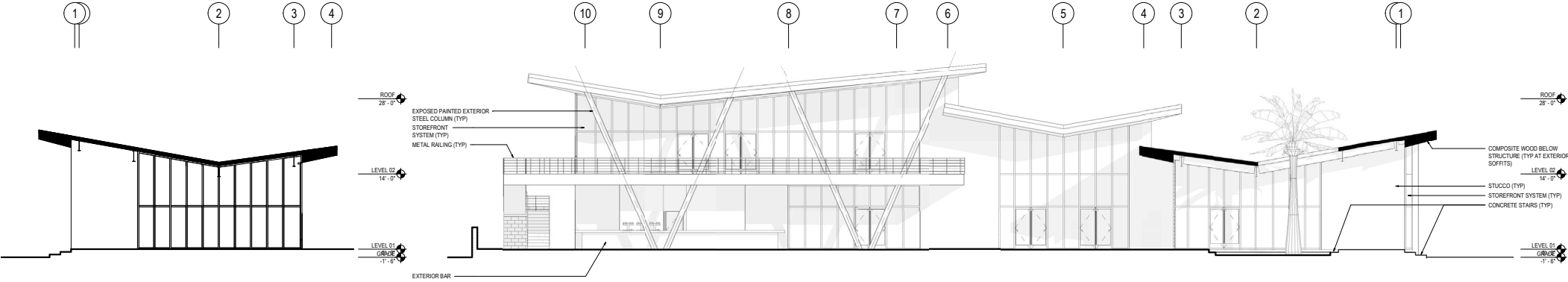


4 ELEVATION - EAST
SCALE: 1/8" = 1'-0"



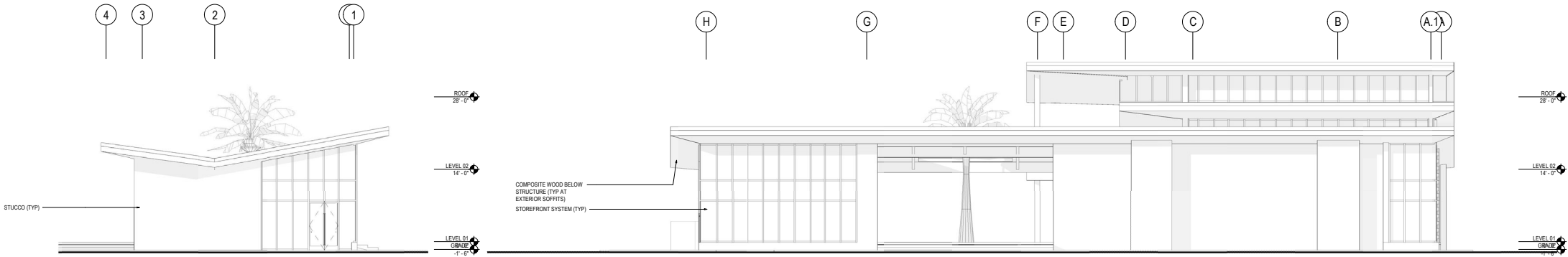
7 ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

3 ELEVATION - NORTH 02
SCALE: 1/8" = 1'-0"



6 ELEVATION - EAST - SW BUILDING
SCALE: 1/8" = 1'-0"

2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



5 ELEVATION - WEST - SW BUILDING
SCALE: 1/8" = 1'-0"

1 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

Pensacola Food Halls, LLC.
110 W Garden St
Pensacola, FL 32502

The Other Company, LLC
5216 SW 91st Drive
Gainesville, FL 32608

Date Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
Belmont Hall

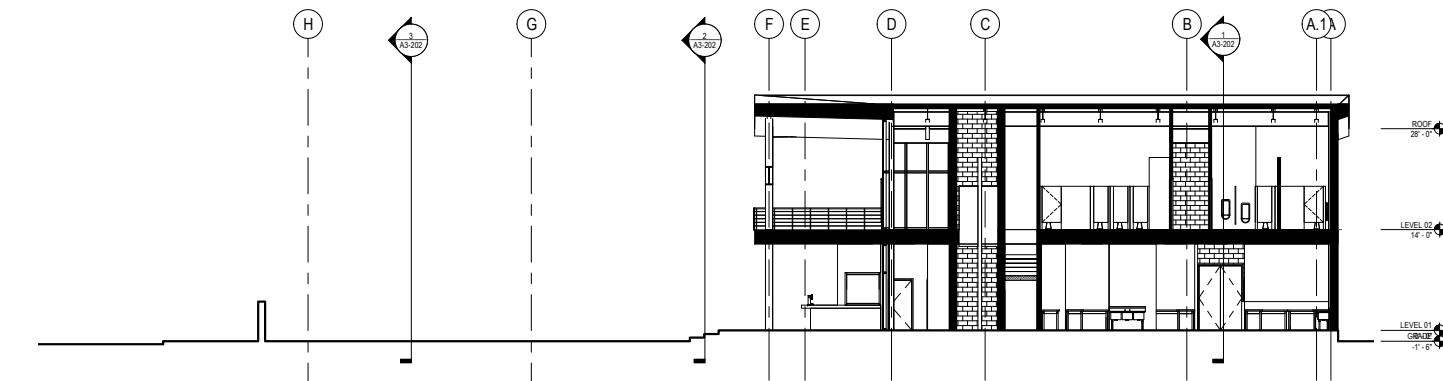
Description
EXTERIOR ELEVATIONS

Scale
1/8" = 1'-0"

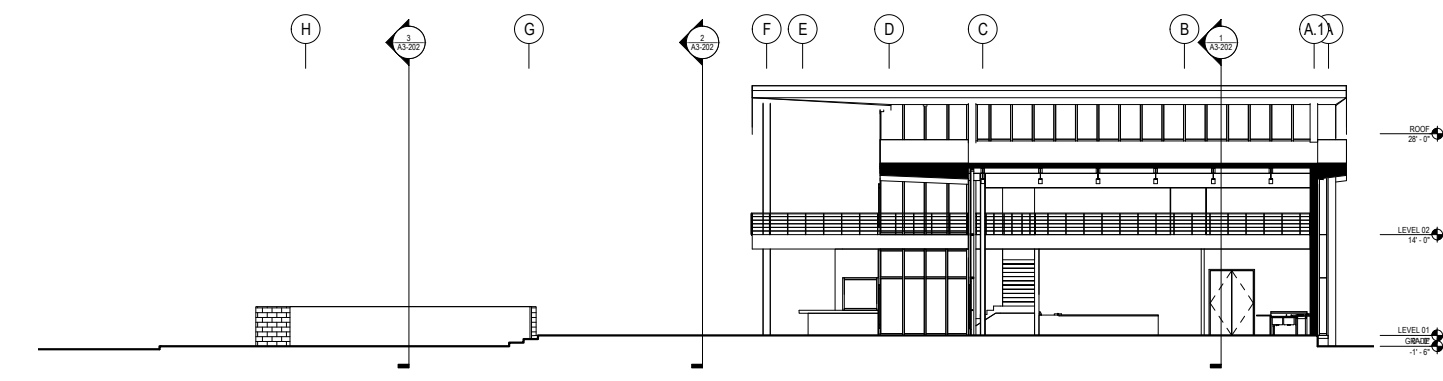
A3-101

KEY PLAN

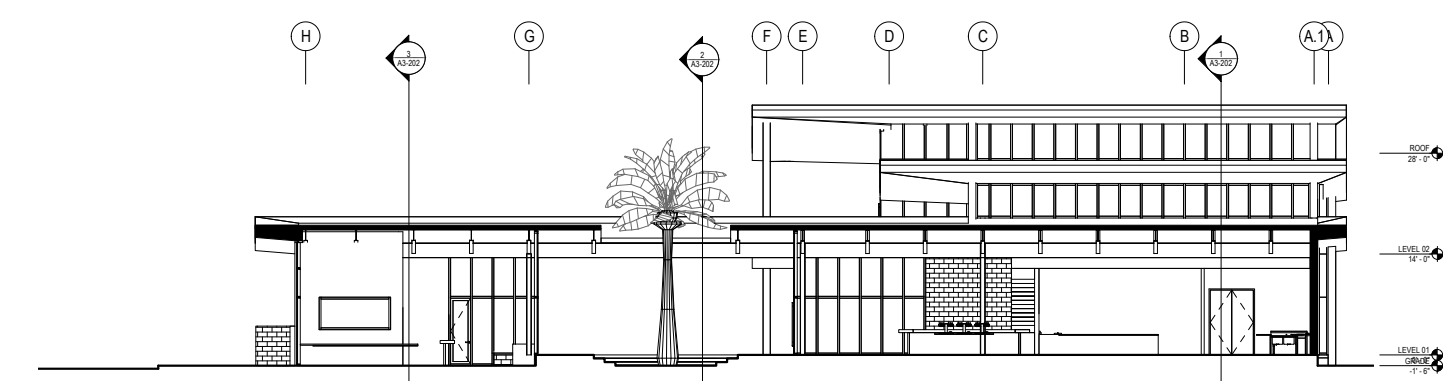
CONCEPTUAL ARB SUBMITTAL
APRIL 26, 2020



3 BUILDING SECTION - E/W - 03
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION - E/W - 02
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION - E/W - 01
SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

KEY PLAN

Pensacola Food Halls, LLC.
110 W Garden St
Pensacola, FL 32502

The Other Company, LLC
5216 SW 91st Drive
Gainesville, FL 32608

Date Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
Belmont Hall

Description
BUILDING SECTIONS

Scale
1/8" = 1'-0"

A3-201

SHEET NOTES

Pensacola Food Halls, LLC.

110 W Garden St
Pensacola, FL 32502

**The Other
Company, LLC**

5216 SW 91st Drive
Gainesville, FL 32608

GENERAL NOTES

△	Date	Description
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Seal / Signature

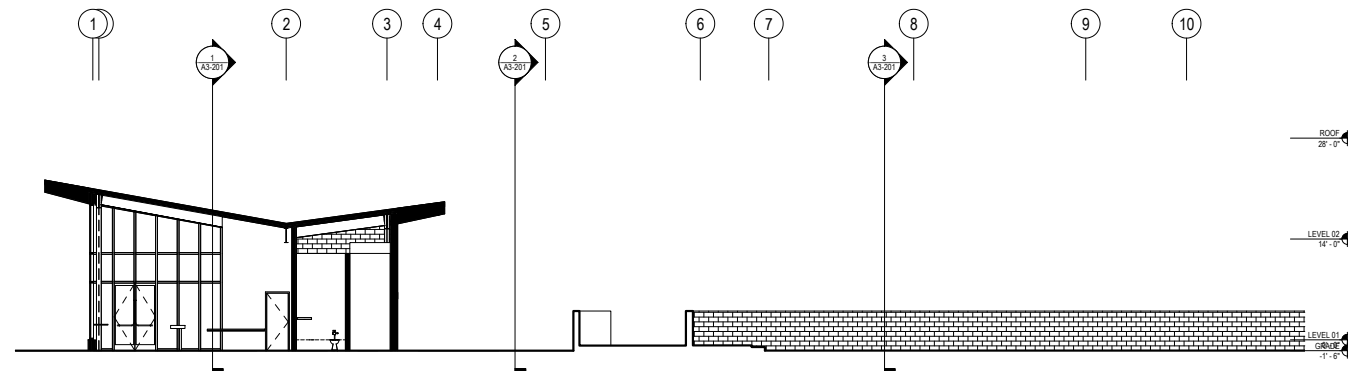
**NOT FOR
CONSTRUCTION**

Project Name
Belmont Hall

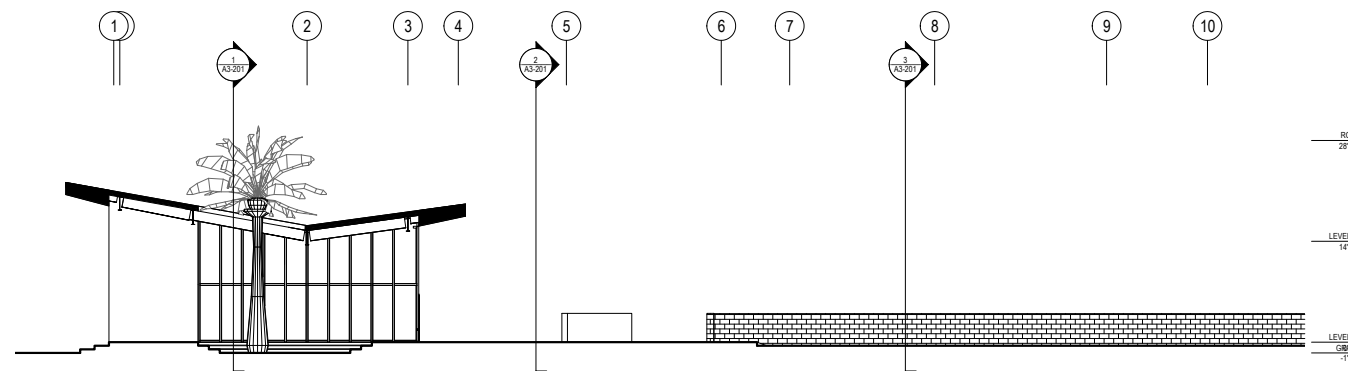
Description
BUILDING SECTIONS

Scale
1/8" = 1'-0"

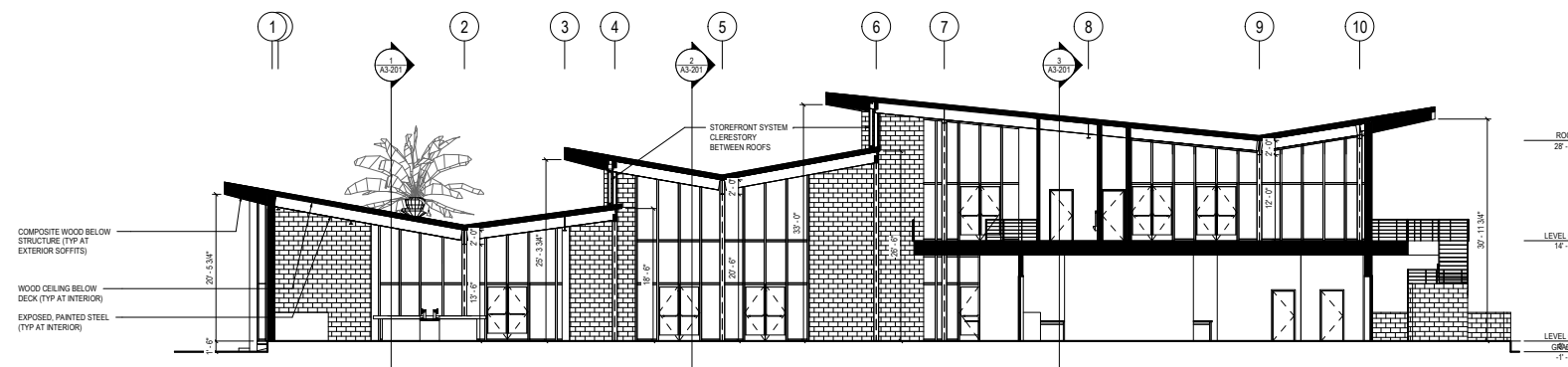
KEY PLAN



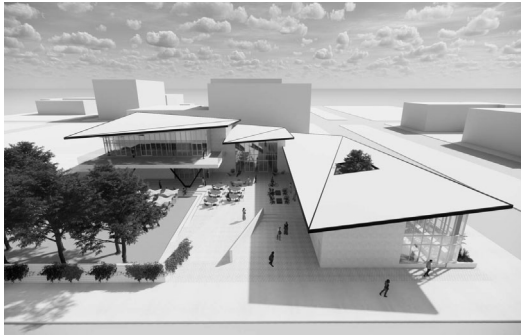
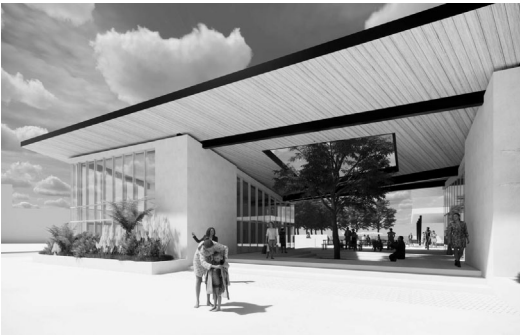
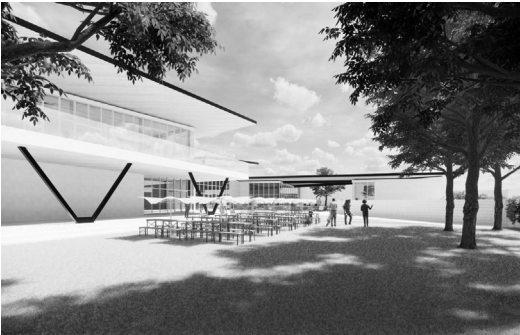
3 BUILDING SECTION - N/S - 03
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION - N/S - 02
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION - N/S - 01
SCALE: 1/8" = 1'-0"



Pensacola Food Halls, LLC.
110 W Garden St
Pensacola, FL 32502

The Other Company, LLC
5216 SW 91st Drive
Gainesville, FL 32608

Date Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
Belmont Hall

Description
IMAGES

Scale

A9-000



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00222

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 4/8/2020

SUBJECT:

New Business - Item 4
15 W. Strong Street
North Hill Preservation District / Zone PC-1
New Construction

BACKGROUND:

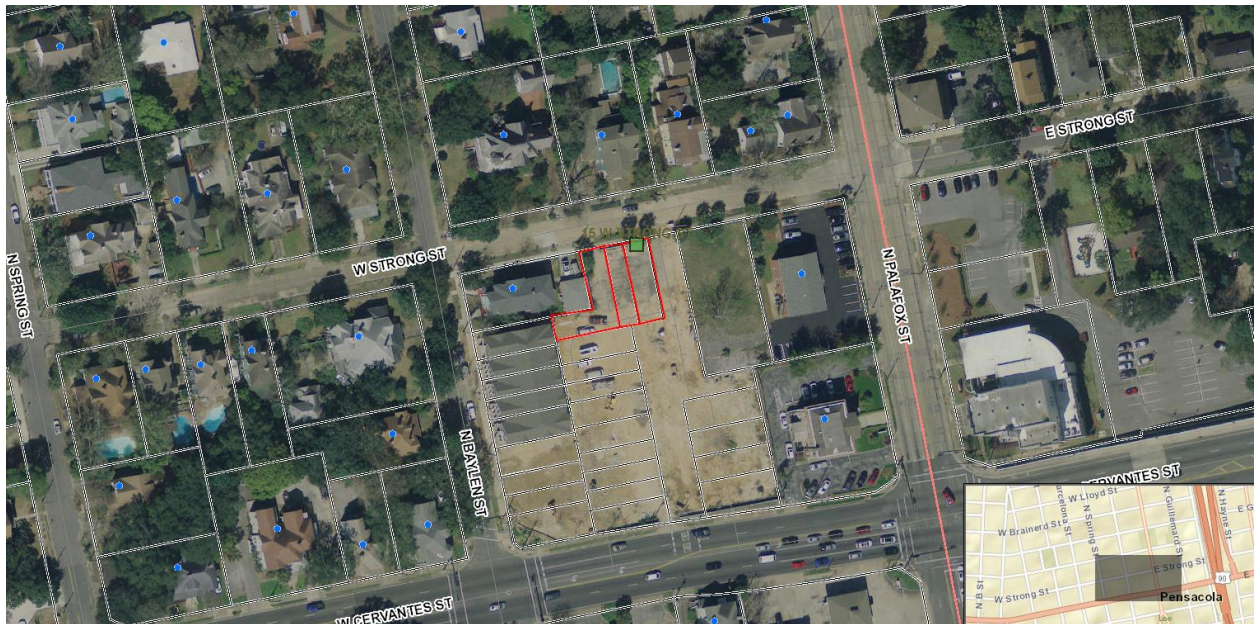
Jim Bozeman is requesting approval for changes to three new single-family residences. Although this project was initially approved in September 2017, revisions to the elevations were denied by the Board in March 2020. Materials from the past 2017 and 2020 packets have been provided at the front of this packet. Revised elevations showing architectural additions to the sides and rear have been provided by the applicant. These changes are based on the Board's comments during the March 2020 meeting. Although turned wood pickets have replaced originally proposed powder coated aluminum, nearly all of the materials and color scheme have remained consistent as approved by the Board.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction and additions to existing structures*

15 W. Strong Street



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 19, 2020

Item 7

15, 17, 19 W. Strong St

NHPD / PC-1

New Construction

Action taken: Denied.

Jim Bozeman is requesting approval for changes to three new single-family residences. This project initially came before the Board in September 2017 and was approved with comments. At that time, a Variance to reduce the required rear yard setback was also approved. Because of design changes, the current plans were referred to the Board during the required Planning and Zoning Review.

Chairperson Quina confirmed this was the continuation of the Covington Place project. Mr. Bozeman stated one of the changes was to make the porch 6' instead of 4' and inside they opened up the side units with a side porch which allowed the owners to go out on a small patio. The color scheme was basically the same.

Ms. Nichols advised North Hill was excited about the new plan with the porches being deepened. In 2017, the project originally had turned wood spindles and wood railings, but when the project was executed, it turned into aluminum railings and handrails. Also, the courtyard wall was lost, and the stair handrails in some places reach down to city sidewalks. The gate was pushed forward to the street and attached to the staircase. These new homes will face Victorian homes, so they were concerned in getting them right moving forward, ensuring any changes return to the Board. Mr. Bozeman advised he would be addressing the gates and the aluminum rails. Board Member Mead asked what happened regarding all the variations. The first set of buildings were built, but now they were significantly modifying exterior elevations in a far more derogatory way, architecturally speaking, compared to what was approved in 2017, particularly with those facing the east and west sides. He was still concerned with the porches, railings and gates with regard to those previously approved. He did not feel comfortable at all with the application here when there was a significant departure unexplained and did not know how they would accomplish what the Board was asked to approve. Mr. Bozeman stated when the next units were turned in, he would not have aluminum. Board Member Mead stated his real issue was when the Board approved something and it did not happen, what was its purpose. He did not feel comfortable moving forward with a change under these circumstances and did not know why the unapproved changes were put in.

Senior Planner Statler could not speak to the unapproved changes but to current policy and procedure. She advised that Planning and Zoning was now fully entrenched in plan review, and all of the plans that come through are looked at with Historical Preservation Planner Harding dealing with the historical districts, and everything the Board sees, he sees; he reviews page by page the construction documents versus what they have submitted, what the Board approved, comparing it to any additional supplemental information which might have been approved as well. She advised they have that system in place now, but could not speak to what happened earlier. She explained moving forward we have a good check and balance method in place. Board Member Mead explained whatever happened with this developer, was approved by the developer first with the process of going forward between the developer and contractor. With a lot more of this

site to go forward, he was very concerned about the process and wanted to know where the breakdown occurred. Stated advised they could research more, but with the current procedure, Planning and Zoning has been involved with inspections and permitting in the construction process; construction documents were submitted to the Building Department, and when that happens, Planning and Zoning review would occur. Minor deviations were usually handled internally with an abbreviated review, but this did not meet that criteria. He did expect a number of these projects to come back before the Board as they review these projects in historic districts.

Board Member Mead made a motion to deny the application from the change of the September 2017 approval on the grounds that the deviation from the side elevations are a significant detriment to the street affect of the structure both to the public and to the adjoining property owner and are not in keeping with the overall architectural affect of the front elevation and saw no reason to approve it. Board Member Crawford seconded the motion. He stated the Board would have other applications for structures not yet approved and wanted to know where the process broke down whether it be on the City side or if we could from City records determine where it broke down on the other side if that was the case. He wanted to know the applicant brought forward the project in good faith and did not conclude there was bad faith, but could not conclude there was good faith all around either.

Mr. Fox stated he came on after the structure was built as a point of contact and would be a point of contact for the future buildings, overseeing the project and sales effort as well. He could not speak to the breakdown. Staff advised they would look through MaxxVault for a history on the project. Mr. Fox gave his contact information if there were any questions moving forward. **The motion then carried unanimously.** Chairman Quina explained a denial meant the applicant must submit a reapplication for next month. He explained the Board wanted to see the changes and a resubmittal for April.

It was determined due to the Covid-19 virus, the scheduling of the April 2020 ARB meeting would be up to Council.



PLANNING SERVICES

THE UPSIDE of FLORIDA

September 2017 Agenda

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM:  Brandi Deese, Assistant Planning Services Administrator

DATE: September 8, 2017

SUBJECT: New Business – Item 7
15 W. Stong St
NHPD / PC-1
New Construction

BACKGROUND

Charles Kunze, Artisan's Architecture, is seeking final approval for a 25-unit residential townhouse development. The conceptual plan was approved by the Board at their July 2017 meeting. The comments provided during that meeting have been addressed. The proposed exterior will feature Hardie shiplap siding with the "Select Cedarmill" finish. Exterior colors will alternate between grey hues within the Sherwin Williams palette. Carriage style garage doors will be utilized within the development. PGT vinyl windows with simulated divided lites are proposed. Porch details include rails with turned pickets, Hardie board column wraps, KDA wood floor deck, and brick pavers on the lower level. Asphalt dimensional shingles are the proposed roofing material; colors chosen from "Weatherford Wood" or "Thunderstorm Grey".

A Variance to eliminate the required rear yard is under consideration in *Item 6*. Once approved by this Board, the applicant will proceed with the platting process to develop the townhouse project.

Please find attached all relevant documentation for your review.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / www.cityofpensacola.com

SEPT. 7, 2017

Covington Place
15 West Strong Street
Pensacola, FL 32501

September 2017 Agenda

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Primary Exterior Finishes:	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
Foundation Walls or Piers: Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
Windows:	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
Window Trim:	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Entry Door and Hardware:	Front & Balcony Door: Neuma-Flush Glazed-Fiberglass-Stained Finish Rear Door: Fiberglass Therma-Tru
Doors and Hardware:	Brushed Nichol Finish
Door Trim:	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Garage Doors:	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze

September 2017 Agenda

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Porch Balustrade:	Prefinished Powder Coated Aluminum rails and pickets & well as Balconies Over Garage and at End Units. Color – Antique Black.
Porch Columns:	Hardie Trim Smooth Trim 5\4" or Preformed round with Caps & Base. Color-SW2829 "Classical White."
Porch Decking:	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2829 "Classical White."
Ornament:	Smooth Hardie Color-2829 "Classical White."
Fascia's: White."	Smooth Hardie-Painted Satin SW2829 "Classical
Soffits: White."	Smooth Hardie 5/4" Color-SW2829 "Classical
Gutters & Downspouts:	Prefinished OG Color-Bronze if Required.
Roofing:	Atlas Dimensional Shingles either Weatherford Wood.
Other Rooftop Elements:	Nail over ridge vent to match roofing.
Exterior Lighting:	Copper Finish – Gas & Electric Lighting.
Walkways:	Concrete or Brick Pavers.

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Driveways:	Asphalt.
Fencing:	6' Wood Privacy on non-Street Sides.
Garden Walls:	Block – Painted SW2844 “Roycroft Mint Gray.”
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A1.1
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

September 2017 Agenda

September 2017 Agenda

COVINGTON PLACE EXTERIOR COLOR SAMPLES

Siding Colors

SW2849



Westchester Grey

SW2819



Downing Slate

SW2821



Downing Stone

SW2844



Roycroft Mint Gray

Trim & Accent Color

SW2829



Classical White

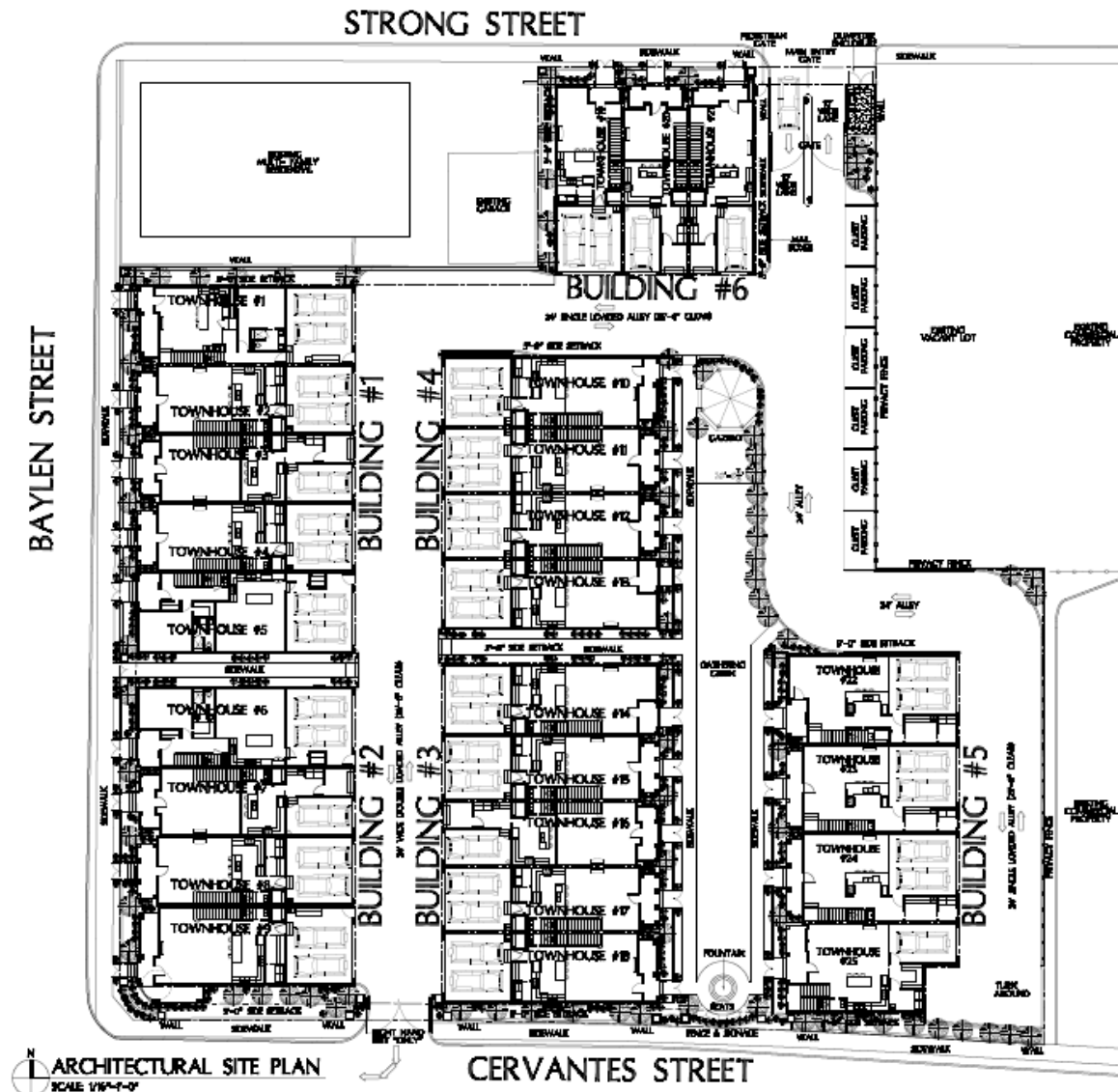
Garden Wall Color

SW2844

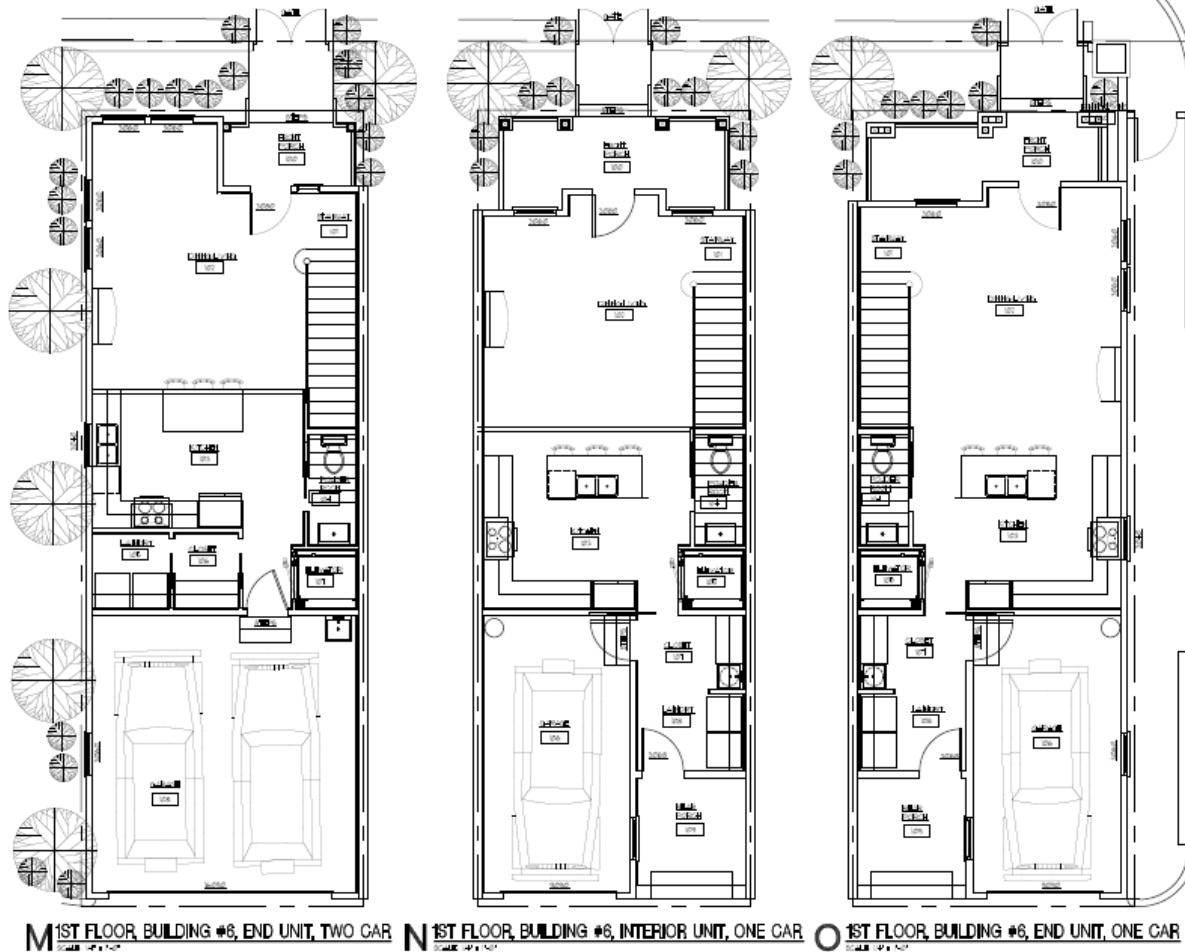


Roycroft Mint Gray

September 2017 Agenda



September 2017 Agenda



REVISIONS PLAN AND SUBMITTAL 9-27-2017	
ARCHITECT'S SEAL & SIGNATURE 	
DRAWING USED WITHOUT A CONTRACT OR AGREEMENT	
creating architecture as an art form Artisan's Architecture LLC Charles E. Kurze Jr. 25 W Cedar St. Suite 914, Pensacola, FL 32507 904-433-4438 904-433-4437 434-939-9818 434-939-9817	
PROJECT TITLE COVINGTON PLACE 15 W. STRONG ST. PENSACOLA, FL 32501	
PROJ. NO. DATE PREPARED BY CHECKED BY	APP. DATE APP. NAME CHECKED CORRECT
OTHER NOTES OPTIONAL UNIT FLOOR PLANS	
A2.6	



A4.1

September 2017 Agenda

Item 6

15 W. Strong St

NHPD

Variance

PC-1

Action taken: Approved

Charles Kunze, Artisan's Architecture, is requesting a Variance to reduce the required rear yard setback from 15 feet to 0.0 feet to accommodate a 25-unit residential townhouse development with internalized access. The townhouse development features rear-loaded garages which are accessed by an interior private road between 24 feet and 25.5 feet in width. The proposed Variance eliminates the required rear yard, placing each building directly adjacent to the private road. The conceptual plan was approved by the Board at their July 2017 meeting. The final approval is under consideration in *Item 7*. Mr. Kunze stated the variance would not affect any other properties, and they had met with City officials before asking for the variance. Chairman Quina noted that North Hill had no objections. Ms. Deese clarified that the variance was specific to the site plan.

Mr. Jones made a motion to approve seconded by Mr. Crawford. Ms. Deese stated a sign was posted, notices sent to properties within 500' and a legal ad was placed in the newspaper. No calls were received for support or opposition. **The motion then carried unanimously.**

Item 7

15 W. Strong St

NHPD

New Construction

PC-1

Action taken: Approved with comments.

Charles Kunze, Artisan's Architecture, is seeking final approval for a residential townhouse development. He stated the width of the driveways had been addressed. In meeting with the City, one of the issues was turnarounds at both driveways. They have talked with Rebol-Battle to ask FDOT for an exit at the end of Cervantes which would allow for better flow on the property. They will ask for a second exit, however, they are not sure FDOT will allow this. They spoke with the Fire Marshal regarding turnarounds and they were satisfied with this layout for fire safety. Regarding the facades, they have taken some units forward and made a small porch to the side, varying the front wall on other units to give undulation. Color selections and brick samples were provided. Primarily, they will be two-story units from 1700 to 2400 sq. ft. in the \$400,000 - \$500,000 range. He advised the base of the buildings would be brick; the wall at the sidewalk would be concrete or concrete block, however, they would consider making the wall brick on Baylen Street. It was then determined the wall was brick on Baylen, with block walls on the north side and Cervantes. He further explained the project would most likely be built in phases, beginning with Building 5 then 3 or 6, working their way toward Baylen to handle the runoff in multiple layers.

Mr. Townes addressed the Cervantes elevation. Mr. Kunze advised he tried to make the gables more inviting. Wrought iron gates will be built on the Cervantes side at the driveway exit and entrance to the green, which will have some type of fountain. Mr. Townes was concerned with Buildings 9 and 18 being flat and unadorned. He suggested anything to differentiate the building line on the Cervantes Street side, possibly pulling it in and making it smaller. Mr. Mead asked if they were considering block panels with brick piers or pilasters for the wall gates. He advised at least two gables on the larger buildings along Cervantes would help. Mr. Kunze was agreeable to those suggestions. Mr. Jones agreed that Cervantes would be very visually prominent to the community.

Mr. Kunze indicated they were reducing the impervious area from 95% to 82%. Ms. Deese also explained the applicants were exempt from stormwater requirements. Chairman Quina clarified that the wall on both street faces was a concern, along with the south elevation on Cervantes. **Ms. Campbell made a motion to approve as submitted with an abbreviated review for the fence detail, considering brick, and the Cervantes elevation. The motion died for lack of a second.** Mr. Jones explained the Board did not want to delay the project.

Mr. Liberis addressed the Board stating the closing date is next Friday (September 29), and it was contingent on the approval of the ARB; when he filed for an extension, it was denied, and requested the Board consider the motion Ms. Campbell offered. He stated they would always return to the Board for final approval. He explained he had a loan in place for acquisition, demolition and construction. Ms. Campbell retracted her motion. Ms. Deese clarified the applicant would not be able to pull permits until final approval was granted.

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. **The motion then carried unanimously.**

Item 8

400 BLK Cevallos St

PHD

Variance

HC-1 / Wood Cottages

Action taken: Approved

Brian Spencer, smp architecture, is requesting a Variance to increase the maximum height for a two-residence flat condo from 35 feet to 42.5 feet. The proposed residential development will be three habitable floors with garages and an in-law suite on the ground floor and the upper two floors consisting of residential flats. The Variance will accommodate the additional level of living space. It was determined that three letters of support were provided to the Board.

Mr. Spencer stated the site abuts the Crown Cove SSD development. His desire was to bring more residential occupancy into the downtown area. He explained each of the future residents of this development have separate garages and entrances, with no shared foyers or entrances, and a Cevallos and Zarragossa address. He advised he was consolidating the living space and reducing the driveway connections, and it meets Streetscape II guidelines. Chairman Quina clarified if the applicant was asking for a flat roof, the variance would not be required. Mr. Spencer stated he was working to preserve the heritage oak tree on Zarragossa, and by pushing the structure back, the root system would not be in harm's way. He pointed out the adjacent structure has the same height. Chairman Quina explained the variance allowed the sloped roof, giving the structure more of the character of the district. Mr. Mead stated by having it pushed back further on the lot, it recedes and would not dominate the streetscape. Mr. Jones noted it would not block the view from any neighbors. Chairman Quina noted there were four garage doors facing the front, but this project has disguised that feature. Mr. Spencer pointed to the site plan with one set of garage doors facing Zarragossa and the other facing Cevallos, and he had made sure to minimize the visual impact.

Mr. Elebash lives adjacent to the proposed development on the second floor of the east side and closest to the structure. He liked that it was a small footprint, the parking was contained, and his view would be unobstructed. The height variance was not an issue. He also stated other residents are supporting the development which fits the neighborhood.

Mr. McGhee who lives at Crown Cove, was delighted something was being constructed on this lot, but was concerned about the existing trees, specifically one live oak which appeared to be removed for the structure. Ms. Deese explained that Mr. Weeks would be responsible for enforcing the Code, and this was not a part of the ARB purview.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00180

Architectural Review Board

3/19/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 3/17/2020

SUBJECT:

Item 7 - 15 W. Strong Street
North Hill Preservation District / Zone PC-1
New Construction

BACKGROUND:

Jim Bozeman is requesting approval for changes to three new single-family residences. This project initially came before the Board in September 2017 and was approved with comments. At that time, a Variance to reduce the required rear yard setback was also approved. Because of design changes, the current plans were referred to the Board during the required Planning and Zoning Review. Although there have been changes to the elevations, nearly all of the materials have remained consistent from the previously approved project. These include Hardie shiplap siding, carriage-style garage doors, PGT vinyl windows, and asphalt dimensional shingles. The previously approved paint palette has also remained which alternates between gray hues within the Sherwin Williams collection.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction and additions to existing structures*



City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST.

Applicant: JAMES C. BOZEMAN TODAY HOMES FOR CHARLES LIBERIS

Applicant's Address: 101 SOUTH ALCAÑIZ PENSACOLA, FL 32504

Email: TDY HOMES @ BELLSOUTH.NET **Phone:** 850-432-3522

Property Owner: CHARLES LIBERIS
(If different from Applicant)

District: PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

WE ARE SEEKING APPROVAL OF CHANGES TO COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST. PENSACOLA, FL.

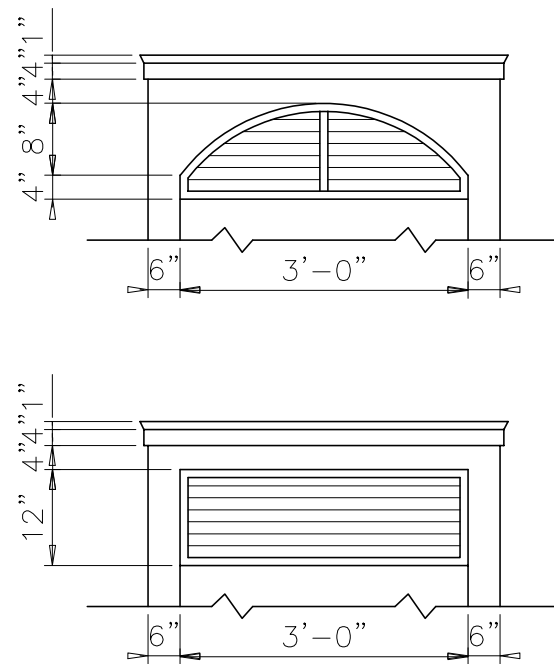
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

James C. Bozeman
Applicant Signature

3-16-2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

March 2020 Elevations



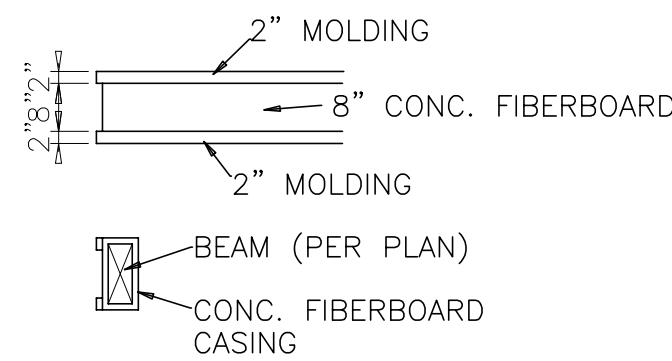
DOOR & WINDOW SURROUNDS
ELLIPTICAL DESIGN WITH 1" LOUVERS
CAN BE BUILT WITH 3/4" PLYWOOD OR
CONCRETE FIBERBOARD CUT OUT
LOUVER INSERTS.
OPTION
DURABRACK PREFAB DETAIL

DOOR & WINDOW LOUVER DETAIL
N.T.S.

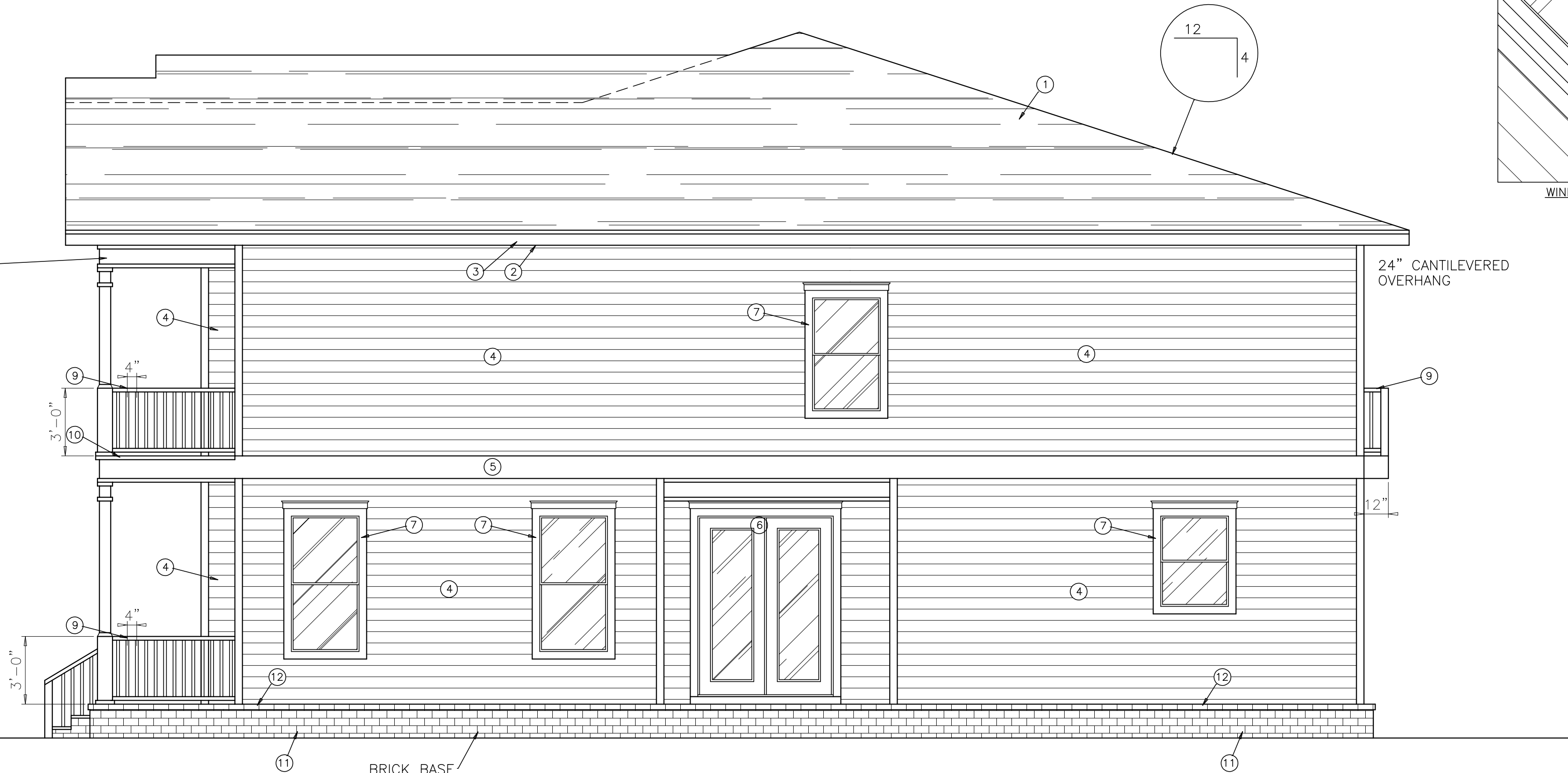


FRONT ELEVATION

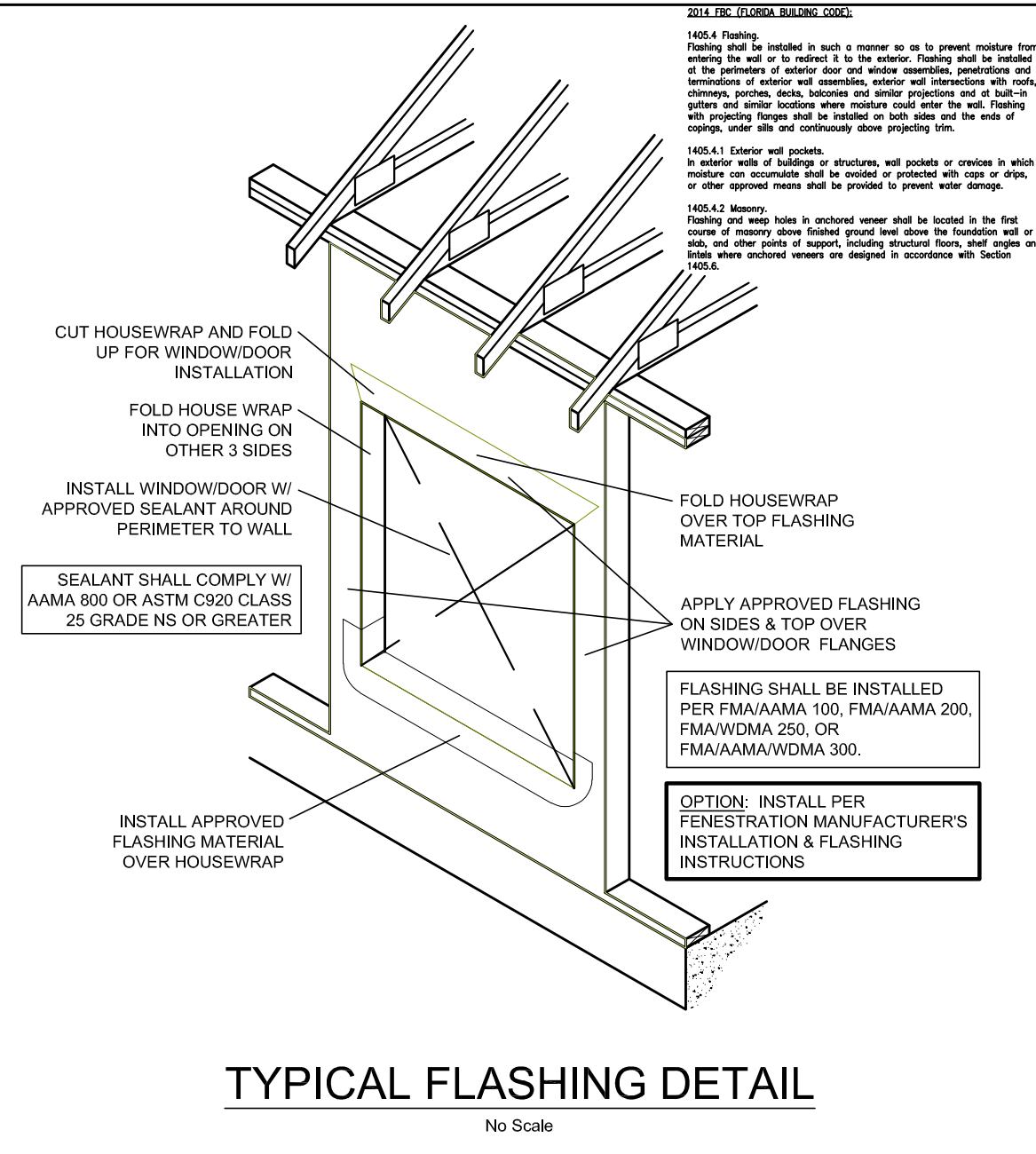
- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- PERFORATED HARDIE SOFFIT SHEATHING.
- P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5/4"x12" HARDIE BOARD TRIM.
- NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAP TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- PRE-FINISHED POWDER COATED ALUM. RAILS & PICKETS, 3'-0" HIGH.
- PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- BRICK VENEER (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT).
- BRICK PAVERS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.



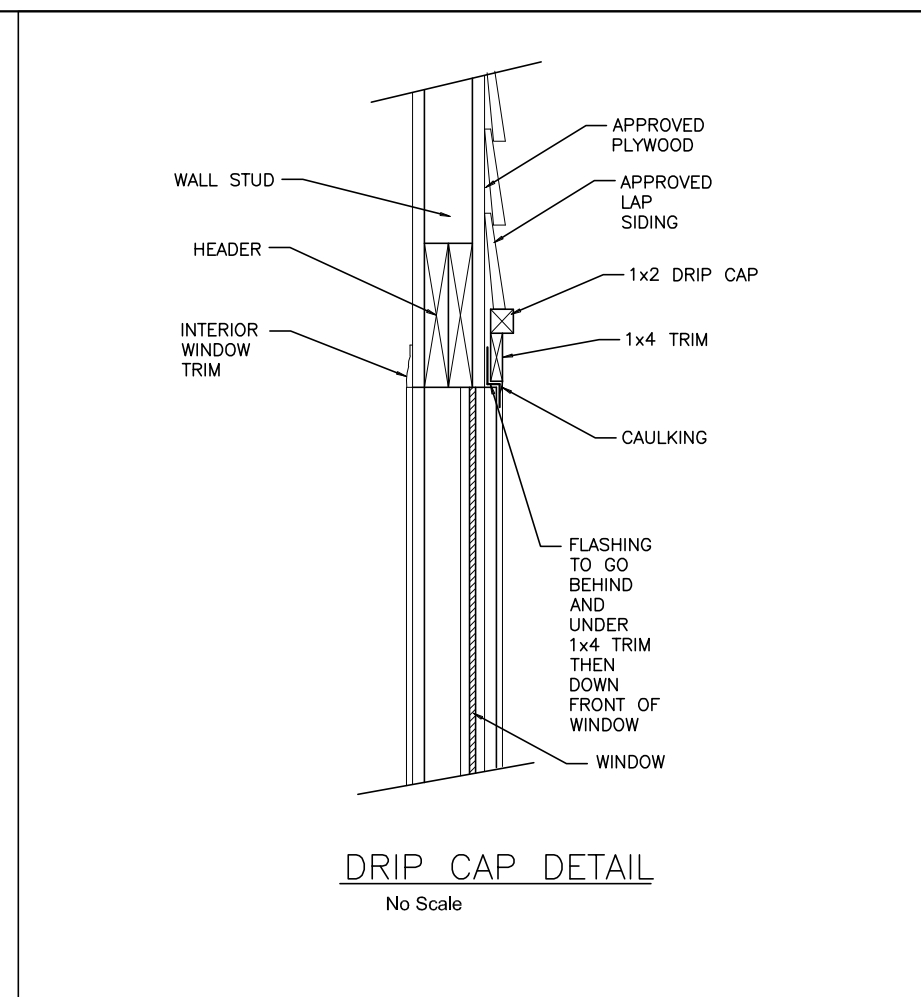
CASED BEAM DETAIL
3/8"=1'-0"



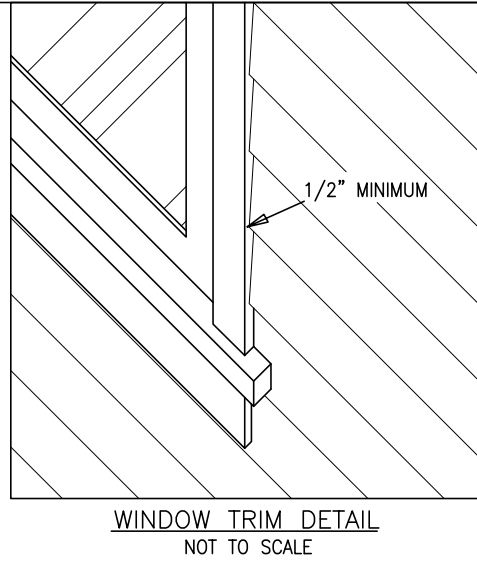
RIGHT ELEVATION



TYPICAL FLASHING DETAIL



DRIP CAP DETAIL



TODAYS
51st HOMES
1968 JIM BOZEMAN 2019

DESCRIPTION: ELEVATIONS

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DATE: NOV. 15 2019

DRAWN BY: J. GRAY

SHEET NUMBER:
2 OF 11

SCALE: 1/4"=1'-0"

DRAWING NO.:
B-0320

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

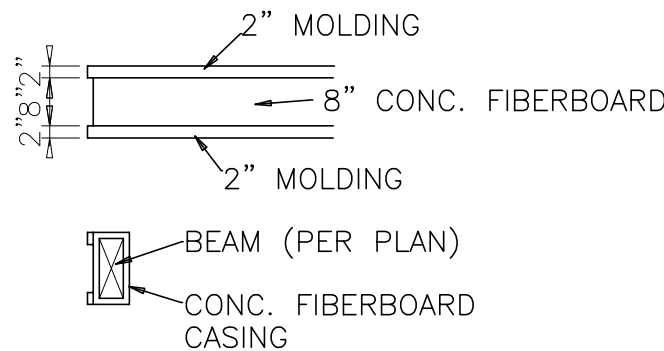
March 2020 Elevations



REAR ELEVATION



LEFT ELEVATION



CASED BEAM DETAIL
3/8"=1'-0"

- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
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- 13) BRICK PAVERS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.



Jim Bozeman <tdyhomesnwfl@gmail.com>

Covington Place Architectural Drawings

2 messages

Charles Kunze <chuck@artisansarchitecture.com>

Tue, Oct 8, 2019 at 4:04 PM

To: "tdyhomes@bellsouth.net" <tdyhomes@bellsouth.net>, Charles Liberis
<cliberis@liberislaw.com>, Linda Liberis <lindabliberis@gmail.com>, Charles Kunze
<chuck@artisansarchitecture.com>

Cc: Charles Kunze <chuck@artisansarchitecture.com>

Jim Bozeman,

I have been asked by Charles Liberis to give you approval to modify my drawings for the Covington Place Project located on Cervantes Avenue, N. Baylen Street, & W. Strong Street.

I do release The Covington Place Project to you with permission to modify the drawings as Charles Liberis directs. I will still retain the right to use Covington Place in my advertising, resumes, website and any other formats I desire, and to reference it as an Artisan's Architecture LLC design and partially built project.

I will not be responsible or liable for the project, permitting, errors or omissions, or any part of the drawings once they have been changed in any way from the current record set I have on file at my office as of today: 10-8-2019.

You may want to review any comments made to us by the ARB and North Hill to insure understanding of what was approved by those entities.

My title block, firm information and any electronic seals or signatures must be removed for all documents which are revised or modified after today: 10-8-2019.

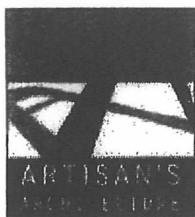
I would expect that the good name and reputation of Artisan's Architecture LLC or Charles E. Kunze Jr. would not be demeaned or slandered in the future in reference to this change of the responsible design party, my understanding is that this is only being done for expedience of scheduling on the part of Charles Liberis.

Thank You,

March 2020 Packet

CHARLES E. KUNZE JR.

AIA, NCARB,
PRESIDENT/OWNER OF
ARTISAN'S ARCHITECTURE LLC



March 2020 Packet

August 31, 2017

Covington Place
15 West Strong Street
Pensacola, FL 32501

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Primary Exterior Finishes:	Hardie, Shiplap Siding with 7" Color - SW2849 (Westchester Gray), SW2819 (Downing Slate), & SW2821 (Downing Stone) Unit colors shall alternate these colors
Foundation Walls or Piers:	Pine Hall Brick- "Sedgefield(Q)" #1714 with Grey Grout.
Windows:	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
Window Trim:	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2844 "Roycroft Mist Grey"
Entry Door and Hardware:	Front & Balcony Door: Neuma-Flush Glazed-Fiberglass-Stained Finish Rear Door: Fiberglass Therma-Tru
Doors and Hardware:	Brushed Nichol Finish
Door Trim:	Hardie Smooth Trim Board 5/4" Thick. Color-SW2844 "Roycroft Mist Grey"
Garage Doors:	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze
Porch Balustrade:	Wood Rails with Turned Pickets. Color-SW2844, Powder Coated Aluminum Over Garage & end Balconies
Porch Columns:	Hardie Trim Smooth Trim 5/4" or Preformed round with Caps & Base. Color-SW2844
Porch Decking:	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714 with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2844
Ornament:	Hardie Color-2844
Fascia's:	Smooth Hardie-Painted Satin SW7038 "Tony Taupe"
Soffits:	Smooth Hardie 5/4" Color-SW2844
Gutters & Downspouts:	Prefinished OG Color-Bronze if Required

March 2020 Packet

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Roofing:	Atlas Dimensional Shingles either Weatherford Wood or Thunderstorm Grey
Other Rooftop Elements:	Nail over ridge vent to match roofing.
Exterior Lighting:	Copper Finish – Gas & Electric Lighting
Walkways:	Concrete or Brick Pavers
Driveways:	Asphalt
Fencing:	6' Wood Privacy on non-Street Sides
Garden Walls:	Block – Painted SW2832 Colonial Revival
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A I. I
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

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Submitted Paint Samples

Front



Side



Trim



Garage



COVINGTON PLACE

EXTERIOR COLOR SAMPLES

Siding Colors

SW2849



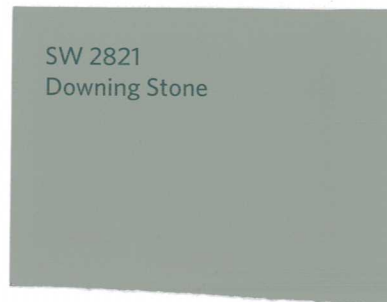
Westchester Gray

SW2819



Downing Slate

SW2821



Downing Stone

Trim & Accent Color

SW2844

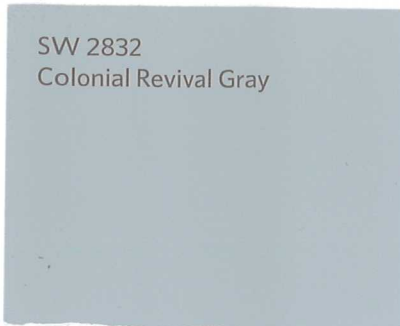


Roycroft Mint Gray

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Garden Wall Color

SW2832



Colonial Revival Gray

SIDING

SW 2849

Westchester Gray

SW 2844

Roycroft Mist Gray

SW 2819

Downing Slate

SW 2821

Downing Stone

SW 2832

Colonial Revival Gray

← TRIM

UNIT
COLORS

GARDEN
WALL

Covington Place

ROOF

Weathered
Wood

ROOF

Thunderbox
Gray

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HardiePlank® Lap Siding

1 / 4

SELECT CEDARMILL

Mountain Sage

More ColorPlus® Technology colors are available **near you...**[Request a Sample](#)[Download Product Catalog](#)[Warranty & Install Info](#)**HARDIEPLANK®
LAP SIDING**

EXT WINDOWS

8/30/17, 4:49 PM



PART OF THE PGT
FAMILY OF BRANDS



WinDoor



CUSTOM WINDOWS + DOORS



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Windows

Doors

ProZone

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Media Center

WINGUARD® VINYL

DOUBLE HUNG

DH5560

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Movable bottom sash that slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation
- Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration options

- Proview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)

CONFIGURATIONS

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DOUBLE HUNG WINDOW

FRAME COLORS

STANDARD FINISHES

WHITE

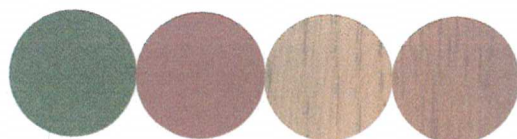
PREMIUM FINISHES

BRONZE

BEIGE

BRONZE

ANODIZE*

PEBBLE
KHAKI*

HUNTER
GREEN*BRICK
RED*NATURAL
OAKDARK
OAKNATURAL
CHERRY

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Finish swatches are for reference only. Ask your dealer about final color matching.
 *Available for select styles only. Ask your dealer for more details.

GRID FEATURES

FLAT GRID (GBG)

9/16" wide or 13/16" wide

Grid between the glass

CONTOUR GRID (GBG)

1" wide

Grid between the glass

TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar between the glass

GRID OPTIONS

WINDOW GRID STYLES



FLAT
GRID
(GBG)



CONTOUR
GRID
(GBG)



TRADITIONAL
SIMULATED
DIVIDED
LITE
GRIDS

**SIMULATED DIVIDED
LITE**

PRODUCT OPTIONS

GLASS OPTIONS

Impact Resistant 

THERMAL ENHANCEMENTS

Argon Gas (requires insulating glass)

High Performance Low-E 

SCREEN TYPES

1816 Charcoal or Gray 

2020 Screen mesh (optional)

PREMIUM GLASS OPTIONS

Tempered Glass

Privacy Glass (Obscure)

GLASS TINTS

EXTERIOR REFLECTION



CLEAR

BRONZE

GRAY

GREEN



AZURE
BLUE

SOLAR
COOL
BRONZE

GRAYLITE
II

OBSCURE
(TEXTURED)

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EXT TRIM
5/4 SMOOTH

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Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with HardieTrim® boards.

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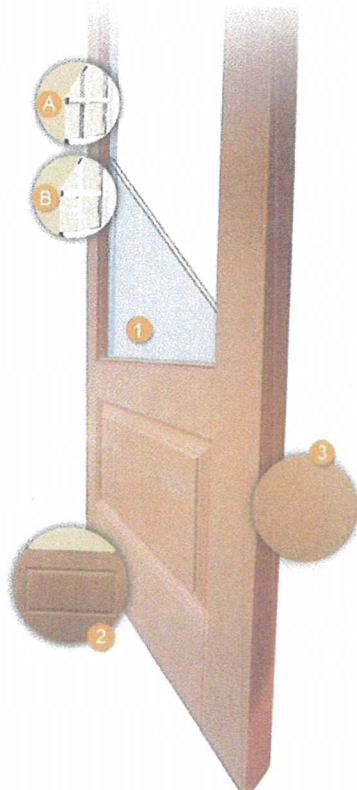
Overview
Design Features
Specification
Warranty

3/4 Lite Patio Doors Design Features

Design Features

Design Features

FRONT &
BALCONY
DOORS
W/SIMULATED
DIVIDED LITE
WHERE
APPLICABLE



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Neuma Door

Smooth White Interior and exterior finish is standard on all doors, including the 3/4 lite panel.

A. Simulated Divided Lites - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

B. Grilles Between the Glass - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

[top]

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REAR EXTERIOR DOORS

THERMA-TRU
DOORS

WHAT TO
CONSIDER

EXPLORE
DOORS

INSPIRATION
& DESIGN

WHERE
TO BUY



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Classic-Craft® Rustic Collection™ \$\$\$

2/3 Lite 1 Panel | Style No. CCR20020XJ

1 Available Size

DESIGN YOUR ENTRYWAY

WHERE TO BUY

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FINISH OPTIONS



Cherry



GLASS OPTIONS



Chinchilla



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TradeMark™ Wind Load

Classic Look, Unyielding Strength

The combination of durable, 24-gauge steel, defined raised panel styling and authentic woodgrain texture gives your home curb appeal with TradeMark steel garage doors. Add charm with colonial or ranch panels, or for a distinctive look on your home, choose the carriage house option. Optional polystyrene insulation can be added to provide additional comfort and help keep your garage quieter. TradeMark doors are available in both post and strut designs.

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Hardware

Track formed from strong galvanized steel, paired with durable, long-wearing steel rollers ensures smooth, quiet operation.



Insulation

Optional energy-saving core of polystyrene insulation provides added comfort and helps keep your garage quieter.



Section Joints

Strong, roll-formed tongue-and-groove meeting rails seal out wind, rain, and snow, keeping your garage dry and secure.



Raynor Secure

TradeMark doors are available in a wide variety of pressure ratings to meet your local wind codes.

GARAGE DOORS

Colors

Standard



Optional

Raynor's OptiFinish paint process allows your TradeMark door to be customized with more than 1,800 Sherwin-Williams™ colors.

Decorative Hardware

The black matte powder coated straps and handles are designed to appear hand-forged, adding a historically-accurate dimensional quality to your door. Choose from handles and straps with Bean or Fleur-de-Lis designs.

Handles

Fleur-de-Lis
Handle



Bean
Handle

Straps

Bean

Fleur-de-Lis

Standard Limited Warranty**

Door Sections

"For As Long As You Own Your Home" against rust through

Hardware

3-years to the original purchaser

Springs

3-years to the original purchaser

** Limited Warranty: Visit www.raynor.com/products for complete Limited Warranty details

Panel Options*

Heights: 6'6" through 10' in 3" increments†

Widths: 4', 6', 8', 9', 10', 12', 15', 16', 18'

Colonial

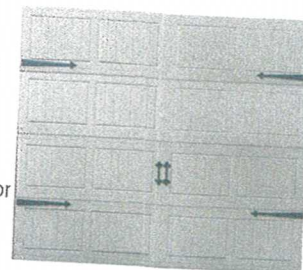
Ranch

Carriage House

Many other options available. Contact your Raynor dealer for further details.

Carriage House Option

The Carriage House option offers a classic design that adds character to your home. And, with decorative hardware available in Bean or Fleur-de-lis styles, the Carriage House option is the perfect design touch for any architecturally stylized home.



Hurricane Reinforcing Systems

TradeMark doors are available in both post and strut designs, giving homeowners flexibility in choosing between an assisted or unassisted door approved for IBC, FBC, TDI, or Miami-Dade installation environments.



Post Design



Strut Design

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Top of Spires

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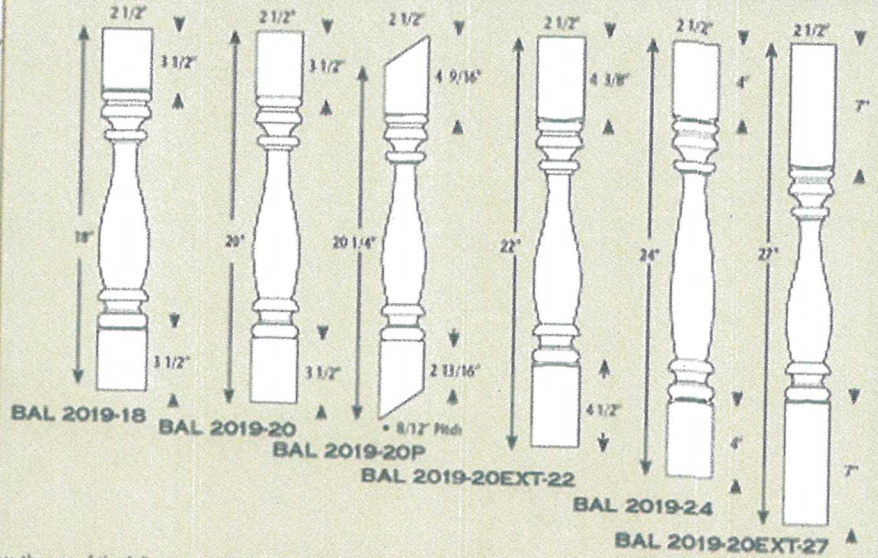
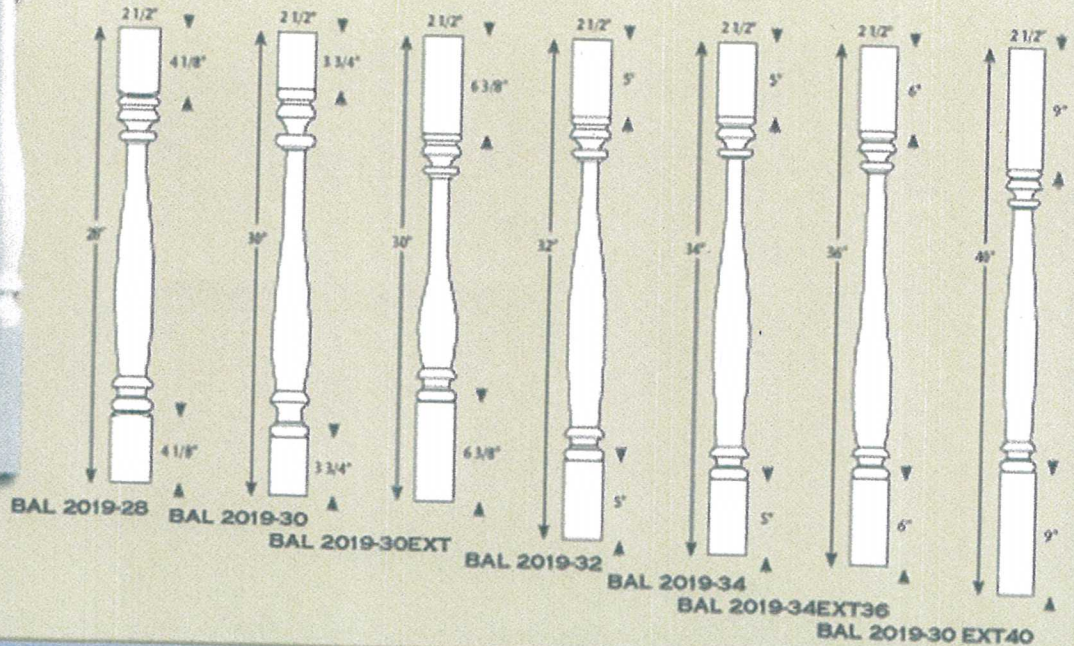


Photo illustrates the use of the following products: BAL 2019, and RAL 2105T & B.

BAL 2019

• 3/4" "M" Dimension • 2 1/2" Max. Space 4" Ball Rule • 1 1/16" Hole Saw



Above left:

Photo illustrates the use of the following products:



Above right:

Photo illustrates the use of the following products:

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JamesHardie

EXT SOFFIT

VENTED-SMOOTH

8/30/17, 5:23 PM



COLOR AND DESIGN

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PANELS

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(<http://meltonclassics.com/products/architectural-columns/fluted-columns/>)

Fiberglass Columns

ClassicGlas™
(<http://meltonclassics.com/products/architectural-columns/classicglas/>)

Fiberglass Column Covers

FRP Classic™
(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

GFRC Columns (Glass-Fiber Reinforced Concrete)

FiberCrete™
(<http://meltonclassics.com/products/architectural-columns/gfrc-columns-covers/>)

PVC Column Covers

MeltonCraft™
(<http://meltonclassics.com/products/architectural-columns/pvc-porch-columns/>)

FRP Classic™ Gelcoated Fiberglass Column Designs

Tuscan Round

Roman Doric

Roman Doric w/Attic

Tuscan Straight w/Astragal

Roman Doric w/Attic Straight w/Astragal

Straight Shaft

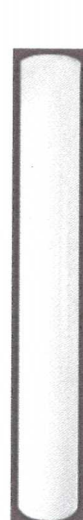
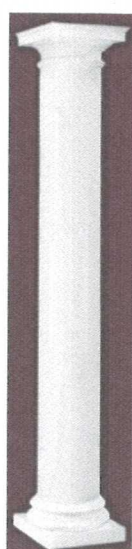
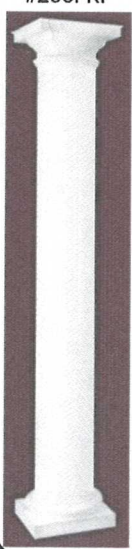
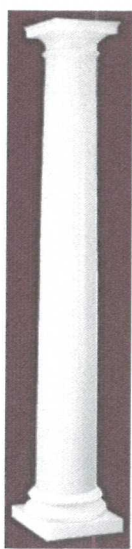
#200FRP

#210FRP

#220FRP

#200FRP

#220FRP



Tuscan Square

Roman Ionic

Roman Ionic

Scamozzi

Scamozzi

Roman Corinthian

#200FRP

#230FRP

#235FRP

#240FRP

#245FRP

#250FRP

SQUARE COLUMN WRAPS

Non-Tapered PVC Column Wraps

[Non-tapered square columns](#) | [Tapered square columns](#) | [Caps & bases](#)

Our Non-tapered Column Wraps come in one complete kit that includes the traditional Box Cap and Base, squaring blocks, adhesive and instruction sheets. All column wraps are made of PVC.

[Download Installation Instruction Sheet](#)

Lead Time: Column wraps ship within 5 to 7 days.

Product Specs: The Non-tapered Plain Column Wraps are constructed of a .625" thick material, while the Non-tapered Economy Plain Column Wrap is a .375" thickness. Box Caps and Bases come in a .625" standard thickness. Optional [cap and base styles](#) are available.

Scroll down this page for items and pricing:



March 2020 Packet

[Plain](#) | [Economy](#) | [Fluted](#) | [Double Fluted](#) | [Raised](#) | [Double Raised](#) | [Recessed](#) | [Double Recessed](#)

Plain Column Wrap

Product Code	Shaft Width	Shaft Height	List Price	Sale Price
CW6X72P1BX	6"	72"	\$224.96	\$146.22
CW6X96P1BX	6"	96"	\$257.61	\$167.45
CW6X108P1BX	6"	108"	\$277.56	\$180.41
→ CW6X120P1BX	6"	120"	\$293.87	\$191.02
CW8X72P1BX	8"	72"	\$261.41	\$169.92
CW8X96P1BX	8"	96"	\$303.20	\$197.08
CW8X108P1BX	8"	108"	\$329.10	\$213.92
CW8X120P1BX	8"	120"	\$349.98	\$227.49
CW8X144P1BX	8"	144"	\$397.46	\$258.35
CW10X72P1BX	10"	72"	\$295.78	\$192.26
CW10X96P1BX	10"	96"	\$346.69	\$225.35
CW10X108P1BX	10"	108"	\$377.28	\$245.23
→ CW10X120P1BX	10"	120"	\$402.72	\$261.77
CW10X144P1BX	10"	144"	\$459.63	\$298.76
CW12X72P1BX	12"	72"	\$330.12	\$214.58
CW12X96P1BX	12"	96"	\$390.25	\$253.66
CW12X108P1BX	12"	108"	\$425.28	\$276.43
CW12X120P1BX	12"	120"	\$455.29	\$295.94

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Sale ends August 30

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DOOR & WINDOW EXTERIOR HEAD TRIM

Window Trim - Transform Your Home

[Door Trim](#) | [Window Trim](#) | [Window Trim Installation Guide](#)

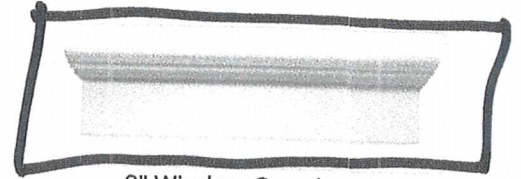
Window trim can transform an ordinary home into an extraordinary home. Many pieces are designed to work together. The options are virtually countless. In addition to our custom capabilities, we carry a full product line of products which are made of high density polyurethane. If you don't see what you are looking for on our site, call us at **1-866-995-6001** or email at salesinfo@wholesalemillwork.com. We also offer custom sizing of all window trim.



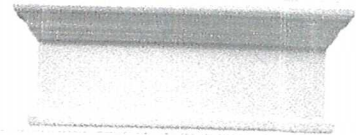
6" Window Crosshead



12" Window Crosshead



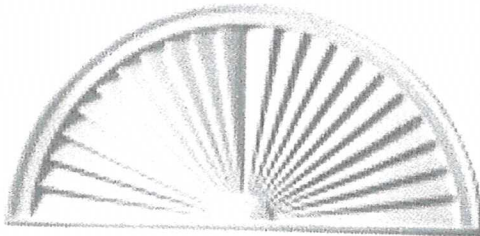
9" Window Crosshead



14" Window Crosshead



Craftsman Crossheads (2 styles)



Half Circle Sunburst



Half Round Spoked Pediment

March 2020 Packet



Jim Bozeman <tdyhomesnwfl@gmail.com>

Landscape

Charles Liberis <cliberis@liberislaw.com>
To: Today's Homes <tdyhomes@bellsouth.net>

Fri, Mar 13, 2020 at 1:23 PM

{ DUH! Design

{ Tillman -grounds and maintenance }

Very truly yours,

March 2020 Packet



Charles S. Liberis

Liberis Law Firm

212 W. Intendencia

Pensacola, FL 32502

Office: 850-438-9647

Fax: 850-433-5409

Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check.

****Be aware! Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds.** NOTE: OUR wire instructions will NEVER have a Swift Code.**

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March 2020 Packet



City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST.

Applicant: JAMES C. BOZEMAN TODAY HOMES FOR CHARLES LIBERIS

Applicant's Address: 101 SOUTH ALCAÑIZ PENSACOLA, FL 32504

Email: TDY HOMES @ BELLSOUTH.NET **Phone:** 850-432-3522

Property Owner: CHARLES LIBERIS
(If different from Applicant)

District: PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

WE ARE SEEKING APPROVAL OF CHANGES TO COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST. PENSACOLA, FL.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

James C. Bozeman
Applicant Signature

3-16-2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



Jim Bozeman <tdyhomesnwfl@gmail.com>

Covington Place Architectural Drawings2 messages

Charles Kunze <chuck@artisansarchitecture.com>

Tue, Oct 8, 2019 at 4:04 PM

To: "tdyhomes@bellsouth.net" <tdyhomes@bellsouth.net>, Charles Liberis <cliberis@liberislaw.com>, Linda Liberis <lindabliberis@gmail.com>, Charles Kunze <chuck@artisansarchitecture.com>

Cc: Charles Kunze <chuck@artisansarchitecture.com>

Jim Bozeman,

I have been asked by Charles Liberis to give you approval to modify my drawings for the Covington Place Project located on Cervantes Avenue, N. Baylen Street, & W. Strong Street.

I do release The Covington Place Project to you with permission to modify the drawings as Charles Liberis directs. I will still retain the right to use Covington Place in my advertising, resumes, website and any other formats I desire, and to reference it as an Artisan's Architecture LLC design and partially built project.

I will not be responsible or liable for the project, permitting, errors or omissions, or any part of the drawings once they have been changed in any way from the current record set I have on file at my office as of today: 10-8-2019.

You may want to review any comments made to us by the ARB and North Hill to insure understanding of what was approved by those entities.

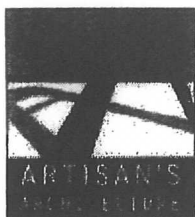
My title block, firm information and any electronic seals or signatures must be removed for all documents which are revised or modified after today: 10-8-2019.

I would expect that the good name and reputation of Artisan's Architecture LLC or Charles E. Kunze Jr. would not be demeaned or slandered in the future in reference to this change of the responsible design party, my understanding is that this is only being done for expedience of scheduling on the part of Charles Liberis.

Thank You,

CHARLES E. KUNZE JR.

AIA, NCARB,
PRESIDENT/OWNER OF
ARTISAN'S ARCHITECTURE LLC



SEPT. 7, 2017

Covington Place
15 West Strong Street
Pensacola, FL 32501

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Primary Exterior Finishes:	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
Foundation Walls or Piers: Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
Windows:	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
Window Trim:	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Entry Door and Hardware:	Front & Balcony Door: Neuma-Flush Glazed-Fiberglass-Stained Finish Rear Door: Fiberglass Therma-Tru
Doors and Hardware:	Brushed Nichol Finish
Door Trim:	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Garage Doors:	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Porch Balustrade:	Prefinished Powder Coated Aluminum rails and pickets & well as Balconies Over Garage and at End Units. Color – Antique Black.
Porch Columns:	Hardie Trim Smooth Trim 5\4" or Preformed round with Caps & Base. Color-SW2829 "Classical White."
Porch Decking:	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2829 "Classical White."
Ornament:	Smooth Hardie Color-2829 "Classical White."
Fascia's: White."	Smooth Hardie-Painted Satin SW2829 "Classical
Soffits: White."	Smooth Hardie 5/4" Color-SW2829 "Classical
Gutters & Downspouts:	Prefinished OG Color-Bronze if Required.
Roofing:	Atlas Dimensional Shingles either Weatherford Wood.
Other Rooftop Elements:	Nail over ridge vent to match roofing.
Exterior Lighting:	Copper Finish – Gas & Electric Lighting.
Walkways:	Concrete or Brick Pavers.

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Driveways:	Asphalt.
Fencing:	6' Wood Privacy on non-Street Sides.
Garden Walls:	Block – Painted SW2844 “Roycroft Mint Gray.”
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A1.1
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

Submitted Paint Samples

Front



Side



Trim



Garage



COVINGTON PLACE

EXTERIOR COLOR SAMPLES

Siding Colors

SW2849



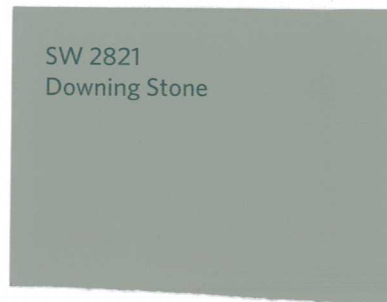
Westchester Gray

SW2819



Downing Slate

SW2821



Downing Stone

Trim & Accent Color

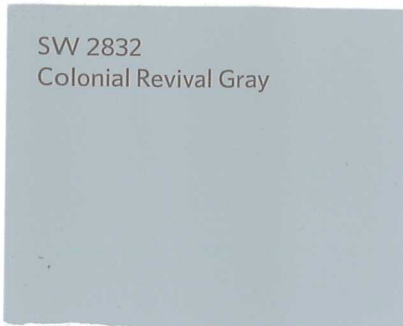
SW2844



Roycroft Mint Gray

Garden Wall Color

SW2832



Colonial Revival Gray

SIDING

SW 2849

Westchester Gray

SW 2844

Roycroft Mist Gray

SW 2819

Downing Slate

SW 2821

Downing Stone

SW 2832

Colonial Revival Gray

← TRIM

UNIT
COLORS

GARDEN
WALL

Covington Place

ROOF

Weathered
Wood

ROOF

Thunderbox
Gray

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DH5560

Movable bottom sash that slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation
- Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration options

- Proview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)

CONFIGURATIONS

DOUBLE HUNG WINDOW

FRAME COLORS

STANDARD FINISHES

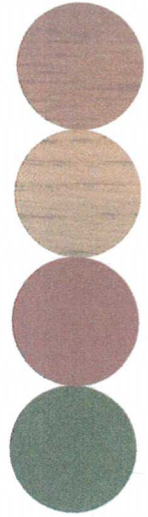
WHITE

PREMIUM FINISHES

BRONZE



BEIGE BRONZE ANODIZE* PEBBLE KHAKI*



HUNTER
GREEN*BRICK
RED*NATURAL
OAKDARK
OAKNATURAL
CHERRY

Finish swatches are for reference only. Ask your dealer about final color matching.
 *Available for select styles only. Ask your dealer for more details.

GRID FEATURES**FLAT GRID (GBG)**

9/16" wide or 13/16" wide

Grid between the glass

CONTOUR GRID (GBG)

1" wide

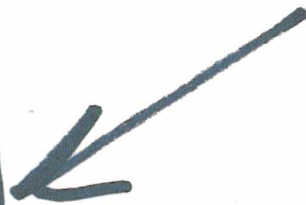
Grid between the glass

TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar
 between the glass

GRID OPTIONS**WINDOW GRID STYLES**FLAT
GRID
(GBG)CONTOUR
GRID
(GBG)TRADITIONAL
SIMULATED
DIVIDED
LITE
GRIDS

**SIMULATED DIVIDED
LITE**



PRODUCT OPTIONS

GLASS OPTIONS

Impact Resistant

THERMAL ENHANCEMENTS

Argon Gas (requires insulating glass)

High Performance Low-E

SCREEN TYPES

1816 Charcoal or Gray

2020 Screen mesh (optional)

PREMIUM GLASS OPTIONS

Tempered Glass

Privacy Glass (Obscure)

GLASS TINTS

EXTERIOR REFLECTION



CLEAR

BRONZE

GRAY

GREEN



AZURE
BLUE

SOLAR
COOL
BRONZE

GRAYLITE
II

OBSCURE
(TEXTURED)

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EXT TRIM
5/4 SMOOTH

f t > Q



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COLOR AND DESIGN

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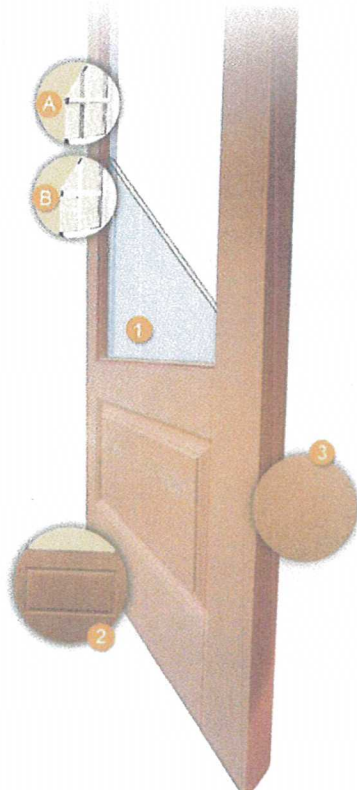
Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with HardieTrim® boards.

3/4 Lite Patio Doors Design Features

Design Features

Design Features

FRONT &
BALCONY
DOORS
W/SIMULATED
DIVIDED LITE
WHERE
APPLICABLE



Neuma Door



Smooth White Interior and exterior finish is standard on all doors, including the 3/4 lite panel.

A. Simulated Divided Lites - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

B. Grilles Between the Glass - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

[\[top\]](#)

[Return](#)



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& DESIGN

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2/3 Lite 1 Panel | Style No. CCR20020XJ

1 Available Size

DESIGN YOUR ENTRYWAY

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TradeMark™ Wind Load

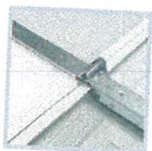
Classic Look, Unyielding Strength

The combination of durable, 24-gauge steel, defined raised panel styling and authentic woodgrain texture gives your home curb appeal with TradeMark steel garage doors. Add charm with colonial or ranch panels, or for a distinctive look on your home, choose the carriage house option. Optional polystyrene insulation can be added to provide additional comfort and help keep your garage quieter. TradeMark doors are available in both post and strut designs.



Hardware

Track formed from strong galvanized steel, paired with durable, long-wearing steel rollers ensures smooth, quiet operation.



Insulation

Optional energy-saving core of polystyrene insulation provides added comfort and helps keep your garage quieter.



Section Joints

Strong, roll-formed tongue-and-groove meeting rails seal out wind, rain, and snow, keeping your garage dry and secure.



Raynor Secure

TradeMark doors are available in a wide variety of pressure ratings to meet your local wind codes.

GARAGE DOORS

Colors

Standard



Optional

Raynor's OptiFinish paint process allows your TradeMark door to be customized with more than 1,800 Sherwin-Williams™ colors.

Decorative Hardware

The black matte powder coated straps and handles are designed to appear hand-forged, adding a historically-accurate dimensional quality to your door. Choose from handles and straps with Bean or Fleur-de-Lis designs.

Handles

Fleur-de-Lis
Handle



Bean
Handle

Straps

Bean

Fleur-de-Lis

Standard Limited Warranty**

Door Sections

"For As Long As You Own Your Home" against rust through

Hardware

3-years to the original purchaser

Springs

3-years to the original purchaser

** Limited Warranty: Visit www.raynor.com/products for complete Limited Warranty details

Panel Options*

Heights: 6'6" through 10' in 3" increments†

Widths: 4', 6', 8', 9', 10', 12', 15', 16', 18'

Colonial

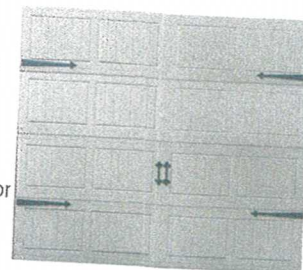
Ranch

Carriage House

Many other options available. Contact your Raynor dealer for further details.

Carriage House Option

The Carriage House option offers a classic design that adds character to your home. And, with decorative hardware available in Bean or Fleur-de-lis styles, the Carriage House option is the perfect design touch for any architecturally stylized home.



Hurricane Reinforcing Systems

TradeMark doors are available in both post and strut designs, giving homeowners flexibility in choosing between an assisted or unassisted door approved for IBC, FBC, TDI, or Miami-Dade installation environments.



Post Design



Strut Design



P.O. Box 448, 1101 East River Rd.
Dixon, IL 61021-0448
1-800-4-RAYNOR (472-9667)

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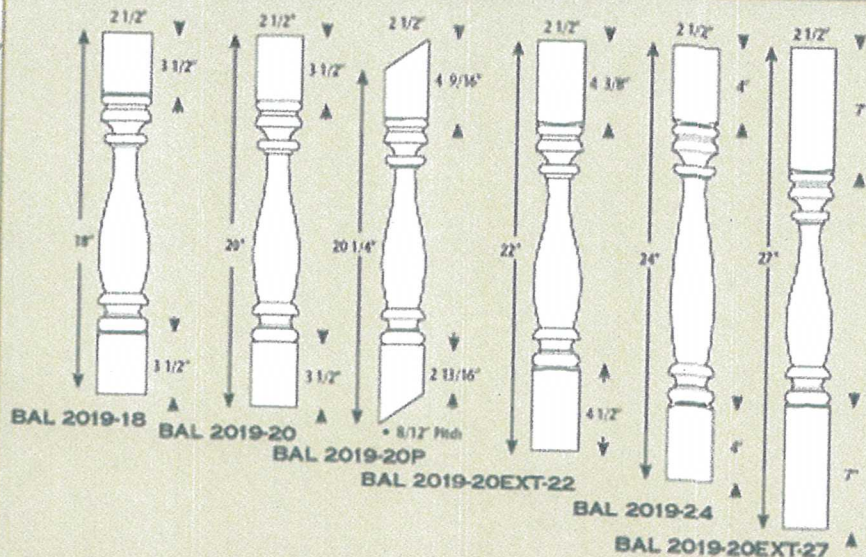
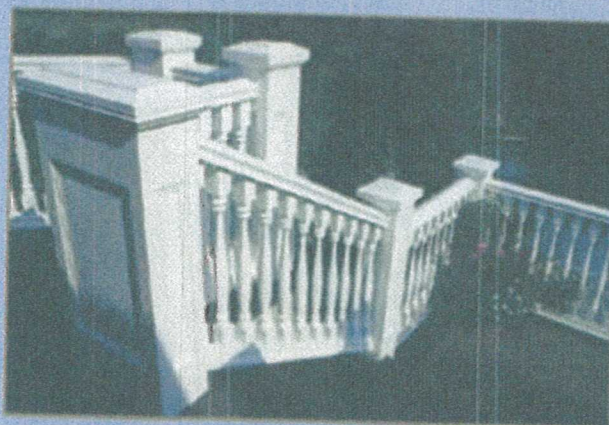
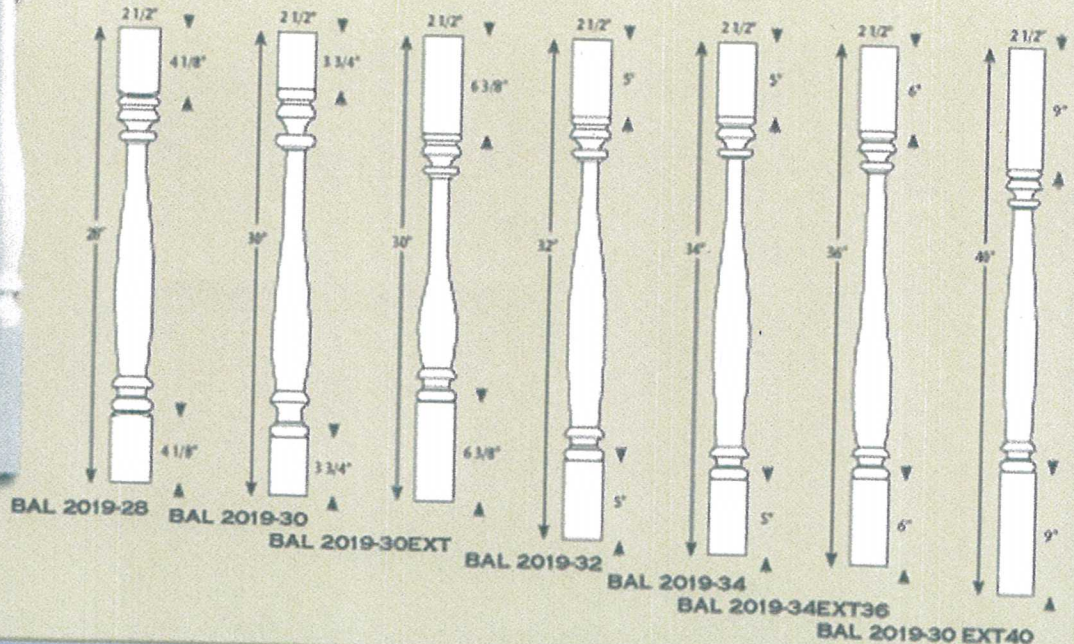


Photo illustrates the use of the following products: BAL 2019, and RAL 2105T & B.

BAL 2019

• 3/4" "M" Dimension • 2 1/2" Max. Space 4" Ball Rule • 1 1/16" Hole Saw



Above left:

Photo illustrates the use of the following products:



Above right:

Photo illustrates the use of the following products:





REQUEST A QUOTE

REQUEST A BROCHURE My Idea Center



EXT SOFFIT VENTED-SMOOTH

8/30/17, 5:23 PM

COLOR AND DESIGN

WHY HARDIE?

PRODUCTS

START YOUR PROJECT

PRODUCT SUPPORT

PROS



Download Product Catalog



Warranty & Install Info

HARDIESOFFIT® PANELS

Soffits are key construction elements—they cover the underside of your roof eaves and exterior porch ceilings. We offer them in both smooth and vented profiles to meet aesthetic needs as well as code requirements.

ROUND EXT COLUMN

WRAPS



Hand Crafted, Classically Inspired Architectural Columns, Balustrades &

info@meltonclassics.com (mailto:info@meltonclassics.com)

Questions? 800-963-3060 (tel:8009633060)

FRP Classic™ Fiberglass Column Covers

Overview

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

Designs

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/>)

Image Gallery

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/photos/>)

Specifications

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/>)

Product Selection Assistance (<http://meltonclassics.com/product-selection-assistance/>)

Installation

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/how-to-install-fiberglass-columns/>)

Warranty

(<http://meltonclassics.com/technical-data/architectural-products-warranties/>)

Architectural Column Products

Composite Fiberglass Columns

DuraClassic™
(<http://meltonclassics.com/composite-fiberglass-columns/>)

Fluted Fiberglass Columns

FiberFlute™
(<http://meltonclassics.com/products/architectural-columns/fluted-columns/>)

Fiberglass Columns

ClassicGlas™
(<http://meltonclassics.com/products/architectural-columns/classicglas/>)

Fiberglass Column Covers

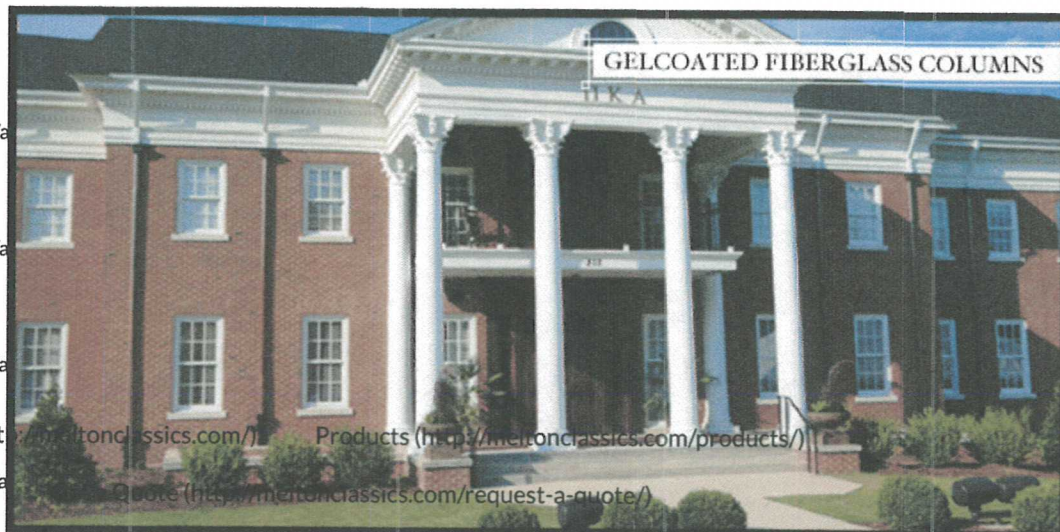
FRP Classic™
(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

GFRC Columns (Glass-Fiber Reinforced Concrete)

FiberCrete™
(<http://meltonclassics.com/products/architectural-columns/gfrc-columns-covers/>)

PVC Column Covers

MeltonCraft™
(<http://meltonclassics.com/products/architectural-columns/pvc-porch-columns/>)



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Technical (<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/>)

FRP Classic™ Gelcoated Fiberglass Column Designs

Tuscan Round

Roman

Roman Doric w/Attic

Tuscan Straight

Roman Doric w/Attic Straight

Straight

#200FRP

Doric

#220FRP

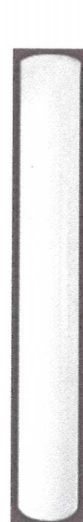
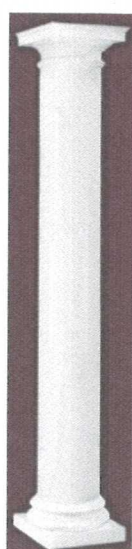
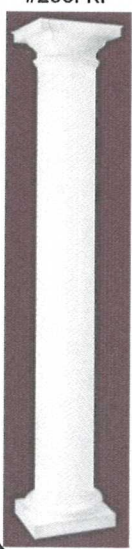
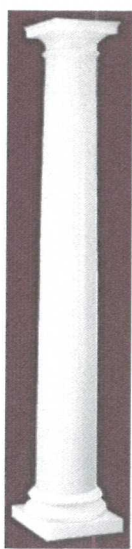
w/Astragal

w/Astragal #220FRP

Shaft

#210FRP

#200FRP



Tuscan Square

Roman Ionic

Roman Ionic

Scamozzi

Scamozzi

Roman Corinthian

#200FRP

#230FRP

#235FRP

#240FRP

#245FRP

#250FRP

SQUARE COLUMN WRAPS

Non-Tapered PVC Column Wraps

[Non-tapered square columns](#) | [Tapered square columns](#) | [Caps & bases](#)

Our Non-tapered Column Wraps come in one complete kit that includes the traditional Box Cap and Base, squaring blocks, adhesive and instruction sheets. All column wraps are made of PVC.

[Download Installation Instruction Sheet](#)

Lead Time: Column wraps ship within 5 to 7 days.

Product Specs: The Non-tapered Plain Column Wraps are constructed of a .625" thick material, while the Non-tapered Economy Plain Column Wrap is a .375" thickness. Box Caps and Bases come in a .625" standard thickness. Optional [cap and base styles](#) are available.

Scroll down this page for items and pricing:



[Plain](#) | [Economy](#) | [Fluted](#) | [Double Fluted](#) | [Raised](#) | [Double Raised](#) | [Recessed](#) | [Double Recessed](#)

Plain Column Wrap

Product Code	Shaft Width	Shaft Height	List Price	Sale Price
CW6X72P1BX	6"	72"	\$224.96	\$146.22
CW6X96P1BX	6"	96"	\$257.61	\$167.45
CW6X108P1BX	6"	108"	\$277.56	\$180.41
→ CW6X120P1BX	6"	120"	\$293.87	\$191.02
CW8X72P1BX	8"	72"	\$261.41	\$169.92
CW8X96P1BX	8"	96"	\$303.20	\$197.08
CW8X108P1BX	8"	108"	\$329.10	\$213.92
CW8X120P1BX	8"	120"	\$349.98	\$227.49
CW8X144P1BX	8"	144"	\$397.46	\$258.35
CW10X72P1BX	10"	72"	\$295.78	\$192.26
CW10X96P1BX	10"	96"	\$346.69	\$225.35
CW10X108P1BX	10"	108"	\$377.28	\$245.23
→ CW10X120P1BX	10"	120"	\$402.72	\$261.77
CW10X144P1BX	10"	144"	\$459.63	\$298.76
CW12X72P1BX	12"	72"	\$330.12	\$214.58
CW12X96P1BX	12"	96"	\$390.25	\$253.66
CW12X108P1BX	12"	108"	\$425.28	\$276.43
CW12X120P1BX	12"	120"	\$455.29	\$295.94

WholesaleMillwork

AUGUST SUPER SALE

Sale ends August 30

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DOOR & WINDOW EXTERIOR HEAD TRIM

Window Trim - Transform Your Home

[Door Trim](#) | [Window Trim](#) | [Window Trim Installation Guide](#)

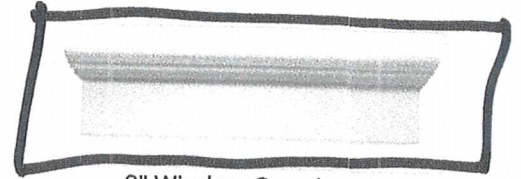
Window trim can transform an ordinary home into an extraordinary home. Many pieces are designed to work together. The options are virtually countless. In addition to our custom capabilities, we carry a full product line of products which are made of high density polyurethane. If you don't see what you are looking for on our site, call us at **1-866-995-6001** or email at salesinfo@wholesalemillwork.com. We also offer custom sizing of all window trim.



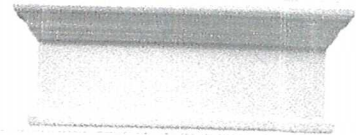
6" Window Crosshead



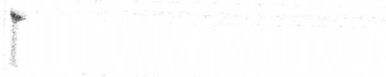
12" Window Crosshead



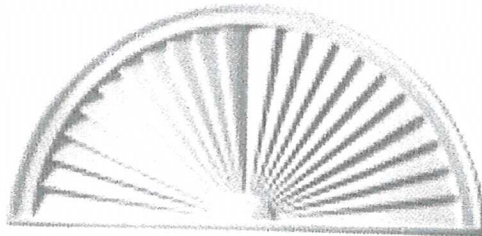
9" Window Crosshead



14" Window Crosshead



Craftsman Crossheads (2 styles)



Half Circle Sunburst



Half Round Spoked Pediment



Jim Bozeman <tdyhomesnwfl@gmail.com>

Landscape

Charles Liberis <cliberis@liberislaw.com>

Fri, Mar 13, 2020 at 1:23 PM

To: Today's Homes <tdyhomes@bellsouth.net>

{ DUH! Design

{ Tillman -grounds and maintenance }

Very truly yours,



Charles S. Liberis

Liberis Law Firm

212 W. Intendencia

Pensacola, FL 32502

Office: 850-438-9647

Fax: 850-433-5409

Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check.

****Be aware! Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds.** NOTE: OUR wire instructions will NEVER have a Swift Code.**

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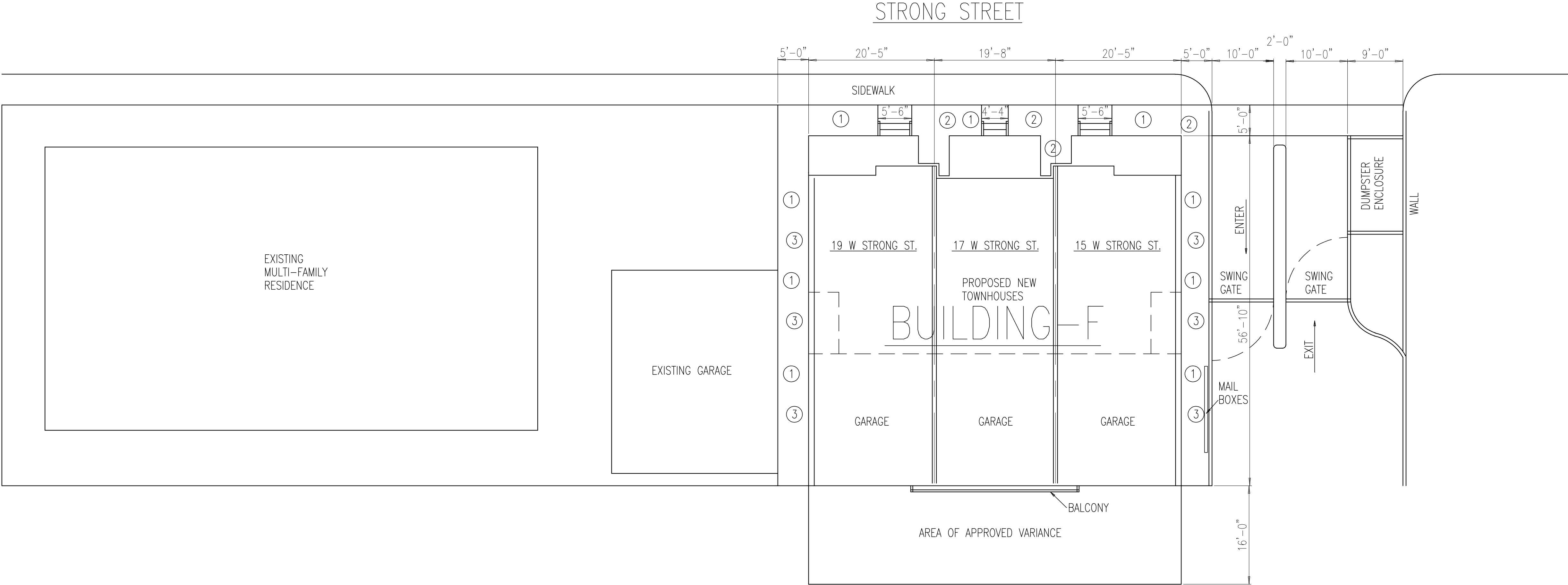
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COVINGTON PLACE

ESCAMBIA COUNTY, FLORIDA

BAYLEN STREET



LANDSCAPING

- 1) ST. AUGUSTINE SOD
- 2) CRAPE MYRTLE (WHITE)
- 3) CONFEDERATE JASMINE

NOTE: PROPERTY LINES AND DIMENSIONS TO BE VERIFIED BY REGISTERED LAND SURVEYOR.

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32501
(850)-432-3510 FAX: 434-2375 EMAIL: tdyhomes@bellsouth.net

DRAWN BY: J. GRAY

DATE: JAN. 22 2020

SCALE: 1"=10'-0"

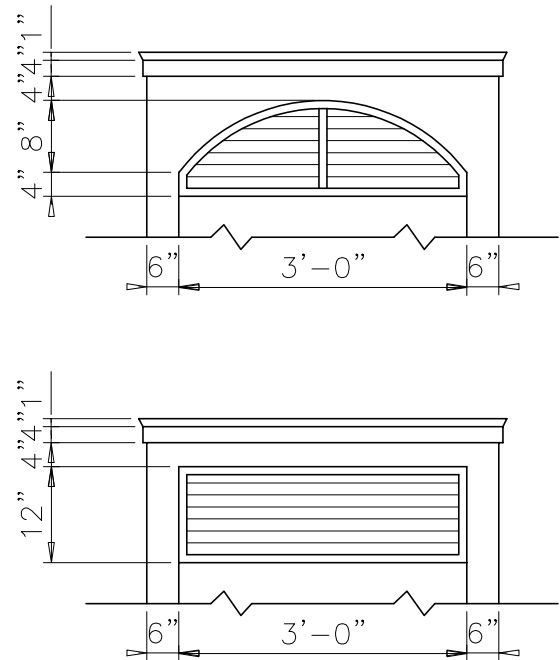
SHEET NUMBER: 1 of 11

DRAWING NO.:
B-0320

DESCRIPTION: SITE PLAN

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TODAYS
49th HOMES
1968 JIM BOZEMAN 2017



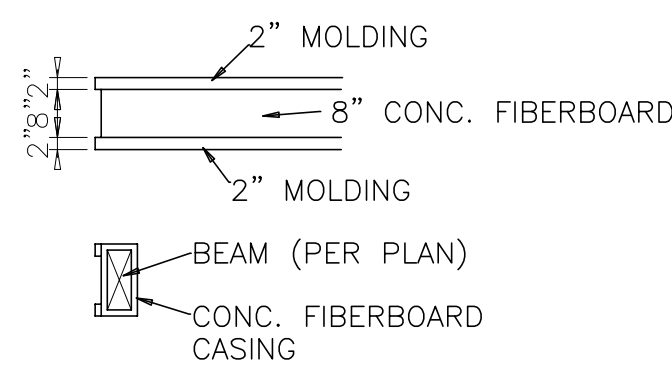
DOOR & WINDOW SURROUNDS
ELLIPTICAL DESIGN WITH 1" LOUVERS
CAN BE BUILT WITH 3/4" PLYWOOD OR
CONCRETE FIBERBOARD CUT OUT
LOUVER INSERTS.
OPTION
DURABRACK PREFAB DETAIL

DOOR & WINDOW LOUVER DETAIL
N.T.S.



FRONT ELEVATION

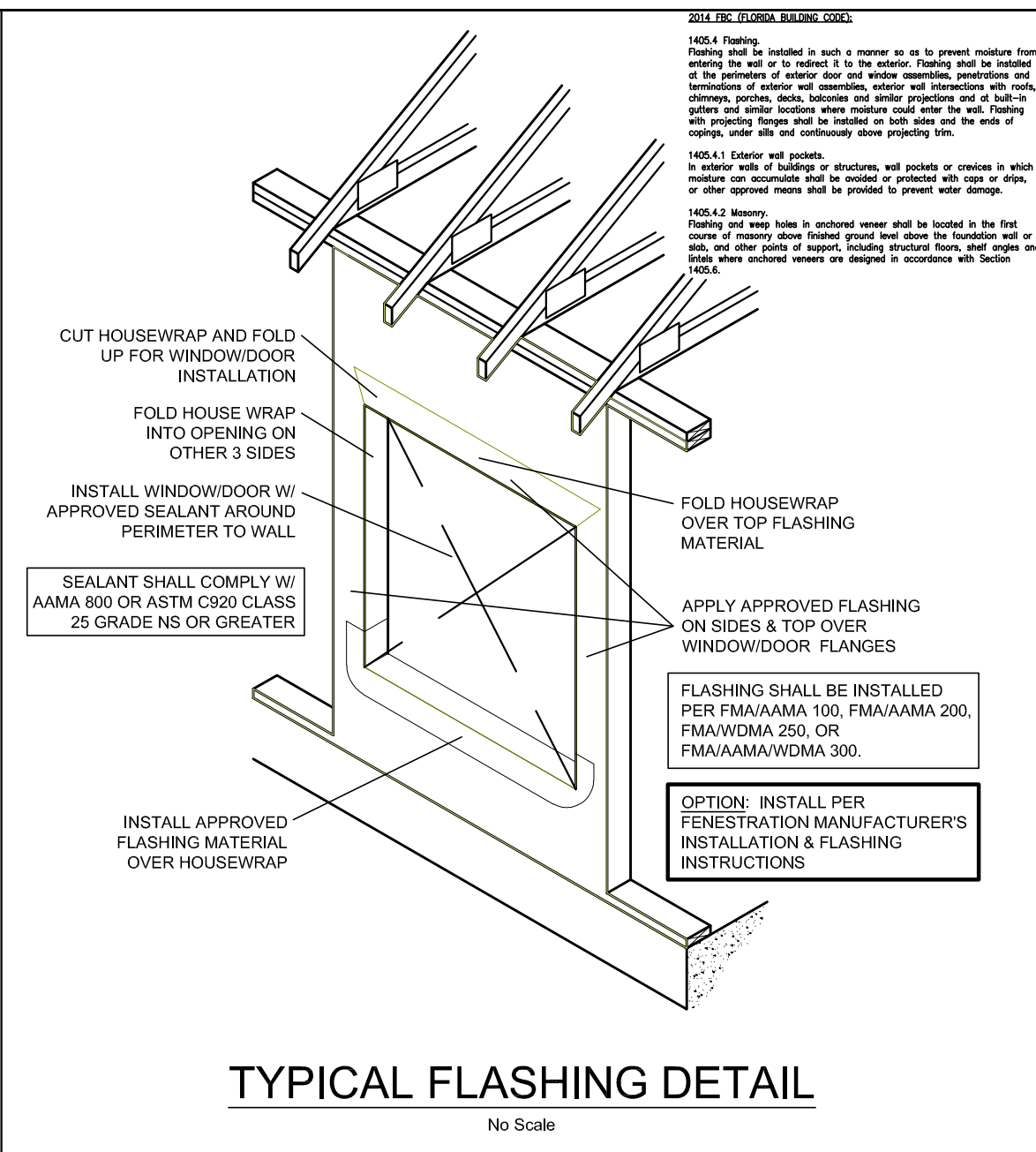
- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- PERFORATED HARDIE SOFFIT SHEATHING.
- P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5/4"x12" HARDIE BOARD TRIM.
- NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAD TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 36" HIGH RAIL WITH 2 1/2" P.T. TURNED WOOD PICKETS AT 4" O.C.
- PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE. INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- BRICK VENEER (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT).
- BRICK PAVERS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.



CASED BEAM DETAIL
3/8"=1'-0"

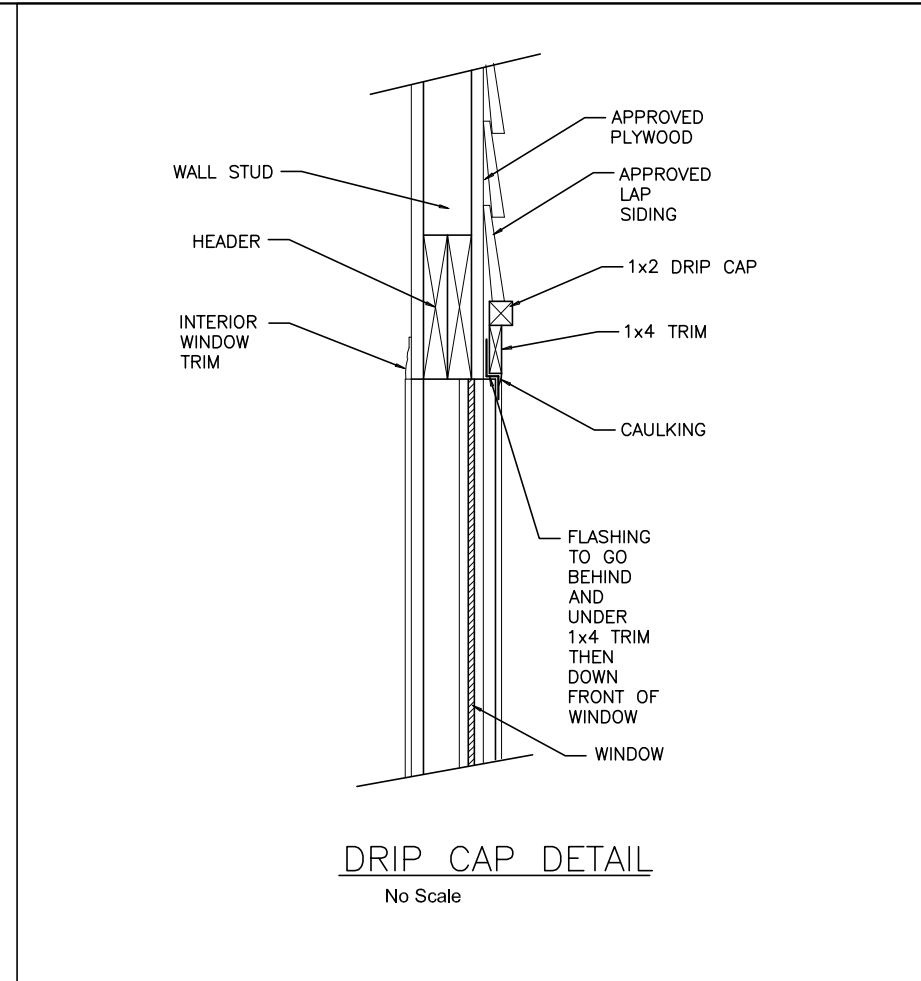


RIGHT ELEVATION



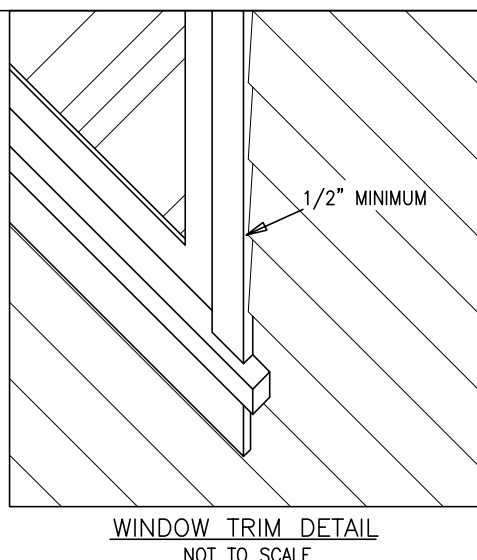
TYPICAL FLASHING DETAIL

No Scale



DRIP CAP DETAIL

No Scale



WINDOW TRIM DETAIL
NOT TO SCALE

DESCRIPTION: ELEVATIONS

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DATE: MAY 8 2020

DRAWN BY: J. GRAY

SHEET NUMBER:

2 OF 11

DRAWING NO.:
B-0320

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST. - PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

TODAYS
51st HOMES
1968 JIM BOZEMAN 2019



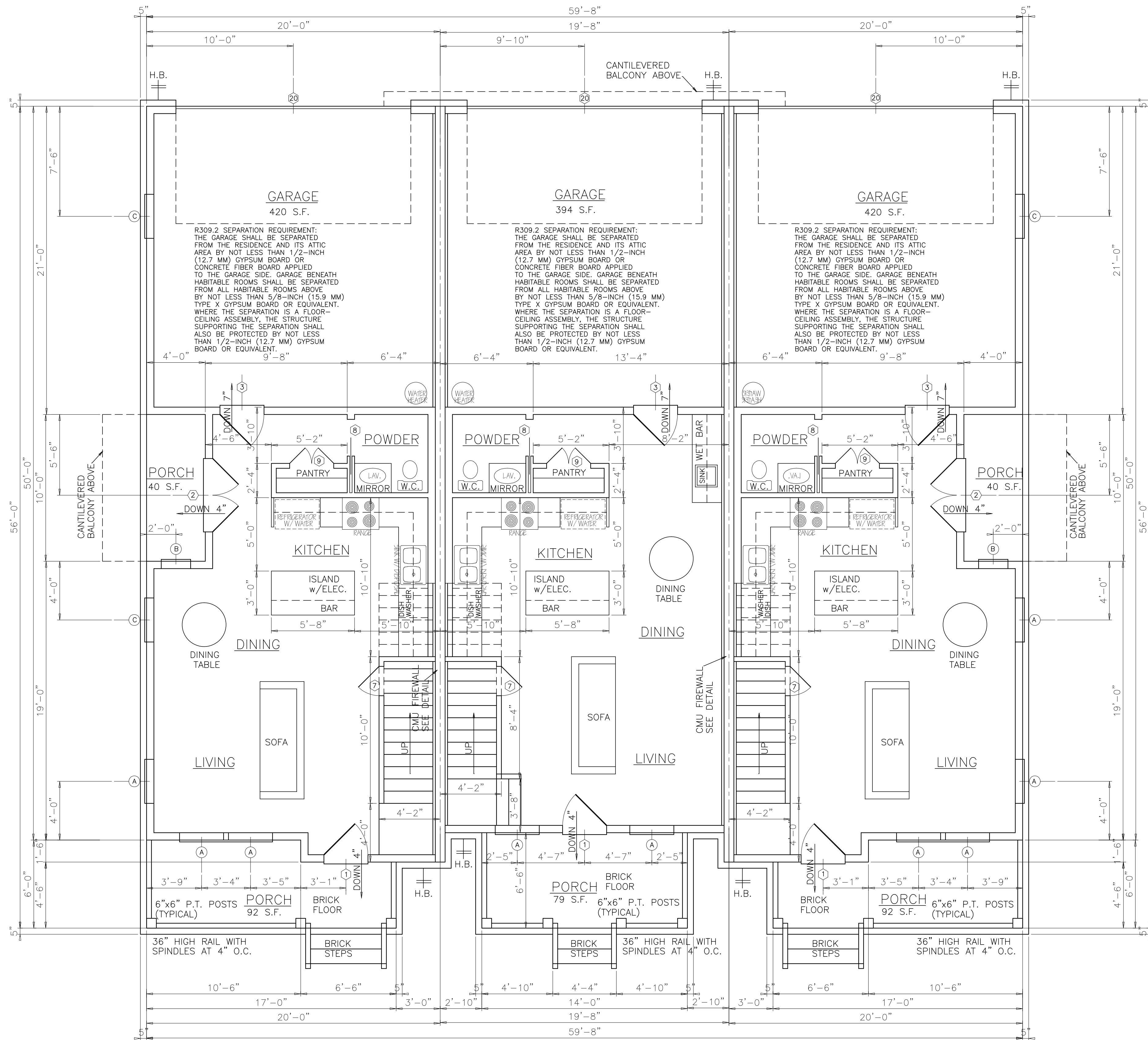
REAR ELEVATION



LEFT ELEVATION

- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- 2) PERFORATED HARDIE SOFFIT SHEATHING.
- 3) P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
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- 5) 5/4"x12" HARDIE BOARD TRIM.
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- 7) "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 8) RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAID TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 9) 36" HIGH RAIL WITH 2 1/2" P.T. TURNED WOOD PICKETS AT 4" O.C.
- 10) PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- 11) BRICK VENEER (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- 12) BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT).
- 13) BRICK PAVERS (PINE HALL BRICK-SEDGEFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.

FINISH ROOM SCHEDULE				DOOR SCHEDULE		WINDOW SCHEDULE		REMARKS
ROOM	FLOOR	WALLS	CEILING	NO.	SIZE	DESCRIPTION	REMARKS	
LIVING		ORANG PEEL	ORANG PEEL	1	3'-0"x8'-0"x1 3/4"	DECORATIVE	INSULATED	
DINING		PANT	TEXT	2	(2)-2'-6"x8'-0"x1 3/4"	DOUBLE FRENCH DOOR UNIT	INSULATED	VINYL SINGLE HUNG
KITCHEN				3	3'-0"x8'-0"x1 3/4"	6-PANEL	INSULATED	VINYL SINGLE HUNG
MASTER SUITE				4	(2)-2'-6"x6'-8"x1 3/4"	DOUBLE FRENCH DOOR UNIT	INSULATED	VINYL SINGLE HUNG
MASTER SUITE 2				5	(2)-5'-0"x6'-8"x1 3/4"	DOUBLE FRENCH DOOR UNIT	INSULATED	VINYL SINGLE HUNG
BEDROOM 2				6	3'-0"x6'-8"x1 3/4"	DECORATIVE	INSULATED	
BEDROOM 3				7	2'-0"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	
BATH 1				8	2'-6"x8'-0"x1 3/8"	POCKET	MASONITE PAINT	
BATH 2				9	(2)-1'-6"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	
POWDER				10	2'-8"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT	
GARAGE	CONCRETE			11	2'-0"x5'-0"x1 3/8"	HVAC DOOR		
				12	2'-6"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT	
				13	2'-0"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT	
				14	2'-0"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT	
				15	(2)-2'-6"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	
				16	(2)-1'-6"x8'-0"x1 3/8"	ROLLING BARN DOOR	MASONITE PAINT	
				17	5'-0"x6'-8"x1 3/8" BI-FOLD	6-PANEL	MASONITE PAINT	
				18	4'-0"x6'-8"x1 3/8" BI-FOLD	6-PANEL	MASONITE PAINT	
				19	2'-0"x6'-8"x1 3/8" BI-FOLD	6-PANEL	MASONITE PAINT	
				20	16"x8"	OVERHEAD GARAGE DOOR	WIND RATED	

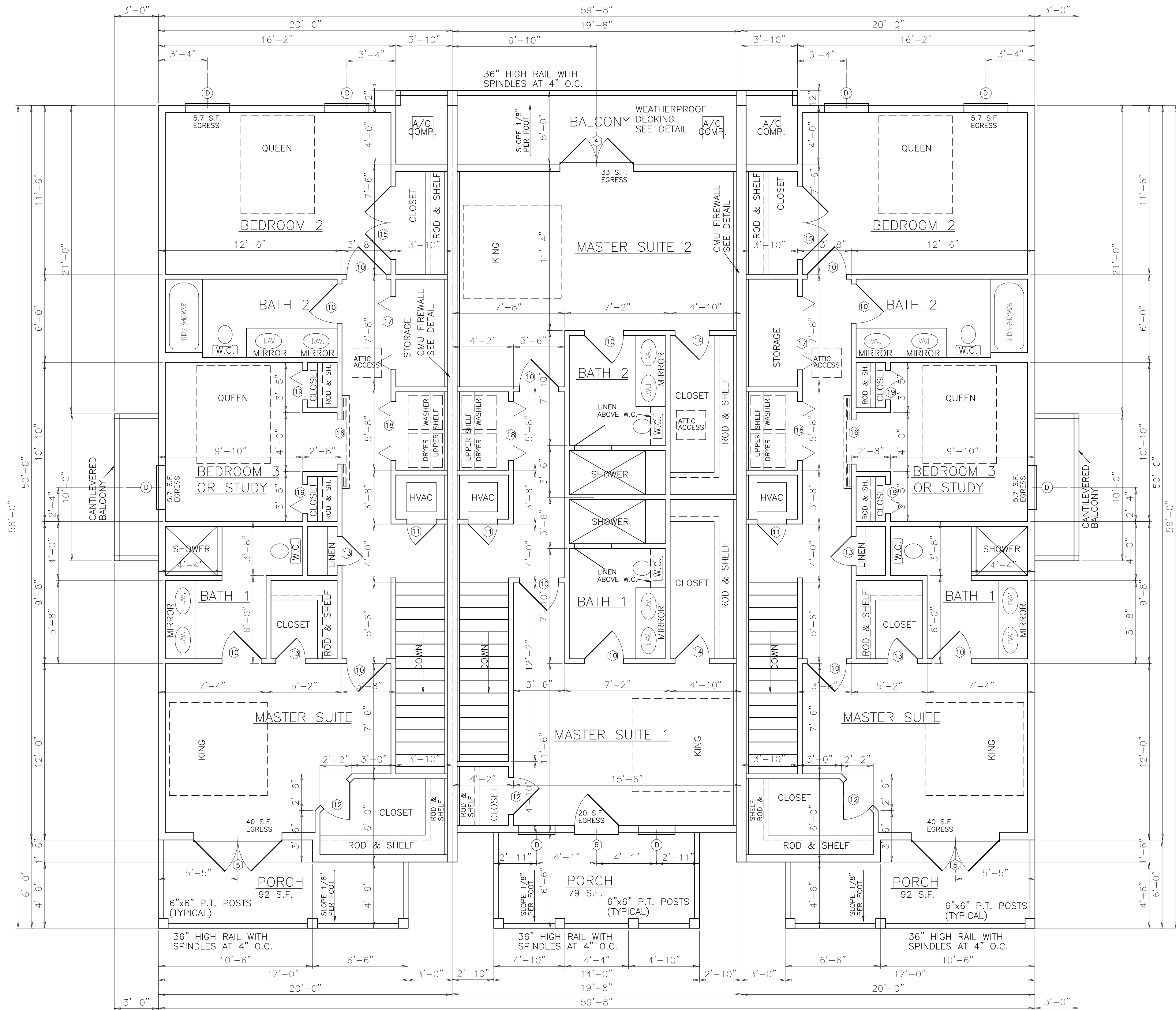


FIRST FLOOR 562 S.F.
SECOND FLOOR 1014 S.F.
TOTAL LIVING AREA 1582 S.F.

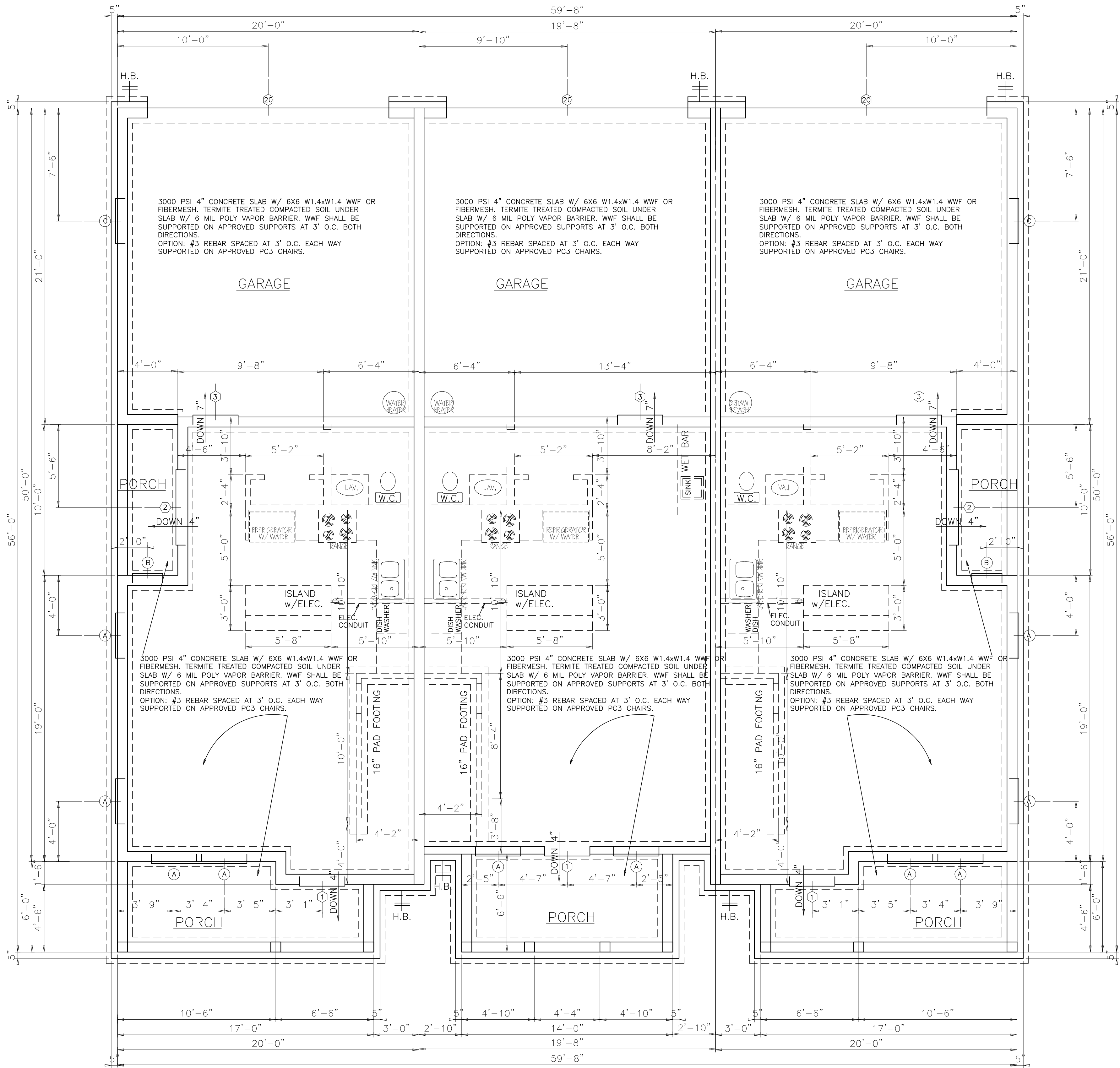
FIRST FLOOR 570 S.F.
SECOND FLOOR 986 S.F.
TOTAL LIVING AREA 1556 S.F.

FIRST FLOOR 562 S.F.
SECOND FLOOR 1014 S.F.
TOTAL LIVING AREA 1582 S.F.

BUILDING F FIRST FLOOR

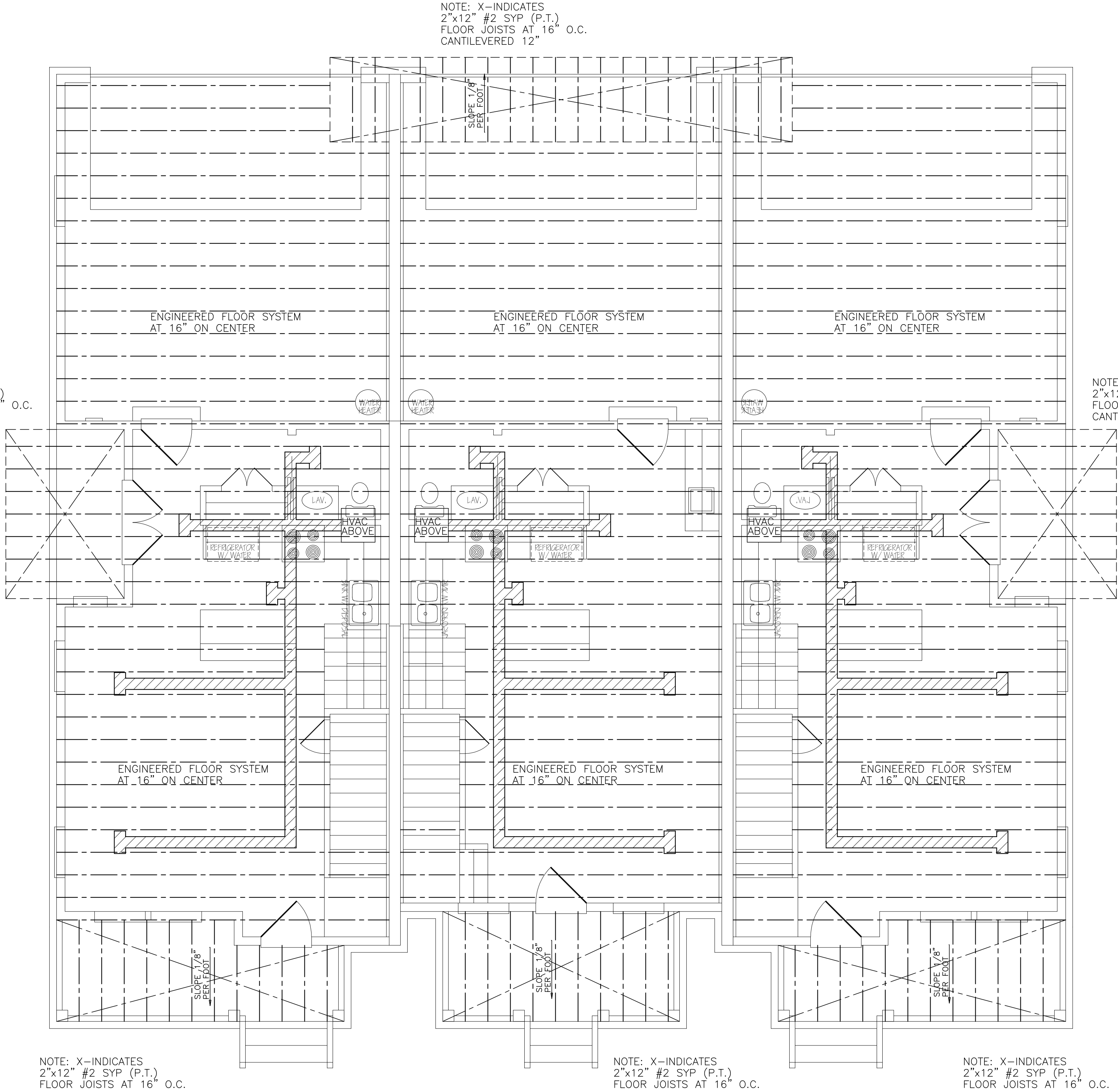


BUILDING F SECOND FLOOR



BUILDING F FOUNDATION

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.
CANTILEVERED 36"



NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.
CANTILEVERED 12"

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.
CANTILEVERED 36"

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANTAZA ST., PENSACOLA, FL 32502
(850) 432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

SCALE: 1/4"=1'-0"

DATE: DEC. 3 2019

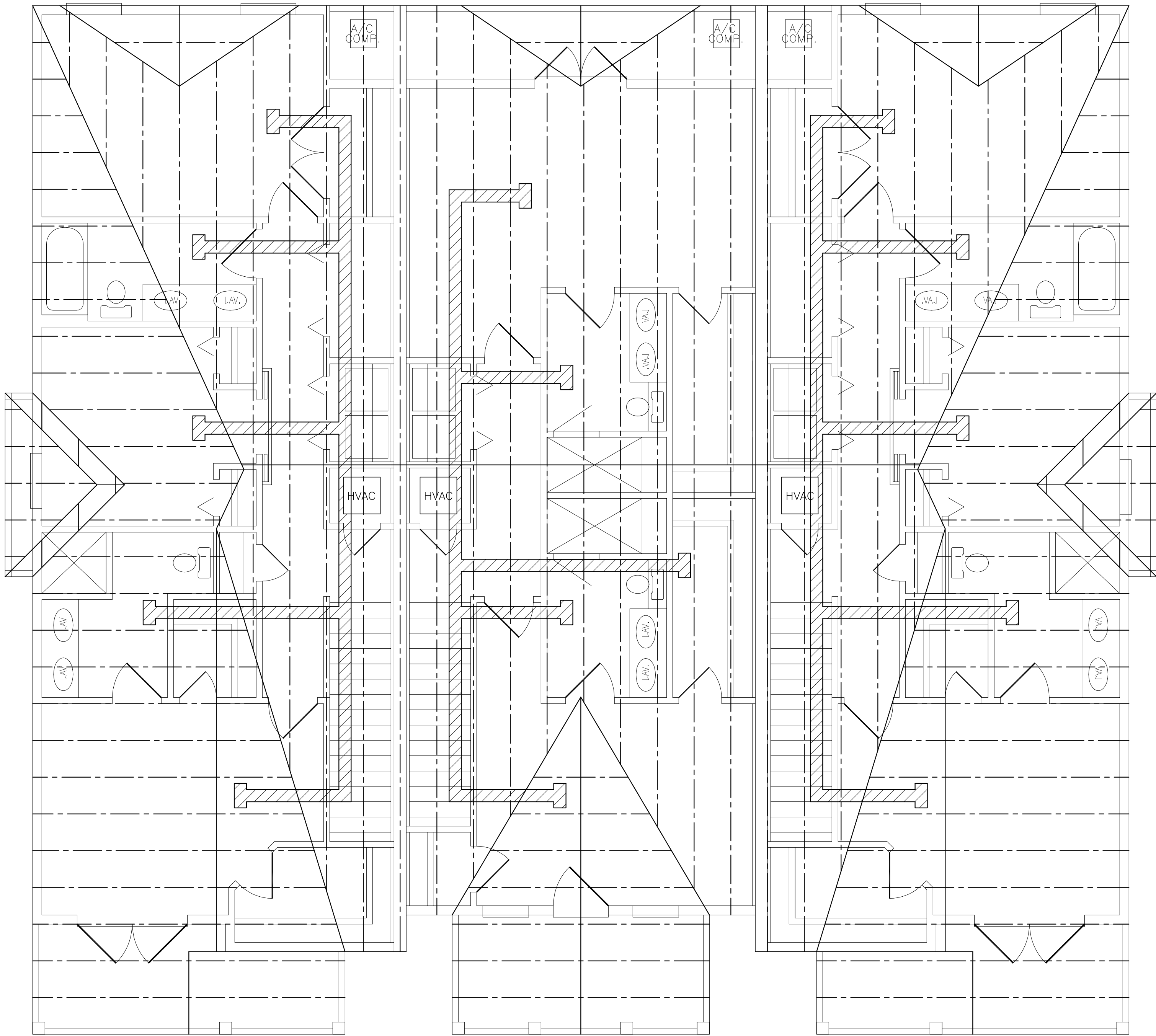
SHEET NUMBER:
7 OF 11

DRAWING NO.:
B-0320

DESCRIPTION: FLOOR FRAMING

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VERIFY DIMENSIONS BEFORE CONSTRUCTION.
DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO ORIGINAL DESIGNS.

TODAY'S
51st HOMES
1968 JIM BOZEMAN 2019



GENERAL NOTES:

ENGINEERED TRUSSES AT 24" ON CENTER
TRUSS MANUFACTURER TO VERIFY TRUSS
LAYOUT & FURNISH TRUSS DESIGN WITH
ENGINEER'S SEAL.

SEE ELEVATIONS FOR ROOF PITCH & OVERHANG.

MECHANICAL CONTRACTOR TO VERIFY DUCT
LAYOUT & GRILL SIZE TO UNIT SPECIFICATIONS.

CONTRACTOR TO VERIFY UNIT SIZE.

RETURN-AIR VENT ABOVE BEDROOM DOORS

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANTAZ ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: DEC. 3 2019

SCALE: 1/4"=1'-0"

SHEET NUMBER:
8 OF 11

DRAWING NO.:
B-0320

DESCRIPTION: ROOF FRAMING

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VERIFY DIMENSIONS BEFORE CONSTRUCTION.
DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO ORIGINAL DESIGNS.

TODAY'S
51st HOMES
1968 JIM BOZEMAN 2019

***** NOTICE *****

NEC ART 250.52(A)(3)-CONCRETE ENCASED
ELECTRODE INSPECTION REQUIRED FOR
GROUNDING OF REBAR STEEL PRIOR TO
POURING THE FOUNDATION OR FOOTING.


























FAILURE TO CALL FOR INSPECTION MAY
RESULT IN FOOTING BEING REPLACED.

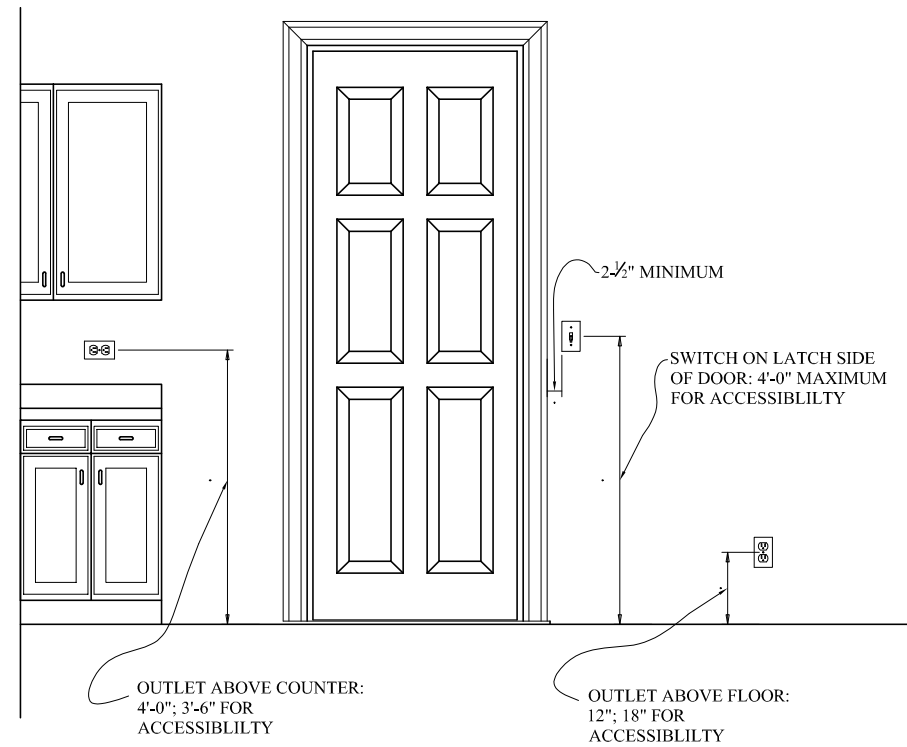
NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

E3802.11 BEDROOM OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

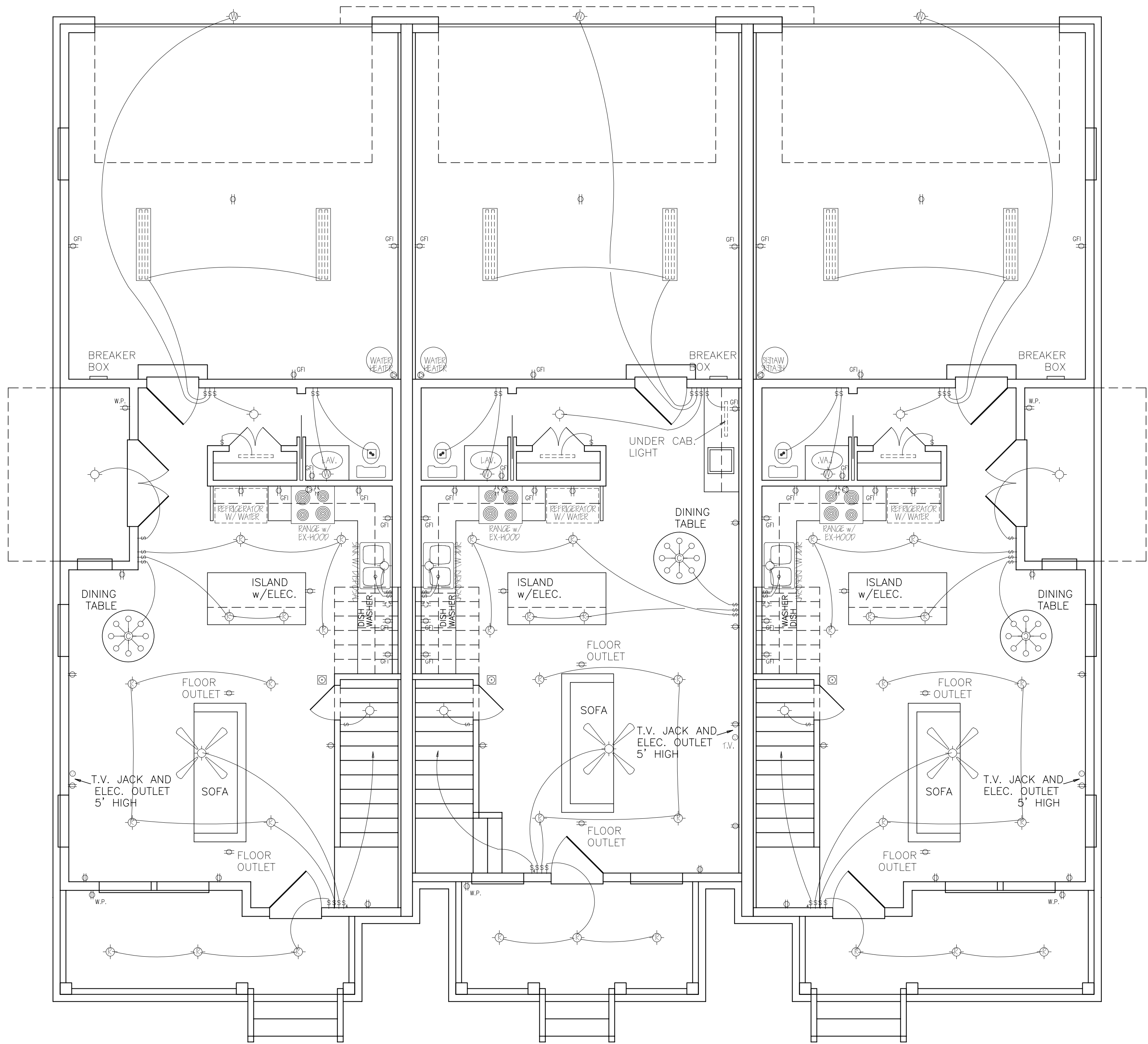
33803.4 STORAGE OR EQUIPMENT SPACES, IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

ELECTRICAL LEGEND:

- | | |
|---|--|
|  | GAS LINE |
|  | CABLE T.V. OUTLET |
|  | 110V ELECTRICAL OUTLET |
|  | WEATHER-PROOF EXTERIOR
110V ELECTRICAL OUTLET |
|  | GROUND-FAULT-INTERFACE
110V ELECTRICAL OUTLET |
|  | 110V ELECTRICAL OUTLET
UNDER COUNTER FOR
BUILT-IN APPLIANCES |
|  | 220V OUTLET |
|  | DOOR BELL |
|  | PHONE OUTLET |
|  | DOOR BELL CHIMES |
|  | EXHAUST FAN |
|  | SMOKE ALARM |
|  | CARBON MONOXIDE DETECTOR |
|  | 2-WAY WALL SWITCH |
|  | 3-WAY WALL SWITCH |
|  | 4-WAY WALL SWITCH |
|  | CEILING MOUNTED LIGHT |
|  | WALL-MOUNTED LIGHT |
|  | RECESSED LIGHT |
|  | HANGING "DROP" LIGHT |
|  | CHANDELIER (SEE OWNER) |
|  | CEILING FAN
(PLAN SHOWS LIGHT KITS ADDED) |
|  | FLUORESCENT LIGHT FIXTURE
4' FLOOR, BULBS |
|  | FLUORESCENT STRIP LIGHT |
|  | WALL-MOUNTED SCONCE LIGHT |



HEIGHTS OF SWITCHES AND OUTLETS



BUILDING F FIRST FLOOR ELECTRICAL

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: DEC. 3 2019

SHEET NUMBER.

NET

DESCRIPTION: FIRST FLOOR ELECTRICAL

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51st HOMES
TODAYS

***** NOTICE *****

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

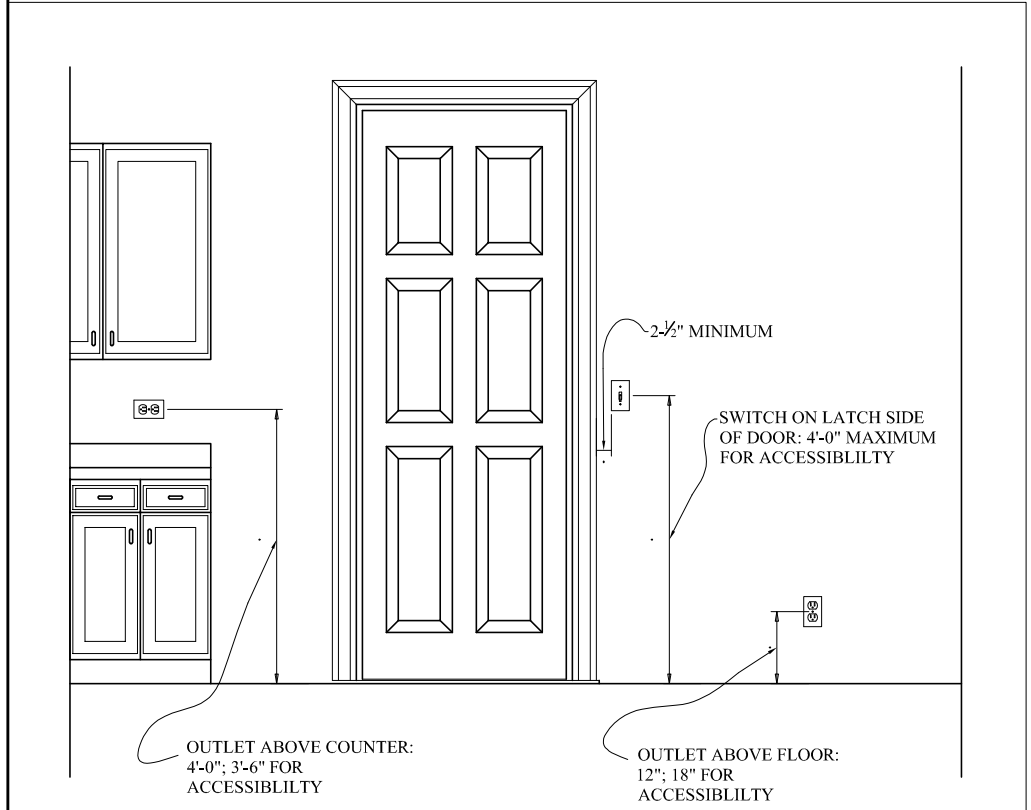
FAILURE TO CALL FOR INSPECTION MAY RESULT IN FOOTING BEING REPLACED.

NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

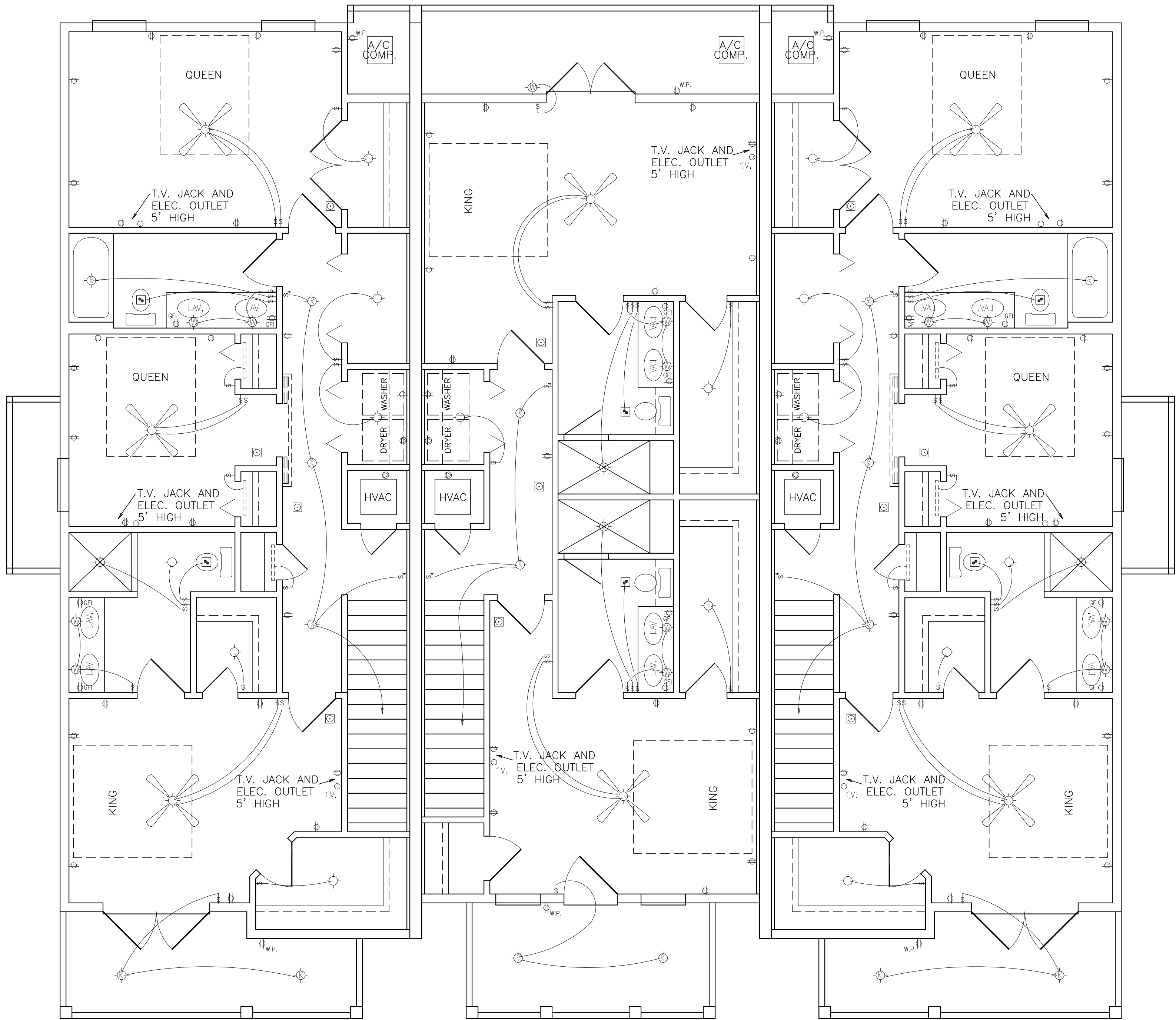
E3802.11 BEDROOM OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

E3803.4 STORAGE OR EQUIPMENT SPACES. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

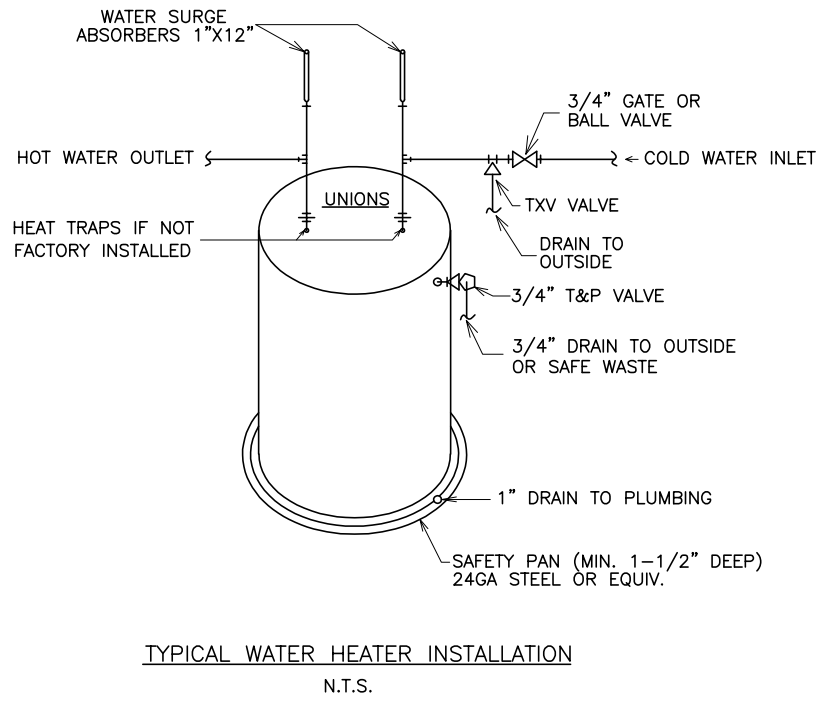
- ELECTRICAL LEGEND:**
- ⊙ GAS LINE
 - ⊗ CABLE T.V. OUTLET
 - ⊕ 110V ELECTRICAL OUTLET
 - W.P. WEATHER-PROOF EXTERIOR 110V ELECTRICAL OUTLET
 - ⊕ GFI GROUND-FAULT-INTERFACE 110V ELECTRICAL OUTLET
 - ⊕ 110V ELECTRICAL OUTLET UNDER COUNTER FOR BUILT-IN APPLIANCES
 - ⊕ 220V OUTLET
 - ⊕ DOOR BELL
 - ▶ PHONE OUTLET
 - ⊕ DOOR BELL CHIMES
 - ⊕ EXHAUST FAN
 - ⊕ SMOKE ALARM
 - ⊕ CARBON MONOXIDE DETECTOR
 - 2-WAY WALL SWITCH
 - 3-WAY WALL SWITCH
 - 4-WAY WALL SWITCH
 - ⊕ CEILING MOUNTED LIGHT
 - ⊕ WALL-MOUNTED LIGHT
 - ⊕ RECESSED LIGHT
 - ⊕ HANGING "DROP" LIGHT
 - ⊕ CHANDELIER (SEE OWNER)
 - ⊕ CEILING FAN (PLAN SHOWS LIGHT KITS ADDED)
 - ⊕ FLUORESCENT LIGHT FIXTURE 4' FLOUR. BULBS
 - ⊕ FLUORESCENT STRIP LIGHT
 - ⊕ WALL-MOUNTED SCONCE LIGHT



HEIGHTS OF SWITCHES AND OUTLETS



BUILDING F SECOND FLOOR ELECTRICAL



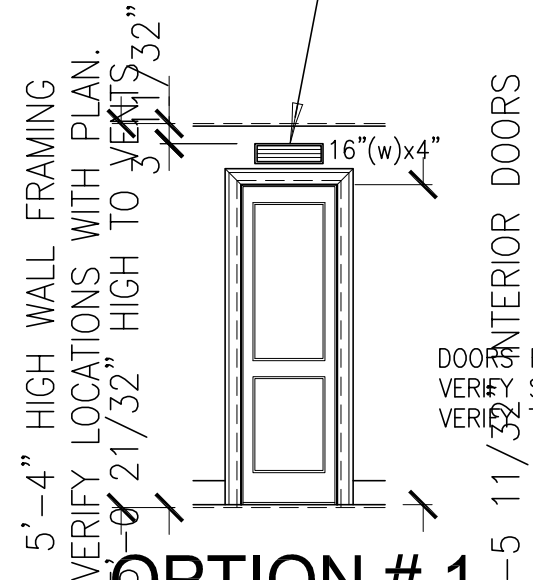
NOTE: ALL (R/A) RETURN-AIR GRILLS IN HOUSE TO HAVE SAME SIZE AIR FILTER.

BEDROOMS, etc.:
FOR ALL CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, CLOSETS) OPTIONED WITHOUT DEDICATED AIR RETURNS:

FRAME TRANSFER AIR (T/A) GRILLS ABOVE SOME INTERIOR DOORS PER MECHANICAL HVAC NOTES. SEE PLAN TO VERIFY ROOM LOCATIONS. VERIFY GRILL SIZES WITH MECHANICAL SYSTEMS DESIGNER. EACH GRILL OPERABLE W/ CUT-OFF.

PAINT EXPOSED FRAMING BLACK INSIDE THE T/A ROUGH OPENINGS PRIOR TO DRYWALL SO THAT RAW STUDS ARE NOT VISIBLE THROUGH FINISHED GRILLS, OR MOUNT GRILLS UPSIDE DOWN.

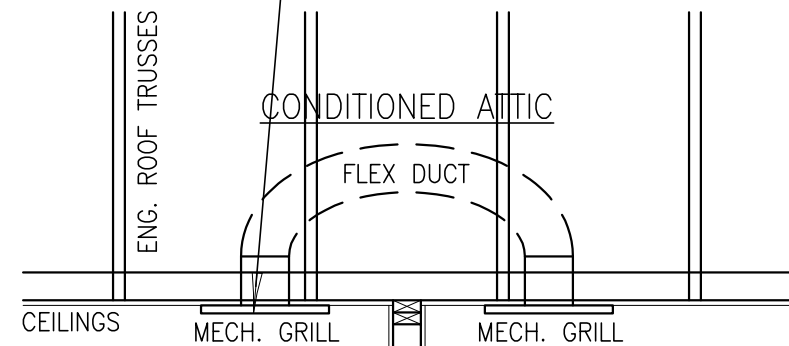
INDICATES TRANSFER AIR (T/A) GRILL LOCATIONS ON FRAMING AND HVAC PLANS



OPTION # 1 TRANSFER AIR GRILLS

Scale: 1/4"=1'-0"

BEDROOMS, etc.:
FOR ALL CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, CLOSETS) OPTIONED WITHOUT DEDICATED AIR RETURNS:
PROVIDE JUMP DUCTS AS SHOWN TO PROVIDE RETURN-AIR PATH PER MECHANICAL HVAC NOTES. VERIFY GRILL SIZES WITH MECHANICAL SYSTEMS DESIGNER. EACH GRILL OPERABLE W/ CUT-OFF.

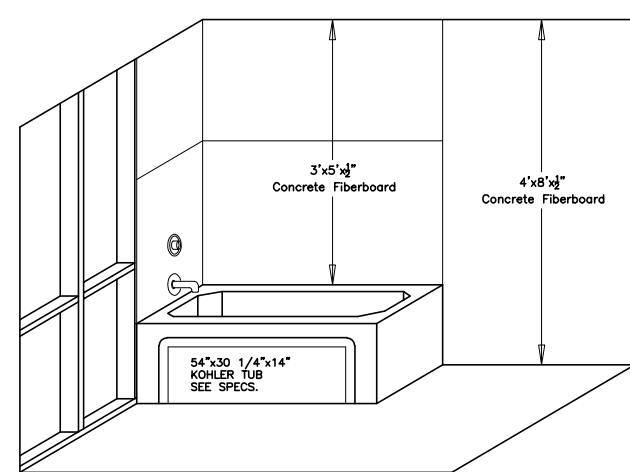


BEDROOMS, etc.:
CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, AND CLOSETS)

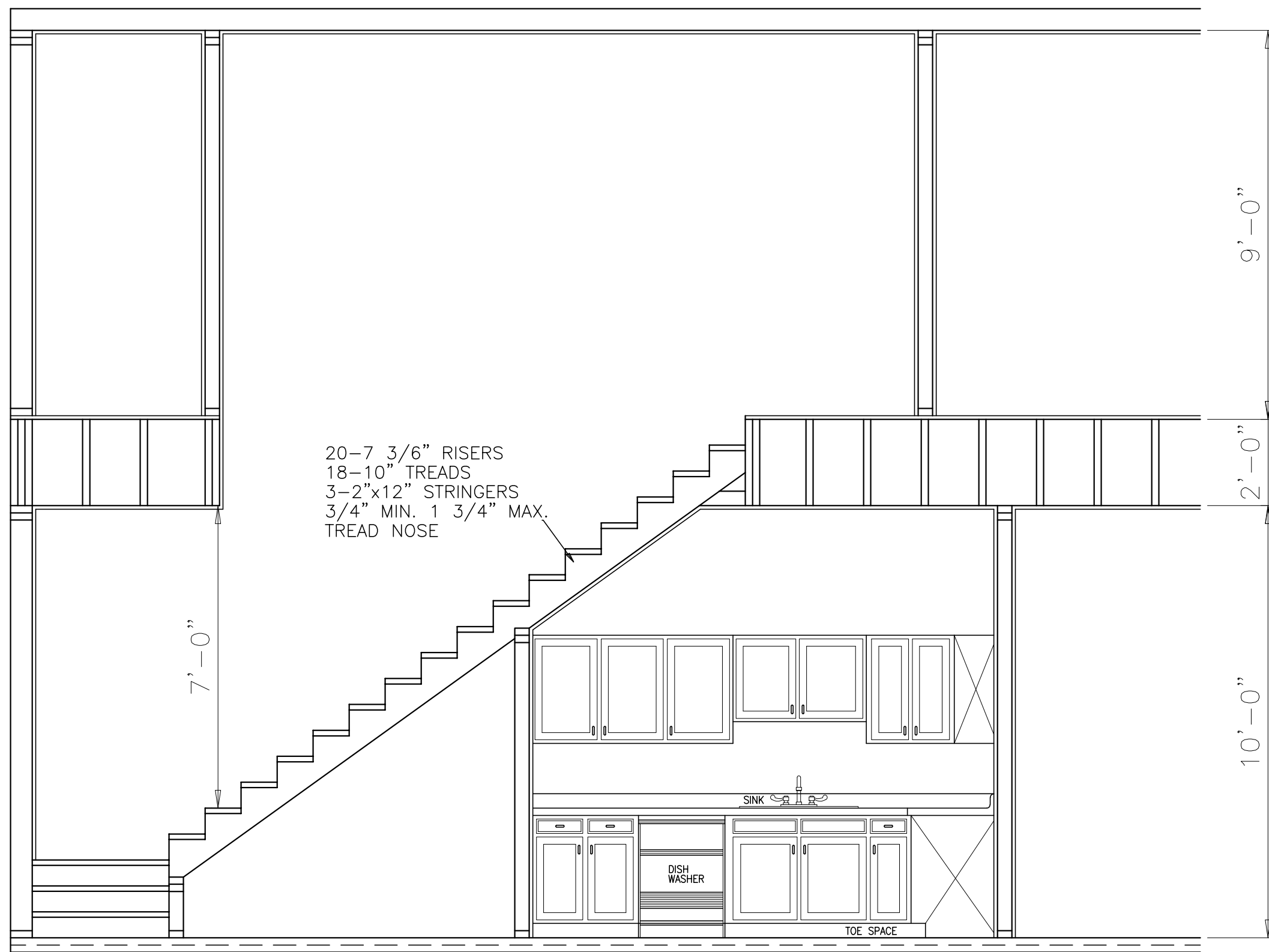
HALL
OPEN PATH TO NEARBY HVAC CLOSET(S) AND MAIN RETURN-AIR GRILL(S) FOR HOUSE

OPTION # 2 JUMP DUCTS

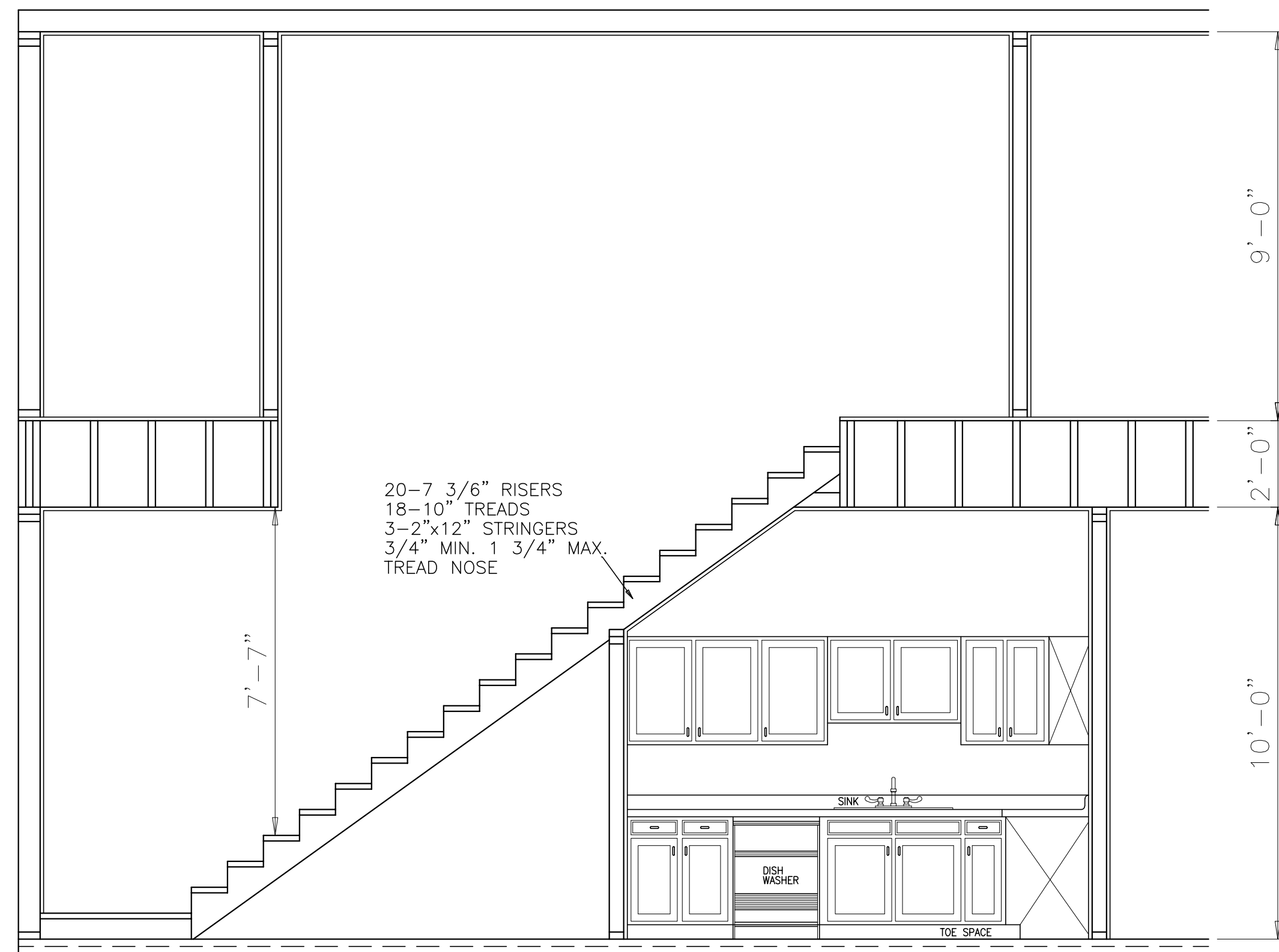
Scale: 1/2"=1'-0"



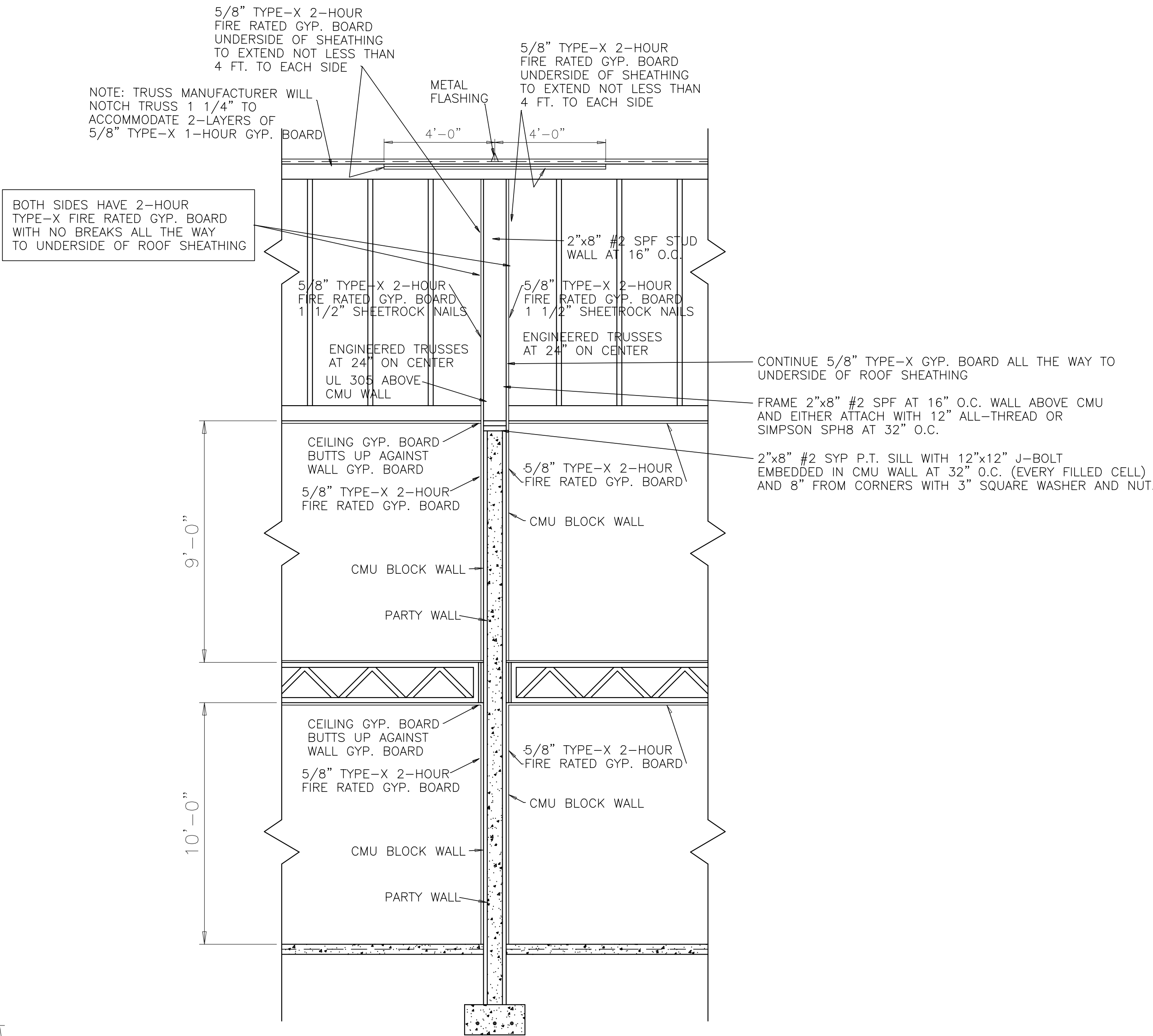
BATHROOM WET AREA
WALL SHEATHING



STAIR DETAIL MIDDLE UNIT
SCALE: 3/8"=1'-0"

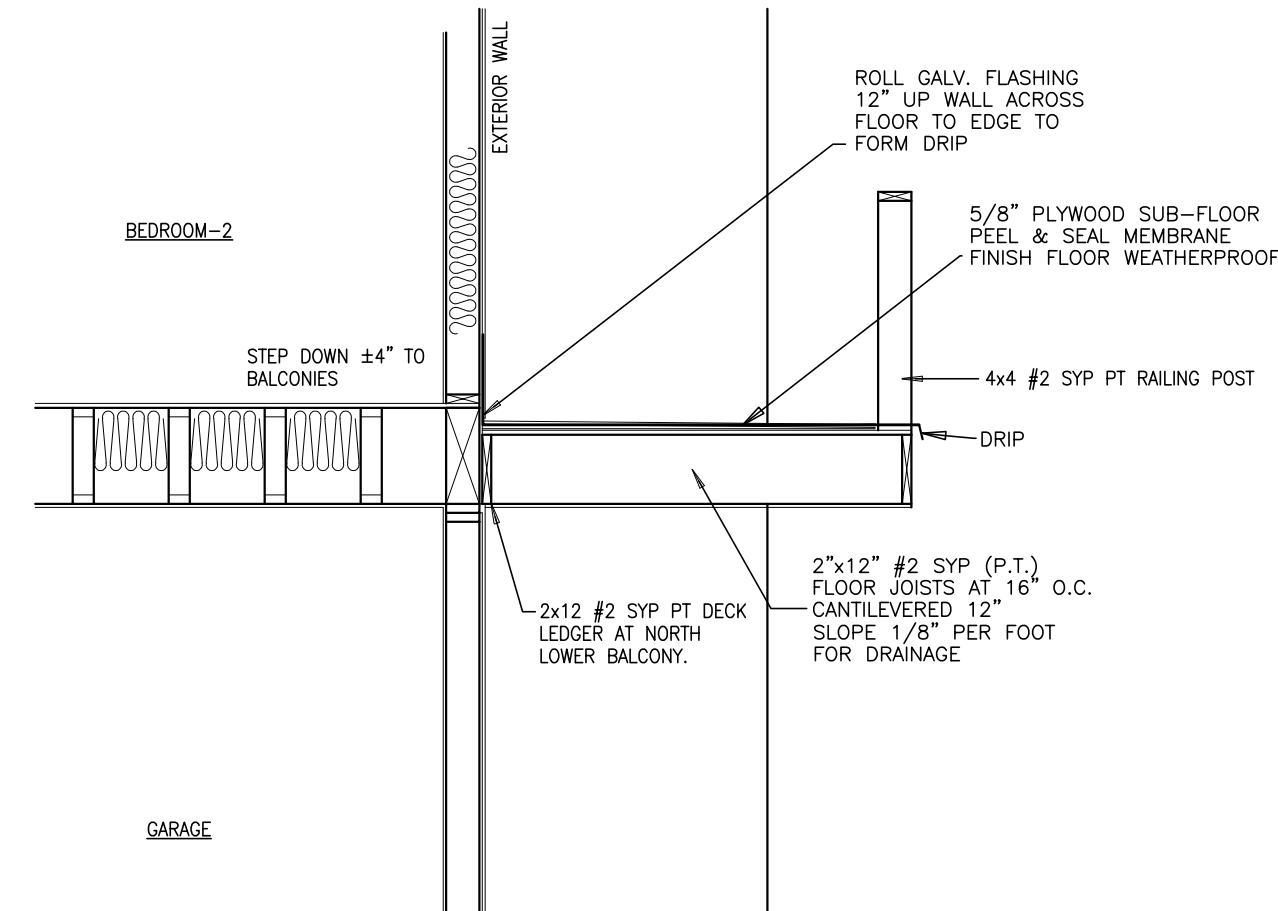


STAIR DETAIL END UNITS
SCALE: 3/8"=1'-0"



SEE ENGINEER'S CMU DEMISING WALL DETAIL S5 FOR FOOTER SIZE AND REBAR REQUIREMENTS

FIREWALL DETAIL
3/8"=1'-0"



A/C BALCONY DETAIL
3/8"=1'-0"

DESCRIPTION: DETAILS

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DATE: JAN. 22, 2020
SHEET NUMBER: 11 OF 11

DRAWN BY: J. GRAY
SCALE: NOTED

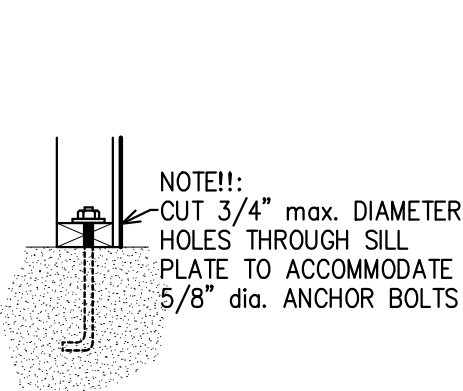
DRAWING NO.: B-0320

Today's Homes of Northwest Florida, Inc.

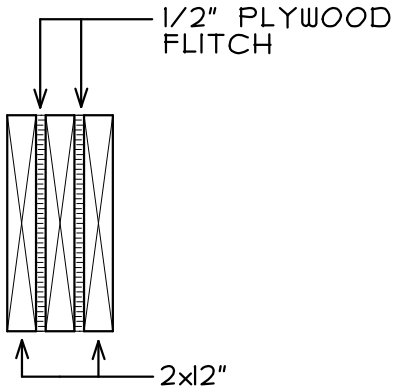
DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32501
(850)-432-3510 FAX: 434-2375

GENERAL NOTES

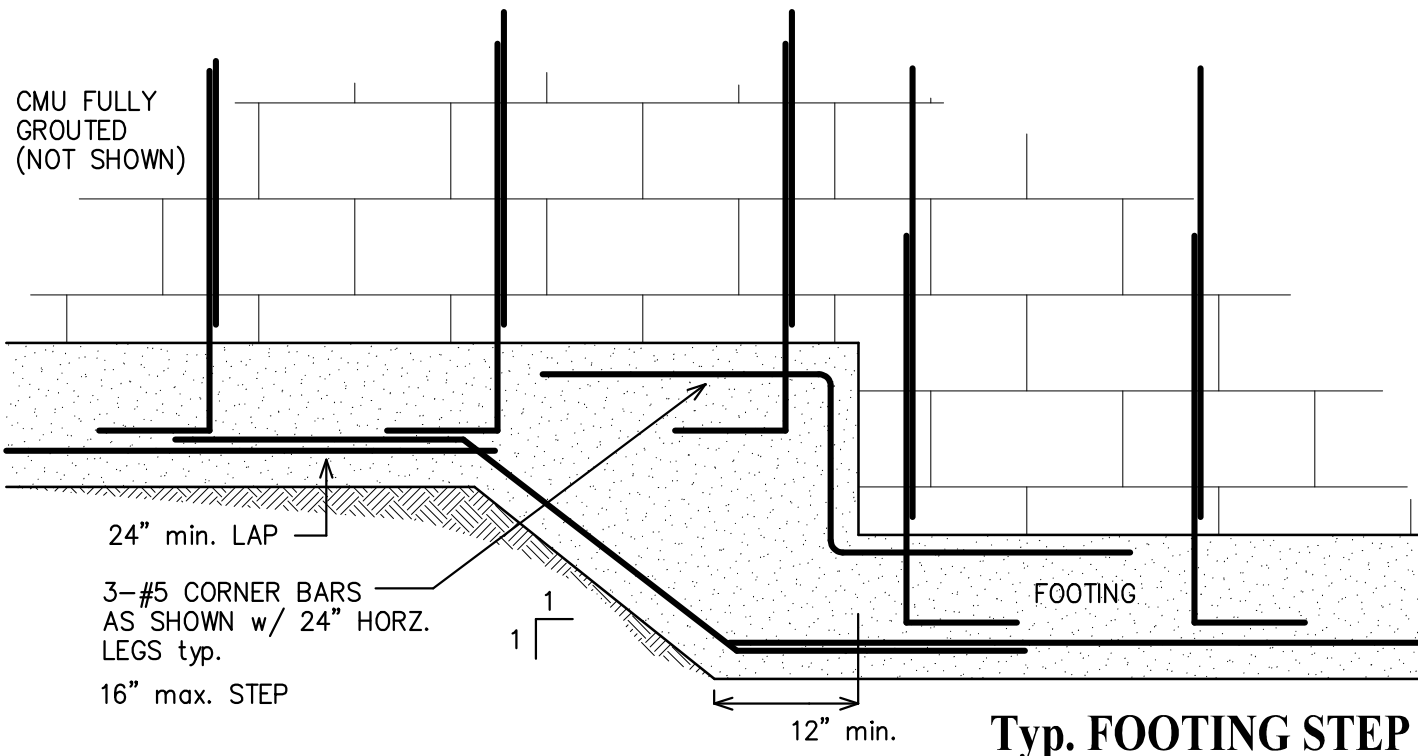
1. CODE:
FLORIDA BUILDING CODE, 2017
AMERICAN CONCRETE INSTITUTE (ACI318)
NFPA 1/ NFPA 101 AND ALL LOCAL AND STATE CODES
2. GENERAL DETAILS: AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATION AND SAFETY REQUIREMENTS.
3. DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.
4. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING. EXCESS LOAD CAPACITY OF SLAB SHALL NOT EXCEED LOADS EQUIVALENT TO THE DESIGN SUPERIMPOSED LOADS LESS CONSTRUCTION DEAD AND LIVE LOADS. DESIGN SUPERIMPOSED LOADS INCLUDE LIVE LOAD, PARTITION LOAD, AND ANY OTHER LOAD NOT IN PLACE AT THE TIME OF SHORING.
5. EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURE INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
6. OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
7. BACKFILL: BACKFILL AROUND THE EXTERIOR PERIMETER OF WALL SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL SEVEN (7) DAYS AS A MINIMUM AFTER THE COMPLETION OF INTERIOR FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.
8. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
9. WELDING: ALL WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED FOR THE WELDS TO BE MADE. SEE SPECIFICATIONS FOR WELDING PROCESS TO BE USED. WELDING OF REINFORCING STEEL FOR USE IN STRUCTURAL CONCRETE OR STRUCTURAL MASONRY SHALL BE PERMITTED ONLY WHERE SPECIFICALLY DESIGNATED ON THESE PLANS OR WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
10. SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
11. INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS, SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE, OR SUBSTITUTE, INSPECTIONS UNLESS SPECIFICALLY CONTRACTED FOR.
12. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
13. SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A MINIMUM OF TWO COPIES OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERCEDE THE STRUCTURAL DRAWINGS.



ANCHOR BOLT/
SILL PLATE



TYP. WALL HEADER
UNLESS NOTED OTHERWISE



TYP. FOOTING STEP
3/4" = 1'-0"

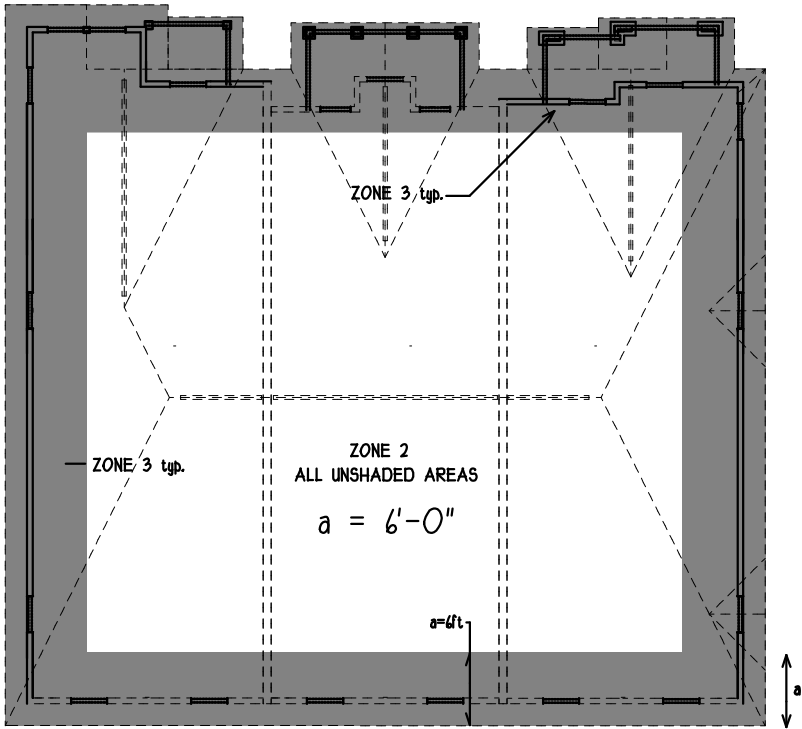
TIMBER:

1. STRUCTURAL TIMBER EXCEPT WALL STUDS SHALL BE #2 SOUTHERN PINE (19% MAX. MOISTURE CONTENT)
2. PLYWOOD/OSB SHEATHING SHALL BE APA RATED (PRP-108)
3. EXTERIOR STUD AND SHEAR WALL TO HAVE SOLID BLOCKING AT SHEATHING JOINTS
4. ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.
5. ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER'S STATE REGISTERED ENGINEER.
6. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS, MATERIALS AND CONDITIONS.
7. SPLICES AT MULTI-BOARD CONTINUOUS BEAMS SHALL BE ALLOWED FOR ONE BOARD ONLY PER SPAN AND ONLY AT THE QUARTER POINT OF THE SPAN, UNLESS SHOWN OTHERWISE.

CONCRETE AND REINFORCEMENT

1. CONCRETE PLACEMENT AND QUALITY: SPECIFIED IN PROJECT SPECIFICATIONS.
2. DEBRIS: REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.
3. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS AND COLUMNS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTH SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED EIGHT FEET, AND A SUFFICIENT NUMBER SHALL BE USED TO ENSURE THAT THE CONCRETE IS KEPT LEVEL AT ALL TIMES.
4. INSERTS: ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING.
5. SPLICES: MAINTAIN MIN. LAP DISTANCE AT ALL SPLICES
6. CONSTRUCTION JOINTS: CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN, SOLIDLY EMBEDDED AGGREGATE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF CONSTRUCTION JOINT LOCATION IN SLABS AND BEAMS.
7. TEMPERATURE AND SHRINKAGE REINFORCEMENT: SHALL HAVE A LAP OF THIRTY (30) BAR DIAMETERS, BUT NOT LESS THAN 18 INCHES, AND THE SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN FIVE (5) FEET APART.
8. REBAR GRADES: ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:
#3 & SMALLER BARS.....GRADE 40
#4 & LARGER BARS.....GRADE 60
THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS SHALL NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI (RETEST SHALL NOT EXCEED THIS VALUE BY MORE THAN AN ADDITIONAL 3,000 PSI) AND THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL TENSILE YIELD STRENGTH IS NOT LESS THAN 1.25.
9. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
10. WELDING: TACK WELDING OF REBAR IS NOT PERMITTED UNLESS CALLED FOR OR APPROVED BY THE ENGINEER. WELDING OF STIRRUPS, TIES, INSERTS OR OTHER SIMILAR ELEMENTS TO LONGITUDINAL REINFORCING BARS SHALL NOT BE PERMITTED.
11. REBAR COVER: MINIMUM REBAR COVER FOR PRESTRESSED CONCRETE SHALL BE AS SHOWN IN THIS TABLE:

EXPOSURE CONDITION	MINIMUM COVER	TOLERANCE (+/-)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"	3/8 INCH
EXPOSED TO EARTH OR WEATHER: NO. 5 AND SMALLER BARS	3"	1/4 INCH
SLABS ON GRADE	2"	1/4 INCH



ROOF PRESSURE ZONES

CONCRETE (cont'd.)

12. TOLERANCES FOR REBAR PLACEMENT: TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS TWO (2) INCHES, EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE 1/2 INCH.
13. CONCRETE QUALITY: SHALL BE AS SHOWN IN TABLE BELOW:

CONCRETE USE	STRENGTH AT 28 DAYS	SLUMP	AIR	AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	3000	6"	-	1 1/2"	HARDROCK
GRADE SLAB	3000	4"	-	1"	HARDROCK

14. CONCRETE WEIGHT: ALL CONCRETE SHALL BE OF REGULAR WEIGHT OF 145 POUNDS PER CUBIC FOOT UNLESS NOTED OTHERWISE.
15. AGGREGATE: SIZE OF AGGREGATE SHALL CONFORM TO ASTM C33-85.
3/4".....ASTM SIZE C67
1".....ASTM SIZE C57
16. CEMENT: SHALL BE TYPE II.
17. CONCRETE AGE: NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY.
18. WET SET: REINFORCEMENT MAY NOT BE WET SET IN CONCRETE POURS.
19. ROUGHENED SURFACES: WHERE INDICATED ON THE DRAWINGS, ROUGHENED SURFACES SHALL BE PROVIDED BY MEANS OF HEAVY RAKING OR GROOVING. OTHER METHODS MAY BE ACCEPTABLE PENDING WRITTEN APPROVAL FROM THE ENGINEER. ALL INTERFACING SURFACES MUST BE CLEAN AND FREE OF LOOSE MATERIALS.
20. ADMIXTURES: NO ADMIXTURES SHALL BE ADDED TO THE CONCRETE MIX WITHOUT THE APPROVAL OF THE ENGINEER, UNLESS NOTED OTHERWISE.
21. CONCRETE TESTINGS: ALL TESTINGS SHALL BE PERFORMED BY INDEPENDENT LABORATORY.
TESTING PER:
a. ASTM C143
b. ASTM C39 : 1 TEST CYLINDER PER 50 CUBIC YARDS (OR FRACTION THERE OF) PLACED PER DAY. REQUIRED CYLINDER(S) QUANTITIES AND TEST AGE AS FOLLOWS:
1 AT 3 DAYS
1 AT 7 DAYS
1 AT 28 DAYS
ONE ADDITIONAL RESERVE CYLINDER TO BE TESTED UNDER DIRECTION OF THE ENGINEER. IF 28 DAY STRENGTH IS ACHIEVED, THE ADDITIONAL CYLINDER(S) MAY BE DISCARDED.

LOADING

LOCATION:	LOADING: PSF	
	LIVE LOAD	DEAD LOAD
ROOF		
TOP CHORD	20	15
BOTTOM CHORD	5	10
FLOOR	40	15

WIND DESIGN CRITERIA:
DIRECTIONAL PROCEDURE FOR ASCE 7-10
DESIGNED FOR: 155 MPH (ULT.), 116 MPH ALLOWABLE STRESS DESIGN
TERRAIN EXPOSURE CATEGORY: B
GUST EFFECT FACTOR: 0.85
INTERNAL PRESSURE: +/- 0.18
RISK (OCCUPANCY) CATEGORY: II
DEAD AND LIVE LOAD:
ROOF LIVE LOAD: 20 PSF
ROOF DEAD LOAD: 15 PSF
CEILING DEAD LOAD: 5 PSF

WALL PRESSURE FOR COMPONENTS AND CLADDING:			
Vasd (ULT) mph	AREA (sqft)	INTERIOR (ZONE 4)	END (ZONE 5)
120 (155)	up to 50	26.0/-28.2	26.0/-34.8
	51 to 130	23.2/-25.5	23.2/-29.3

USE WIND SPEED REQUIRED BY DESIGN CRITERIA LISTED ABOVE FOR EXPOSURE B
END ZONE= WITHIN 4FT OF MAIN BUILDING CORNERS

NOTE TO TRUSS MANUFACTURER:
ABOVE 'BOXED' SECTION IS THE WRITTEN SPECIFICATIONS FOR THE TRUSS DESIGN OF THIS PROJECT.
TRUSS MANUFACTURE SHALL MEET OR EXCEED THE REQUIREMENTS FOR WIND/GRAVITY DESIGN AS LISTED INCLUDING REQUIRED WIND SPEED, TERRAIN EXPOSURE CATEGORY, INTERNAL PRESSURE, BUILDING CATEGORY AND IMPORTANCE FACTOR.

SOIL

1. FOUNDATION DESIGN BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF IN CLEAN SANDY SOILS.
2. CONTRACTOR SHALL VERIFY ALL ASSUMED CONDITIONS WITH A GEOTECHNICAL SOILS EXPLORATION AND REPORT. PROVIDE REPORT TO ENGINEER OF RECORD PRIOR TO INITIATION OF WORK. FOUNDATION MODIFICATION MAY BE REQUIRED UPON REVIEW OF GEOTECHNICAL REPORT.

STRUCTURAL SHEATHING:

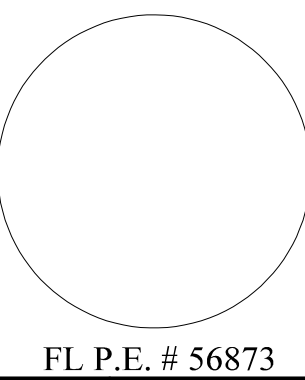
- ALL EXTERIOR WALL AND INTERIOR SHEAR WALLS: 1/16" APA RATED SHEATHING W/ 8D NAILS AT 3" O.C. EDGE AND 12" O.C. INTERIOR SPACING
- ROOF SHEATHING: 5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING
- FLOOR SHEATHING: 3/4" APA RATED SHEATHING W/ 10D RING SHANK NAILS AT 4" O.C. EDGE 8" o.c. INTERIOR SPACING (GLUE & NAIL)
- PORCH SHEATHING: 5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING

ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.

COVINGTON PLACE

Building 'F'

Pensacola, FL



Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE
Pace, FL

850-393-0937

Drawn by: ACH Ck'd by: ACH

1905

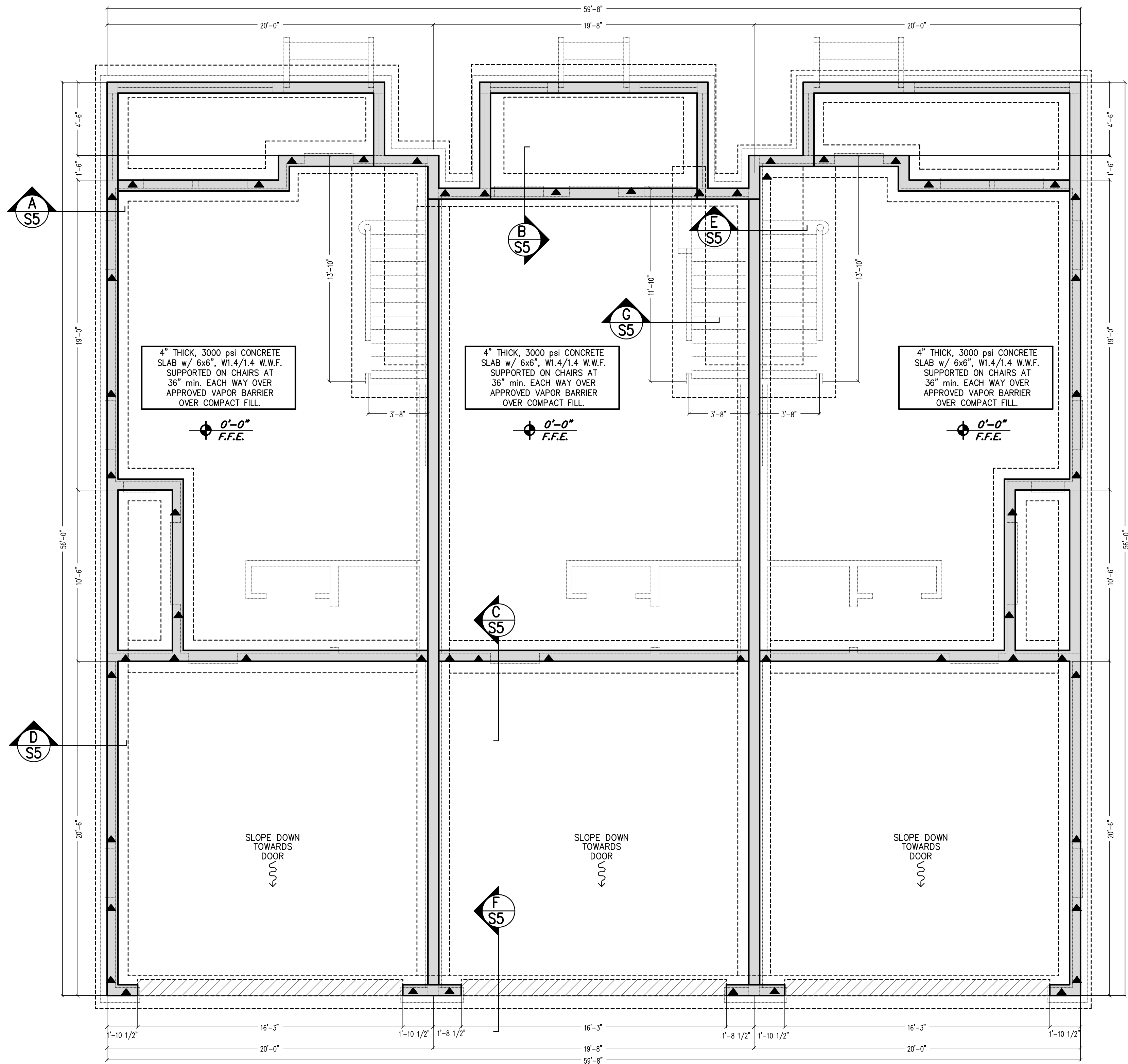
Scale: As Noted

REVISIONS:

S1 OF

6 SHEETS

COMPONENT AND CLADDING PRESSURE REQUIREMENTS (FOR ROOFS):



FOUNDATION PLAN
1/4" = 1'-0"

SAW CUT CONTROL JOINTS:
INTERIOR SLAB: 20'-0" o.c. EACH WAY
PLACE KEYED CONSTRUCTION JOINT
AS NEEDED

VERIFY TRUSS MANF. FINAL DESIGN FOR ALL
REQUIRED INTERIOR LOAD BEARING FOOTINGS.
SUBMIT DESIGN TO ENG. OF RECORD FOR
REVIEW PRIOR TO INITIATION OF WORK

WALL ANCHORS: (SEE DETAILS)

- ▲ : 5/8 x 12" L-BOLTS w/ 1" MIN. EMBEDMENT
COUPLED TO 5/8" A 36 THREADED ROD
EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED
w/ 3" x 3" x 1/4" WASHER AND NUT.
- ALL LOAD BEARING AND SHEAR WALLS:
5/8 x 12" L-BOLT w/ 2" WASHER REQUIRED AT WITHIN 8" EACH
SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32' O.C.

COVINGTON PLACE

Building 'F'

Pensacola, FL

Lane and Hatcher Engineers, LLC
CERT. OF AUTH. 9481

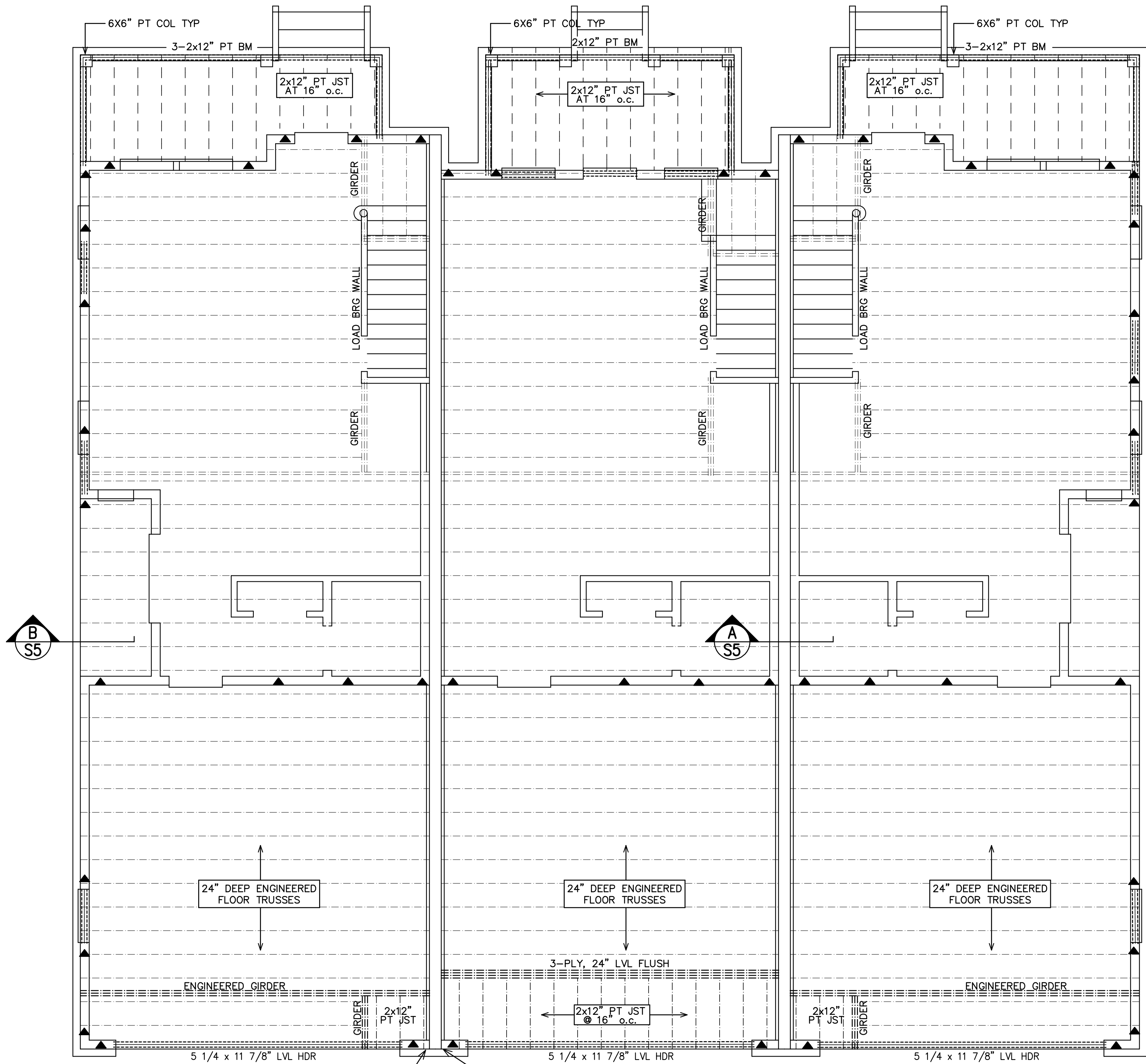
5125 OAK GLEN DRIVE
Pace, FL
850-393-0937

Drawn by: ACH
05-10-19
Scale: As Noted

Check by: ACH
1905
REVISIONS:

S2 OF

6 SHEETS



TYPICAL
AT WOOD WALLS TO CMU:
FASTEN SINGLE PT PLATE TO
CMU EACH SIDE w/ 1/4x3\"/>

FLOOR FRAMING PLAN
1/4" = 1'-0"

BEAM TO CMU WALL HANGER:
3-PLY, LVL: SIMPSON HUC616

NOTE: ALL STRUCTURAL HEADERS SHALL BE 2-2x12" No. 2 S.P.,
MINIMUM, UNLESS NOTED OTHERWISE ON PLAN

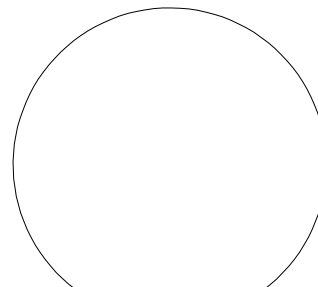
WALL ANCHORS: (SEE DETAILS)

- ▲ : 5/8 x 12" L-BOLTS w/ 1" MIN. EMBEDMENT
COUPLED TO 5/8" A 36 THREADED ROD
EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED
w/ 3" x 3" x 1/4" WASHER AND NUT.
- ALL LOAD BEARING AND SHEAR WALLS:
5/8 x 12" L-BOLT w/ 2" WASHER REQUIRED AT WITHIN 8" EACH
SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32" O.C.

COVINGTON PLACE

Building 'F'

Pensacola, FL



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE

Pace, FL

850-393-0937

Drawn by: ACH
05-10-19

Scale: As Noted

REVISIONS:

Chk by: ACH
1905

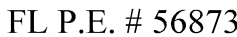
S3 OF

6 SHEETS



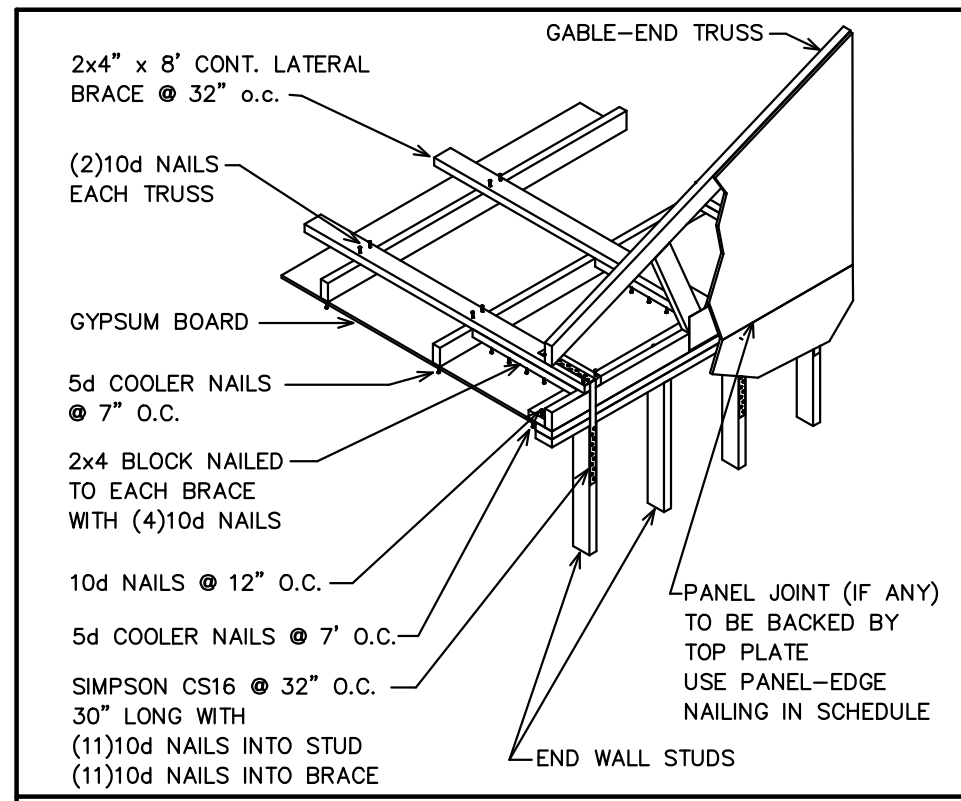
FLOOR TO FLOOR WALL ANCHORAGE: (LOAD BRG WALLS)
AT EACH SIDE OF OPENINGS CORNERS:
 1-SIMPSON SDWF2730

BETWEEN ABOVE SPECIFIED LOCATIONS:
 1-SIMPSON CS16 COILED STRAP REQUIRED AT 48" O.C.

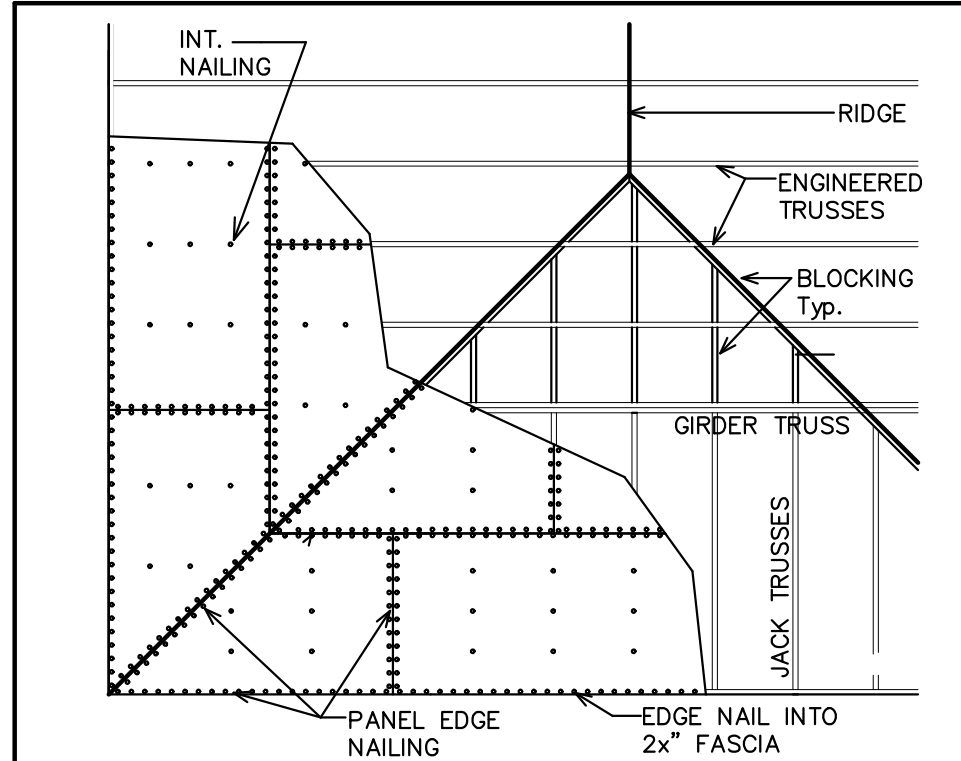


850-393-0937

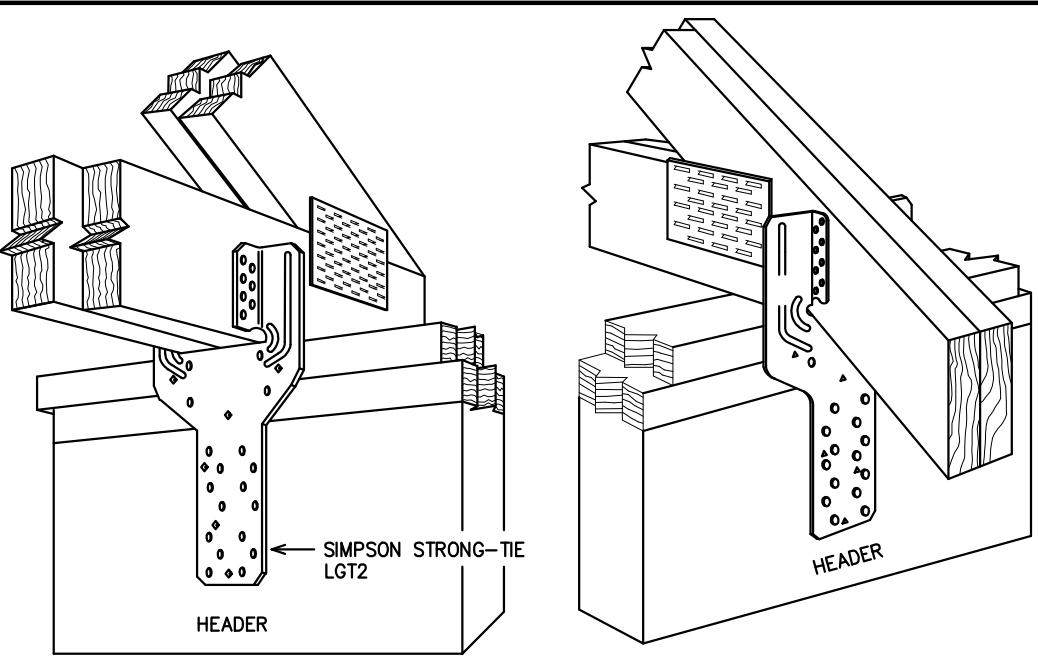
Drwn by: ACH	Chk by: ACH
05-10-19	1905
Scale: As Noted	
REVISIONS:	



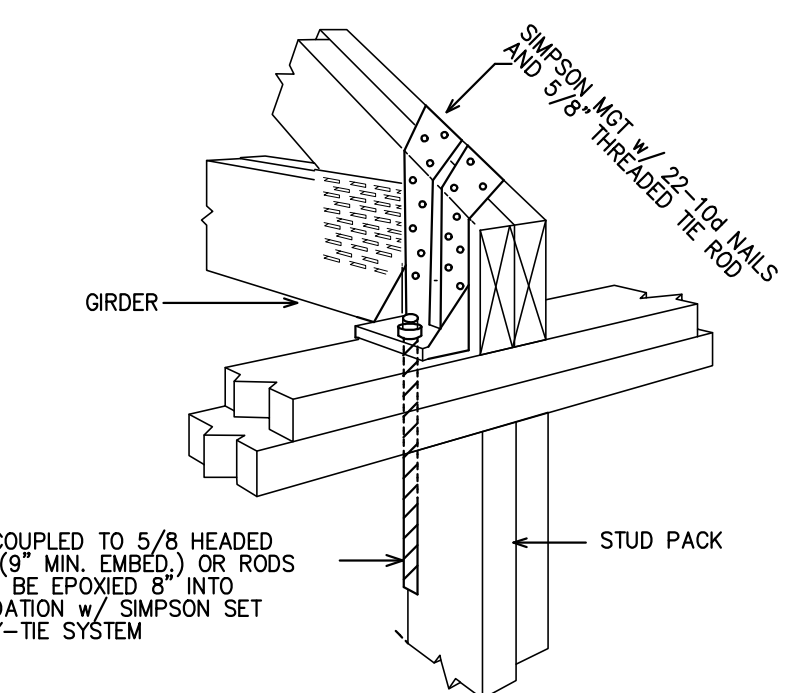
GABLE END BRACING DETAIL NTS



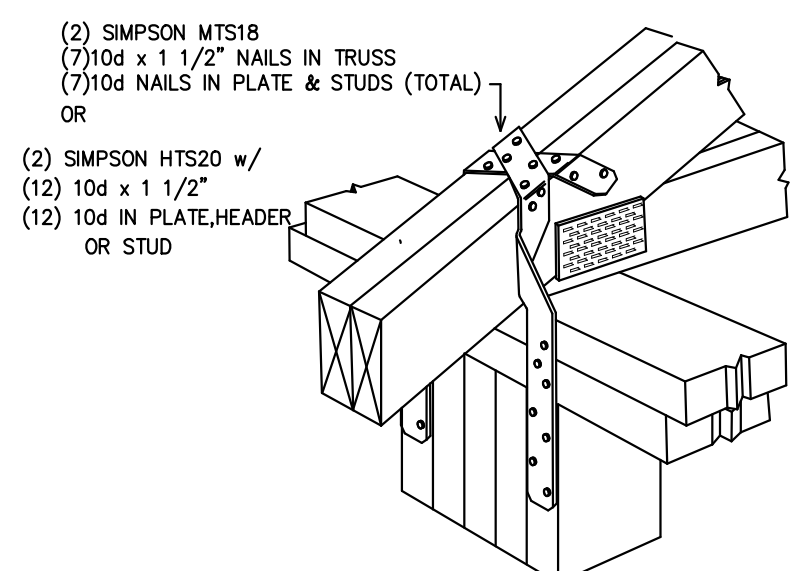
HIP ROOF PANEL BLOCKING NTS



GIRDER UPLIFTS UP TO 3700 LBS
2-SIMPSON LGT2 (ONE ON EACH FACE OF WALL) w/ 16-18d SINKERS EACH IN HOR. AND 14-16d SINKERS EACH IN 2-PLY TRUSS

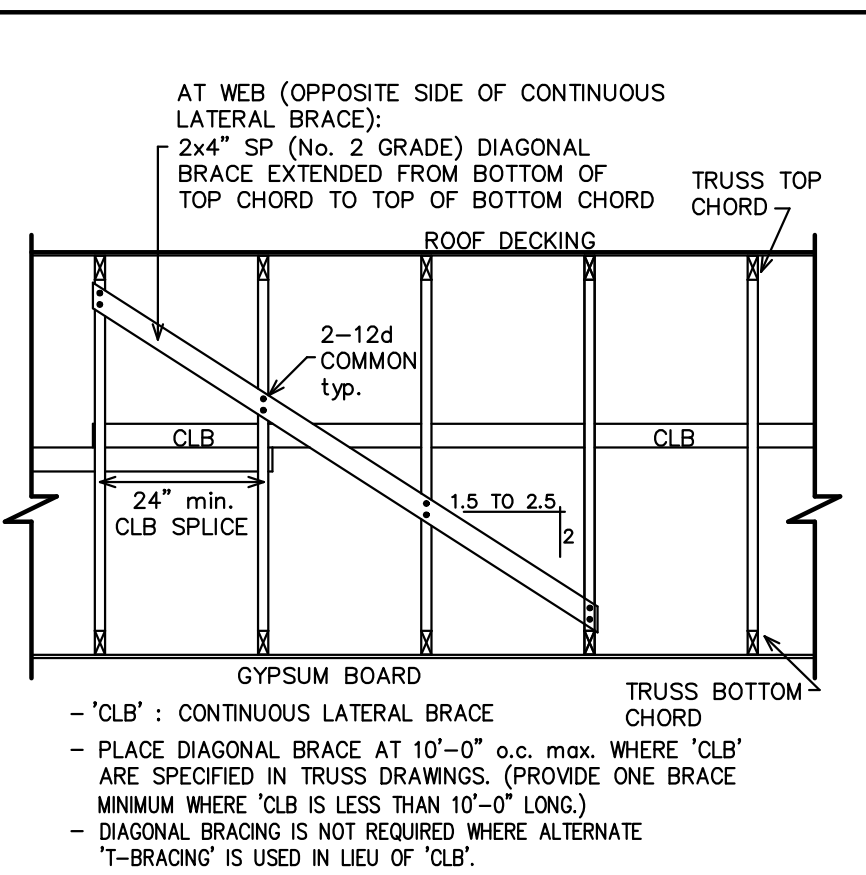


GIRDER UPLIFTS 2401 TO 3965 LBS.



GIRDER UPLIFTS UP TO 1600 LBS w/ 2-MTS18
GIRDER UPLIFTS 1601 TO 2400 LBS w/ 2-HTS20

GIRDER TRUSS ANCHORAGE DETAILS



DIAGONAL TRUSS BRACING DETAIL

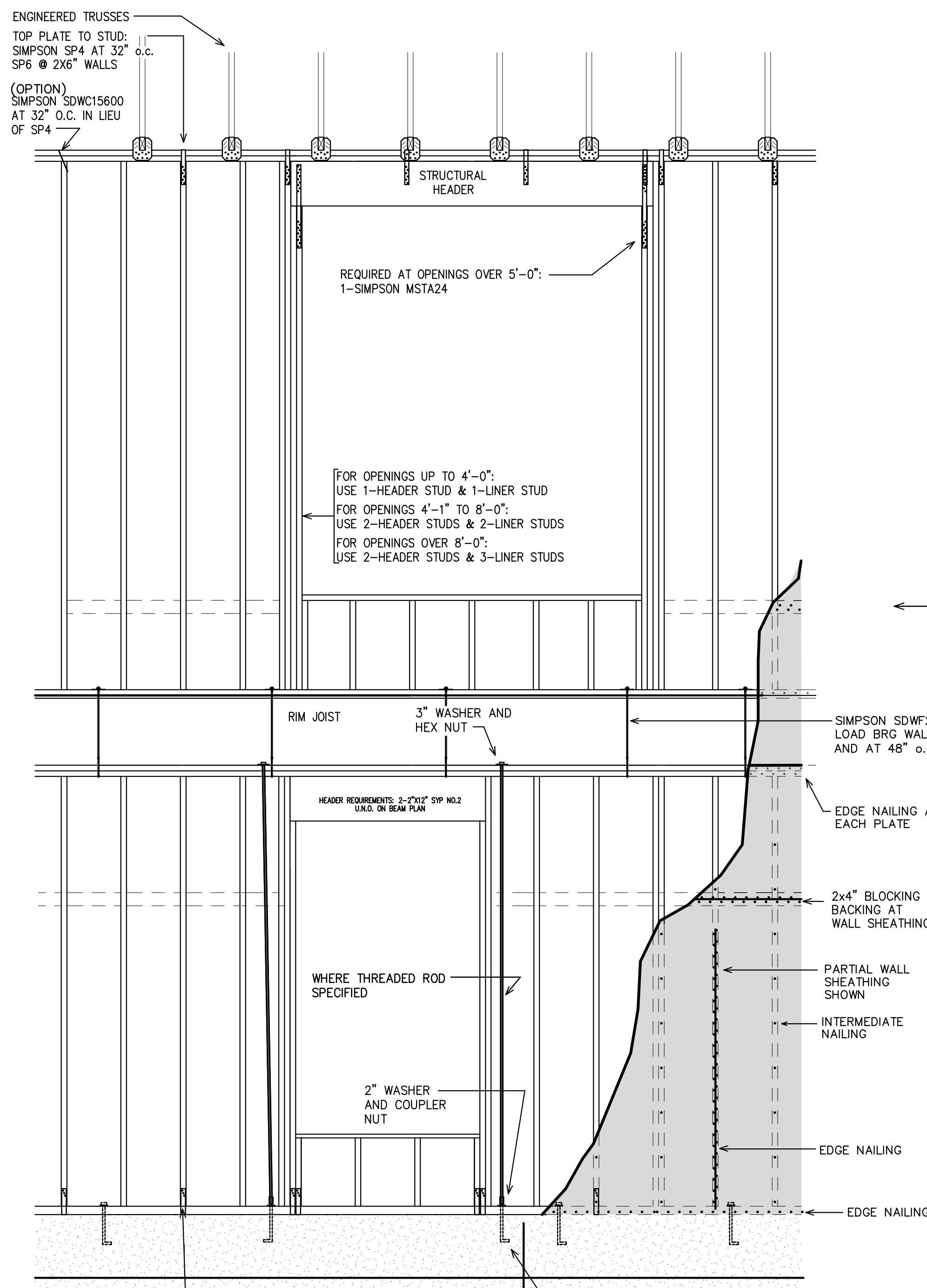
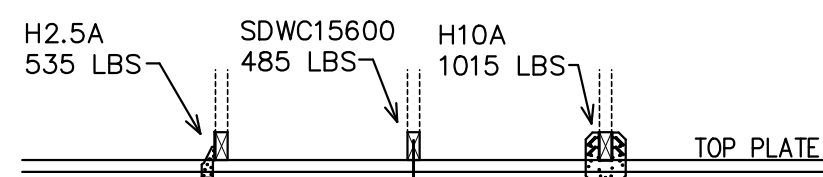
HIP VALLEY ANCHORAGE:
NOTE: ALL OVER-FRAMING SHALL BE ENGINEERED TRUSSES. ANCHOR OVERFRAME TRUSSES TO MAIN TRUSS SYSTEM w/ SIMPSON VTC2 AT 24" o.c.

WHERE APPLICABLE
NOTE: AT WOOD LOAD-BEARING INTERIOR WALLS WHERE APA RATED SHEATHING NOT APPLIED:
ANCHOR TOP AND SILL PLATES TO STUD w/ SIMPSON SP4/6 AT 16" O.C.
ANCHOR HEADER TO PACKS: SIMPSON MSTA24 EACH END

NOTES FOR THREADED TIE-RODS:

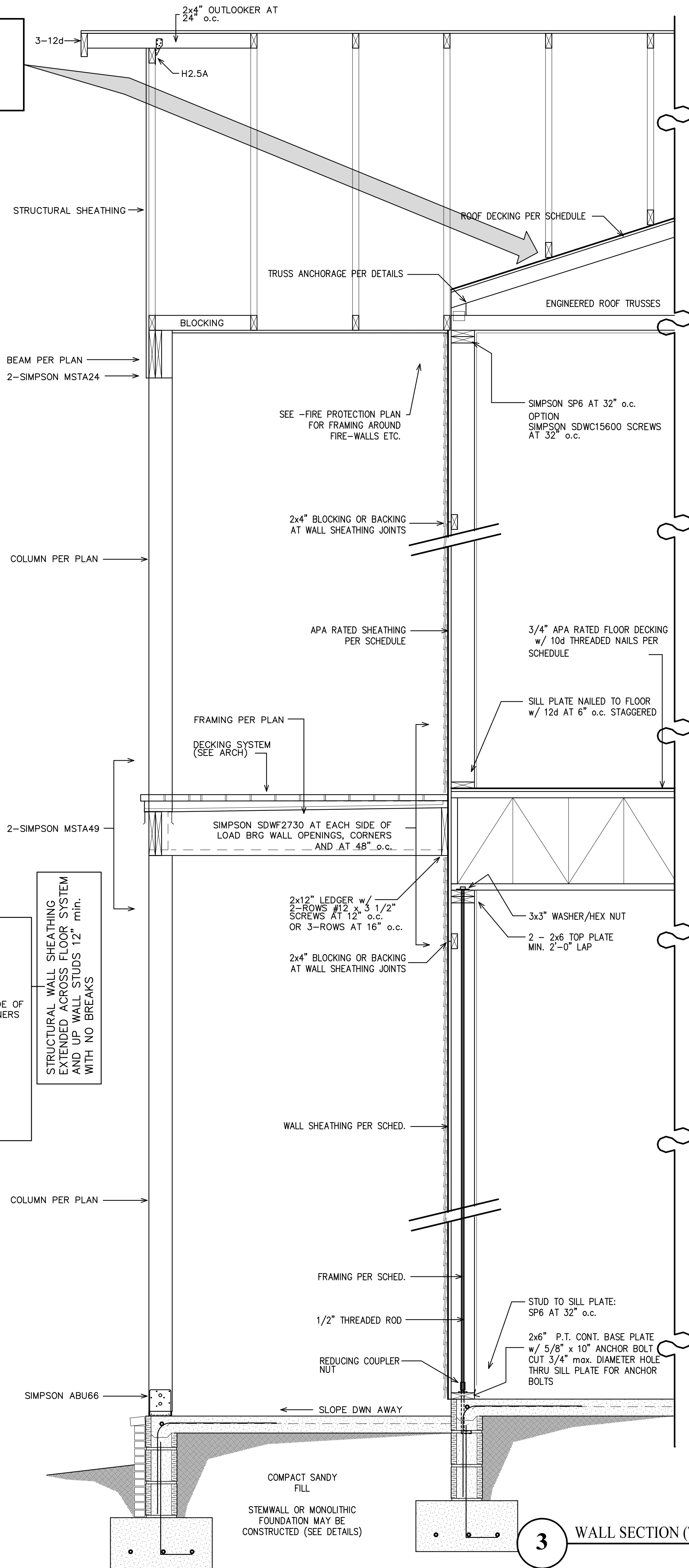
1. IMMEDIATELY PRIOR TO DRYWALL APPLICATION, ALL THREADED TIE-RODS SHALL BE CHECKED BY CONTRACTOR TO INSURE THEY ARE IN A TAUGHT POSITION AND FREE OF SLACK. TIGHTEN HEX NUTS AT TOP PLATE FOR TIE-ROD TENSIONING.
2. TIE-RODS SHALL BE INSTALLED AT TOP PLATE WITHIN 4" OF STUD PACK TIE-RODS MAY BE BOWED (NOT BENT) UP TO 8" Laterally TO ACHIEVE PROPER PLACEMENT AT TOP PLATE
3. USE GRADE A36 THREADED ROD MATERIAL OR BETTER

TRUSS/TOP ANCHOR OPTIONS: (STRONGTIE)



WALL OPENING DETAIL

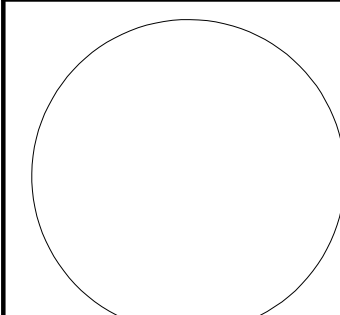
2-STORY 1/2" = 1'-0"



COVINGTON PLACE

Building 'F'

Pensacola, FL



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE

Pace, FL

850-393-0937

Drwn by: ACH 05-10-19

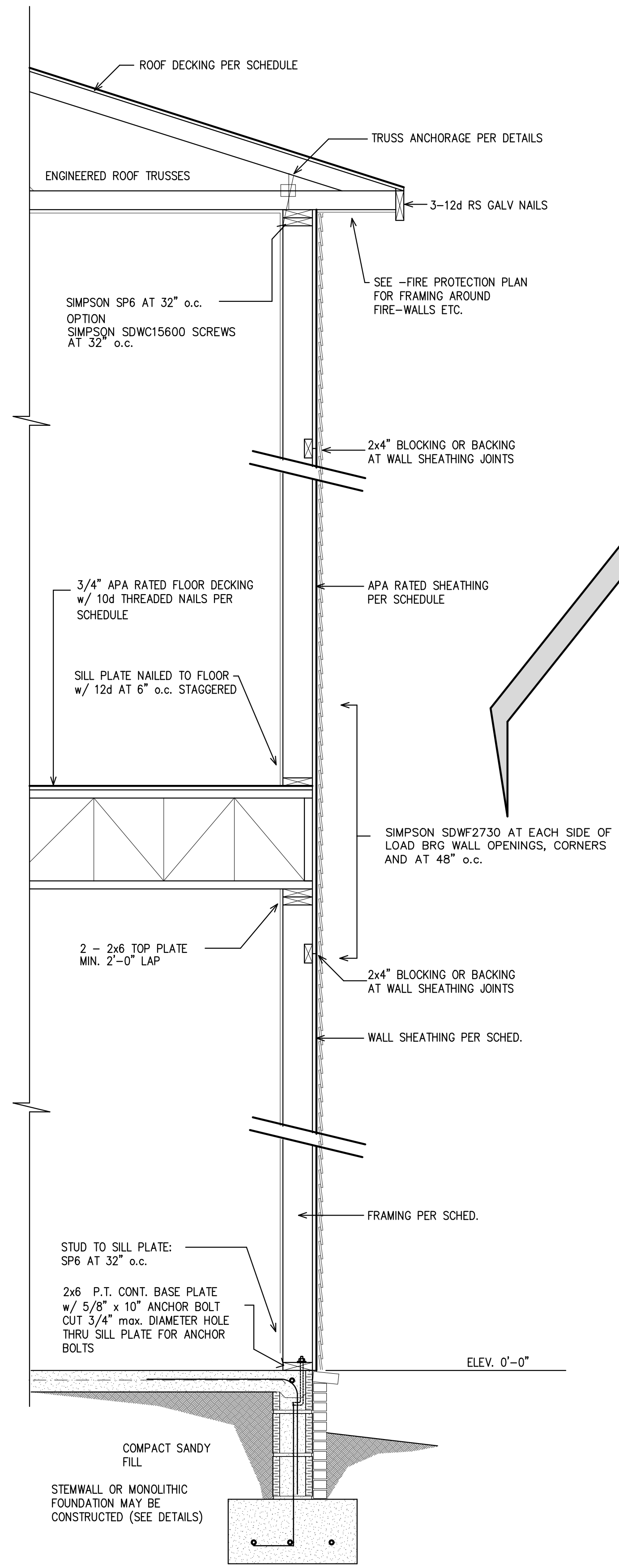
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REVISIONS:

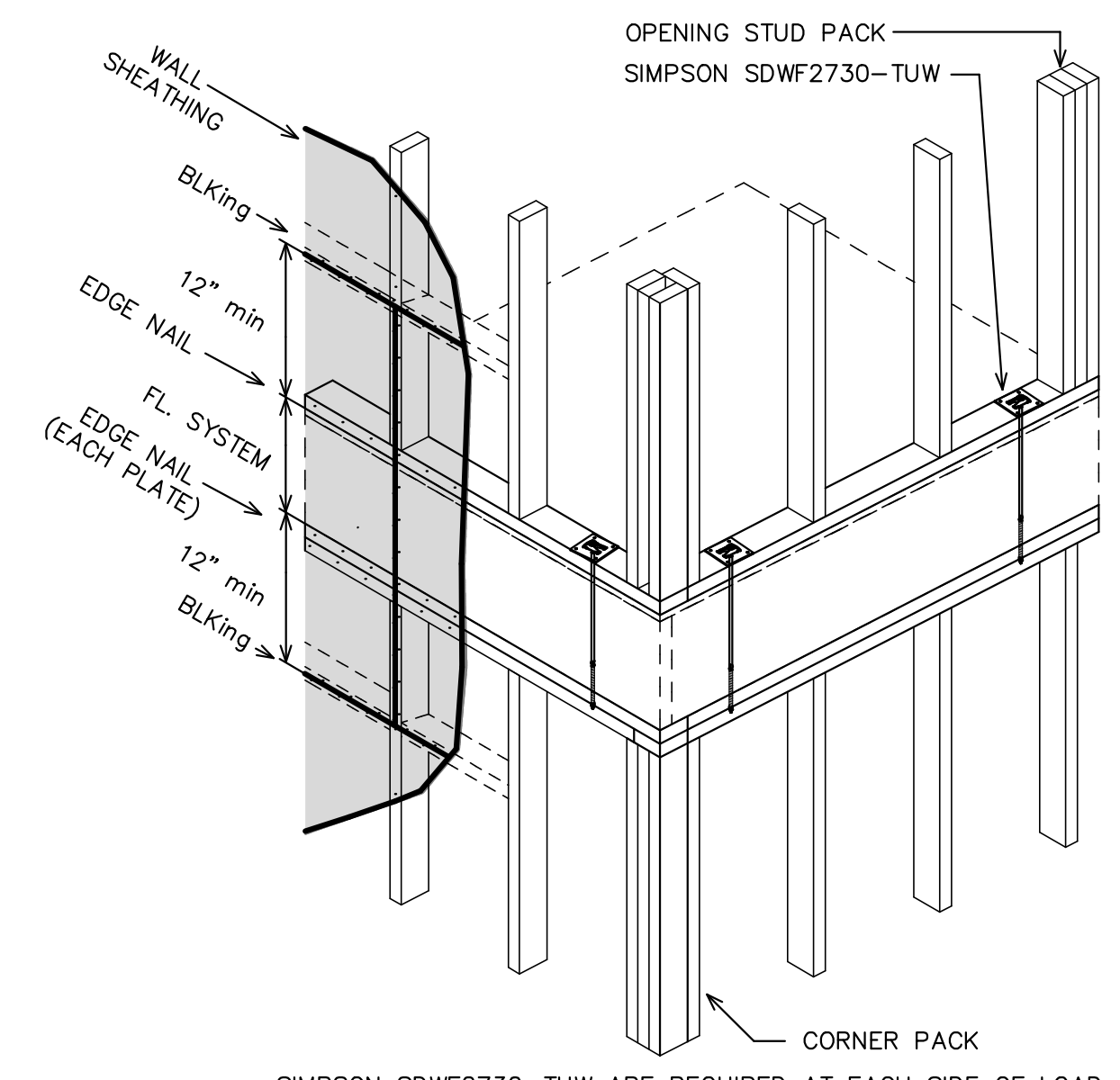
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S6 OF

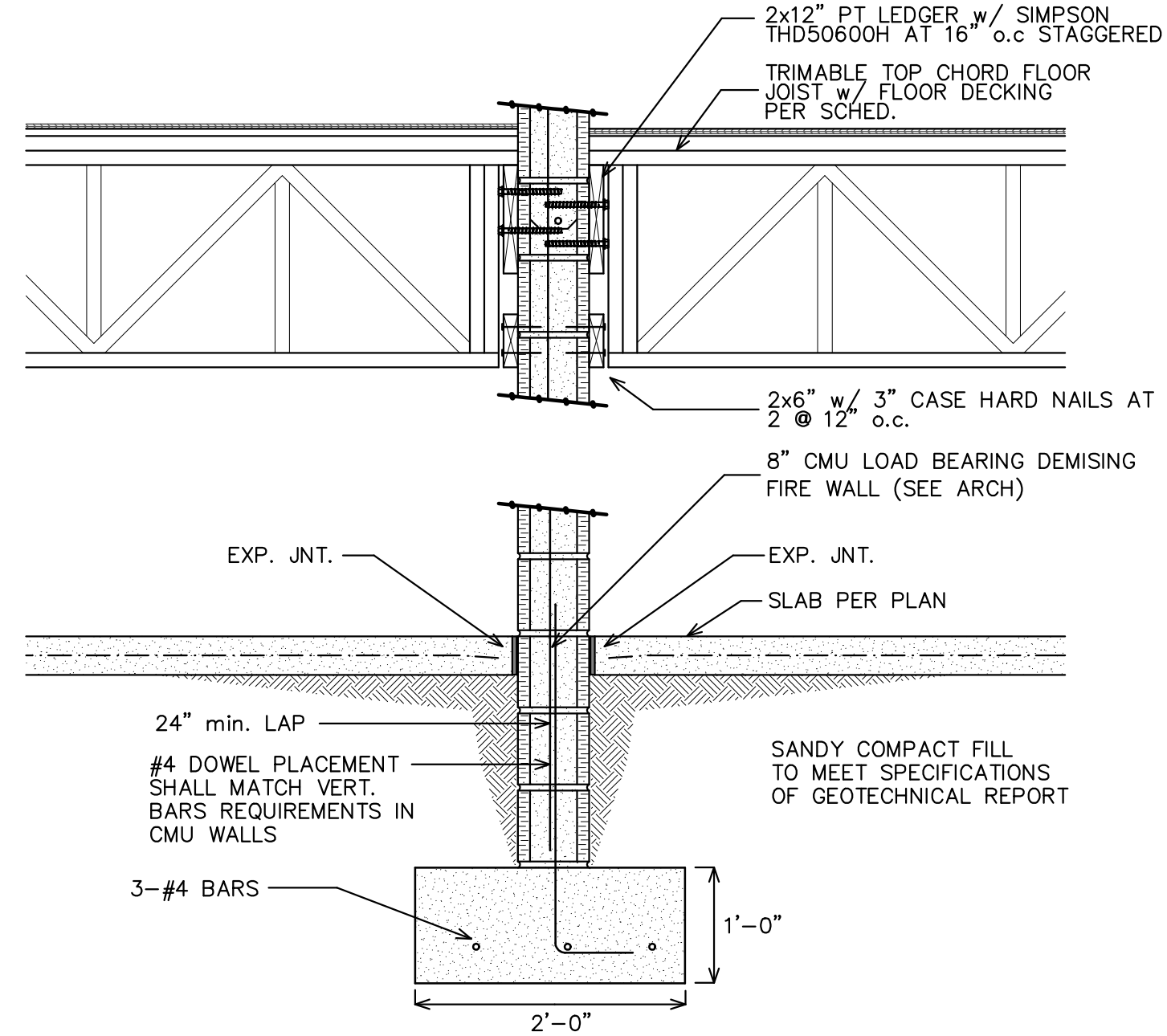
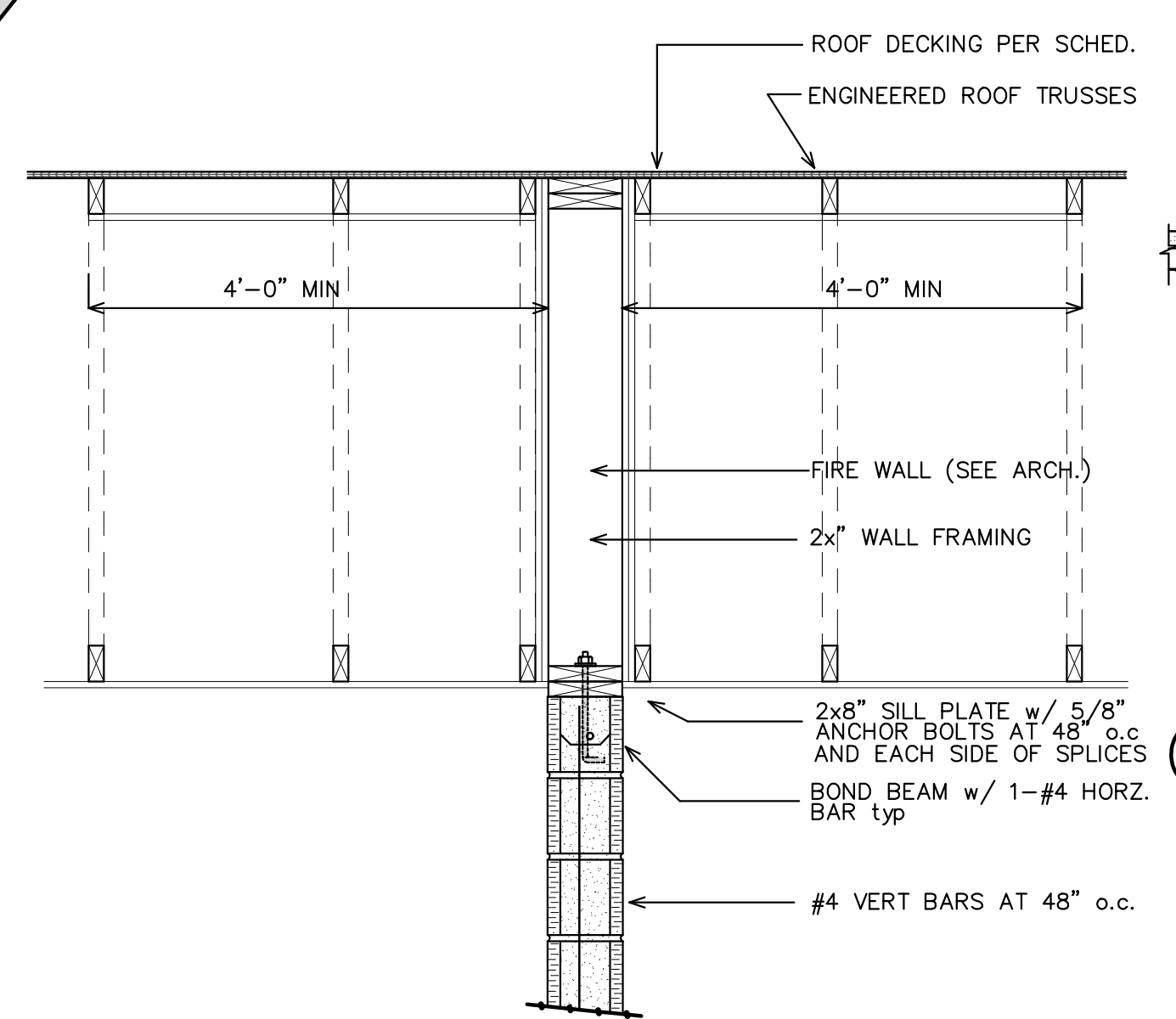
6 SHEETS



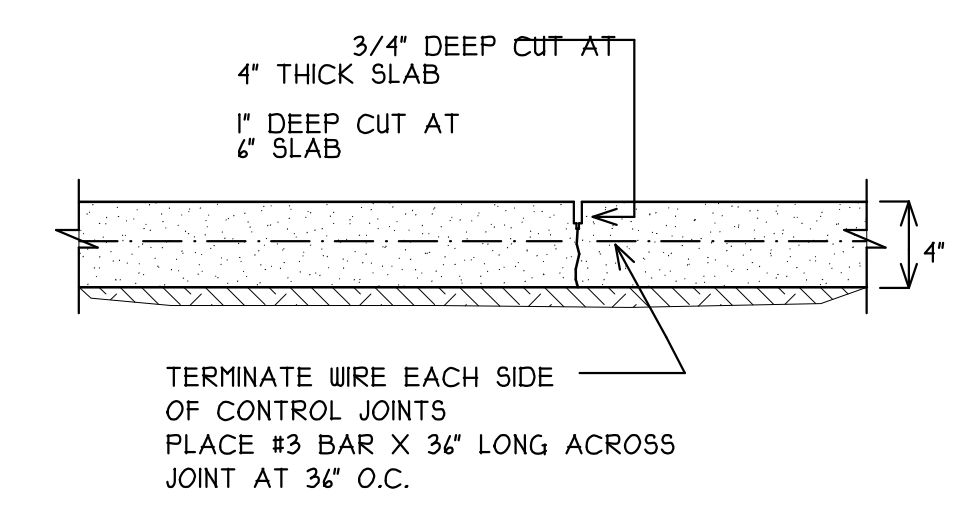
2 WALL SECTION (THRU SIDE)
3/4" = 1'-0"



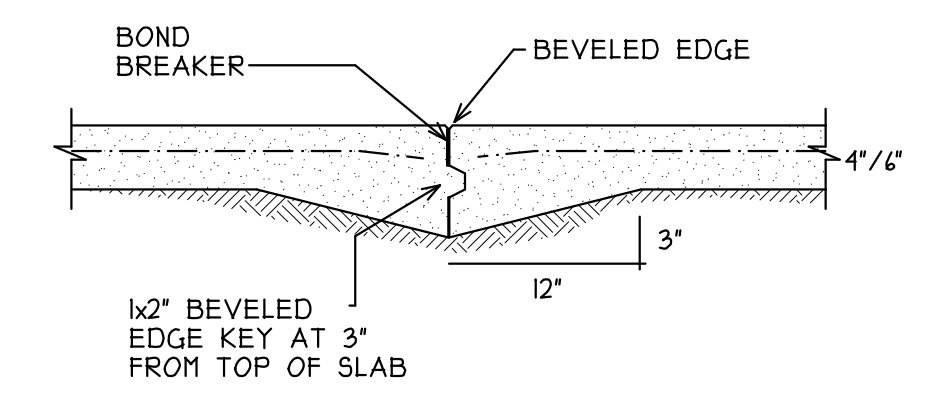
FLOOR TO FLOOR-SIMPSON SDWF DETAIL
2-STORY 1/2" = 1'-0"



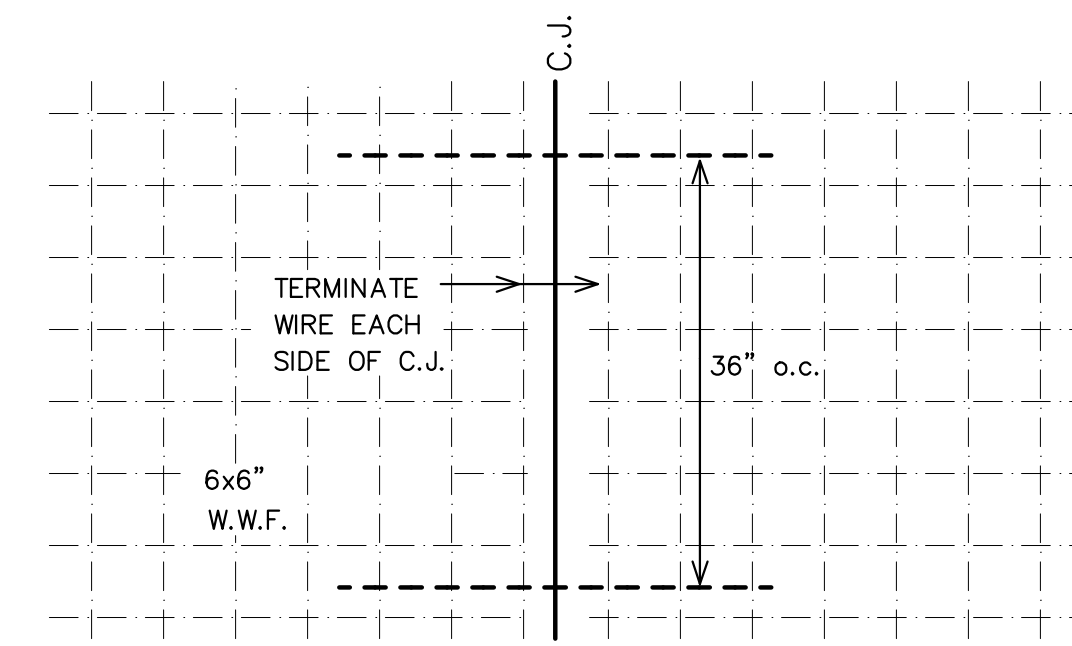
1 CMU DEMISING WALL



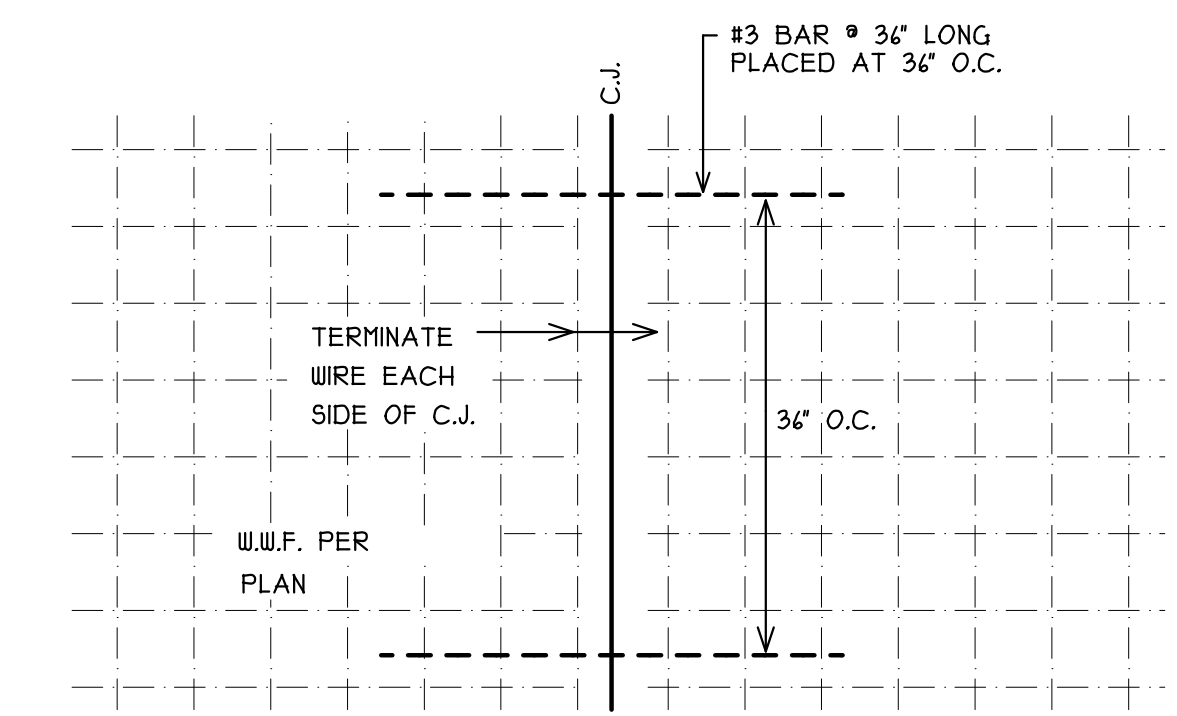
TYP. CONTROL JOINT
SECTION VIEW N.T.S.



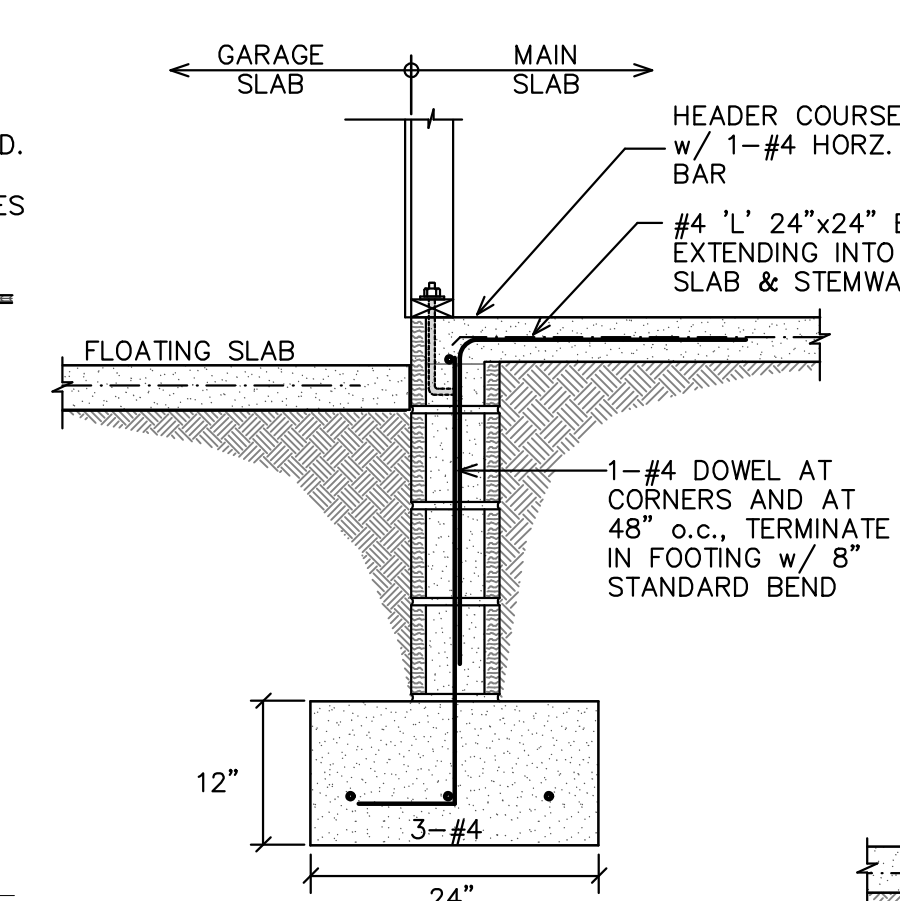
TYP. CONSTRUCTION JOINT (WHERE APPLICABLE)
SECTION VIEW 3/4" = 1'-0"



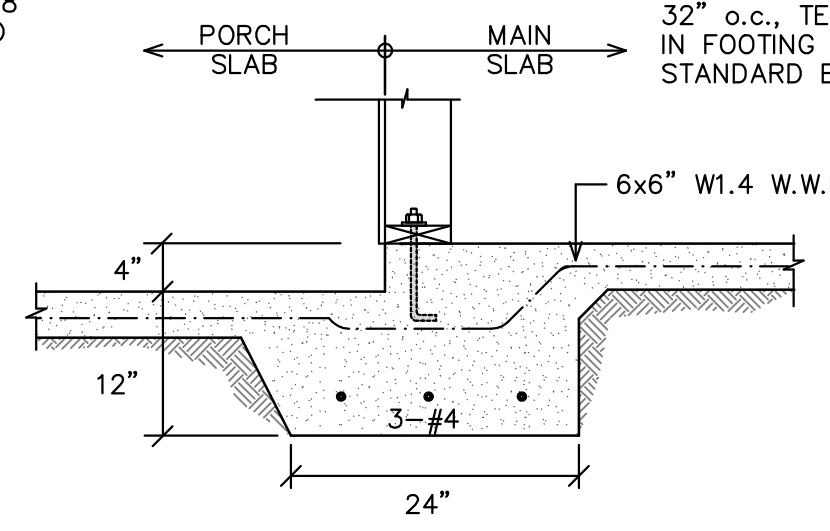
TYP. CONTROL JOINT (OPTION)
PLAN VIEW N.T.S.



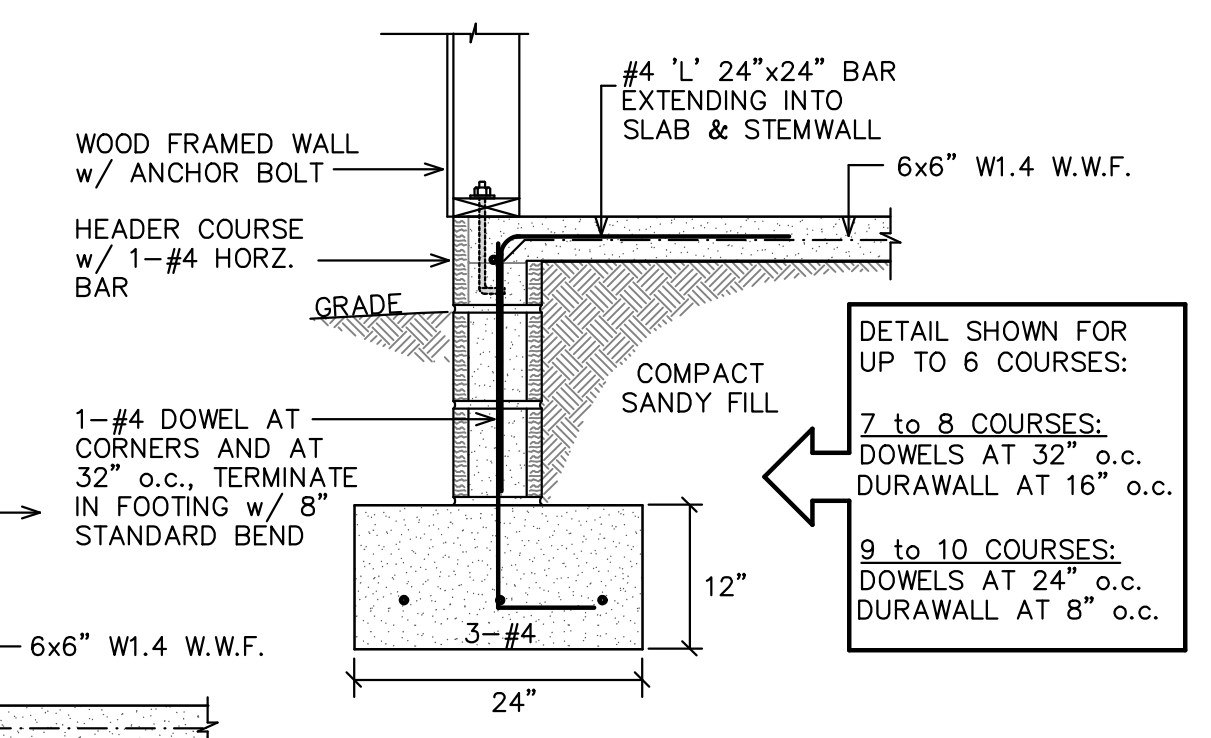
TYP. CONTROL JOINT
PLAN VIEW N.T.S.



C Wall at Interior Garage Wall
3/4" : 1'-0" (Stemwall)

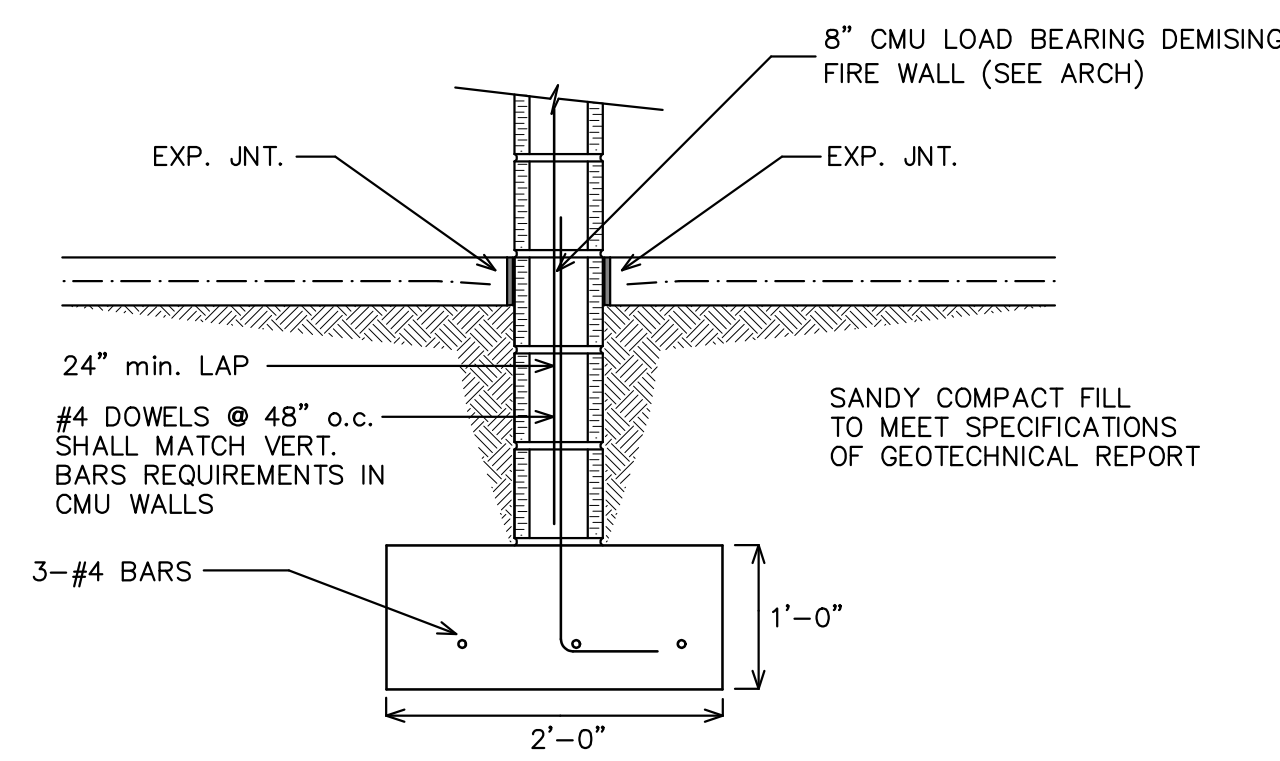


B Wall at Porch
3/4" : 1'-0" (Monolithic Pour)

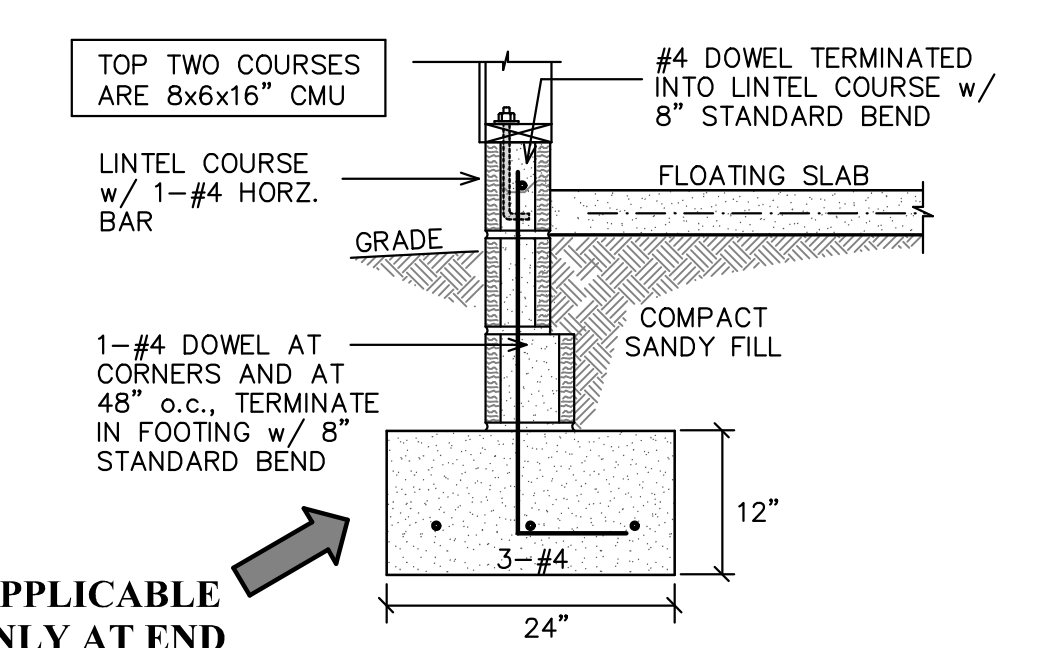


A Typ. Exterior
3/4" : 1'-0" (Stemwall)

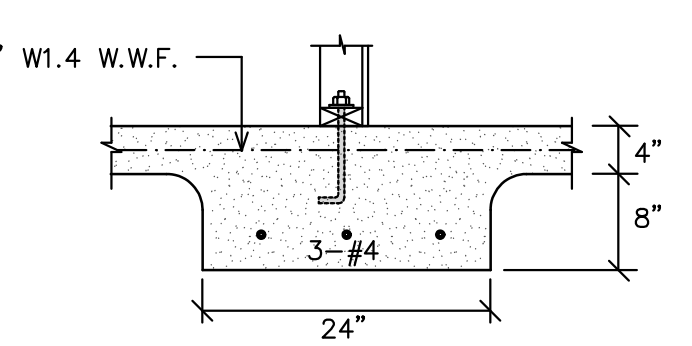
- STEMWALL NOTES:**
1. GROUT FULL w/ NO VOIDS
 2. CONCRETE SLUMP FOR STEMWALLS SHALL BE 8-10". DO NOT ADD MORE THAN 1 GAL/YD WATER ON-SITE.
 3. STEMWALLS SHALL BE BRACED AGAINST COLLAPSE UNTIL SLAB HAS CURED FOR 36 HRS. MIN. BRACING MEANS & METHODS BY OTHERS



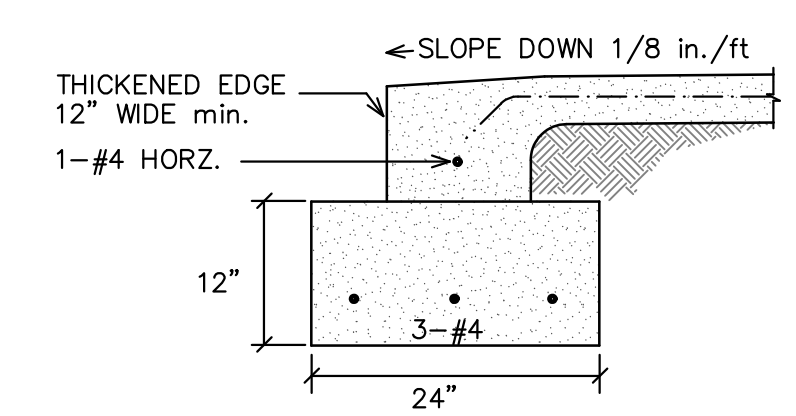
E CMU DEMISING WALL
3/4" : 1'-0" (Stemwall)



D Sect. at Exterior Garage
3/4" : 1'-0" (Stemwall)



G Interior Grade Beam LBW & FIRE WALL
3/4" : 1'-0"



F Sect. at Garage Door
3/4" : 1'-0" (Stemwall)



Architectural Review Board

PROJECT MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: March 31, 2020

SUBJECT: **15 W. Strong Street**

This memorandum is to explain the timeline and scope of design changes to Building #1 (Townhouses #1-5) of the Covington Place development.

1. Demo and conceptual design approved at July 2017 ARB meeting.
2. Variance and final design approved with comments at September 2017 ARB meeting. The motion for approval included the following changes:
 - An addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 and 18); and
 - Approval of a fence with brick piers and appropriate stone caps with skim-coated block or brick with some manner of planting to green the wall with ivy or appropriate vines.
3. Construction documents for Building #1 (Townhouses #1-5) submitted to Inspection Services for review and permits in April 2018.
 - ***Design changes from ARB approval to all elevations and minor changes to floor plan are documented (major changes have been highlighted).
4. Certificate for Occupancy issued on July 5, 2018.
 - ***Further design changes from submitted construction plans are documented in photographs of built townhomes (design changes have been circled in red).

September 2017

Approved Plans

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. The motion then carried unanimously.

VARIANCE ISSUES

ABUTING STREETS: CERVANTES STREET ON SOUTH SIDE.
BAYLEN STREET ON WEST SIDE.
STRONG STREET ON NORTH SIDE.
EAST SIDE ABUTES ADJACENT COMMERCIAL PROPERTIES.

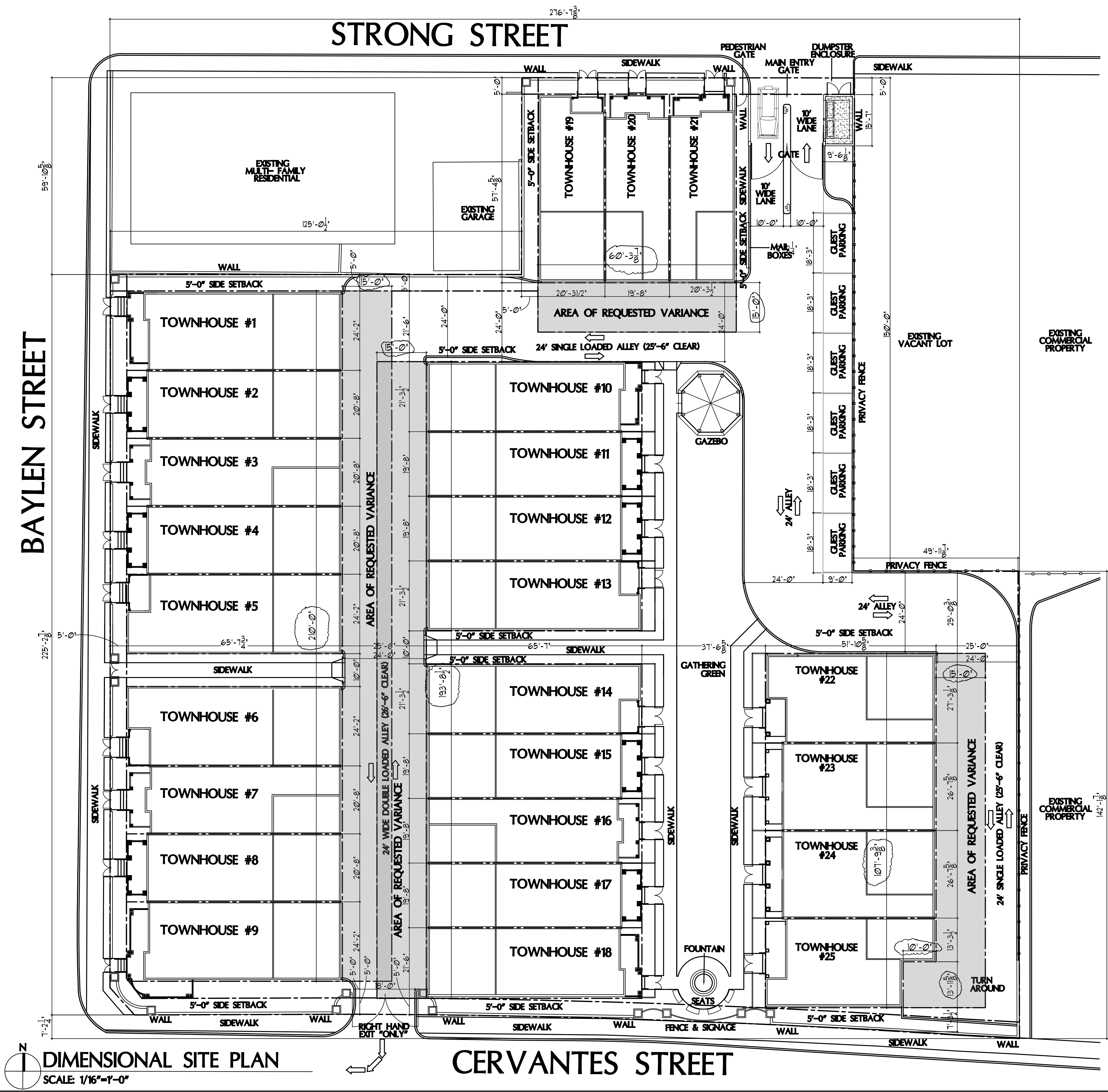
LOT DIMENSIONS: ARE AS SHOWN ON SITE PLAN.

YARD SETBACKS: 0' FRONT SETBACK.
5' SIDE SETBACK.
15' REAR SETBACK (REQUESTING VARIANCE TO ALLOW 0').

LOCATION & DIMENSIONS OF EXISTING STRUCTURES:
ALL EXISTING STRUCTURES TO BE DEMOLISHED.

LOCATION & DIMENSIONS OF STRUCTURES TO BE ADDED:
SEE SITE PLAN FOR ALL NEW PROPOSED CONSTRUCTION.

DIMENSIONS OF REQUESTED VARIANCE:
SEE HATCHED AREAS ON SITE PLAN.



DIMENSIONAL SITE PLAN
SCALE: 1/16"=1'-0"

REVISIONS
FINAL ARB SUBMITTAL
8-31-2017

ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
RAISED SEAL AND AN ORIGINAL,
DATED SIGNATURE.

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Charles E. Kunze Jr. 25 W. Cedar St., Suite #14, Pensacola, FL 32502
850-432-8438

FLORIDA RES. ARCHT. ALABAMA RES. ARCHT. LOUISIANA RES. ARCHT. MISSISSIPPI RES. ARCHT.

PROJECT TITLE
COVINGTON PLACE

15 W. STRONG ST,
PENSACOLA, FL. 32501

PROJ. NO. 2017-010R
DATE: 8-31-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.

SHEET TITLE
DIMENSIONAL
SITE PLAN

A1.0

Front facing Baylen Street



Rear





C TYPICAL BUILDING END EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



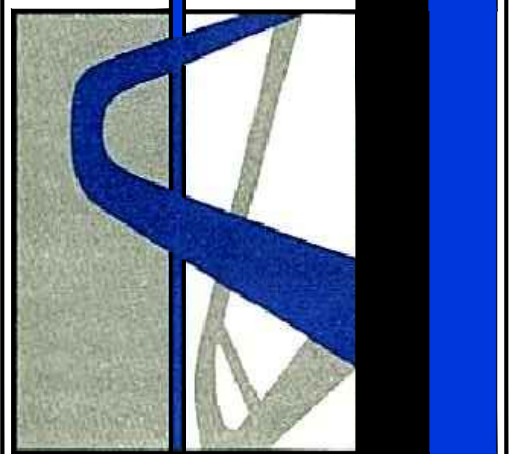
D TYPICAL BUILDING END EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS
FINAL ARS SUBMITTAL
8-31-2017

ARCHITECT'S SEAL & SIGNATURE

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Charles E. Kunze Jr. 25 W. Cedar St., Suite #214, Pensacola FL 32502
850-432-8438 FLORIDA REGISTRATION # AR-00034 ALABAMA REGISTRATION #01



COVINGTON
PLACE

PROJ. NO. 2017-010R
DATE: 8-9-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
ENLARGED
ELEVATIONS

A4.1

April 2018

Plans Submitted to Inspections

APRIL 2018 PLANS TO INSPECTIONS

UNAPPROVED DEVIATIONS FROM SEPT. 2017 AIRB APPROVAL



1 BUILDING-A, WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING-A, EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTE LEGEND

- 1 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE. ADHERED TO TOP OF 2" CDX PLYWOOD ROOF DECKING. DECKING TO BE ATTACHED AND NAILED PER STRUCTURAL ON PRE-ENGINEERED WOOD ROOF TRUSSES, SPACED AND DESIGNED PER STRUCTURAL SPECIFICATIONS AND NOTES, ANCHORED AND INSTALLED PER TRUSS MANUFACTURER'S SHOP DRAWINGS.
- 2 PERFORATED "HARDIE SOFT" SHEATHING.
- 3 P.T. CONTINUOUS 2X6 FASCIA BO. WITH 2"x4" HARDIE BO. FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 4 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL BARRIER, ON 1/2" CDX PLYWOOD WALL SHEATHING. SHEATHING ATTACHED TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5 2"x12" HARDIE BO. TRIM.
- 6 NEWMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 7 7" P.T. VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 8 "RAYNOR"-TRADE MARK, SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAP TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 9 PRE-FINISHED POWDER COATED ALUM. RA.S & PICKETS, 3"-0" H.G.
- 10 PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE. BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 2" CDX PLYWOOD DECK, MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- 11 BRICK VENEER ("PINE HALL BRICK"-SEDFIELD"(Q) #714 WITH GRAY GROUT) ON CMU FOUNDATIONS WALLS.
- 12 BRICK ROWLOCK COURSE CONTINUOUS ("PINE HALL BRICK"-SEDFIELD"(Q) #714 WITH GRAY GROUT).
- 13 BRICK PAVERS ("PINE HALL BRICK"-SEDFIELD"(Q) #714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND AN ALL EXTERIOR STEPS.

REVISIONS
RELEASED FOR PERMITTING
3-1-2018

REVISION #1
5-17-2-18

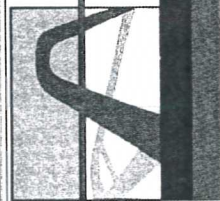
ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
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DATED SIGNATURE

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Charles E. Kunze Jr. 25 W. Cedar St., Ste. 106, Pensacola FL 32502
850-432-8438



COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE: 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
EXTERIOR ELEVATIONS

A3.6

APRIL 2018
PLANS TO INSPECTIONS

**= UNAPPROVED
DEVIATIONS
FROM SEPT. 2017
ARB APPROVAL**



3 BUILDING-A, NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 BUILDING-A, SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTE LEGEND

- | | | |
|--|--|---|
| 1. 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 2" CDX PLYWOOD ROOF DECKING. DECKING TO BE ATTACHED AND NAILED PER STRUCTURAL ON PRE-ENGINEERED WOOD ROOF TRUSSES, SPACED AND DESIGNED PER STRUCTURAL SPECIFICATIONS AND NOTES. ANCHORED AND INSTALLED PER TRUSS MANUFACTURER'S SHOP DRAWINGS. | 5. 2"x12" HARDIE BD. TRIM. | 10. PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE. BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 2" CDX PLYWOOD DECK, MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING. |
| 2. PERFORATED "HARDIE SOFFIT" SHEATHING. | 6. NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD. | 11. BRICK VENEER ("PINE HALL BRICK-"SEDGEFIELD"(Q) #1714 WITH GRAY GROUT) ON CMU FOUNDATIONS WALLS. |
| 3. P.T. CONTINUOUS 2X6 FASCEA BD. WITH 2"x4" HARDIE BD. FASCEA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING. | 7. "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD. | 12. BRICK ROWLOCK COURSE CONTINUOUS ("PINE HALL BRICK-"SEDGEFIELD"(Q) #1714 WITH GRAY GROUT). |
| 4. 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL BARRIER, ON 2" CDX PLYWOOD WALL SHEATHING. SHEATHING ATTACHED TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES. | 8. "RAYNOR"-TRADE MARK, SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAP TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD. | 13. BRICK PAVERS ("PINE HALL BRICK-"SEDGEFIELD"(Q) #1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ALL EXTERIOR STEPS. |
| | 9. PRE-FINISHED POWDER COATED ALUM. RAILS & PICKETS, 3'-0" HIGH. | |

**BASED ON
"TYPICAL BUILDING
END EXTERIOR
ELEVATION"
PAGE A4.1 (2017)**

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-17-2-18

ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
RAISED SEAL AND AN ORIGINAL,
DATED SIGNATURE

creating architecture as an art form

Artisan's Architecture L.L.C.

Charles E. Kunze Jr. 25 W. Cedar St., Ste. 106, Pensacola FL 32502
850-432-8438

COVINGTON PLACE

COVINGTON PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE: 3-1-2018
DRAWN BY: C.E.E.J.
CHECKED BY: C.E.E.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
EXTERIOR ELEVATIONS

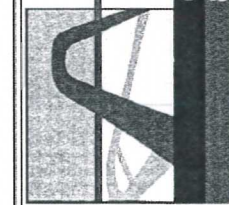
A3.7

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-07-2-18

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850-432-8438



COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE: 8-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
LIFE SAFETY PLAN,
CODE REVIEW

A3.0

LIFE SAFETY LEGEND

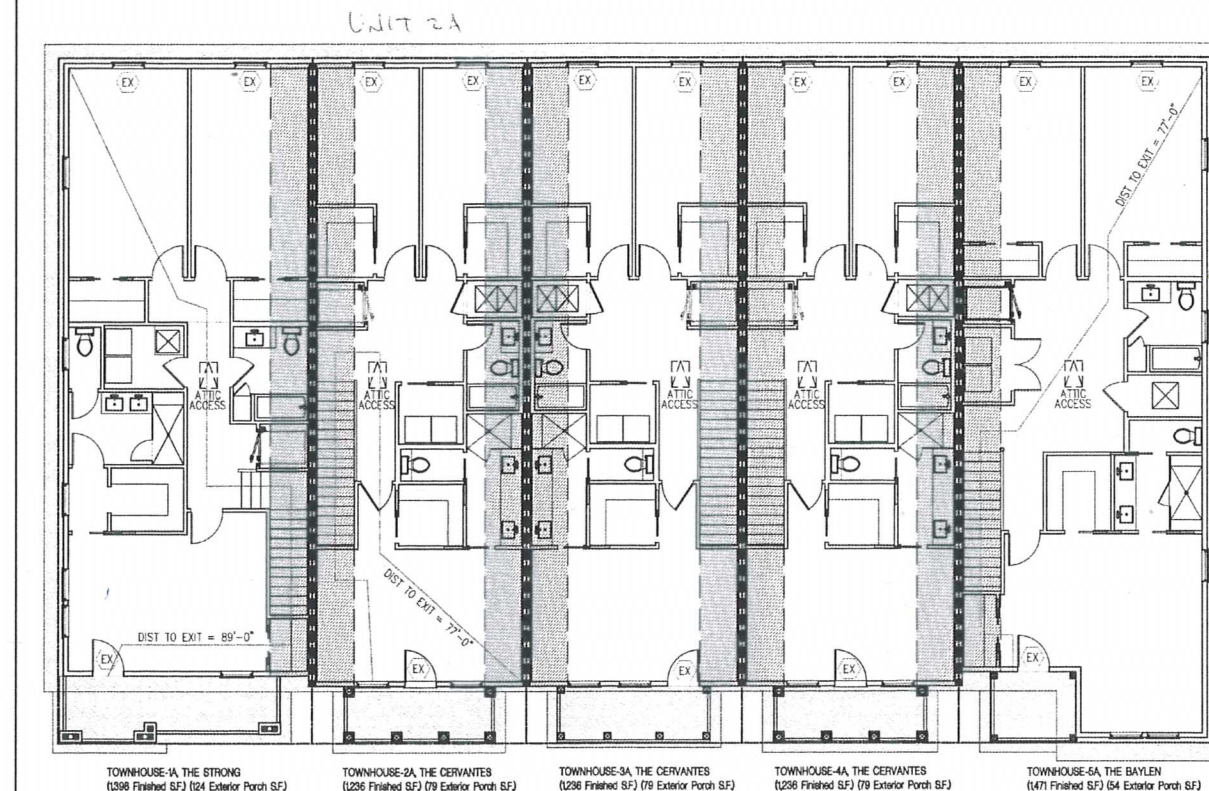
- THIS DASHED LINE INDICATES THE LOCATIONS OF A 2-HOUR RATED 6" GROUT FILLED CMU "COMMON PARTY WALL" FIRE PARTITION.
- THIS HATCH PATTERN INDICATES THE AREA WHICH EXTENDS 4'-0" FROM EACH SIDE OF THE COMMON PARTY WALL, WHERE A LAYER OF 1/2" TYPE-X GYP. BD. IS LOCATED ON THE UNDERSIDE OF THE ROOF DECK.
- THIS HATCH PATTERN INDICATES THE AREA WHICH IS REQUIRED TO HAVE A 1-HOUR FIRE RATED SOFFIT ON THE UNDERSIDE ONLY.
- THIS SYMBOL INDICATES THE LOCATIONS OF "EMERGENCY EGRESS AND EXIT" WINDOWS, REQUIRED IN EACH SLEEPING ROOM.
- THIS SYMBOL INDICATES THAT THE CEILING ABOVE ALL GARAGE AREAS SHALL BE REQUIRED TO BE SHEATHED WITH ONE LAYER OF 1/2" TYPE-X GYP. BD. ON THE UNDERSIDE OF THE CEILING FRAMING, AND ALL WALLS BETWEEN THE GARAGE AND THE LIVING AREAS SHALL BE REQUIRED TO BE SHEATHED WITH 1/2" GYP. BD. MINIMUM ON THE GARAGE SIDE.
- THIS SYMBOL INDICATES THAT ALL CEILING AREAS BENEATH THE STAIRWAYS MUST BE SHEATHED WITH 1/2" GYP. BD.
- THIS SYMBOL INDICATES THE APPROXIMATE LOCATION OF THE ATTIC ACCESS WHICH MUST BE AT LEAST 20" X 30", TO ALLOW FIRE ACCESS TO THE ATTIC SPACE.

FLORIDA PRODUCT FL#S

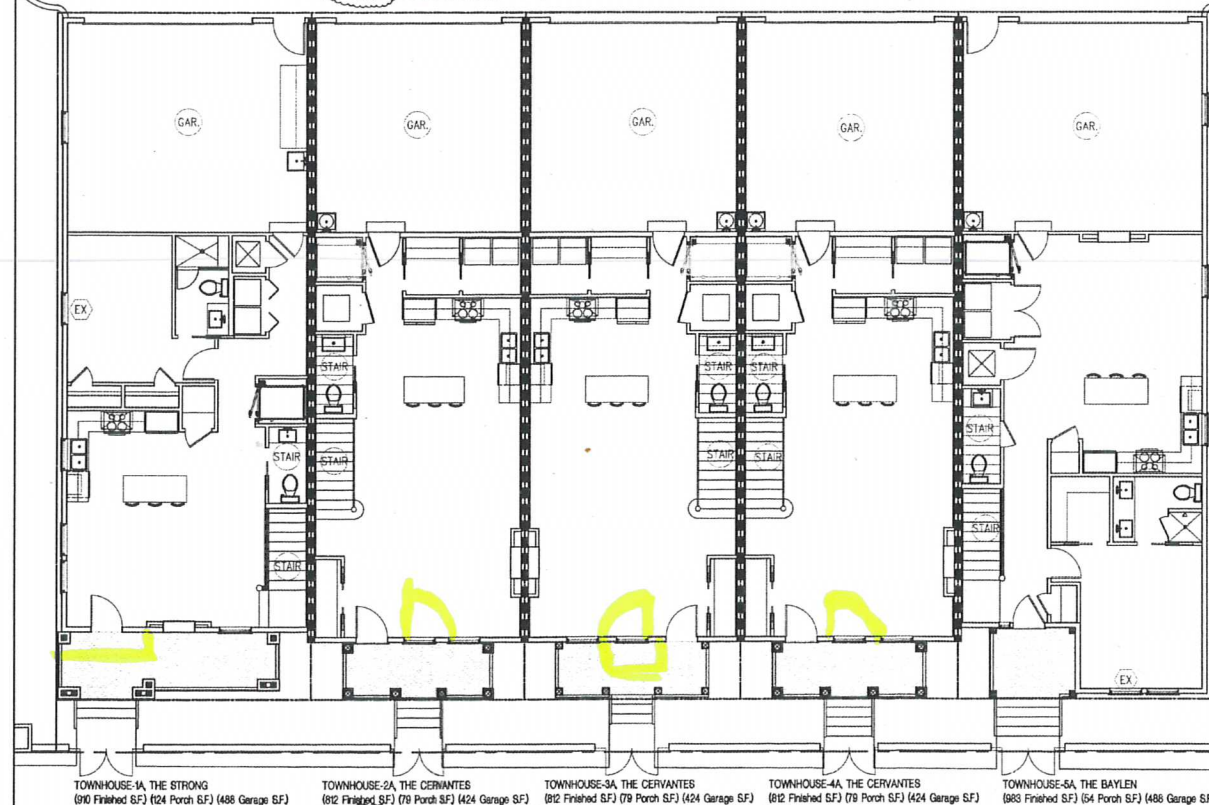
- IF THE CONTRACTOR ELECTS TO SUBSTITUTE A DIFFERENT MANUFACTURER HE MUST PROVIDE FL# FOR THOSE PRODUCTS.
- ROOF SHINGLES - ATLAS ROOFING CORP. LIFETIME PINNACLE PRISTINE LAMINATED SHINGLES. (FL# 16305.1-R6).
- FIBER CEMENT PANELS - JAMES HARDIE BUILDING PRODUCTS, INC., HARDIEPANEL. (FL# 13223.2-R1).
- FIBER CEMENT LAP SIDING - JAMES HARDIE BUILDING PRODUCTS, INC., HARDIELAP. (FL# 13192.1-R4).
- WINDOWS - PGT INDUSTRIES WINDGUARD SINGLE HUNG VINYL-IMPACT (FL# 1435.5-R20).
- FIBERGLASS DOORS - NEUMA DOOR BY NANYA PLASTICS, E. 1/2" LITE INSWING PATIO DOOR. (FL# 14752.32-R5).
- FIBERGLASS DOORS - MASONITE INTERNATIONAL - BELLEVILLE 2 PANEL HINGED DOOR. (FL# 6506.3-R3).
- OVERHEAD SECTIONAL DOOR ASSEMBLY - RAYMOR BUILDWARK 26 GAGA STEEL PAN SECTIONAL. (FL# 15212.5-R7).
- SIMPSON - MSTA24, MTS20 STRAPS. (FL# 10852.8-R2).
- SIMPSON - H2.5A, H10 CLIPS. (FL# 10456.6-R2).
- SIMPSON - H2.5A CLIPS. (FL# 10456.12-R2).
- SIMPSON - SPH6 STRAPS. (FL# 10456.57-R2).
- SIMPSON - MTS18 STRAPS. (FL# 10456.35-R2-R2).
- SIMPSON - HTS20. (FL# 13872.3-R1).

CODE REVIEW BASED ON FBC 2017 BUILDING & 2017 FBC RESIDENTIAL

- OCCUPANCY: R-2 RESIDENTIAL "TOWNHOUSE".
- CONSTRUCTION TYPE: VB (UNSPRINKLERED).
- MAXIMUM ALLOWABLE BUILDING HEIGHT (WITHOUT CODE INCREASE): 40'-0". (IF SPRINKLER IS ADDED HEIGHT MAY INCREASE BY 20'-0").
- MAXIMUM ALLOWABLE NUMBER OF STORIES (WITHOUT CODE INCREASE): 2 STORIES. (IF SPRINKLER IS ADDED ONE STORY MORE IS ALLOWED.)
- MAXIMUM ALLOWABLE AREA PER FLOOR (WITHOUT CODE INCREASE): 7,000 S.F.
- EXTERIOR WALLS/BUILDINGS WHICH ARE 0' TO 10'-0" APART ARE REQUIRED TO BE 1-HOUR FIRE RATED ASSEMBLIES. THEY ARE NOT REQUIRED TO BE FIRE RATED IF THE SEPARATION BETWEEN BUILDINGS IS GREATER THAN 10'-0".
- TOWNHOUSE "JOINT PARTY WALLS" ARE REQUIRED TO BE 2-HOUR FIRE RATED ASSEMBLIES.
- TOWNHOUSES NOT MORE THAN THREE STORIES HIGH MAY BE SEPARATED BY A JOINT PARTY WALL AS FOLLOWS:
 - NO MECH., ELECT., & PLUMB. PENETRATIONS ALLOWED THROUGH THE JOINT FIRE WALL UNLESS IT IS A U.L. DES. RATED ASSEMBLY.
 - JOINT PARTY WALL MUST BE CONTINUOUS FROM THE FOUNDATION UP TO THE UNDERSIDE OF THE ROOF.
 - A SINGLE JOINT PARTY WALL MUST MAINTAIN INDEPENDENT STRUCTURAL INTEGRITY ON EACH SIDE OF WALL.
 - ONE LAYER OF 1/2" TYPE-X GYP. BD. MUST EXTEND OUT 4'-0" ON EACH SIDE OF THE JOINT PARTY WALL AND BE ATTACHED TO THE UNDERSIDE OF THE DECK.
- 406.3.3 406.3.4 GARAGES SEPARATION REQUIREMENTS:
 - GARAGE FLOOR MUST BE SLOPED TO DRAIN TOWARD EXTERIOR DOOR.
 - GARAGE CEILING BELOW HABITABLE SPACE SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN ONE LAYER OF 1/2" TYPE-X GYP. BD.
 - ALL SUPPORT WALL SEPARATING THE GARAGE FROM THE HABITABLE RESIDENTIAL SPACE SHALL HAVE NOT LESS THAN ONE LAYER OF 1/2" GYP. BD.
 - THE DOOR BETWEEN THE GARAGE AND LIVING AREA SHALL BE EITHER SOLID WOOD OR HONEYCOMB CORE STEEL WITH 1/8" THICK DOOR, OR A 20 MINUTE RATED AND LABELED DOOR, COMPLYING WITH 716.5.3. - DOORS FROM THE GARAGE "CAN NOT" OPEN INTO A SLEEPING SPACE, AND MUST BE SELF-CLOSING & SELF-LATCHING.
 - ANY DUCTWORK LOCATED IN THE GARAGE MUST BE CONSTRUCTED OF METAL 0.019" (48MM) WITH NO OPENING INTO GARAGE.
 - AUTOMATIC GARAGE DOOR OPENERS MUST BE UL325 LISTED.
- 420.2 SEPARATION WALLS: THE WALLS BETWEEN EACH DWELLING/SLEEPING UNIT (EACH TOWNHOUSE) SHALL BE CONSTRUCTED AS "FIRE PARTITIONS" PER SECTION 708.
- 420.5 AUTOMATIC FIRE SPRINKLER SYSTEMS:
 - NOT REQUIRED FOR TOWNHOUSES LESS THAN 3 STORIES. SEE SECTION 903.3.2.
- 420.6 SMOKE DETECTION & FIRE ALARM SYSTEMS:
 - SHALL BE PROVIDED BASED ON 907.2.6 907.2.8 907.2.9 907.2.10 & 907.2.11.
- CHAPTER 7: NO OTHER FIRE RATINGS ARE REQUIRED BY THIS CHAPTER.
- CHAPTER 8: INTERIOR FINISH CLASSIFICATIONS: ALL INTERIOR FINISHES IN THIS R-2 OCCUPANCY ARE REQUIRED TO MEET OR EXCEED "CLASS - B" IN INTERIOR EXIT STAIRWAYS & CORRIDORS WHICH ARE ENCLOSED FOR EXIT, ALL OTHER SPACES SHALL MEET OR EXCEED "CLASS - C" FINISHES.
- CHAPTER 9: SECTION 903.2.6: A FIRE SPRINKLER SYSTEM IS NOT REQUIRED FOR THESE TWO-STORY R-2 BUILDINGS.
- CHAPTER 10: OCCUPANCY LOADS: R-2 OCCUPANCY LOAD IS CALCULATED BASED ON 200 GROSS S.F./PERSON. THESE UNITS VARY IN SIZE FROM 1,587 S.F. TO 2,496 S.F. WHICH MEANS THAT THE SMALLEST UNIT OCCUPANT LOAD = 8 PEOPLE, AND THE LARGEST UNIT OCCUPANT LOAD = 13 PEOPLE.
- 1003.2 MINIMUM CEILING HEIGHT: 7'-6" A.F.F., OR A MINIMUM OF 5'-0" FOR A SLOPED CEILING ONLY WHEN AT LEAST 50% OF THE ROOM MAINTAINS 7'-6" A.F.F.
- CEILING HEIGHT IN R-2 STAIRWAY MAY BE 6'-6" MINIMUM ABOVE A LINE CONNECTING THE LEADING EDGES OF THE STAIR RISERS.
- MEANS OF EGRESS:
 - CORRIDOR WIDTH: MINIMUM 36" CLEAR WIDTH REQUIRED, FOR OCCUPANCY LOAD LESS THAN 50 PEOPLE.
 - MINIMUM HEADHEIGHT: 80" MINIMUM, MEASURED VERTICAL TO LINE CONNECTING LEADING EDGES OF STAIR RISERS.
 - STAIR RISERS & TREADS: IN R-2 OCCUPANCIES THE RISERS MAY BE 7" HIGH MAXIMUM, AND THE TREADS MAY BE 10", PLUS A 1" NOSING, DEEP MINIMUM. 11" TREADS WITH 1" NOSINGS ARE STANDARD.
 - RISE & RUN SHALL BE DIMENSIONALLY UNIFORM.
 - STAIR LANDINGS: THERE SHALL BE A LANDING AT BOTH THE TOP AND THE BOTTOM OF A STAIRWAY.
 - STAIR LANDING SHALL BE AT LEAST AS DEEP AND THE STAIRWAY IS WIDE, BUT IT DOES NOT NEED TO EXCEED 4'-0" IN DEPTH.
 - DOORS OPENING ONTO STAIR LANDINGS SHALL NOT REDUCE THE CLEAR WIDTH BY MORE THAN ONE HALF, AND WHEN FULLY OPEN THE DOOR MAY NOT PROJECT MORE THAN 17" INTO THE LANDING.
 - THE UNDERSIDE OF ANY STAIR IN AN R-2 OCCUPANCY SHALL BE SHEATHED WITH AT LEAST ONE LAYER OF 1/2" GYP. BD.
 - A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE OF MORE THAN 12'-0" BETWEEN FLOOR LEVELS AND/OR LANDINGS.
 - HANDRAILS: R-2 UNITS ARE ALLOWED TO HAVE HANDRAILS EITHER ON BOTH SIDES OF STAIRWAYS OR ON ONLY ONE SIDE IF DESIRED.
- HANDRAILS:
 - HANDRAILS SHALL BE MOUNTED BETWEEN 34" TO 38" ABOVE THE LINE CONNECTING THE LEADING EDGES OF THE STAIR RISERS.
 - HANDRAILS SHALL BE BETWEEN 1 1/2" O.D. TO 2" O.D., OR SHALL MEET "TYPE 2" REQUIREMENTS.
 - HANDRAILS SHALL EXTEND 12" BEYOND THE FACE OF THE TOP RISER AND SHALL EXTEND ON TREAD DEPTH BEYOND THE FACE OF THE BOTTOM RISER, UNLESS THE R-2 UNIT IS NOT INTENDED TO BE ADA ACCESSIBLE.
 - HANDRAILS SHALL HAVE 1 1/2" CLEARANCE OFF THE FACE OF THE WALL, AND SHALL NOT PROJECT MORE THAN 4 1/2" INTO THE REQUIRED CLEAR STAIR WIDTH ON EACH SIDE.
- GUARDRAILS:
 - GUARDRAILS ARE REQUIRED ALONG THE OPEN SIDES OF ANY FLOOR/LANDING/ETC. AREA WHICH IS MORE THAN 30" ABOVE THE GRADE OR FLOOR BELOW.
 - GUARDRAILS HEIGHT IS REQUIRED TO BE 36" MINIMUM A.F.F. ON ALL HORIZONTAL AREAS, AND 34" MINIMUM ALONG OPEN SIDES OF STAIRWAYS, ABOVE LINE CONNECTING LEADING EDGES OF RISERS.
 - A GUARDRAIL SHALL BE CONSTRUCTED WITH NO OPENING LARGE ENOUGH TO ALLOW THE PASSAGE OF A 4" DIAM. SPHERE THROUGH ANY OPENING, AND AT THE TRIANGLE CREATED BY STAIR RISE & RUN NO OPENING SHALL ALLOW THE PASSAGE OF A 6" SPHERE.
- A SINGLE EXIT IS ALLOWED IN R-2 OCCUPANCY WITH LESS THAN 49 PERSON OCCUPANT LOAD.
- THE MAXIMUM TRAVEL DISTANCE TO EXIT WITHIN AN R-2 OCCUPANCY IS 200'-0" (UNSPRINKLERED).
- EMERGENCY ESCAPE & EXITS: REQUIRED FOR EACH ROOM USED FOR SLEEPING.
 - MINIMUM SIZE AREA IS 5.7 S.F. OF CLEAR EMERGENCY OPENING, GRADE FLOOR OPENING MAY BE REDUCED TO 5 S.F.
 - MINIMUM CLEAR EMERGENCY OPENING HEIGHT IS 24", AND THE MINIMUM CLEAR EMERGENCY OPENING WIDTH IS 20"
 - THE MAXIMUM HEIGHT TO THE BOTTOM OF THE CLEAR EMERGENCY OPENING IS 44" A.F.F.
- ATTIC ACCESS: MUST BE A MINIMUM OF 20" X 30" CLEAR TO ACCESS ALL ATTIC OR CONCEALED SPACES WITH A CLEAR HEIGHT EXCEEDING 30".
- FBC RESIDENTIAL SECTIONS:
 - BALCONY AND ROOF GABLES WHICH PROJECT 2'-5" BEYOND THE COMMON PARTY WALL AND EXTERIOR WALL INTERSECTIONS SHALL BE REQUIRED TO HAVE A 1-HOUR FIRE RATED ON THE UNDERSIDE OF SUCH PROJECTION. OPENING ARE ALLOWED WITHIN 3'-5" OF THE COMMON PARTY WALL FOR A MAXIMUM OF 25% OPENING (FRONT PORCH SIDES MAY BE OPEN AS LONG AS THEY ARE AT LEAST 3' AWAY FROM COMMON PROPERTY LINE, AND DO NOT COMPOSE MORE THAN 25% OF THE SHARED COMMON PROPERTY WALL AREA. BUT THEY MUST BE 1-HOUR FIRE RATED ON THE UNDERSIDES).
- R314 - MUST HAVE A SMOKE DETECTION SYSTEM COMPLYING WITH NFPA 72.
- R319 - ADDRESS SIGNAGE MUST BE LOCATED IN A PLACE WHICH IS CLEARLY VISIBLE FROM THE STREET AND SHALL BE 4" HIGH MINIMUM, WITH 1" MINIMUM STROKES ON A CONTRASTING BACKGROUND COLOR.
- R320 - H.C. ACCESSIBILITY: AT LEAST ONE BATHROOM ON THE GROUND FLOOR SHALL HAVE A DOOR WITH A MINIMUM 29" CLEAR OPENING WIDTH.
- R321.4 - RESIDENTIAL ELEVATOR REQUIREMENTS: ELEVATOR MUST COMPLY.



2 BUILDING-A, SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



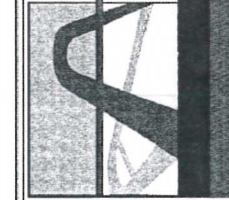
1 BUILDING-A, FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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3-1-2018
REVISION #1
5-17-2-18

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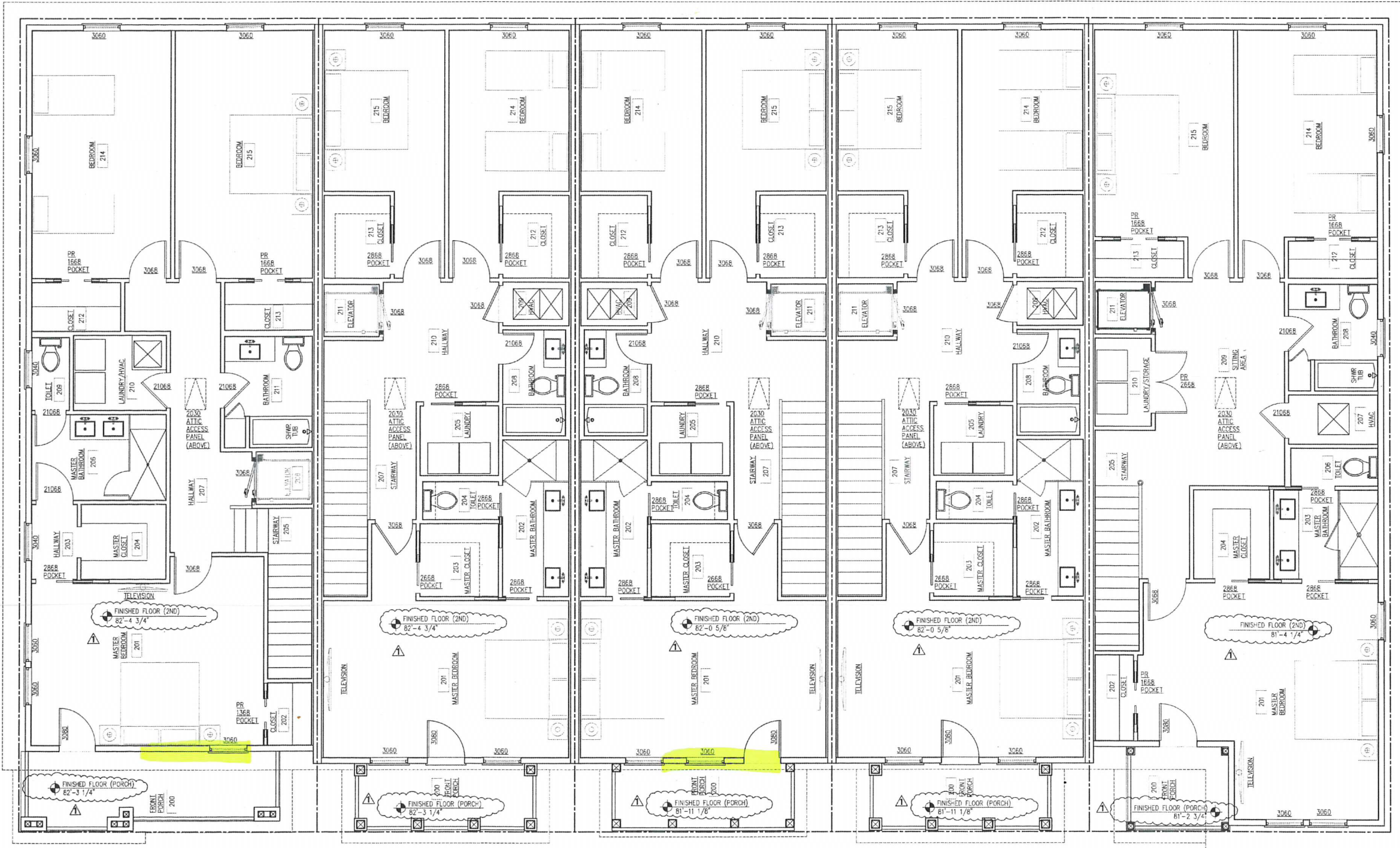
**COVINGTON
PLACE**

BUILDING-A

PROJ. NO. 2017-0108
DATE 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
SECOND FLOOR PLAN

A3.2



TOWNHOUSE-1A, THE STRONG
(1,398 Finished S.F.) (124 Exterior Porch S.F.)

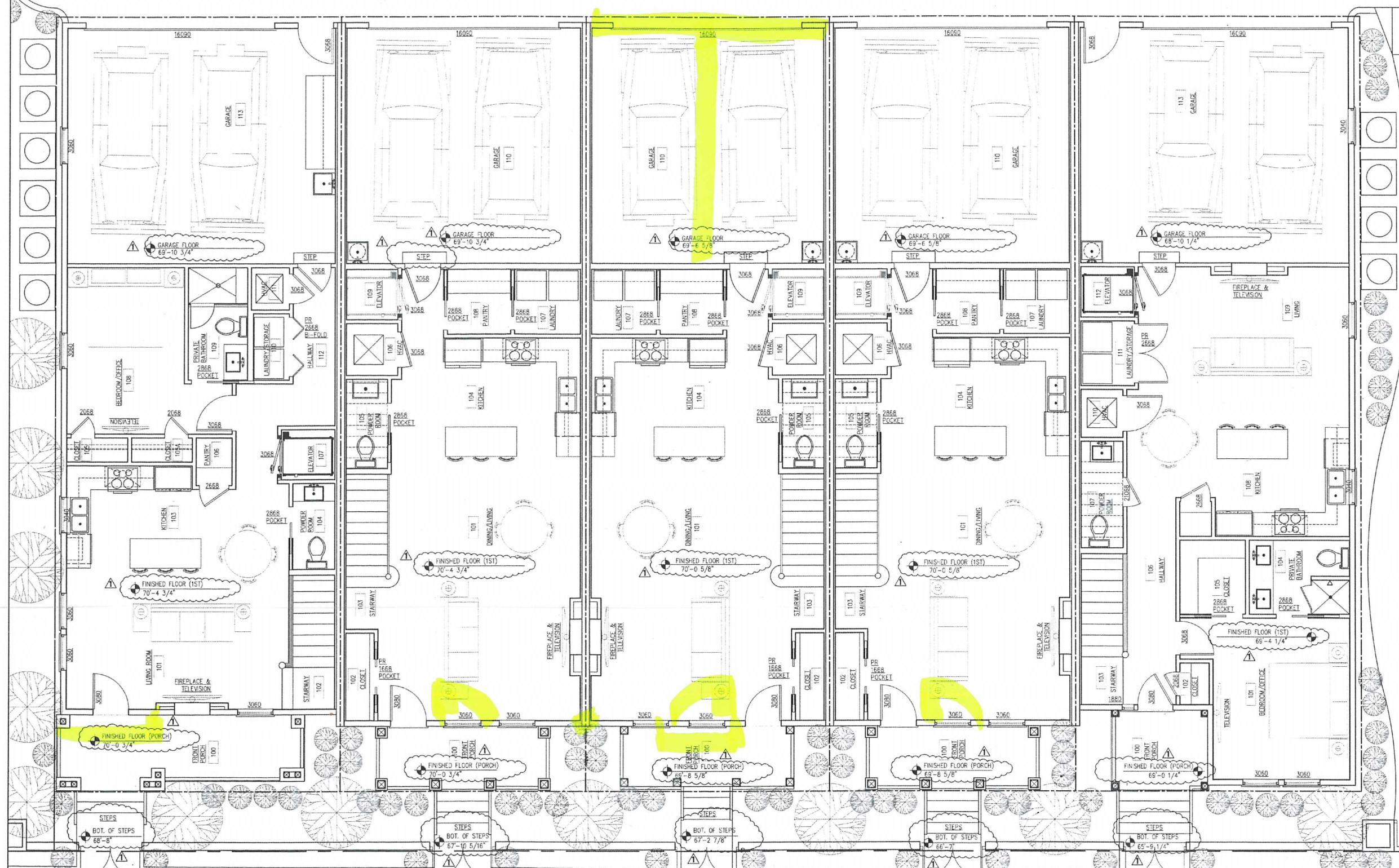
TOWNHOUSE-2A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-3A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-4A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-5A, THE BAYLEN
(1,471 Finished S.F.) (54 Exterior Porch S.F.)

BUILDING-A, SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



TOWNHOUSE-1A, THE STRONG
(910 Finished S.F.) (124 Porch S.F.) (488 Garage S.F.)

TOWNHOUSE-2A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-3A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-4A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-5A, THE BAYLEN
(983 Finished S.F.) (54 Porch S.F.) (488 Garage S.F.)

BUILDING-A, FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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RELEASED FOR PERMITTING
3-1-2018
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5-17-2-18

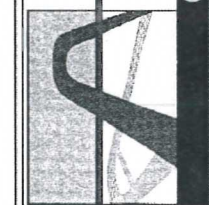
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COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
FIRST FLOOR PLAN

A3.1

Finished Construction
Certificate to Occupy Issued
July 2018













City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00247

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 5
800 BLK N. Baylen Street
North Hill Preservation District / Zone PC-1
New Construction

BACKGROUND:

Jim Bozeman is requesting elevation changes to four new single-family residences. This project was approved by the Board in September 2017. The revised elevations are consistent with those submitted for 15 W. Strong Street. Nearly all of the materials and color scheme have remained consistent as approved by the Board in 2017.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction and additions to existing structures*



Item 6

15 W. Strong St

NHPD

Variance

PC-1

Action taken: Approved

Charles Kunze, Artisan's Architecture, is requesting a Variance to reduce the required rear yard setback from 15 feet to 0.0 feet to accommodate a 25-unit residential townhouse development with internalized access. The townhouse development features rear-loaded garages which are accessed by an interior private road between 24 feet and 25.5 feet in width. The proposed Variance eliminates the required rear yard, placing each building directly adjacent to the private road. The conceptual plan was approved by the Board at their July 2017 meeting. The final approval is under consideration in *Item 7*. Mr. Kunze stated the variance would not affect any other properties, and they had met with City officials before asking for the variance. Chairman Quina noted that North Hill had no objections. Ms. Deese clarified that the variance was specific to the site plan.

Mr. Jones made a motion to approve seconded by Mr. Crawford. Ms. Deese stated a sign was posted, notices sent to properties within 500' and a legal ad was placed in the newspaper. No calls were received for support or opposition. **The motion then carried unanimously.**

Item 7

15 W. Strong St

NHPD

New Construction

PC-1

Action taken: Approved with comments.

Charles Kunze, Artisan's Architecture, is seeking final approval for a residential townhouse development. He stated the width of the driveways had been addressed. In meeting with the City, one of the issues was turnarounds at both driveways. They have talked with Rebol-Battle to ask FDOT for an exit at the end of Cervantes which would allow for better flow on the property. They will ask for a second exit, however, they are not sure FDOT will allow this. They spoke with the Fire Marshal regarding turnarounds and they were satisfied with this layout for fire safety. Regarding the facades, they have taken some units forward and made a small porch to the side, varying the front wall on other units to give undulation. Color selections and brick samples were provided. Primarily, they will be two-story units from 1700 to 2400 sq. ft. in the \$400,000 - \$500,000 range. He advised the base of the buildings would be brick; the wall at the sidewalk would be concrete or concrete block, however, they would consider making the wall brick on Baylen Street. It was then determined the wall was brick on Baylen, with block walls on the north side and Cervantes. He further explained the project would most likely be built in phases, beginning with Building 5 then 3 or 6, working their way toward Baylen to handle the runoff in multiple layers.

Mr. Townes addressed the Cervantes elevation. Mr. Kunze advised he tried to make the gables more inviting. Wrought iron gates will be built on the Cervantes side at the driveway exit and entrance to the green, which will have some type of fountain. Mr. Townes was concerned with Buildings 9 and 18 being flat and unadorned. He suggested anything to differentiate the building line on the Cervantes Street side, possibly pulling it in and making it smaller. Mr. Mead asked if they were considering block panels with brick piers or pilasters for the wall gates. He advised at least two gables on the larger buildings along Cervantes would help. Mr. Kunze was agreeable to those suggestions. Mr. Jones agreed that Cervantes would be very visually prominent to the community.

Mr. Kunze indicated they were reducing the impervious area from 95% to 82%. Ms. Deese also explained the applicants were exempt from stormwater requirements. Chairman Quina clarified that the wall on both street faces was a concern, along with the south elevation on Cervantes. **Ms. Campbell made a motion to approve as submitted with an abbreviated review for the fence detail, considering brick, and the Cervantes elevation. The motion died for lack of a second.** Mr. Jones explained the Board did not want to delay the project.

Mr. Liberis addressed the Board stating the closing date is next Friday (September 29), and it was contingent on the approval of the ARB; when he filed for an extension, it was denied, and requested the Board consider the motion Ms. Campbell offered. He stated they would always return to the Board for final approval. He explained he had a loan in place for acquisition, demolition and construction. Ms. Campbell retracted her motion. Ms. Deese clarified the applicant would not be able to pull permits until final approval was granted.

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. **The motion then carried unanimously.**

Item 8

400 BLK Cevallos St

PHD

Variance

HC-1 / Wood Cottages

Action taken: Approved

Brian Spencer, smp architecture, is requesting a Variance to increase the maximum height for a two-residence flat condo from 35 feet to 42.5 feet. The proposed residential development will be three habitable floors with garages and an in-law suite on the ground floor and the upper two floors consisting of residential flats. The Variance will accommodate the additional level of living space. It was determined that three letters of support were provided to the Board.

Mr. Spencer stated the site abuts the Crown Cove SSD development. His desire was to bring more residential occupancy into the downtown area. He explained each of the future residents of this development have separate garages and entrances, with no shared foyers or entrances, and a Cevallos and Zarragossa address. He advised he was consolidating the living space and reducing the driveway connections, and it meets Streetscape II guidelines. Chairman Quina clarified if the applicant was asking for a flat roof, the variance would not be required. Mr. Spencer stated he was working to preserve the heritage oak tree on Zarragossa, and by pushing the structure back, the root system would not be in harm's way. He pointed out the adjacent structure has the same height. Chairman Quina explained the variance allowed the sloped roof, giving the structure more of the character of the district. Mr. Mead stated by having it pushed back further on the lot, it recedes and would not dominate the streetscape. Mr. Jones noted it would not block the view from any neighbors. Chairman Quina noted there were four garage doors facing the front, but this project has disguised that feature. Mr. Spencer pointed to the site plan with one set of garage doors facing Zarragossa and the other facing Cevallos, and he had made sure to minimize the visual impact.

Mr. Elebash lives adjacent to the proposed development on the second floor of the east side and closest to the structure. He liked that it was a small footprint, the parking was contained, and his view would be unobstructed. The height variance was not an issue. He also stated other residents are supporting the development which fits the neighborhood.

Mr. McGhee who lives at Crown Cove, was delighted something was being constructed on this lot, but was concerned about the existing trees, specifically one live oak which appeared to be removed for the structure. Ms. Deese explained that Mr. Weeks would be responsible for enforcing the Code, and this was not a part of the ARB purview.



PLANNING SERVICES

THE UPSIDE of FLORIDA

September 2017 Agenda

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM:  Brandi Deese, Assistant Planning Services Administrator

DATE: September 8, 2017

SUBJECT: New Business – Item 7
15 W. Stong St
NHPD / PC-1
New Construction

BACKGROUND

Charles Kunze, Artisan's Architecture, is seeking final approval for a 25-unit residential townhouse development. The conceptual plan was approved by the Board at their July 2017 meeting. The comments provided during that meeting have been addressed. The proposed exterior will feature Hardie shiplap siding with the "Select Cedarmill" finish. Exterior colors will alternate between grey hues within the Sherwin Williams palette. Carriage style garage doors will be utilized within the development. PGT vinyl windows with simulated divided lites are proposed. Porch details include rails with turned pickets, Hardie board column wraps, KDA wood floor deck, and brick pavers on the lower level. Asphalt dimensional shingles are the proposed roofing material; colors chosen from "Weatherford Wood" or "Thunderstorm Grey".

A Variance to eliminate the required rear yard is under consideration in *Item 6*. Once approved by this Board, the applicant will proceed with the platting process to develop the townhouse project.

Please find attached all relevant documentation for your review.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / www.cityofpensacola.com

SEPT. 7, 2017

Covington Place
15 West Strong Street
Pensacola, FL 32501

September 2017 Agenda

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Primary Exterior Finishes:	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
Foundation Walls or Piers: Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
Windows:	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
Window Trim:	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Entry Door and Hardware:	Front & Balcony Door: Neuma-Flush Glazed-Fiberglass-Stained Finish Rear Door: Fiberglass Therma-Tru
Doors and Hardware:	Brushed Nichol Finish
Door Trim:	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Garage Doors:	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze

September 2017 Agenda

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Porch Balustrade:	Prefinished Powder Coated Aluminum rails and pickets & well as Balconies Over Garage and at End Units. Color – Antique Black.
Porch Columns:	Hardie Trim Smooth Trim 5\4" or Preformed round with Caps & Base. Color-SW2829 "Classical White."
Porch Decking:	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2829 "Classical White."
Ornament:	Smooth Hardie Color-2829 "Classical White."
Fascia's: White."	Smooth Hardie-Painted Satin SW2829 "Classical
Soffits: White."	Smooth Hardie 5/4" Color-SW2829 "Classical
Gutters & Downspouts:	Prefinished OG Color-Bronze if Required.
Roofing:	Atlas Dimensional Shingles either Weatherford Wood.
Other Rooftop Elements:	Nail over ridge vent to match roofing.
Exterior Lighting:	Copper Finish – Gas & Electric Lighting.
Walkways:	Concrete or Brick Pavers.

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Driveways:	Asphalt.
Fencing:	6' Wood Privacy on non-Street Sides.
Garden Walls:	Block – Painted SW2844 “Roycroft Mint Gray.”
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A1.1
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

September 2017 Agenda

September 2017 Agenda

COVINGTON PLACE EXTERIOR COLOR SAMPLES

Siding Colors

SW2849



Westchester Grey

SW2819



Downing Slate

SW2821



Downing Stone

SW2844



Roycroft Mint Gray

Trim & Accent Color

SW2829



Classical White

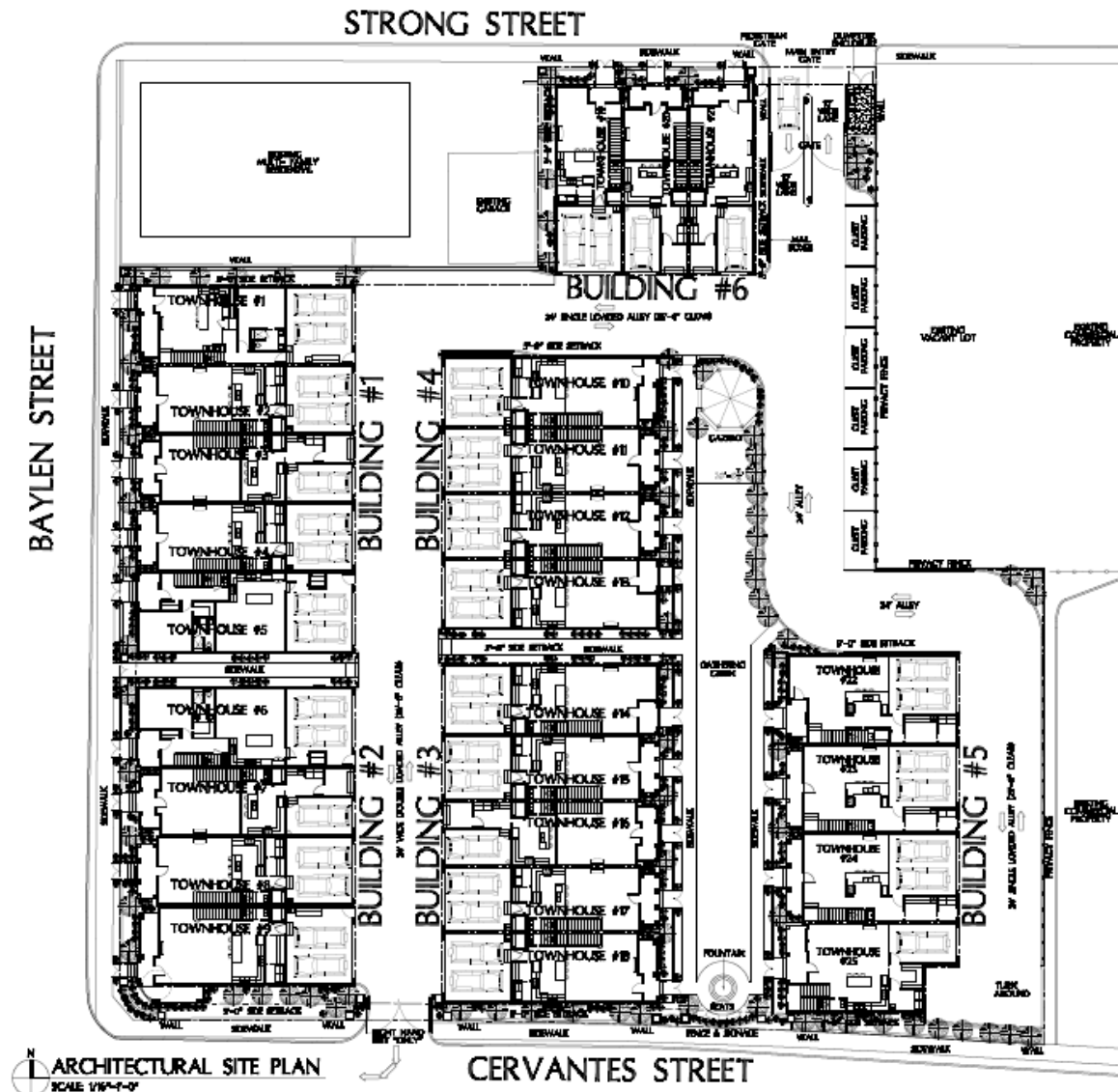
Garden Wall Color

SW2844



Roycroft Mint Gray

September 2017 Agenda



REVISIONS
PAGE 1022 SUBMITTAL
8-8-2017

ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
SEAL AND SIGNATURE OF AN ARCHITECT

creating architecture as an art form
Artisan's Architecture LLC
Charles E. Kurze Jr., 25 W. Cedar St., Suite 914, Pensacola, FL 32501
850-432-4488

PROJECT TITLE
COVINGTON PLACE

15 W. STRONG ST.
PENSACOLA, FL 32501

PREP. BY: [blank] REV. 0001
DRAWN BY: [blank] 8/8/2017
CHECKED BY: [blank] 8/8/2017
DATE: [blank]

ARCHITECT
ARCHITECTURAL SITE PLAN

A1.1



C TYPICAL BUILDING END EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

September 2017 Agenda



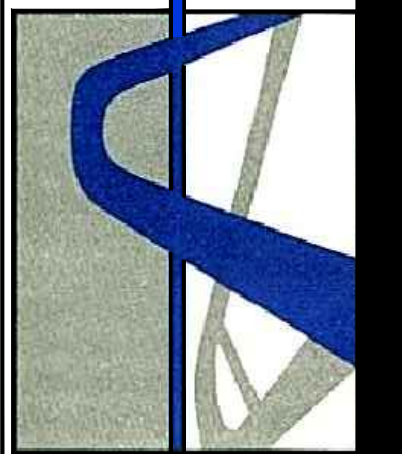
D TYPICAL BUILDING END EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS
FINAL ARB SUBMITTAL
8-31-2017

ARCHITECT'S SEAL & SIGNATURE

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creating architecture as an art form
Artisan's Architecture L.L.C.
Charles E. Kunze Jr. 25 W. Cedar St., Suite #214, Pensacola FL 32502
850-432-8438



COVINGTON
PLACE

PROJ. NO. 2017-010R
DATE: 8-9-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

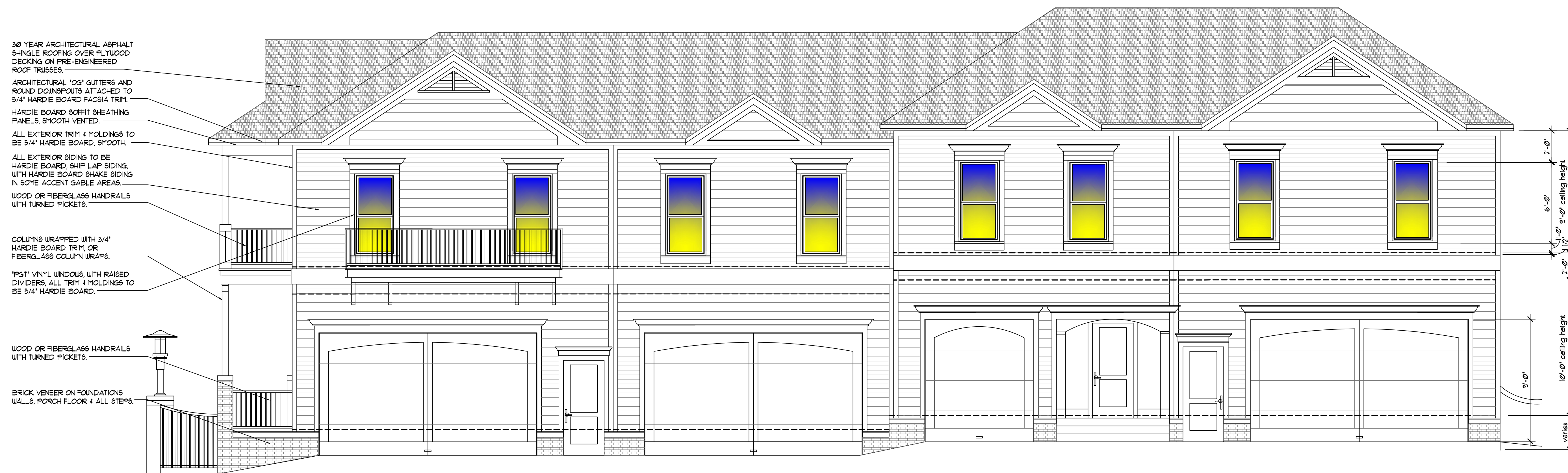
SHEET TITLE
ENLARGED
ELEVATIONS

A4.1



A TYPICAL FRONT ENTRY EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

September 2017 Agenda



B TYPICAL GARAGE SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS
FINAL ARB SUBMITTAL
8-31-2017

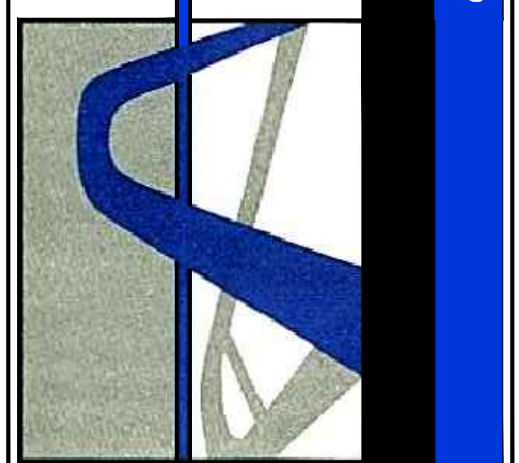
ARCHITECT'S SEAL & SIGNATURE

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RAISED SEAL AND AN ORIGINAL,
DATED SIGNATURE.

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Artisan's Architecture L.L.C.

Charles E. Kunze Jr. 25 W. Cedar St., Suite #14, Pensacola FL 32502
850-432-8438 FLORIDA REGISTRATION # AR-00034 ALABAMA REGISTRATION # 000000000000000000



COVINGTON
PLACE

PROJ. NO. 2017-010R
DATE: 8-9-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
ENLARGED
ELEVATIONS

A4.0

Item 6

15 W. Strong St

NHPD

Variance

PC-1

Action taken: Approved

Charles Kunze, Artisan's Architecture, is requesting a Variance to reduce the required rear yard setback from 15 feet to 0.0 feet to accommodate a 25-unit residential townhouse development with internalized access. The townhouse development features rear-loaded garages which are accessed by an interior private road between 24 feet and 25.5 feet in width. The proposed Variance eliminates the required rear yard, placing each building directly adjacent to the private road. The conceptual plan was approved by the Board at their July 2017 meeting. The final approval is under consideration in *Item 7*. Mr. Kunze stated the variance would not affect any other properties, and they had met with City officials before asking for the variance. Chairman Quina noted that North Hill had no objections. Ms. Deese clarified that the variance was specific to the site plan.

Mr. Jones made a motion to approve seconded by Mr. Crawford. Ms. Deese stated a sign was posted, notices sent to properties within 500' and a legal ad was placed in the newspaper. No calls were received for support or opposition. **The motion then carried unanimously.**

Item 7

15 W. Strong St

NHPD

New Construction

PC-1

Action taken: Approved with comments.

Charles Kunze, Artisan's Architecture, is seeking final approval for a residential townhouse development. He stated the width of the driveways had been addressed. In meeting with the City, one of the issues was turnarounds at both driveways. They have talked with Rebol-Battle to ask FDOT for an exit at the end of Cervantes which would allow for better flow on the property. They will ask for a second exit, however, they are not sure FDOT will allow this. They spoke with the Fire Marshal regarding turnarounds and they were satisfied with this layout for fire safety. Regarding the facades, they have taken some units forward and made a small porch to the side, varying the front wall on other units to give undulation. Color selections and brick samples were provided. Primarily, they will be two-story units from 1700 to 2400 sq. ft. in the \$400,000 - \$500,000 range. He advised the base of the buildings would be brick; the wall at the sidewalk would be concrete or concrete block, however, they would consider making the wall brick on Baylen Street. It was then determined the wall was brick on Baylen, with block walls on the north side and Cervantes. He further explained the project would most likely be built in phases, beginning with Building 5 then 3 or 6, working their way toward Baylen to handle the runoff in multiple layers.

Mr. Townes addressed the Cervantes elevation. Mr. Kunze advised he tried to make the gables more inviting. Wrought iron gates will be built on the Cervantes side at the driveway exit and entrance to the green, which will have some type of fountain. Mr. Townes was concerned with Buildings 9 and 18 being flat and unadorned. He suggested anything to differentiate the building line on the Cervantes Street side, possibly pulling it in and making it smaller. Mr. Mead asked if they were considering block panels with brick piers or pilasters for the wall gates. He advised at least two gables on the larger buildings along Cervantes would help. Mr. Kunze was agreeable to those suggestions. Mr. Jones agreed that Cervantes would be very visually prominent to the community.

Mr. Kunze indicated they were reducing the impervious area from 95% to 82%. Ms. Deese also explained the applicants were exempt from stormwater requirements. Chairman Quina clarified that the wall on both street faces was a concern, along with the south elevation on Cervantes. **Ms. Campbell made a motion to approve as submitted with an abbreviated review for the fence detail, considering brick, and the Cervantes elevation. The motion died for lack of a second.** Mr. Jones explained the Board did not want to delay the project.

Mr. Liberis addressed the Board stating the closing date is next Friday (September 29), and it was contingent on the approval of the ARB; when he filed for an extension, it was denied, and requested the Board consider the motion Ms. Campbell offered. He stated they would always return to the Board for final approval. He explained he had a loan in place for acquisition, demolition and construction. Ms. Campbell retracted her motion. Ms. Deese clarified the applicant would not be able to pull permits until final approval was granted.

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. The motion then carried unanimously.

Item 8

400 BLK Cevallos St

PHD

Variance

HC-1 / Wood Cottages

Action taken: Approved

Brian Spencer, smp architecture, is requesting a Variance to increase the maximum height for a two-residence flat condo from 35 feet to 42.5 feet. The proposed residential development will be three habitable floors with garages and an in-law suite on the ground floor and the upper two floors consisting of residential flats. The Variance will accommodate the additional level of living space. It was determined that three letters of support were provided to the Board.

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Mr. Elebash lives adjacent to the proposed development on the second floor of the east side and closest to the structure. He liked that it was a small footprint, the parking was contained, and his view would be unobstructed. The height variance was not an issue. He also stated other residents are supporting the development which fits the neighborhood.

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City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Full Board Review**

Application Date: _____

This application for Building (B) - 800 BLK N. Baylen Street

Project Address: COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST.

Applicant: JAMES C. BOZEMAN TODAY HOMES FOR CHARLES LIBERIS

Applicant's Address: 101 SOUTH ALCAÑIZ PENSACOLA, FL 32504

Email: TDY HOMES @ BELLSOUTH.NET **Phone:** 850-432-3522

Property Owner: CHARLES LIBERIS
(If different from Applicant)

District: PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

WE ARE SEEKING APPROVAL OF CHANGES TO COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST. PENSACOLA, FL.

This application for Building (B) - 800 BLK N. Baylen Street

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

James C. Bozeman
Applicant Signature

3-16-2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



Jim Bozeman <tdyhomesnwfl@gmail.com>

Covington Place Architectural Drawings

2 messages

Charles Kunze <chuck@artisansarchitecture.com>

Tue, Oct 8, 2019 at 4:04 PM

To: "tdyhomes@bellsouth.net" <tdyhomes@bellsouth.net>, Charles Liberis <cliberis@liberislaw.com>, Linda Liberis <lindabliberis@gmail.com>, Charles Kunze <chuck@artisansarchitecture.com>

Cc: Charles Kunze <chuck@artisansarchitecture.com>

Jim Bozeman,

I have been asked by Charles Liberis to give you approval to modify my drawings for the Covington Place Project located on Cervantes Avenue, N. Baylen Street, & W. Strong Street.

I do release The Covington Place Project to you with permission to modify the drawings as Charles Liberis directs. I will still retain the right to use Covington Place in my advertising, resumes, website and any other formats I desire, and to reference it as an Artisan's Architecture LLC design and partially built project.

I will not be responsible or liable for the project, permitting, errors or omissions, or any part of the drawings once they have been changed in any way from the current record set I have on file at my office as of today: 10-8-2019.

You may want to review any comments made to us by the ARB and North Hill to insure understanding of what was approved by those entities.

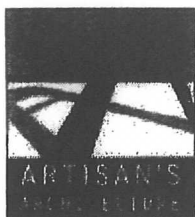
My title block, firm information and any electronic seals or signatures must be removed for all documents which are revised or modified after today: 10-8-2019.

I would expect that the good name and reputation of Artisan's Architecture LLC or Charles E. Kunze Jr. would not be demeaned or slandered in the future in reference to this change of the responsible design party, my understanding is that this is only being done for expedience of scheduling on the part of Charles Liberis.

Thank You,

CHARLES E. KUNZE JR.

AIA, NCARB,
PRESIDENT/OWNER OF
ARTISAN'S ARCHITECTURE LLC



SEPT. 7, 2017

Covington Place
15 West Strong Street
Pensacola, FL 32501

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Primary Exterior Finishes:	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
Foundation Walls or Piers: Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
Windows:	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
Window Trim:	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Entry Door and Hardware:	Front & Balcony Door: Neuma-Flush Glazed-Fiberglass-Stained Finish Rear Door: Fiberglass Therma-Tru
Doors and Hardware:	Brushed Nichol Finish
Door Trim:	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
Garage Doors:	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
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Ornament:	Smooth Hardie Color-2829 "Classical White."
Fascia's: White."	Smooth Hardie-Painted Satin SW2829 "Classical
Soffits: White."	Smooth Hardie 5/4" Color-SW2829 "Classical
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Roofing:	Atlas Dimensional Shingles either Weatherford Wood.
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Exterior Lighting:	Copper Finish – Gas & Electric Lighting.
Walkways:	Concrete or Brick Pavers.

EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Driveways:	Asphalt.
Fencing:	6' Wood Privacy on non-Street Sides.
Garden Walls:	Block – Painted SW2844 “Roycroft Mint Gray.”
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A1.1
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

Submitted Paint Samples

Front



Side



Trim



Garage



COVINGTON PLACE

EXTERIOR COLOR SAMPLES

Siding Colors

SW2849



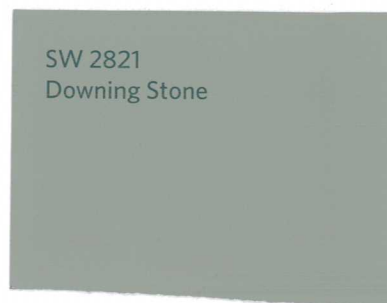
Westchester Gray

SW2819



Downing Slate

SW2821



Downing Stone

Trim & Accent Color

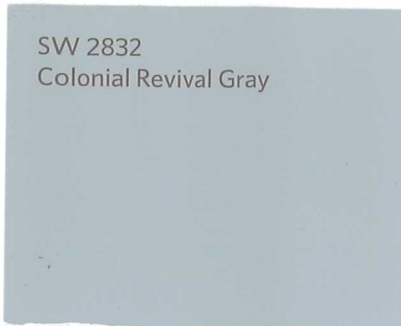
SW2844



Roycroft Mint Gray

Garden Wall Color

SW2832



Colonial Revival Gray

SIDING

SW 2849

Westchester Gray

SW 2844

Roycroft Mist Gray

SW 2819

Downing Slate

SW 2821

Downing Stone

SW 2832

Colonial Revival Gray

← TRIM

UNIT
COLORS

GARDEN
WALL

Covington Place

ROOF

Weathered
Wood

ROOF

Thunderbox
Gray

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8/30/17, 4:49 PM



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DH5560

Movable bottom sash that slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation
- Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration options

- Proview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)

CONFIGURATIONS

DOUBLE HUNG WINDOW

FRAME COLORS

STANDARD FINISHES

WHITE

PREMIUM FINISHES

BRONZE

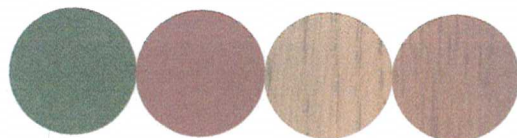


BEIGE

BRONZE

ANODIZE*

PEBBLE
KHAKI*



HUNTER
GREEN*BRICK
RED*NATURAL
OAKDARK
OAKNATURAL
CHERRY

Finish swatches are for reference only. Ask your dealer about final color matching.
 *Available for select styles only. Ask your dealer for more details.

GRID FEATURES**FLAT GRID (GBG)**

9/16" wide or 13/16" wide

Grid between the glass

CONTOUR GRID (GBG)

1" wide

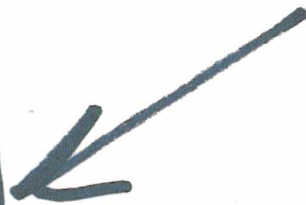
Grid between the glass

TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar
 between the glass

GRID OPTIONS**WINDOW GRID STYLES**FLAT
GRID
(GBG)CONTOUR
GRID
(GBG)TRADITIONAL
SIMULATED
DIVIDED
LITE
GRIDS

**SIMULATED DIVIDED
LITE**



PRODUCT OPTIONS

GLASS OPTIONS


Impact Resistant 

THERMAL ENHANCEMENTS

Argon Gas (requires insulating glass)

High Performance Low-E 

SCREEN TYPES

1816 Charcoal or Gray 

2020 Screen mesh (optional)

PREMIUM GLASS OPTIONS

Tempered Glass

Privacy Glass (Obscure)

GLASS TINTS

EXTERIOR REFLECTION



CLEAR

BRONZE

GRAY

GREEN



AZURE
BLUE

SOLAR
COOL
BRONZE

GRAYLITE
II

OBSCURE
(TEXTURED)

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EXT TRIM
5/4 SMOOTH



JamesHardie



COLOR AND DESIGN

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PRODUCT SUPPORT

PROS



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Warranty & Install Info

HARDIETRIM® BOARDS

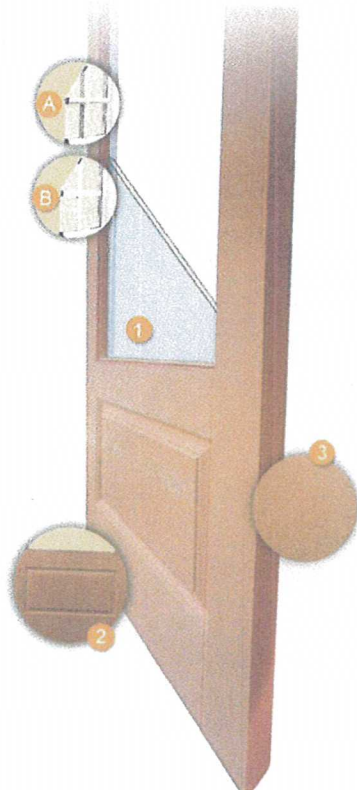
Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with HardieTrim® boards.

[Hinged Patio Doors](#)[Vented Sidelight Patio Doors](#)[3/4 Lite Patio Doors](#)[Design Features](#)[Gliding Patio Doors](#)[Transoms](#)[Impact Series](#)[Glazing Options](#)[Neuma Classic Doors](#)[Hinged Door Certifications](#)[Gliding Door Certifications](#)[Transom Certifications](#)[Overview](#)[Design Features](#)[Specification](#)[Warranty](#)

3/4 Lite Patio Doors Design Features

[Design Features](#)[Design Features](#)

FRONT &
BALCONY
DOORS
W/SIMULATED
DIVIDED LITE
WHERE
APPLICABLE



Neuma Door



Smooth White Interior and exterior finish is standard on all doors, including the 3/4 lite panel.

A. Simulated Divided Lites - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

B. Grilles Between the Glass - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

[\[top\]](#)

[Return](#)



Manufactured with 100% recycled glass panels.

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REAR EXTERIOR DOORS

THERMA TRU
DOORS

WHAT TO
CONSIDER

EXPLORE
DOORS

INSPIRATION
& DESIGN

WHERE
TO BUY



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Classic-Craft® Rustic Collection™ \$\$\$

2/3 Lite 1 Panel | Style No. CCR20020XJ 

1 Available Size 

DESIGN YOUR ENTRYWAY

WHERE TO BUY

FINISH OPTIONS



Cherry



GLASS OPTIONS



Chinchilla



 See how this privacy compares to clear glass

Don't see the glass design you want?

In addition to thousands of standard glass choices, we offer additional glass options through our Special Quote Program to help you find the right look for virtually any home.

[Learn More >](#)



TradeMark™ Wind Load

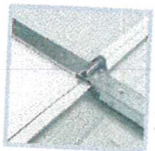
Classic Look, Unyielding Strength

The combination of durable, 24-gauge steel, defined raised panel styling and authentic woodgrain texture gives your home curb appeal with TradeMark steel garage doors. Add charm with colonial or ranch panels, or for a distinctive look on your home, choose the carriage house option. Optional polystyrene insulation can be added to provide additional comfort and help keep your garage quieter. TradeMark doors are available in both post and strut designs.



Hardware

Track formed from strong galvanized steel, paired with durable, long-wearing steel rollers ensures smooth, quiet operation.



Insulation

Optional energy-saving core of polystyrene insulation provides added comfort and helps keep your garage quieter.



Section Joints

Strong, roll-formed tongue-and-groove meeting rails seal out wind, rain, and snow, keeping your garage dry and secure.



Raynor Secure

TradeMark doors are available in a wide variety of pressure ratings to meet your local wind codes.

GARAGE DOORS

Colors

Standard



Optional

Raynor's OptiFinish paint process allows your TradeMark door to be customized with more than 1,800 Sherwin-Williams™ colors.

Decorative Hardware

The black matte powder coated straps and handles are designed to appear hand-forged, adding a historically-accurate dimensional quality to your door. Choose from handles and straps with Bean or Fleur-de-Lis designs.

Handles

Fleur-de-Lis
Handle



Bean
Handle

Straps

Bean

Fleur-de-Lis

Standard Limited Warranty**

Door Sections

"For As Long As You Own Your Home" against rust through

Hardware

3-years to the original purchaser

Springs

3-years to the original purchaser

** Limited Warranty: Visit www.raynor.com/products for complete Limited Warranty details

Panel Options*

Heights: 6'6" through 10' in 3" increments†

Widths: 4', 6', 8', 9', 10', 12', 15', 16', 18'

Colonial

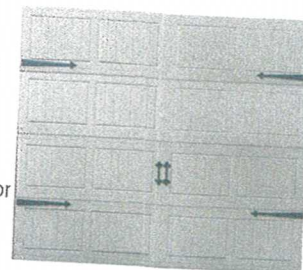
Ranch

Carriage House

Many other options available. Contact your Raynor dealer for further details.

Carriage House Option

The Carriage House option offers a classic design that adds character to your home. And, with decorative hardware available in Bean or Fleur-de-lis styles, the Carriage House option is the perfect design touch for any architecturally stylized home.



Hurricane Reinforcing Systems

TradeMark doors are available in both post and strut designs, giving homeowners flexibility in choosing between an assisted or unassisted door approved for IBC, FBC, TDI, or Miami-Dade installation environments.



Post Design



Strut Design



P.O. Box 448, 1101 East River Rd.
Dixon, IL 61021-0448
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Appliques

AZEK® Brand PVC

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Beadboard & V-Groove

Blocks, Corner/Base/Etc

Brackets

Caps, Door & Window

Casings, Door & Window

Ceiling Medallions

Columns

Corbels

Corner Guards (Beads)

Cornices

Crown Mouldings

Deck Boards, Etc

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Mantels

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Jewel Posts

Niches, Wall

Panels/Medallions, Fretwork

Recessed Trim

Stair Balusters

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Porches - START HERE!

Porch Flooring

Porch Posts

Railing

Roof Spires

Trimming Trim

Polyurethane Rails # SP-RL (caf)

High Density Polyurethane (the only kind we sell) feels, sounds, installs, and paints just like wood but that's where the similarities end! [Read more about Polyurethane...](#)

Order Below

or order a small [Sample](#)


PICKETS EXT HANDRAILS

Screen/Storm Doors

Shingles, Cedar

Shutters

Signs

Small Parts

Spandrels

Spindles (and Balusters)

Stair Parts, Interior

Sunburst Fans

Trim Boards

Vents, Louvered

Wainscot Beadboard

YellaWood® Pressure Treated

The Bargain Room!

More . . .

HELP DESK

Product Options

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Gift Certificates

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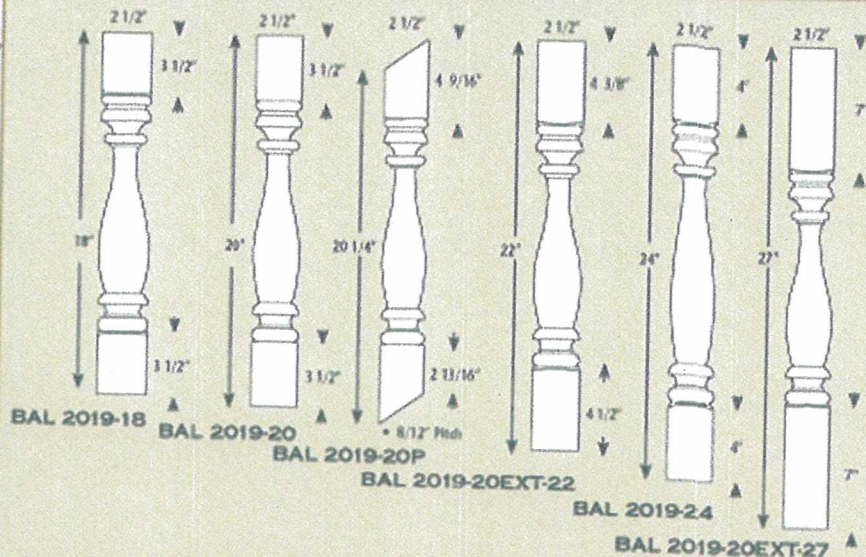
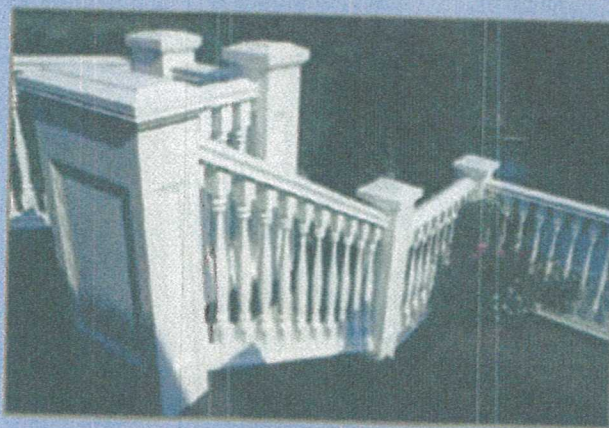
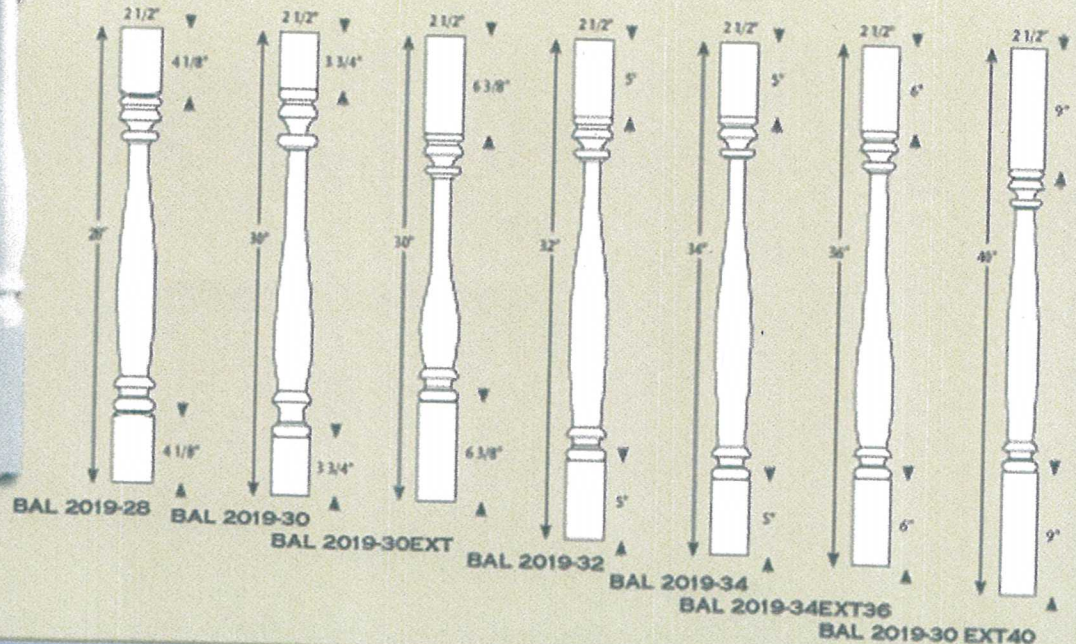


Photo illustrates the use of the following products: BAL 2019, and RAL 2105T & B.

BAL 2019

• 3/4" "M" Dimension • 2 1/2" Max. Space 4" Ball Rule • 1 1/16" Hole Saw



Above left:

Photo illustrates the use of the following products:



Above right:

Photo illustrates the use of the following products:

ROUND EXT COLUMN

WRAPS



Hand Crafted, Classically Inspired Architectural Columns, Balustrades &

info@meltonclassics.com (mailto:info@meltonclassics.com)

Questions? 800-963-3060 (tel:8009633060)

FRP Classic™ Fiberglass Column Covers

Overview

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

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(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/>)

Image Gallery

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/photos/>)

Specifications

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/>)

Product Selection Assistance (<http://meltonclassics.com/product-selection-assistance/>)

Installation

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/how-to-install-fiberglass-columns/>)

Warranty

(<http://meltonclassics.com/technical-data/architectural-products-warranties/>)

Architectural Column Products

Composite Fiberglass Columns

DuraClassic™
(<http://meltonclassics.com/composite-fiberglass-columns/>)

Fluted Fiberglass Columns

FiberFlute™
(<http://meltonclassics.com/products/architectural-columns/fluted-columns/>)

Fiberglass Columns

ClassicGlas™
(<http://meltonclassics.com/products/architectural-columns/classicglas/>)

Fiberglass Column Covers

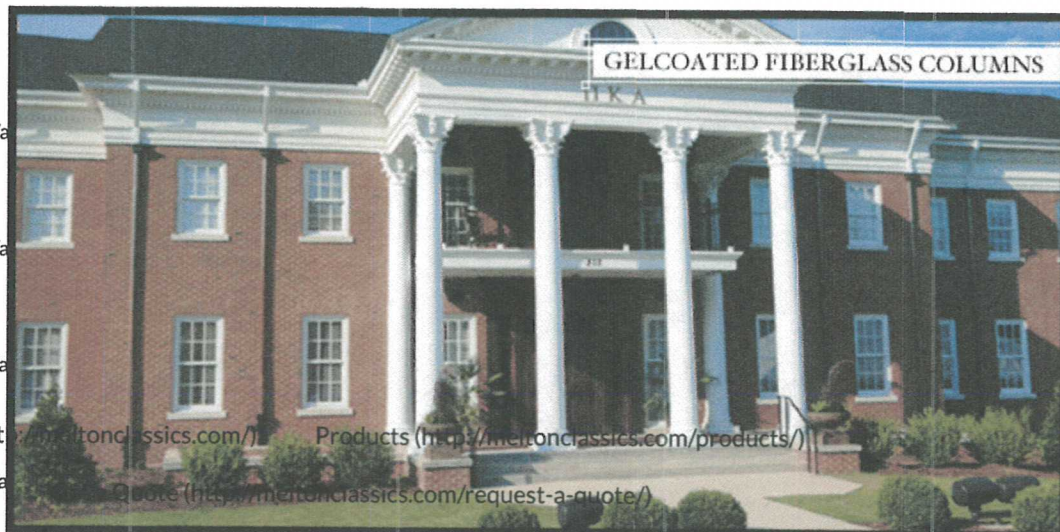
FRP Classic™
(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

GFRC Columns (Glass-Fiber Reinforced Concrete)

FiberCrete™
(<http://meltonclassics.com/products/architectural-columns/gfrc-columns-covers/>)

PVC Column Covers

MeltonCraft™
(<http://meltonclassics.com/products/architectural-columns/pvc-porch-columns/>)



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FRP Classic™ Gelcoated Fiberglass Column Designs

Tuscan Round

Roman

Roman Doric w/Attic

Tuscan Straight

Roman Doric w/Attic Straight

Straight

#200FRP

Doric

#220FRP

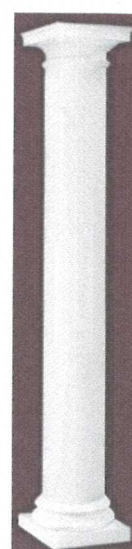
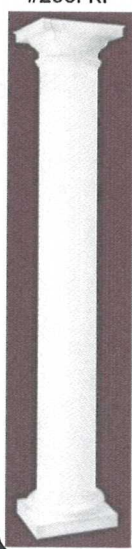
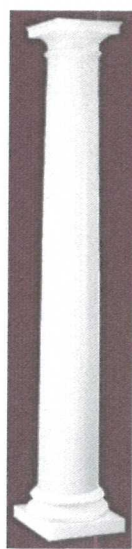
w/Astragal

w/Astragal #220FRP

Shaft

#210FRP

#200FRP



Tuscan Square

Roman Ionic

Roman Ionic

Scamozzi

Scamozzi

Roman Corinthian

#200FRP

#230FRP

#235FRP

#240FRP

#245FRP

#250FRP

SQUARE COLUMN WRAPS

Non-Tapered PVC Column Wraps

[Non-tapered square columns](#) | [Tapered square columns](#) | [Caps & bases](#)

Our Non-tapered Column Wraps come in one complete kit that includes the traditional Box Cap and Base, squaring blocks, adhesive and instruction sheets. All column wraps are made of PVC.

[Download Installation Instruction Sheet](#)

Lead Time: Column wraps ship within 5 to 7 days.

Product Specs: The Non-tapered Plain Column Wraps are constructed of a .625" thick material, while the Non-tapered Economy Plain Column Wrap is a .375" thickness. Box Caps and Bases come in a .625" standard thickness. Optional [cap and base styles](#) are available.

Scroll down this page for items and pricing:



[Plain](#) | [Economy](#) | [Fluted](#) | [Double Fluted](#) | [Raised](#) | [Double Raised](#) | [Recessed](#) | [Double Recessed](#)

Plain Column Wrap

Product Code	Shaft Width	Shaft Height	List Price	Sale Price
CW6X72P1BX	6"	72"	\$224.96	\$146.22
CW6X96P1BX	6"	96"	\$257.61	\$167.45
CW6X108P1BX	6"	108"	\$277.56	\$180.41
→ CW6X120P1BX	6"	120"	\$293.87	\$191.02
CW8X72P1BX	8"	72"	\$261.41	\$169.92
CW8X96P1BX	8"	96"	\$303.20	\$197.08
CW8X108P1BX	8"	108"	\$329.10	\$213.92
CW8X120P1BX	8"	120"	\$349.98	\$227.49
CW8X144P1BX	8"	144"	\$397.46	\$258.35
CW10X72P1BX	10"	72"	\$295.78	\$192.26
CW10X96P1BX	10"	96"	\$346.69	\$225.35
CW10X108P1BX	10"	108"	\$377.28	\$245.23
→ CW10X120P1BX	10"	120"	\$402.72	\$261.77
CW10X144P1BX	10"	144"	\$459.63	\$298.76
CW12X72P1BX	12"	72"	\$330.12	\$214.58
CW12X96P1BX	12"	96"	\$390.25	\$253.66
CW12X108P1BX	12"	108"	\$425.28	\$276.43
CW12X120P1BX	12"	120"	\$455.29	\$295.94

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DOOR & WINDOW EXTERIOR HEAD TRIM

Window Trim - Transform Your Home

[Door Trim](#) | [Window Trim](#) | [Window Trim Installation Guide](#)

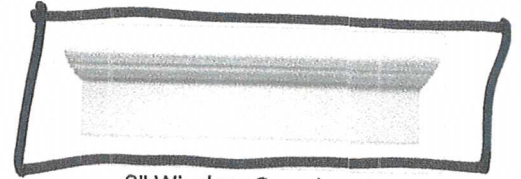
Window trim can transform an ordinary home into an extraordinary home. Many pieces are designed to work together. The options are virtually countless. In addition to our custom capabilities, we carry a full product line of products which are made of high density polyurethane. If you don't see what you are looking for on our site, call us at **1-866-995-6001** or email at salesinfo@wholesalemillwork.com. We also offer custom sizing of all window trim.



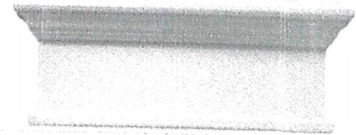
6" Window Crosshead



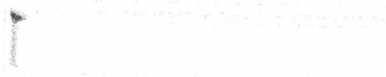
12" Window Crosshead



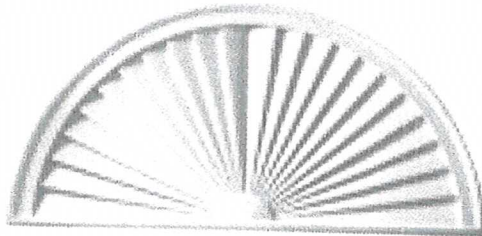
9" Window Crosshead



14" Window Crosshead



Craftsman Crossheads (2 styles)



Half Circle Sunburst



Half Round Spoked Pediment

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EXT SOFFIT VENTED-SMOOTH

8/30/17, 5:23 PM

COLOR AND DESIGN

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HARDIESOFFIT® PANELS

Soffits are key construction elements—they cover the underside of your roof eaves and exterior porch ceilings. We offer them in both smooth and vented profiles to meet aesthetic needs as well as code requirements.

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Brackets



ARCH



CRAFTSMAN



DESIGNER



WOODGRAIN



TRADITIONAL



VICTORIAN

Corbels



URETHANE



WOOD



FEATURED **NEW**

Dentil Blocks



HORIZONTAL



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Jim Bozeman <tdyhomesnwfl@gmail.com>

Landscape

Charles Liberis <cliberis@liberislaw.com>
To: Today's Homes <tdyhomes@bellsouth.net>

Fri, Mar 13, 2020 at 1:23 PM

{ DUH! Design

{ Tillman -grounds and maintenance }

Very truly yours,



Charles S. Liberis

Liberis Law Firm

212 W. Intendencia

Pensacola, FL 32502

Office: 850-438-9647

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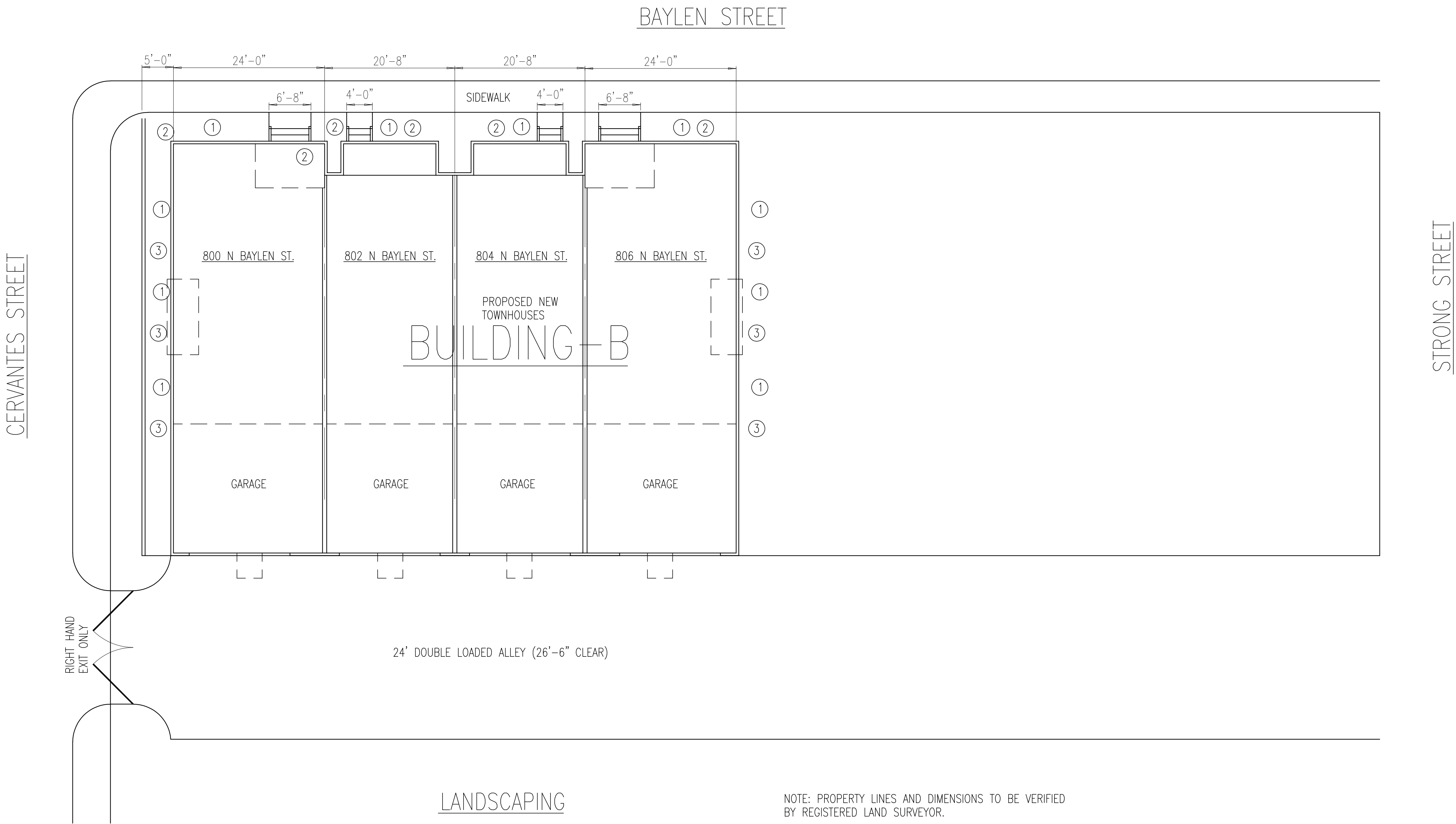
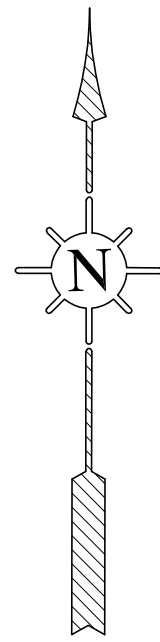
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COVINGTON PLACE

ESCAMBIA COUNTY, FLORIDA



Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32501
(850)-432-3510 FAX: 434-2375 EMAIL: todayhomes@bellsouth.net

DRAWING NO.:
B-1420

DRAWN BY: J. GRAY
SCALE: 1"=10'-0"

DATE: JAN. 22, 2020

SHEET NUMBER: 1 of 11

DESCRIPTION: SITE PLAN

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TODAY'S
49th HOMES
[1968] JIM BOZEMAN [2017]



DOOR & WINDOW SURROUNDS
ELLIPTICAL DESIGN WITH 1" LOUVERS
CAN BE BUILT WITH 3/4" PLYWOOD OR
CONCRETE FIBERBOARD CUT OUT
LOUVER INSERTS.
OPTION
DURABRACK PREFAB DETAIL

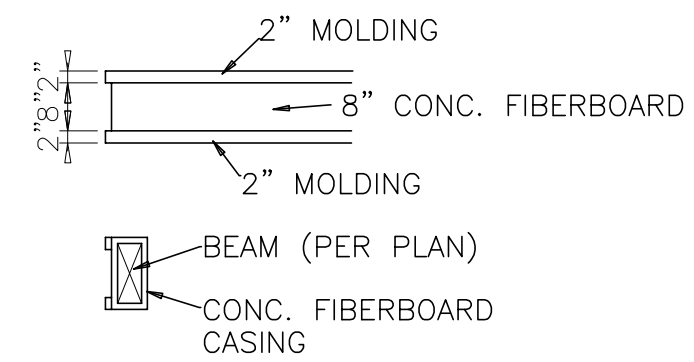
DOOR & WINDOW LOUVER DETAIL N.T.S.

- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- PERFORATED HARDIE SOFFIT SHEATHING.
- P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5/4"x12" HARDIE BOARD TRIM.
- NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAD TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 36" HIGH RAIL WITH 2 1/2" P.T. TURNED WOOD PICKETS AT 4" O.C.
- PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- BRICK VENEER (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT).
- BRICK PAVERS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.

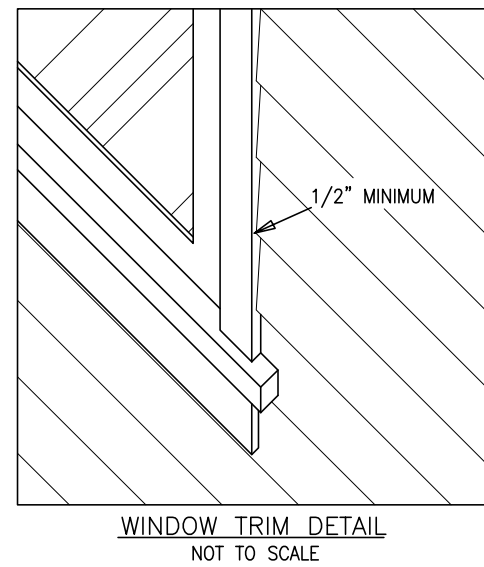
FRONT ELEVATION



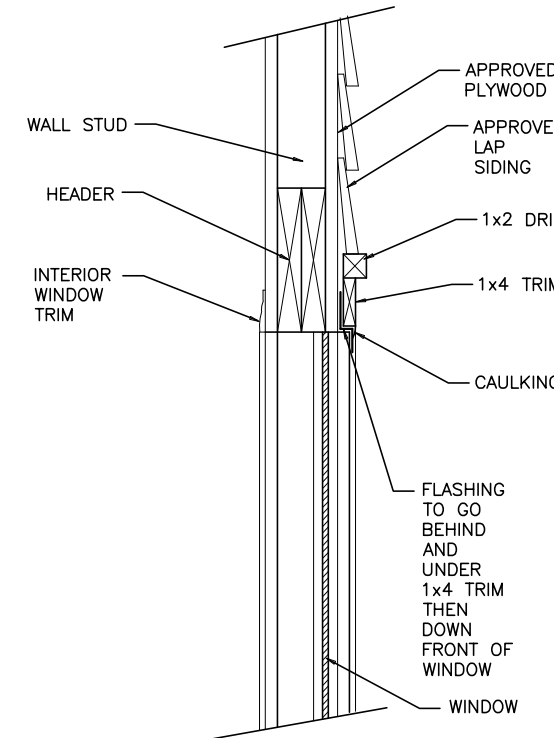
RIGHT ELEVATION



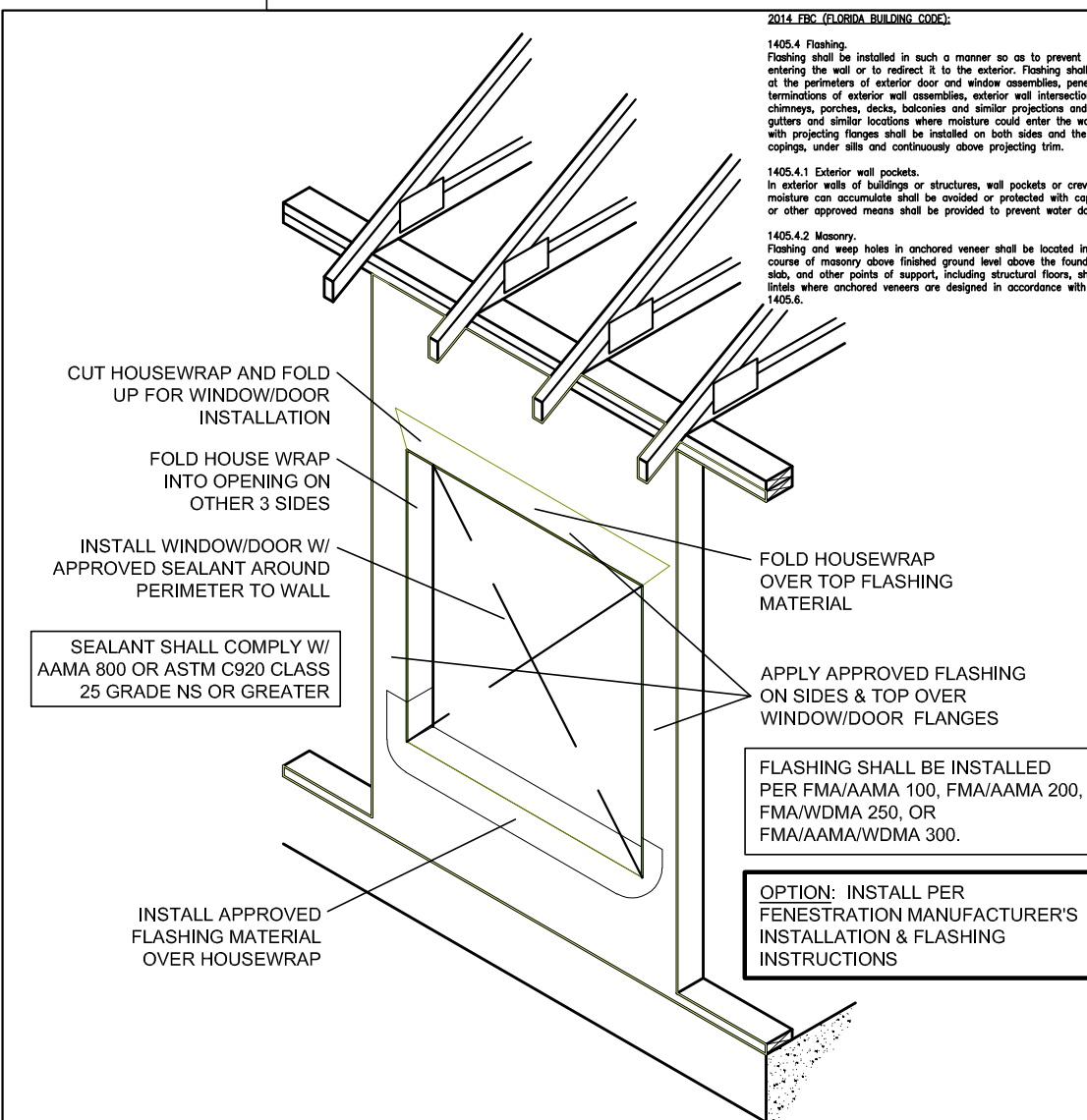
CASED BEAM DETAIL
3/8"=1'-0"



WINDOW TRIM DETAIL
NOT TO SCALE



DRIP CAP DETAIL
No Scale



TYPICAL FLASHING DETAIL
No Scale



REAR ELEVATION



LEFT ELEVATION

- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- 2) PERFORATED HARDIE SOFFIT SHEATHING.
- 3) P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 4) 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5) 5/4"x12" HARDIE BOARD TRIM.
- 6) NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 7) "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 8) RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAIN TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 9) 36" HIGH RAIL WITH 2 1/2" P.T. TURNED WOOD PICKETS AT 4" O.C.
- 10) PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE. INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- 11) BRICK VENEER (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- 12) BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT).
- 13) BRICK PAVERS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.

DESCRIPTION: ELEVATIONS

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DATE: NOV. 15 2019

DRAWN BY: J. GRAY

DRAWING NO.:
B-1420

SHEET NUMBER:
3 OF 11

SCALE: 1/4"=1'-0"

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

The floor plan shows four identical residential units arranged in a row. Each unit consists of the following spaces and features:

- Garage:** 400 S.F. (top of each unit)
- Kitchen:** Includes a range w/ micro, refrigerator w/ water, pantry, island w/elec. bar, and a sink w/ dishwasher.
- Dining:** Includes a dining table and a sofa.
- Living:** Includes a sofa.
- Powder:** Includes a toilet, sink, and mirror.
- Bathroom:** Includes a toilet, sink, mirror, and shower.
- Porch:** 77 S.F. (bottom of each unit)
- Stairs:** Up and down stairs are located between the living and dining areas.
- Entrances:** Each unit has a main entrance and a side entrance from the porch.

Overall dimensions and layout details are provided throughout the plan, including room dimensions, wall thicknesses, and structural elements like columns and beams.

Summary of Unit Areas:

Unit	First Floor (S.F.)	Second Floor (S.F.)	Total Living Area (S.F.)
Unit 1 (Left)	939	1483	2422
Unit 2 (Second from Left)	777	1240	2017
Unit 3 (Second from Right)	777	1240	2017
Unit 4 (Right)	939	1483	2422

BUILDING B FIRST FLOOR

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32502
(904) 478-7540 FAX (904) 478-0775

SHEET NUMBER:

G NC
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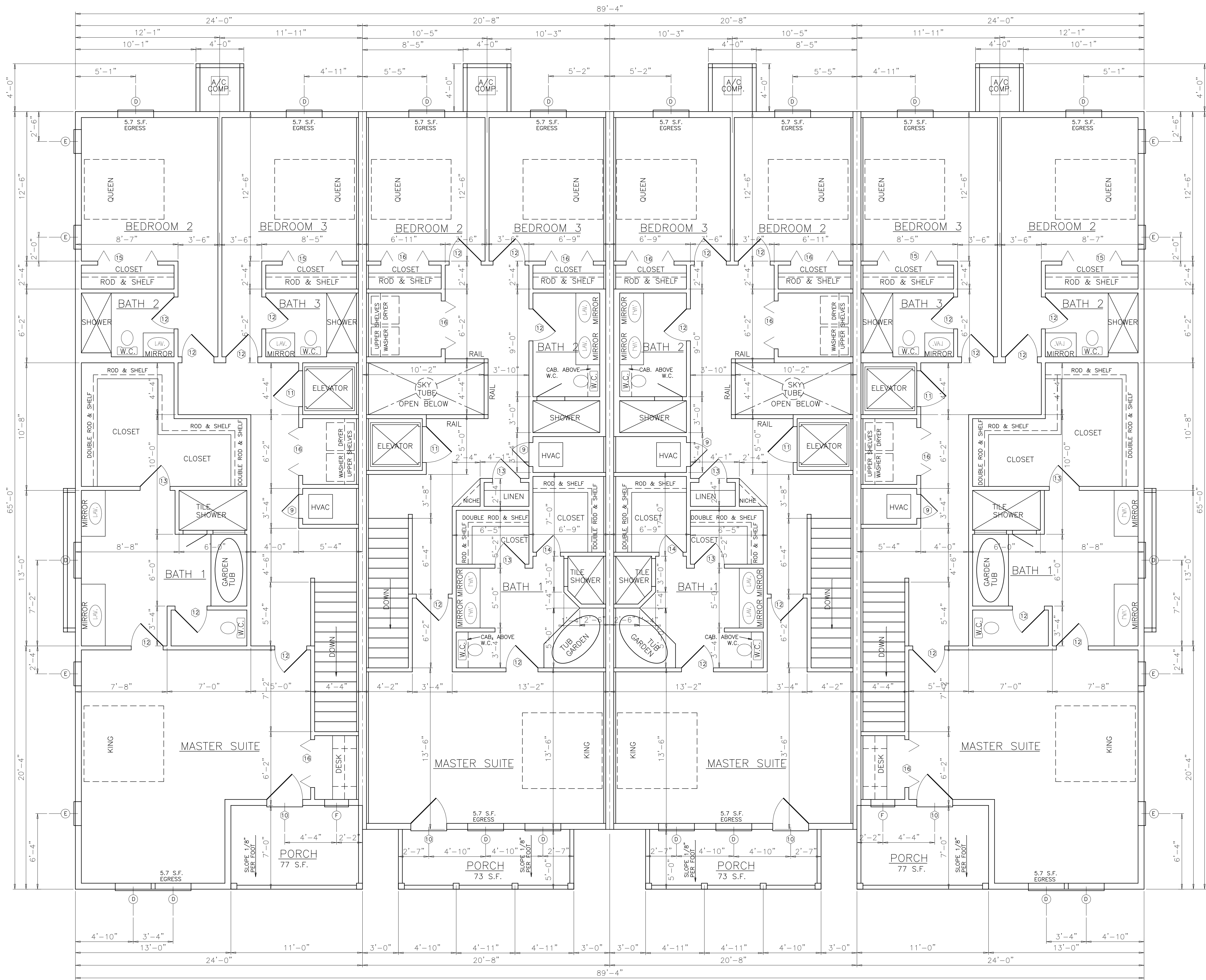
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VERIFY DIMENSIONS BEFORE CONSTRUCTION.
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51st HOMES
TODAYS
1968 BOZEMAN 2019



BUILDING B SECOND FLOOR

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANTAZA ST., PENSACOLA, FL 32502
(850) 432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: NOV. 15 2019

DESCRIPTION: SECOND FLOOR

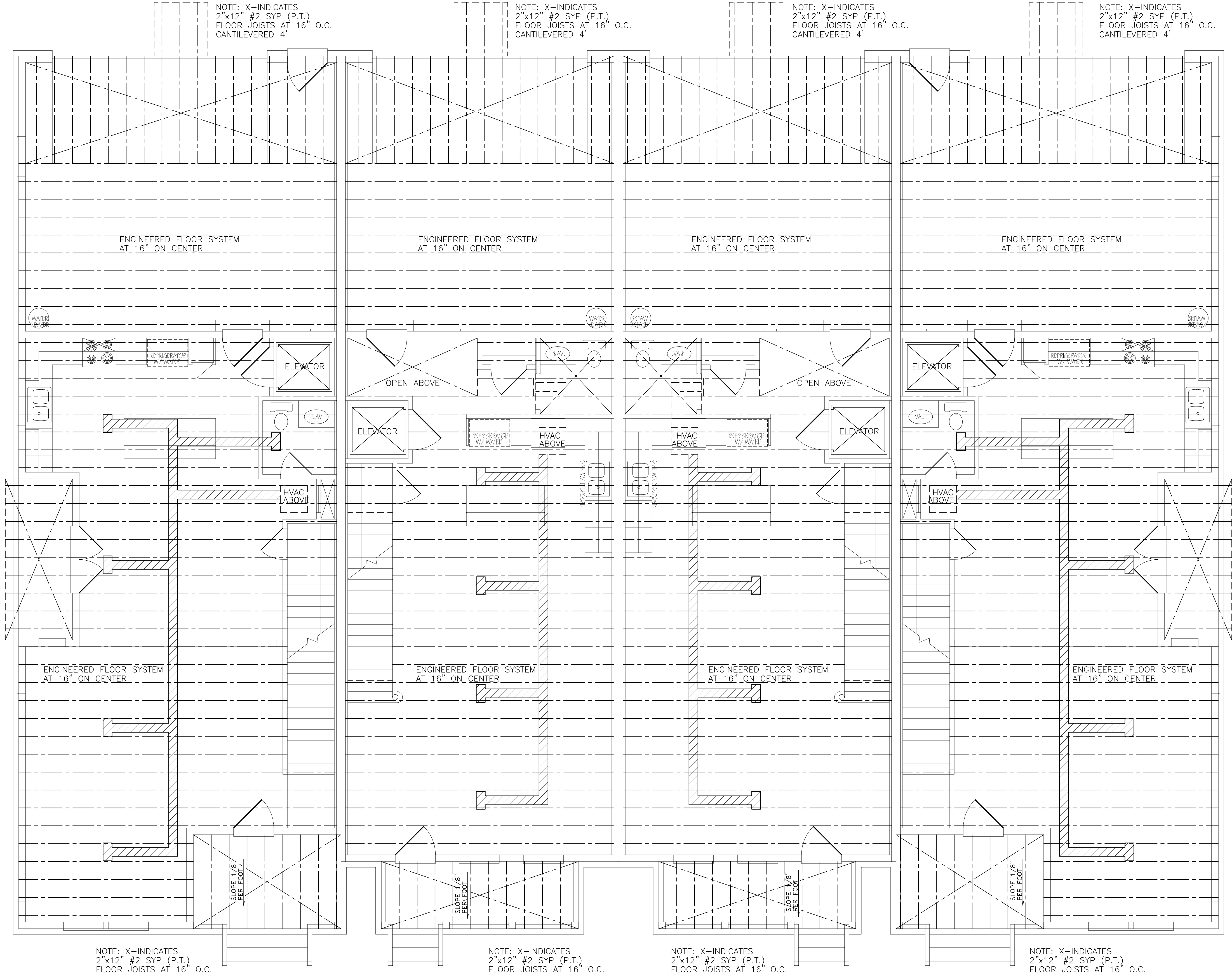
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SHEET NUMBER:
5 OF 11

DRAWING NO.:
B-1420

TODAY'S HOMES
51st
1966 JIM BOZEMAN 2019

NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.
CANTILEVERED 18"



NOTE: X-INDICATES
2"x12" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.
CANTILEVERED 18"

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. CALHOUN ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: DEC. 3 2019

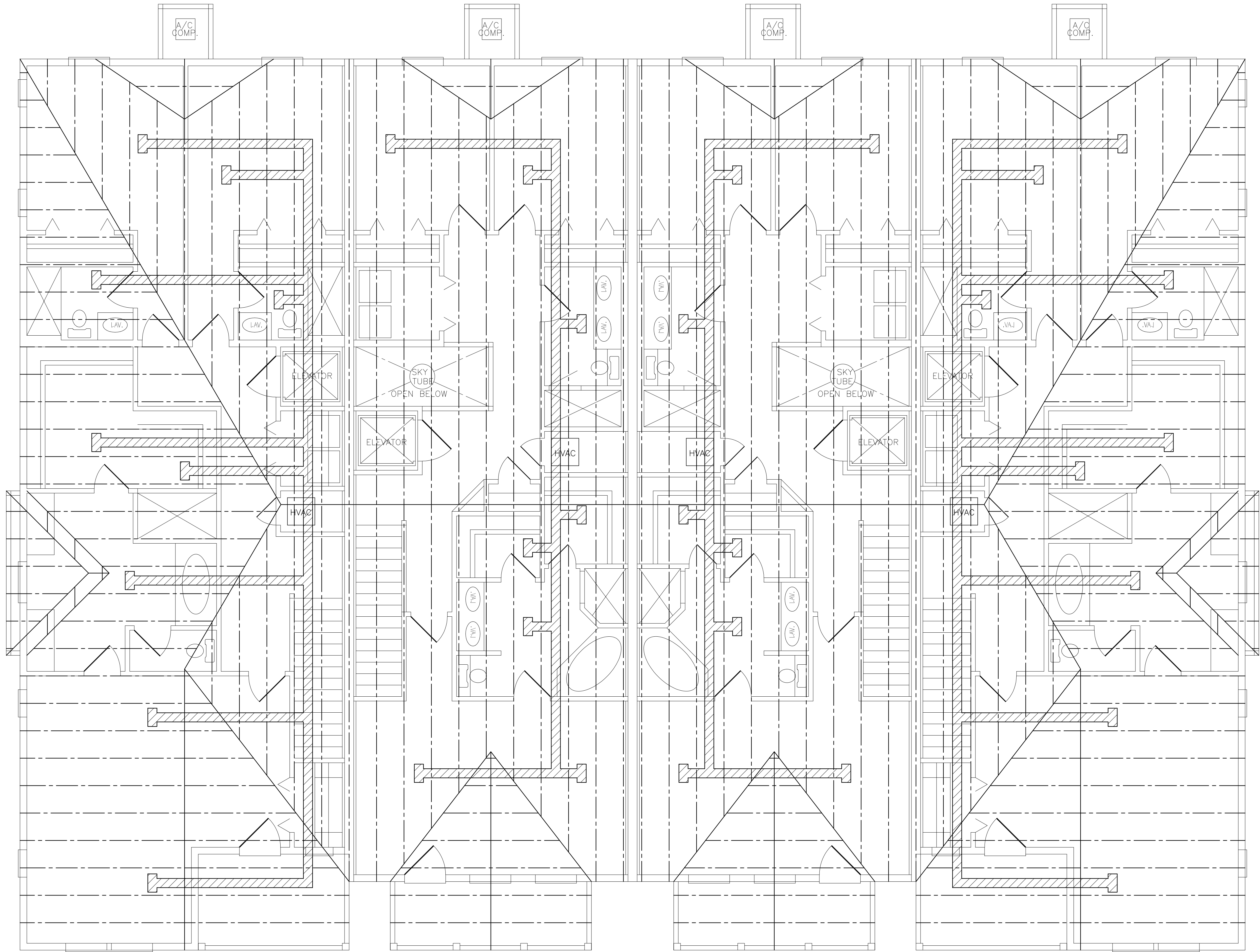
DESCRIPTION: FLOOR FRAMING

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DRAWING NO.:
B-1420

SHEET NUMBER:
7 OF 11

TODAY'S HOMES
51st
1968 JIM BOZEMAN 2019



GENERAL NOTES:

ENGINEERED TRUSSES AT 24" ON CENTER
TRUSS MANUFACTURER TO VERIFY TRUSS
LAYOUT & FURNISH TRUSS DESIGN WITH
ENGINEER'S SEAL.

SEE ELEVATIONS FOR ROOF PITCH & OVERHANG.

MECHANICAL CONTRACTOR TO VERIFY DUCT
LAYOUT & GRILL SIZE TO UNIT SPECIFICATIONS.

CONTRACTOR TO VERIFY UNIT SIZE.

RETURN-AIR VENT ABOVE BEDROOM DOORS

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANTAZA ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

DRAWN BY: J. GRAY
DATE: DEC. 3, 2019
DRAWING NO.: B-1420
SCALE: 1/4"=1'-0"
SHEET NUMBER:
8 OF 11

DESCRIPTION: ROOF FRAMING
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TODAY'S HOMES
51st
1968 JIM BOZEMAN 2019

***** NOTICE *****

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

FAILURE TO CALL FOR INSPECTION MAY RESULT IN FOOTING BEING REPLACED.

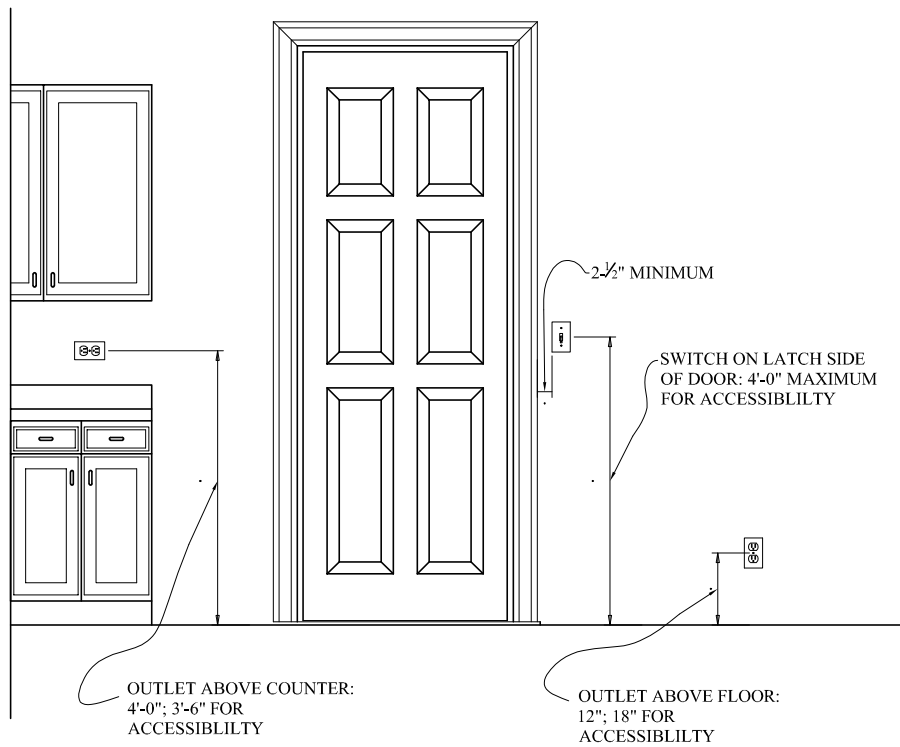
NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

E3802.11 BEDROOM OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

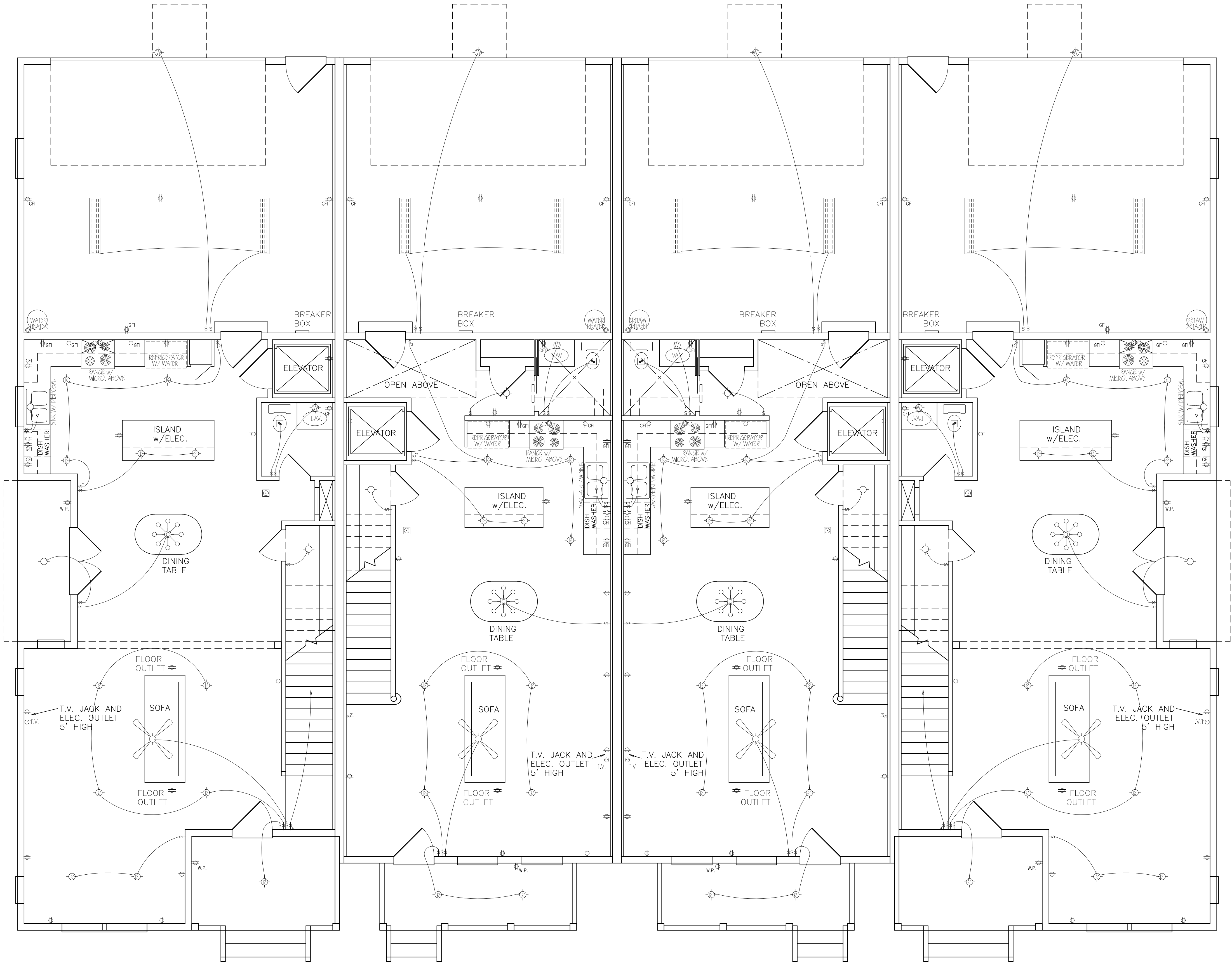
E3803.4 STORAGE OR EQUIPMENT SPACES. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

ELECTRICAL LEGEND:

- ⊙ GAS LINE
- ⊙ CABLE T.V. OUTLET
- ⊕ 110V ELECTRICAL OUTLET
- W.P. WEATHER-PROOF EXTERIOR 110V ELECTRICAL OUTLET
- GFI GROUND-FAULT-INTERFACE 110V ELECTRICAL OUTLET
- ⊕ 110V ELECTRICAL OUTLET UNDER COUNTER FOR BUILT-IN APPLIANCES
- ⊕ 220V OUTLET
- ⊕ DOOR BELL
- ▶ PHONE OUTLET
- DOOR BELL CHIMES
- EXHAUST FAN
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- 2-WAY WALL SWITCH
- 3-WAY WALL SWITCH
- 4-WAY WALL SWITCH
- CEILING MOUNTED LIGHT
- WALL-MOUNTED LIGHT
- RECESSED LIGHT
- HANGING "DROP" LIGHT
- CHANDELIER (SEE OWNER)
- CEILING FAN (PLAN SHOWS LIGHT KITS ADDED)
- FLUORESCENT LIGHT FIXTURE 4" FLOOR, BULBS
- FLUORESCENT STRIP LIGHT
- WALL-MOUNTED SCONCE LIGHT



HEIGHTS OF SWITCHES AND OUTLETS



BUILDING B FIRST FLOOR ELECTRICAL

***** NOTICE *****

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

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E3803.4 STORAGE OR EQUIPMENT SPACES. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

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- ⊙ GAS LINE
- ⊗ CABLE T.V. OUTLET
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- ⊕ DOOR BELL CHIMES
- ⊕ EXHAUST FAN
- ⊕ SMOKE ALARM
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ 2-WAY WALL SWITCH
- ⊕ 3-WAY WALL SWITCH
- ⊕ 4-WAY WALL SWITCH
- ⊕ CEILING MOUNTED LIGHT
- ⊕ WALL-MOUNTED LIGHT
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- ⊕ CHANDELIER (SEE OWNER)
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- ⊕ FLUORESCENT STRIP LIGHT
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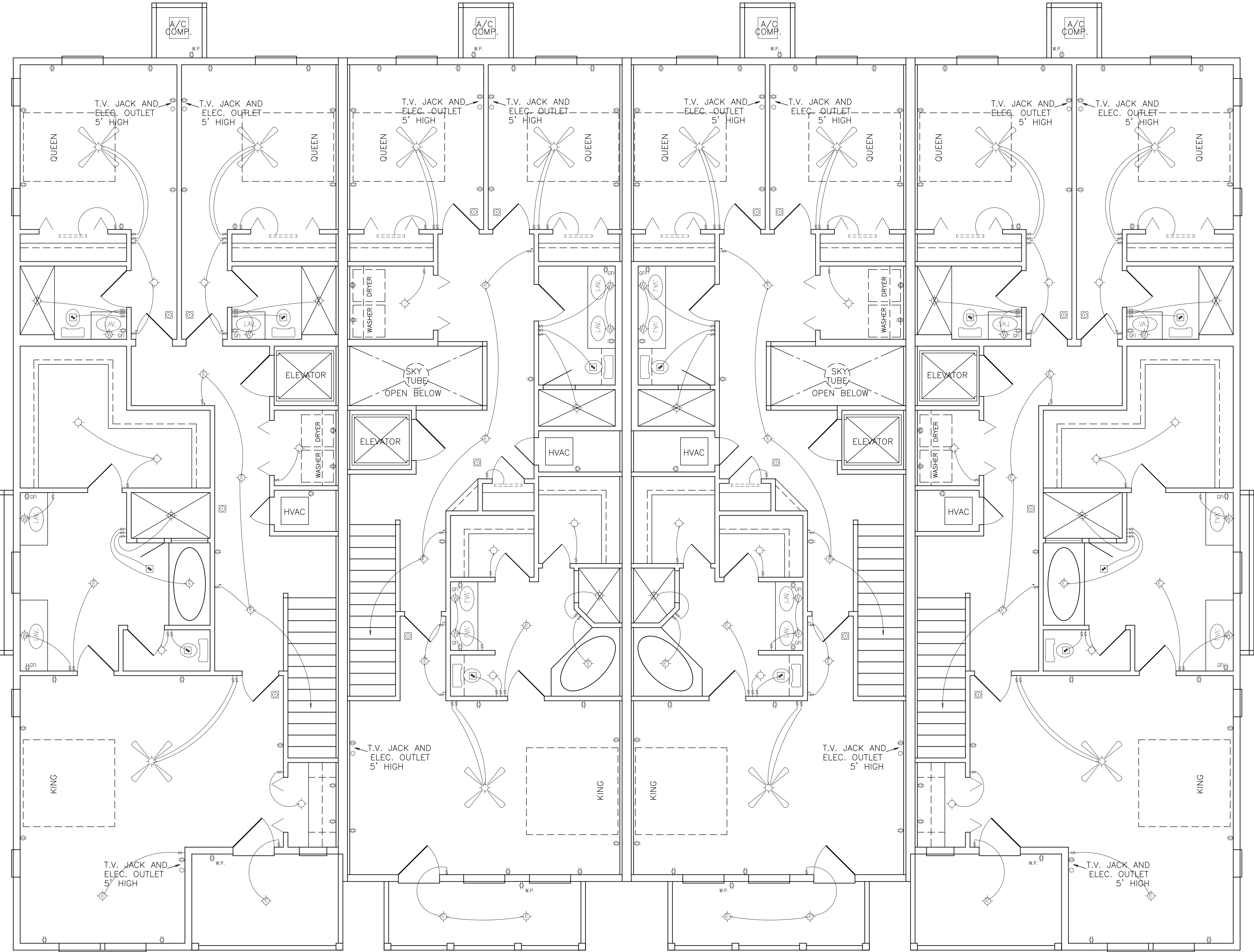
OUTLET ABOVE COUNTER: 4'-0", 3'-6" FOR ACCESSIBILITY

OUTLET ABOVE FLOOR: 12", 18" FOR ACCESSIBILITY

SWITCH ON LATCH SIDE OF DOOR: 4'-0" MAXIMUM FOR ACCESSIBILITY

2'-0" MINIMUM

HEIGHTS OF SWITCHES AND OUTLETS



BUILDING B SECOND FLOOR ELECTRICAL

TODAYS
51st HOMES
1968 JM BOZEMAN 2019

DESCRIPTION: SECOND FLOOR ELECTRICAL

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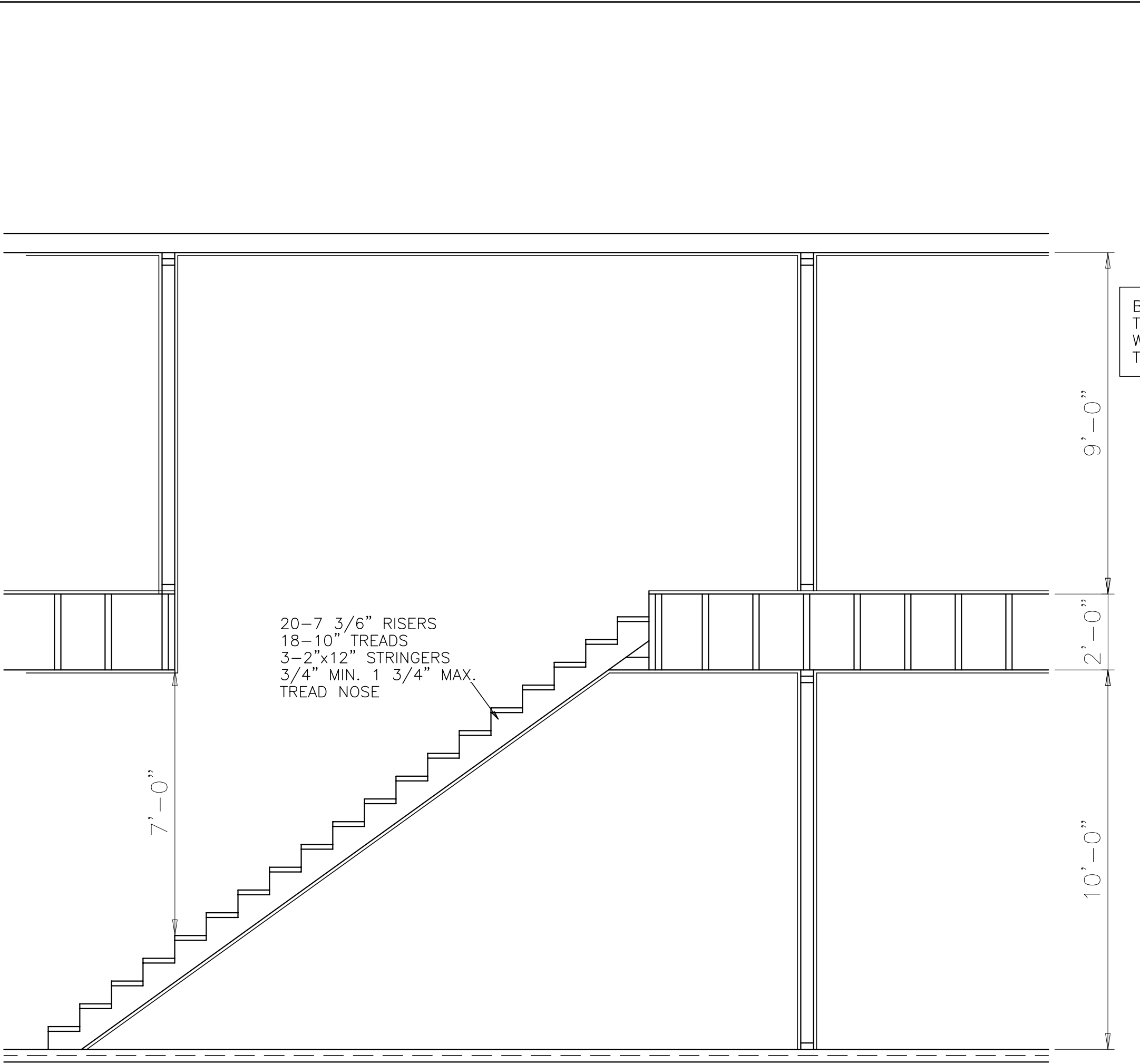
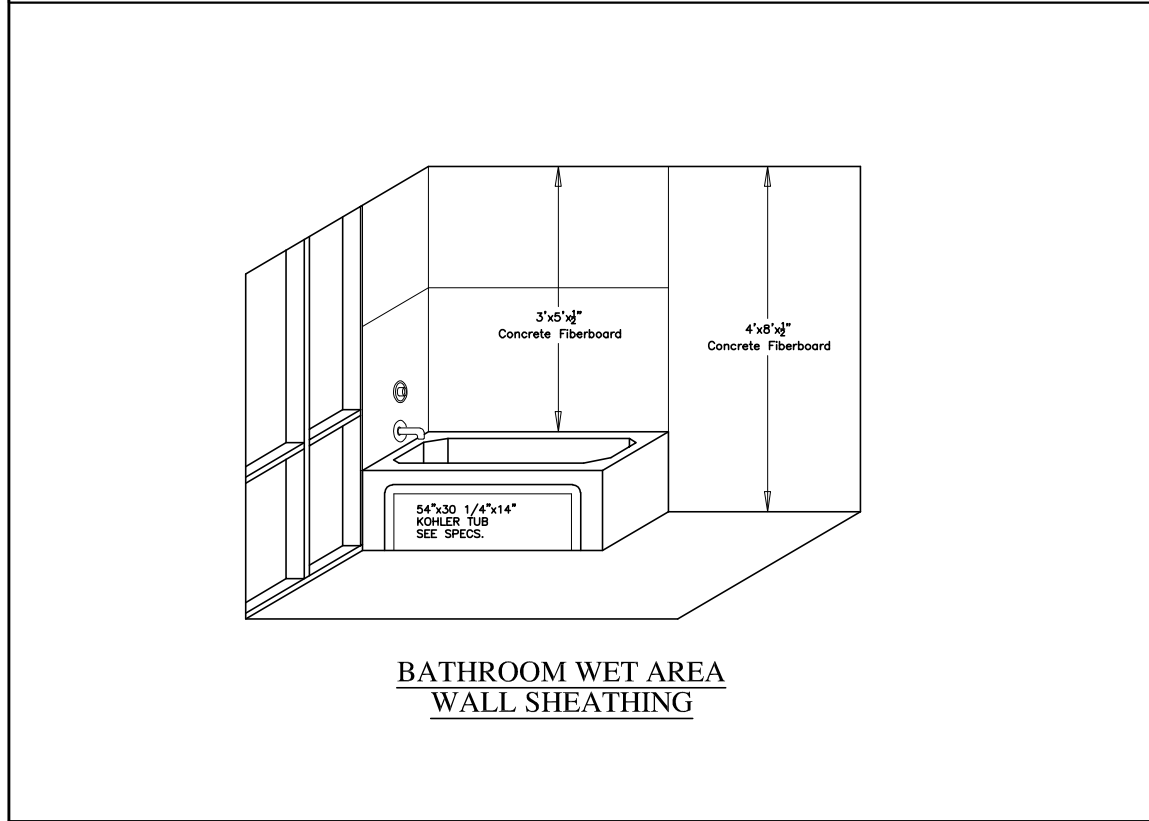
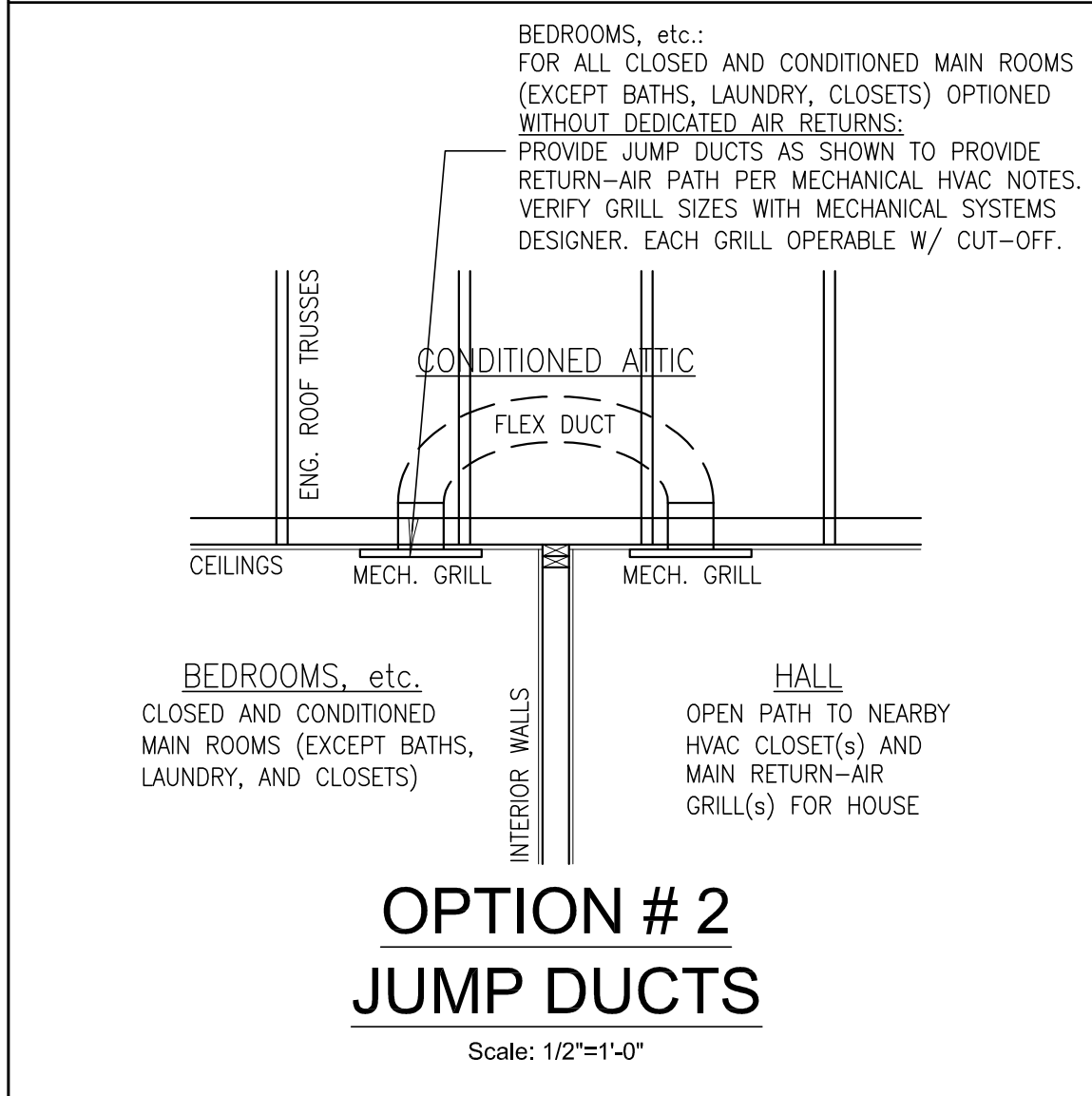
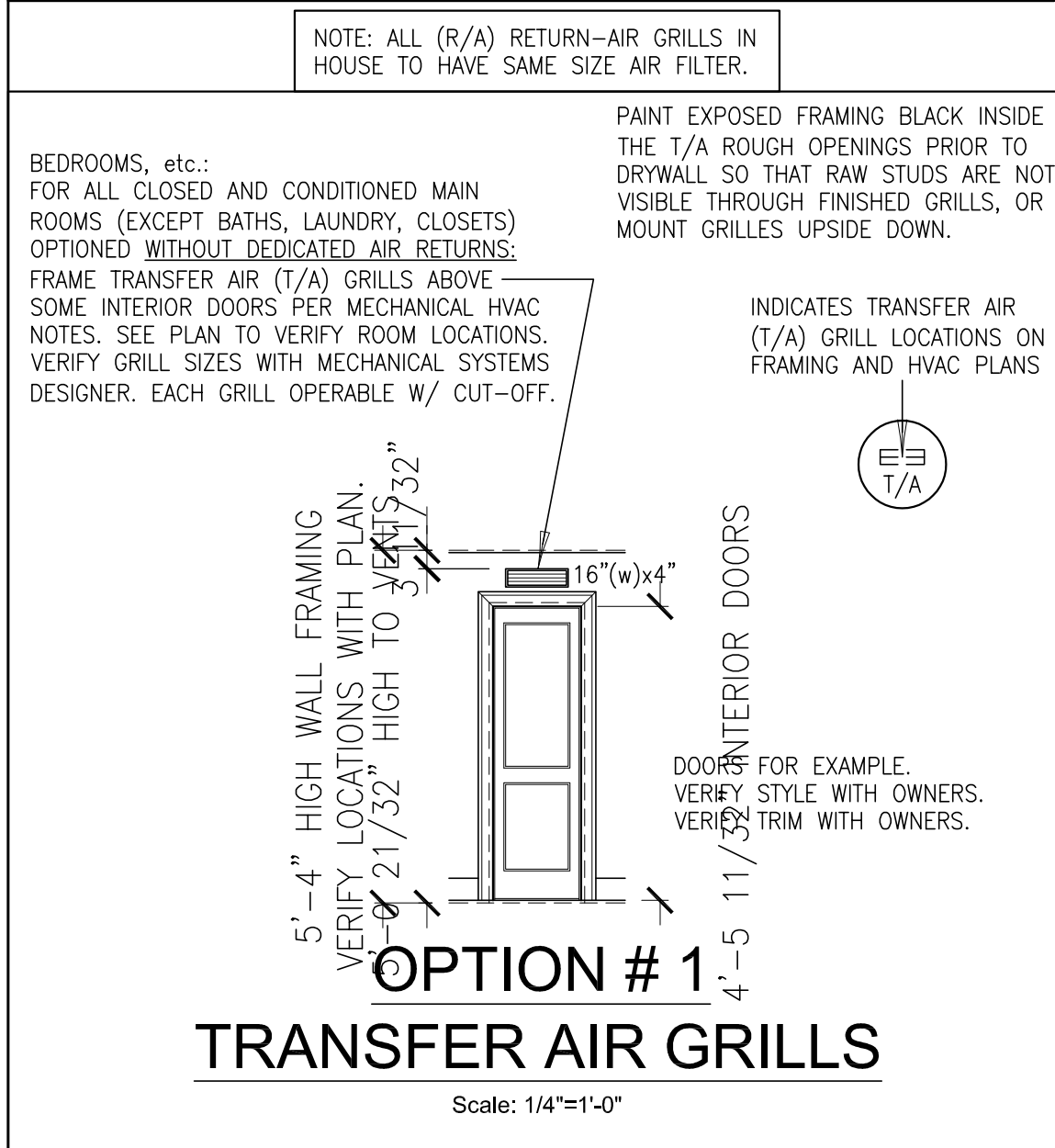
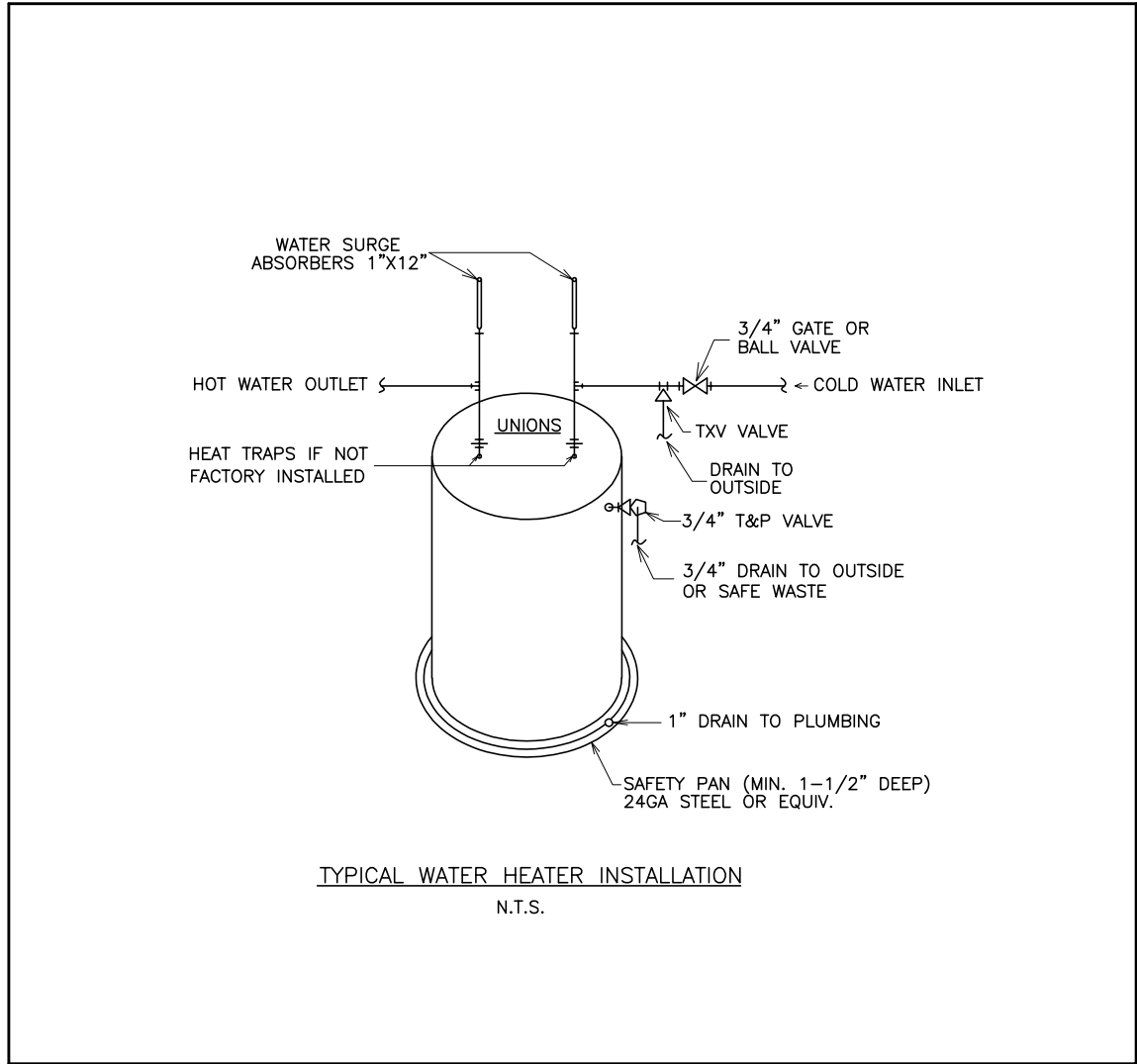
DATE: DEC. 3 2019

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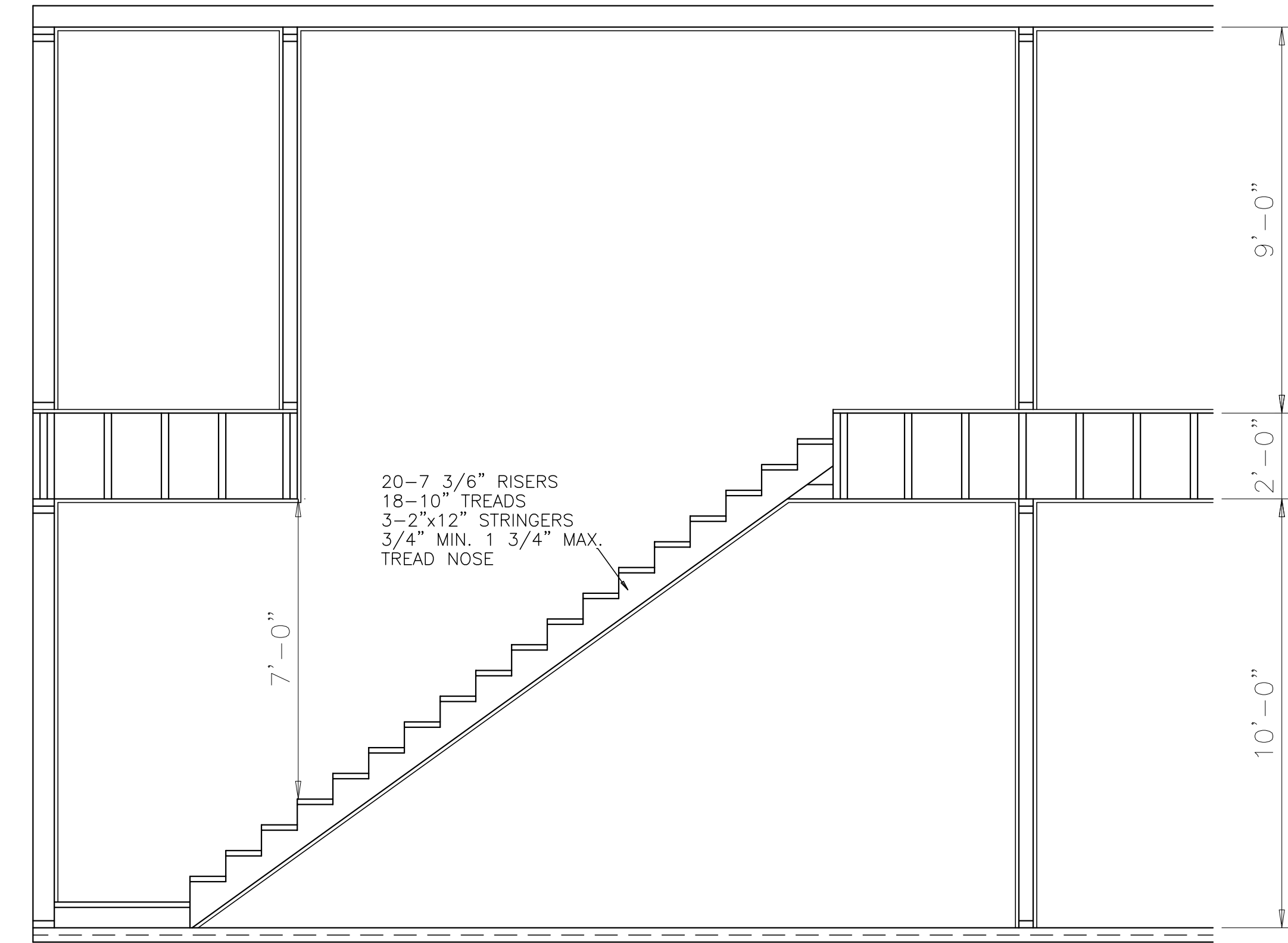
SHEET NUMBER: 10 OF 11

DRAWING NO.: B-1420

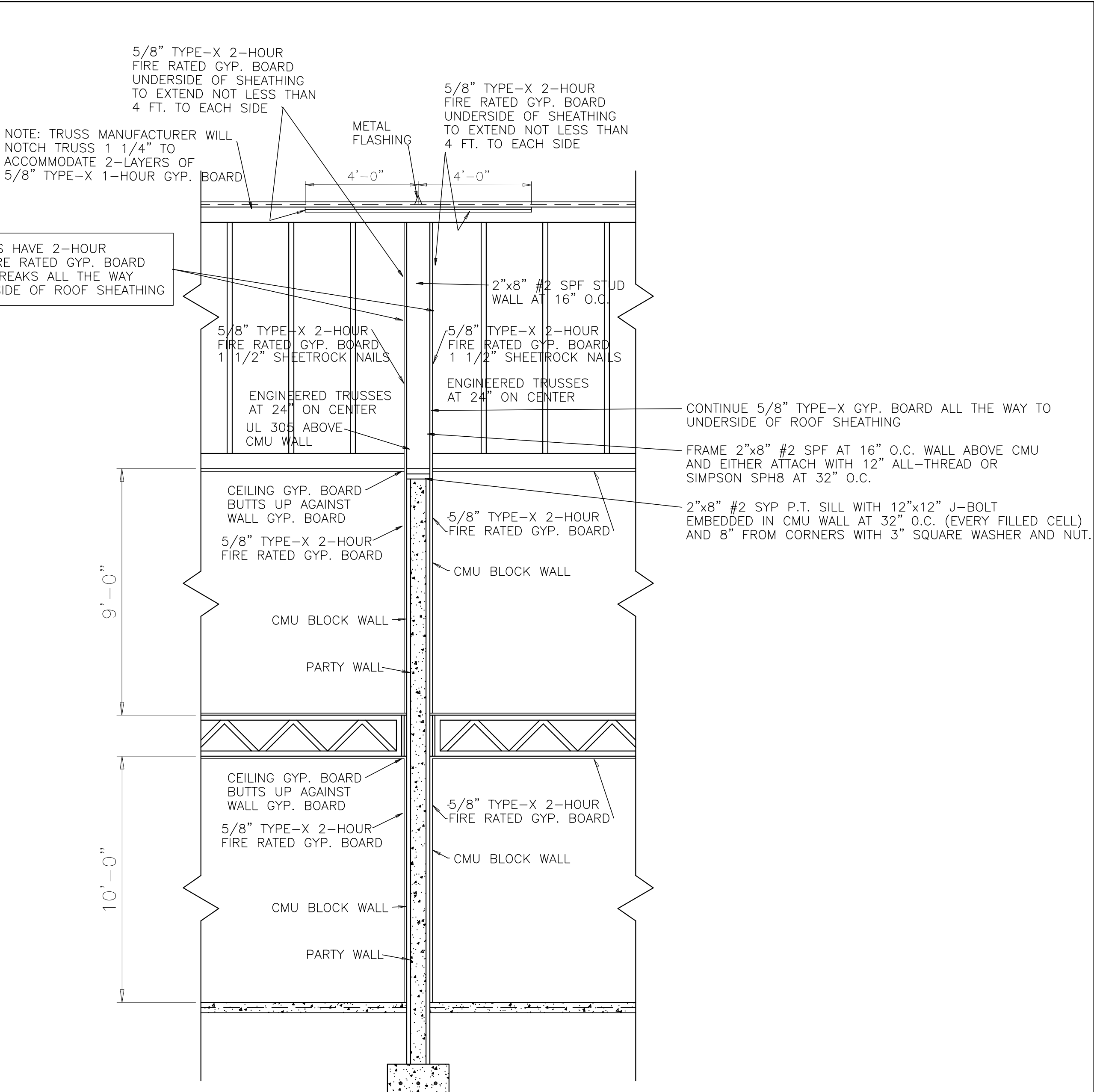
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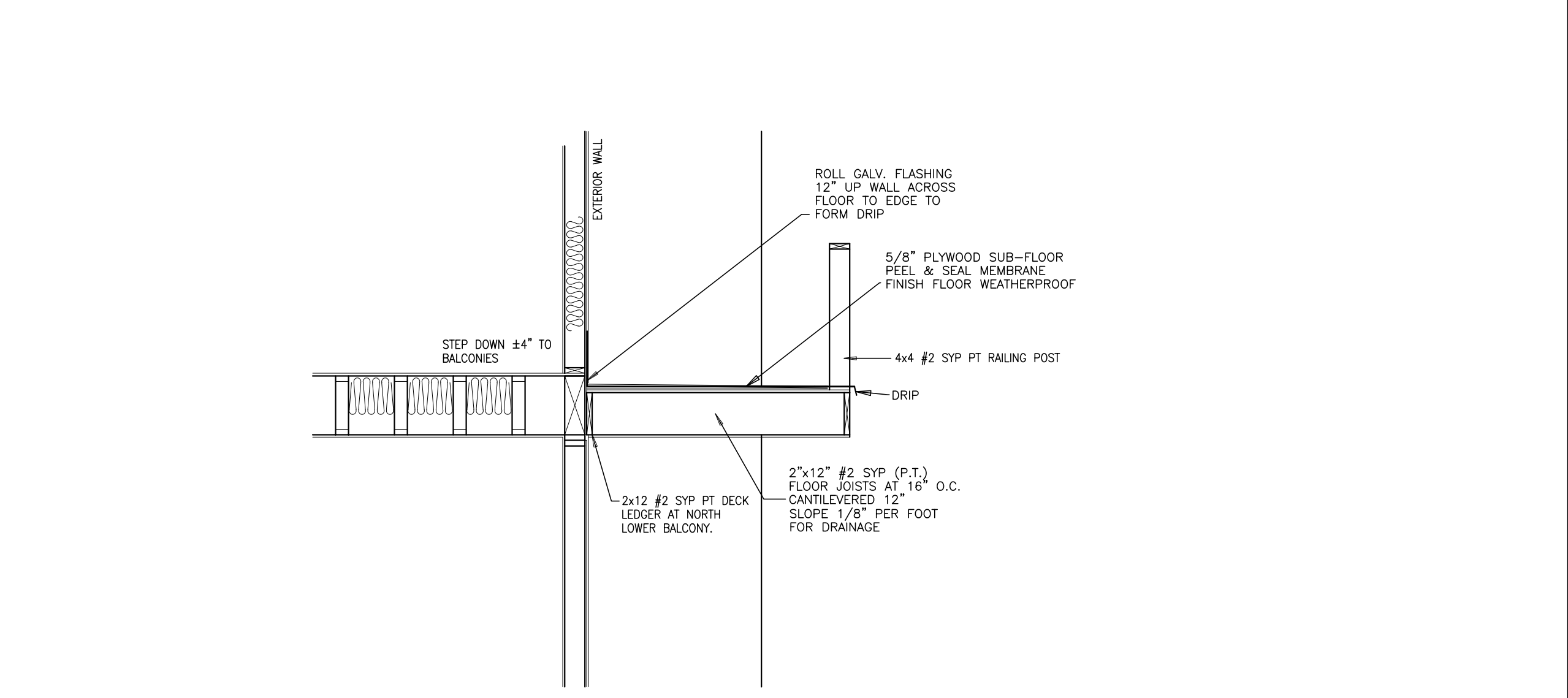
STAIR DETAIL MIDDLE UNIT
SCALE: 3/8"=1'-0"



STAIR DETAIL END UNITS
SCALE: 3/8"=1'-0"

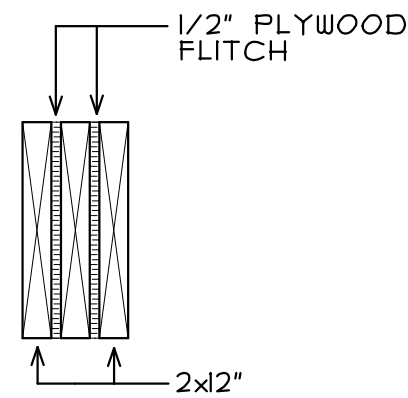


FIREWALL DETAIL
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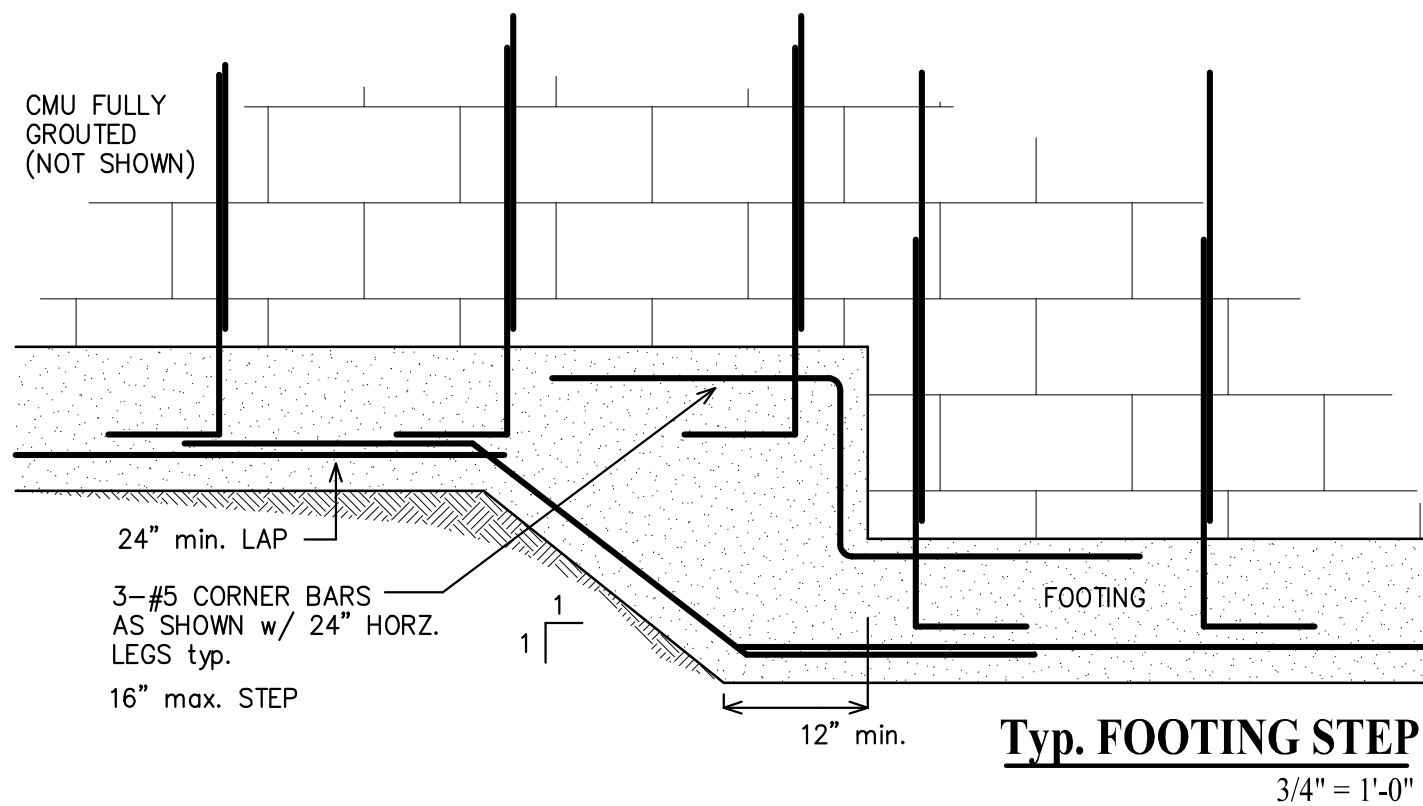


A/C BALCONY DETAIL
3/8"=1'-0"

1. CODE:
FLORIDA BUILDING CODE, 2017
AMERICAN CONCRETE INSTITUTE (ACI318)
NFPA 1 / NFPA 101 AND ALL LOCAL AND STATE CODES
2. GENERAL DETAILS: AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SUBJECT TO DETAIL DESIGNER'S DESIGN CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATION AND SAFETY REQUIREMENTS.
3. DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER SHALL ISSUE ADDITIONAL INSTRUCTIONS TO ALL CONCERNED, ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CORRECTIONS SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.
4. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, AS REQUIRED FOR THE PROTECTION OF LIFE AND LIMB OF THE CONSTRUCTION OF THIS BUILDING. EXCESS LOAD CAPACITY OF SLAB SHALL NOT EXCEED LOADS EQUIVALENT TO THE DESIGN SUPERIMPOSED LOADS LESS CONSTRUCTION DEAD AND LIVE LOADS. DESIGN SUPERIMPOSED LOADS INCLUDE LIVE LOAD, PARTITION LOAD, AND ANY OTHER LOAD NOT IN PLACE AT THE TIME OF SHORING.
5. EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION WORK INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
6. OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
7. BACKFILL: BACKFILL AROUND THE EXTERIOR PERIMETER OF WALL SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR (7) SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL INTERIOR FLOOR (7) SYSTEMS ARE COMPLETELY IN PLACE. BACKFILL AROUND FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION OF INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.
8. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
9. WELDING: ALL WELDING SHALL BE PERFORMED BY WELDERS LICENSED FOR THE TYPE OF WELDING TO BE MADE. SEE SPECIFICATIONS FOR WELDING PROCESS TO BE USED. WELDING OF REINFORCING STEEL FOR USE IN STRUCTURAL CONCRETE OR STRUCTURAL MASONRY SHALL BE PERMITTED ONLY WHERE SPECIFICALLY DESIGNATED BY THE ARCHITECT OR WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
10. SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
11. INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS, SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN INSPECTION. ALL INSPECTIONS UNLESS SPECIFICALLY CONTRACTED FOR.
12. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE SURE THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
13. SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A REVIEW OF ALL SHOP DRAWINGS CHECKED. SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR THE PURPOSE OF REVIEWING THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, OR THAT THE CONTRACTOR WILL SUPERSEDE THE STRUCTURAL DRAWINGS.



TYP. WALL HEADER
UNLESS NOTED OTHERWISE



1. STRUCTURAL TIMBER EXCEPT WALL STUDS SHALL BE #2 SOUTHERN PINE (19% MAX. MOISTURE CONTENT)
2. PLYWOOD/OSB SHEATHING SHALL BE APA RATED (PPK-108)
3. EXTERIOR STUD AND SHEAR WALL TO HAVE SLOD BLOCKING AT SHEATHING JOINTS
4. ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.
5. ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER'S STATE REGISTERED ENGINEER.
6. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS, MATERIALS AND CONDITIONS.
7. SPLICES AT MULTI-BOARD CONTINUOUS BEAMS SHALL BE ALLOWED FOR ONE BOARD ONLY PER SPAN AND ONLY AT THE QUARTER POINT OF THE SPAN, UNLESS SHOWN OTHERWISE.

1. CONCRETE PLACEMENT AND QUALITY: SPECIFIED IN PROJECT SPECIFICATIONS.
2. DEBRIS: REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.
3. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS AND COLUMNS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTH SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED EIGHT FEET, AND A SUFFICIENT NUMBER SHALL BE USED TO ENSURE THAT THE CONCRETE IS KEPT LEVEL AT ALL TIMES.
4. INSERTS: ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING
5. SPLICES: MAINTAIN MIN. LAP DISTANCE AT ALL SPLICES
6. CONSTRUCTION JOINTS: CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN, SOLIDLY EMBEDDED AGGREGATE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF CONSTRUCTION JOINT LOCATION IN SLABS AND BEAMS.
7. TEMPERATURE AND SHRINKAGE REINFORCEMENT: _____ SHALL HAVE A LAP OF THIRTY (30) BAR DIAMETERS, BUT NOT LESS THAN 18 INCHES. _____ AND THE SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN FIVE (5) FEET APART.
8. REBAR GRADES: ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:

#3 & SMALLER BARS.....	GRADE 40
#4 & LARGER BARS.....	GRADE 60

THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS SHALL NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI (RETEST SHALL NOT EXCEED THIS VALUE BY MORE THAN AN ADDITIONAL 3,000 PSI) AND THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL TENSILE YIELD STRENGTH IS NOT LESS THAN 1.25
9. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO ASTM A62 AND A185.
10. WELDING: TACK WELDING OF CHUTES IS NOT PERMITTED UNLESS CALLED FOR OR APPROVED BY THE ENGINEER. WELDING OF CHUTES, HOPPERS, TIES, INSERTS OR OTHER SIMILAR ELEMENTS TO LONGITUDINAL REINFORCING BARS SHALL NOT BE PERMITTED.
11. REBAR COVER: MINIMUM REBAR COVER FOR PRESTRESSED CONCRETE SHALL AS BE SHOWN IN THIS TABLE:

EXPOSURE CONDITION	MINIMUM COVER	TOLERANCE (-)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"	3/8 INCH
EXPOSED TO EARTH OR WEATHER: NO. 5 AND SMALLER BARS	3"	1/4 INCH
SLABS ON GRADE	2"	1/4 INCH

12. TOLERANCES FOR REBAR PLACEMENT: TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS TWO (2) INCHES, EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE 1/2 INCH.

13. CONCRETE QUALITY: SHALL BE AS SHOWN IN TABLE BELOW:

CONCRETE USE	STRENGTH AT 28 DAYS	SUMP	AIR	AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	3000	6"	-	1 1/2"	HARDROCK
GRADE SLAB	3000	4"	-	1"	HARDROCK

14. CONCRETE WEIGHT: ALL CONCRETE SHALL BE OF REGULAR WEIGHT OF 145 POUNDS PER CUBIC FOOT UNLESS NOTED OTHERWISE.
15. AGGREGATE: SIZE OF AGGREGATE SHALL CONFORM TO ASTM C33-85.
3/4".....ASTM SIZE C67
1".....ASTM SIZE C57
16. CEMENT: SHALL BE TYPE II.
17. CONCRETE AGE: NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY.
18. WET SET: REINFORCEMENT MAY NOT BE WET SET IN CONCRETE POURS.
19. ROUGHENED SURFACES: WHERE INDICATED ON THE DRAWINGS, ROUGHENED SURFACES SHALL BE PROVIDED BY MEANS OF HEAVY RAKING OR GROOVING. OTHER METHODS MAY BE ACCEPTABLE. PENDING WRITTEN APPROVAL FROM THE ENGINEER. ALL INTERFACING SURFACES MUST BE CLEAN AND FREE OF LOOSE MATERIALS.
20. ADMIXTURES: NO ADMIXTURES SHALL BE ADDED TO THE CONCRETE MIX WITHOUT THE APPROVAL OF THE ENGINEER, UNLESS NOTED OTHERWISE.
21. CONCRETE TESTINGS: ALL TESTINGS SHALL BE PERFORMED BY INDEPENDENT LABORATORY.
TESTING PER:
a. ASTM C143
b. ASTM C39 : 1 TEST CYLINDER PER 50 CUBIC YARDS (OR FRACTIONS THERE OF) PLACED PER DAY. REQUIRED CYLINDER(S) QUANTITIES AND TEST AGE AS FOLLOWS:
1 AT 7 DAYS
1 AT 28 DAYS
ONE ADDITIONAL RESERVE CYLINDER TO BE TESTED UNDER DIRECTION OF THE ENGINEER. IF 28 DAY STRENGTH IS ACHIEVED, THE ADDITIONAL CYLINDER(S) MAY BE DISCARDED.

LOCATION:	LOADING: PSF	
	LIVE LOAD	DEAD LOAD
ROOF		
TOP CHORD	20	15
BOTTOM CHORD	5	10
FLOOR	40	15

DIRECTIONAL PROCEDURE FOR ASCE 7-10

DESIGNED FOR: 155 MPH (ULT.)	116 MPH ALLOWABLE STRESS DESIGN
TERRAIN EXPOSURE CATEGORY: B	
GUST EFFECT FACTOR: 0.85	<u>DEAD AND LIVE LOAD:</u>
INTERNAL PRESSURE: +/- 0.18	ROOF LIVE LOAD: 20 PSF
RISK (OCCUPANCY) CATEGORY: II	ROOF DEAD LOAD: 15 PSF
	CEILING DEAD LOAD: 5 PSF

WALL PRESSURE FOR COMPONENTS AND CLADDING:			
Vasd (ULT) mph	AREA (sqft)	INTERIOR (ZONE 4)	END (ZONE 5)
120 (155)	up to 50	26.0/-28.2	26.0/-34.8
	51 to 130	23.2/-25.5	23.2/-29.3

USE WIND SPEED REQUIRED BY DESIGN CRITERIA LISTED ABOVE
FOR EXPOSURE B
END ZONE= WITHIN 4FT OF MAIN BUILDING CORNERS

ABOVE 'BOXED' SECTION IS THE WRITTEN SPECIFICATIONS FOR THE TRUSS DESIGN OF THIS PROJECT.

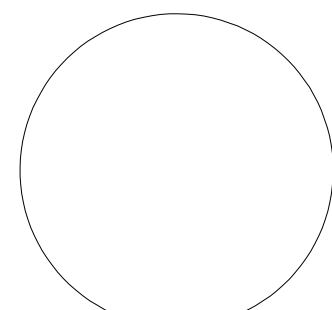
TRUSS MANUFACTURE SHALL MEET OR EXCEED THE REQUIREMENTS FOR WIND/GRAVITY DESIGN AS LISTED INCLUDING REQUIRED WIND SPEED, TERRAIN EXPOSURE CATEGORY, INTERNAL PRESSURE, BUILDING CATEGORY AND IMPORTANCE FACTOR.

1. FOUNDATION DESIGN BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF IN CLEAN SANDY SOILS.
2. CONTRACTOR SHALL VERIFY ALL ASSUMED CONDITIONS WITH A GEOTECHNICAL SOILS EXPLORATION AND REPORT. PROVIDE REPORT TO ENGINEER OF RECORD PRIOR TO INITIATION OF WORK. FOUNDATION MODIFICATION MAY BE REQUIRED UPON REVIEW OF GEOTECHNICAL REPORT.



Building 'B'

Pensacola, FL



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE

Pace, FL

850-393-0937

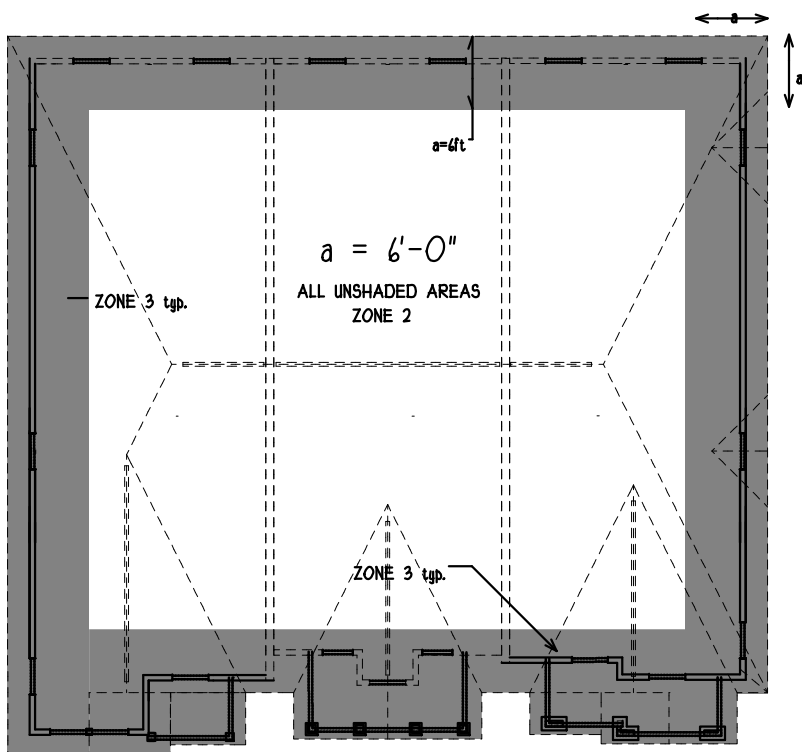
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S1 OF

6 SHEETS

ALL EXTERIOR WALL AND INTERIOR SHEAR WALLS	1/16" APA RATED SHEATHING W/ 8D NAILS AT 3" O.C. EDGE AND 12" O.C. INTERIOR SPACING
ROOF SHEATHING:	5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING
FLOOR SHEATHING:	3/4" APA RATED SHEATHING W/ 10D RING SHANK NAILS AT 4" O.C. EDGE 8" o.c. INTERIOR SPACING (GLUE & NAIL)
PORCH SHEATHING:	5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING

ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.

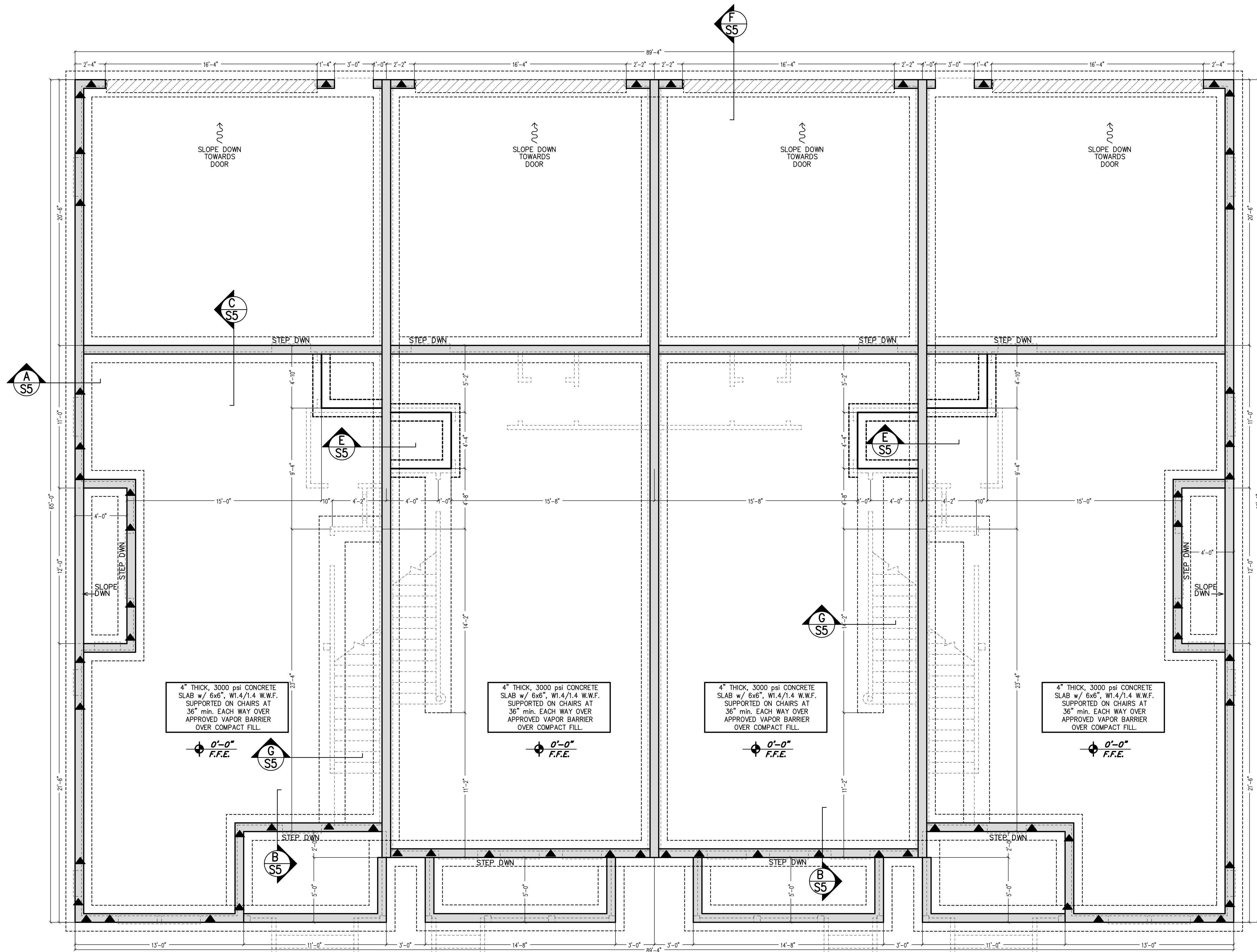


ROOF PRESSURE ZONES

MINIMUM UNIFORM WIND PRESSURE FOR ROOF CLADDING:		
	COMPONENT AREA (sf)	PRESSURE REQUIREMENT (psf)
ZONE 2 OVERHANG	WITHIN ZONE 2	-45.2
	WITHIN ZONE 3	-78.0
ZONE 3	10	-38.7
	50	-31.5
ZONE 3	10	-51.2
	50	-48.4

USE COMPONENT AREA OF 10 SQ FT FOR
ROOFING SYSTEM

COMPONENT AND CLADDING PRESSURE REQUIREMENTS (FOR ROOFS):



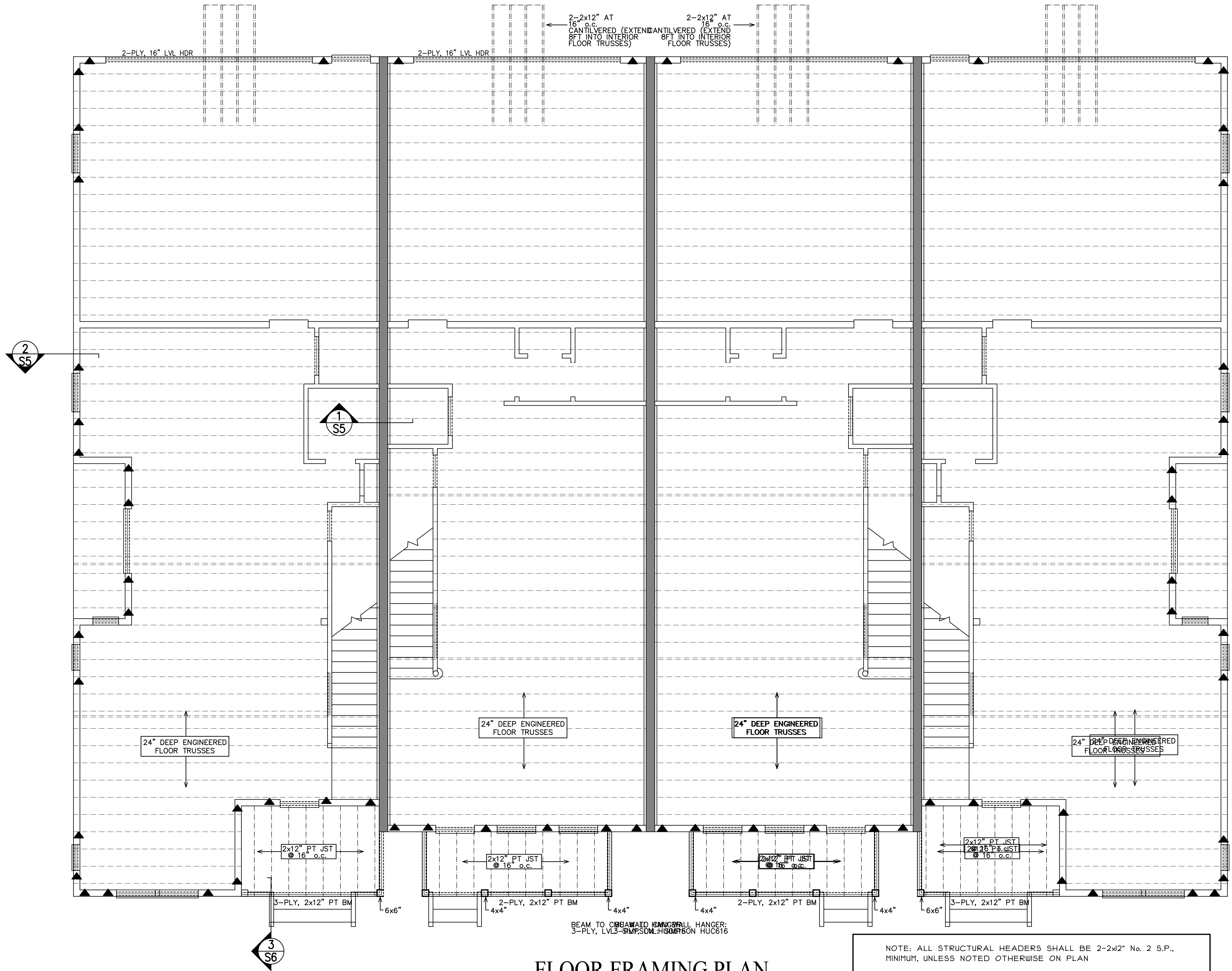
FOUNDATION PLAN
1/4" = 1'-0"

SAW CUT CONTROL JOINTS:
INTERIOR SLAB: 20'-0" o.c. EACH WAY
PLACE KEYED CONSTRUCTION JOINT
AS NEEDED

VERIFY TRUSS MANF. FINAL DESIGN FOR ALL
REQUIRED INTERIOR LOAD BEARING FOOTINGS.
SUBMIT DESIGN TO ENG. OF RECORD FOR
REVIEW PRIOR TO INITIATION OF WORK

WALL ANCHORS: (SEE DETAILS)

- ▲ : 5/8 x 12" L-BOLTS w/ 1" MIN. EMBEDMENT
COUPLED TO 5/8" A 3/4 THREADED ROD
EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED
w/ 3" x 3" x 1/4" WASHER AND NUT.
- ALL LOAD BEARING AND SHEAR WALLS:
5/8 x 12" L-BOLT w/ 2" WASHER REQUIRED AT WITHIN 8" EACH
SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32" O.C.



FLOOR FRAMING PLAN
1/4" = 1'-0"

NOTE: ALL STRUCTURAL HEADERS SHALL BE 2-2x12" No. 2 S.P., MINIMUM, UNLESS NOTED OTHERWISE ON PLAN

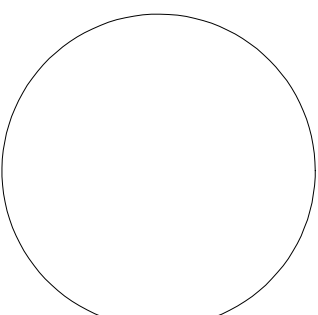
WALL ANCHORS: (SEE DETAILS)

- ▲ : 5/8 x 12" L-BOLTS W/ 1" MIN. EMBEDMENT COUPLED TO 5/8" A 36 THREADED ROD EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED W/ 3" x 3" x 1/4" WASHER AND NUT.
- ALL LOAD BEARING AND SHEAR WALLS:
5/8 x 12" L-BOLT W/ 2" WASHER REQUIRED AT WITHIN 8" EACH SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32" O.C.

COVINGTON PLACE

Building 'B'

Pensacola, FL



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE
Pace, FL

850-393-0937

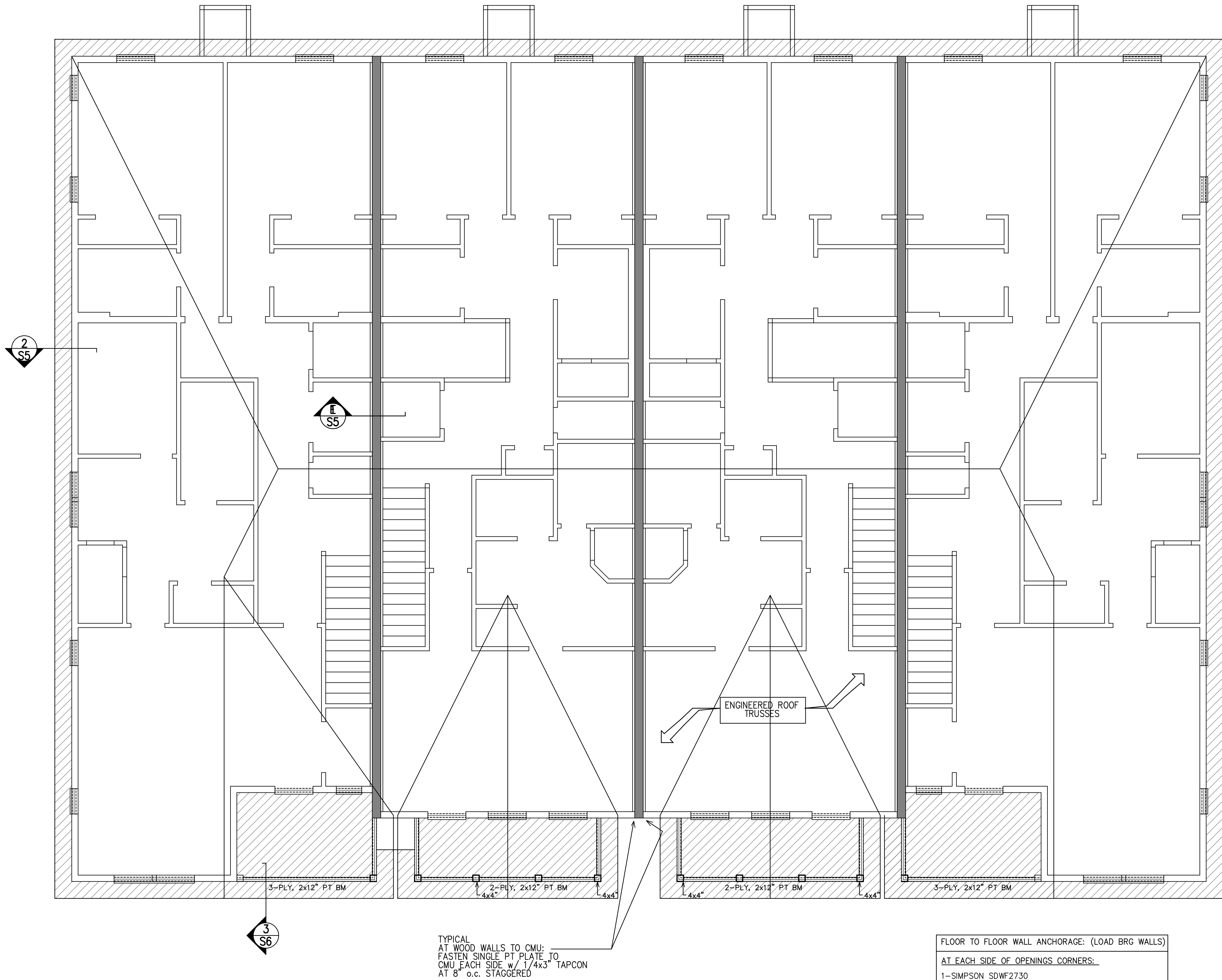
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2001

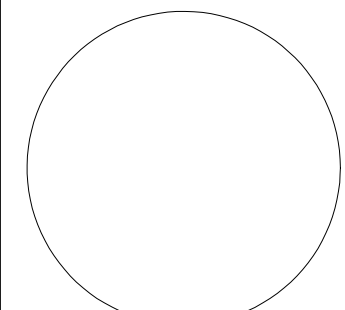
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S3 OF

6 SHEETS



ROOF/ANCHORAGE PLAN
1/4" = 1'-0"



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE

Pace, FL

850-393-0937

Drawn by: ACH

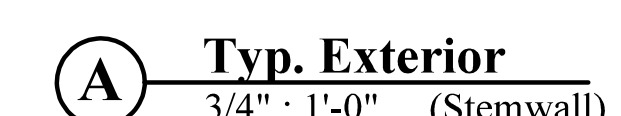
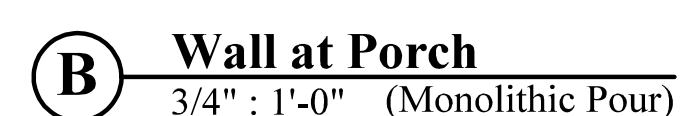
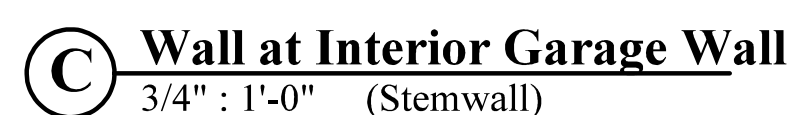
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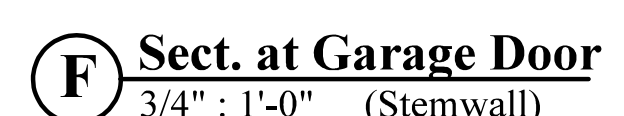
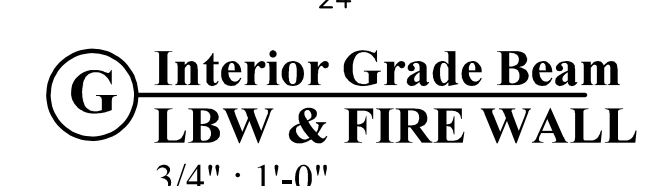
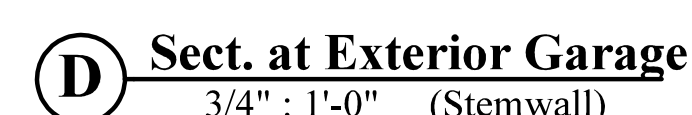
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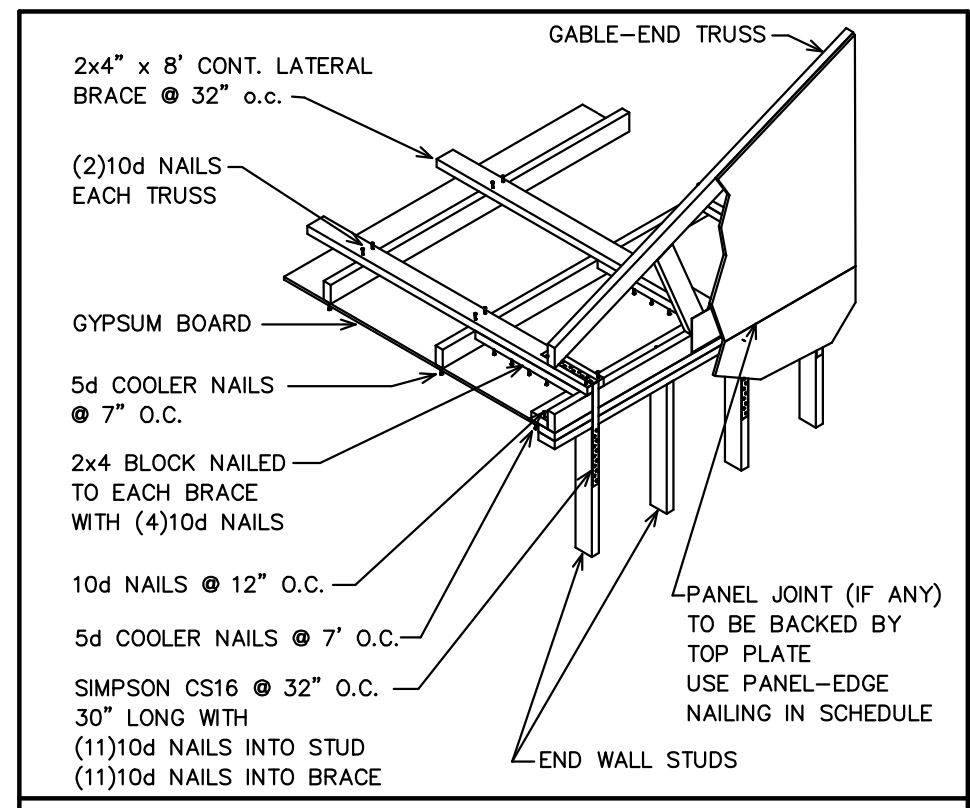
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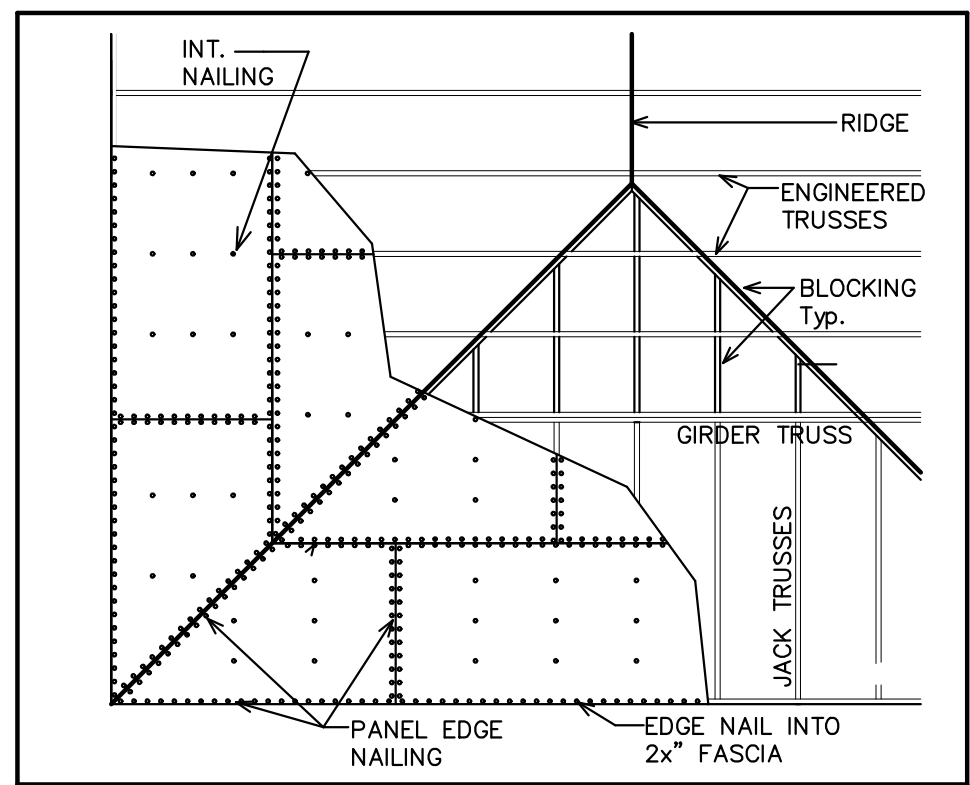


**APPLICABLE
ONLY AT END
EXT WALLS**

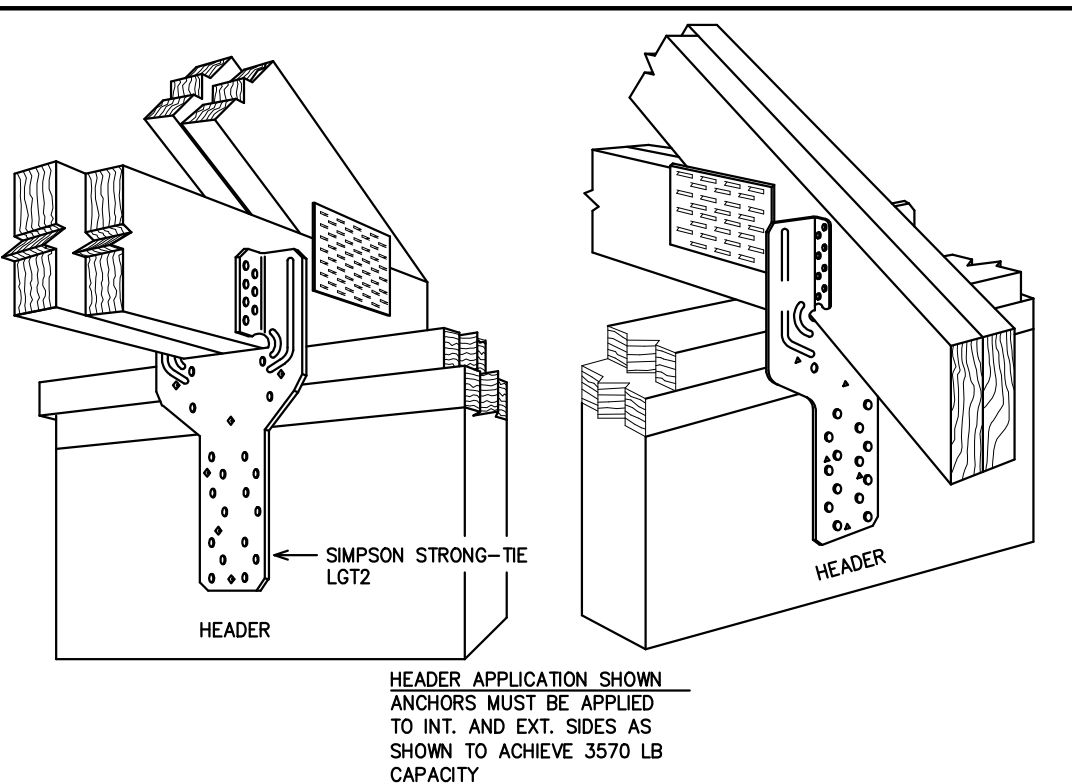




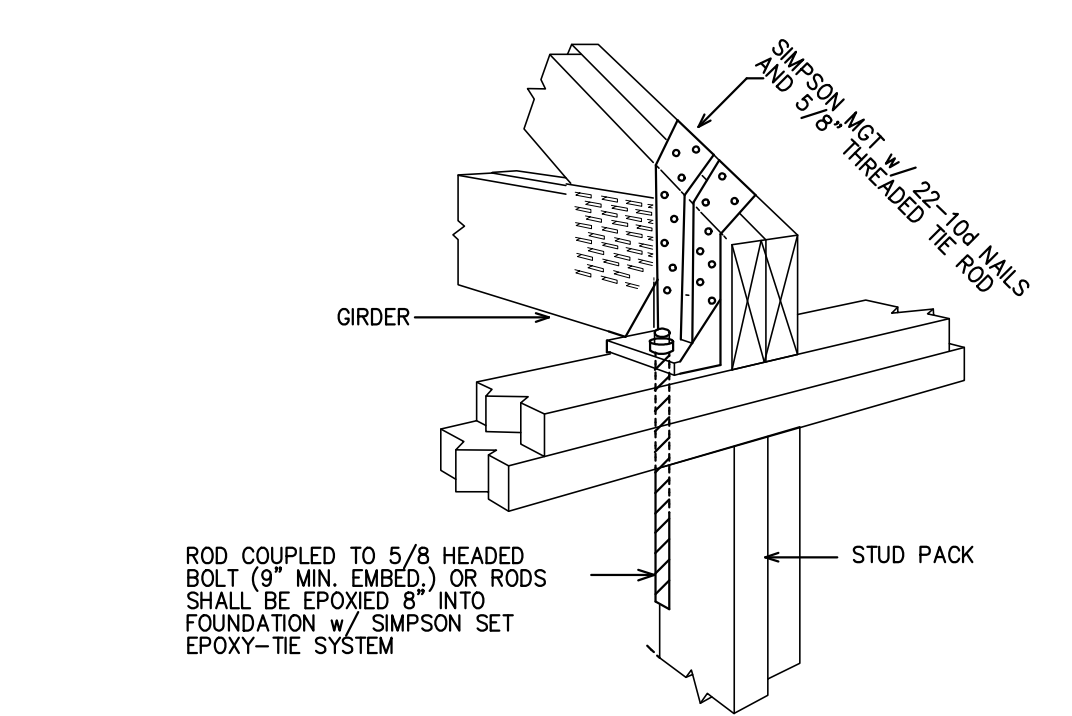
GABLE END BRACING DETAIL NTS



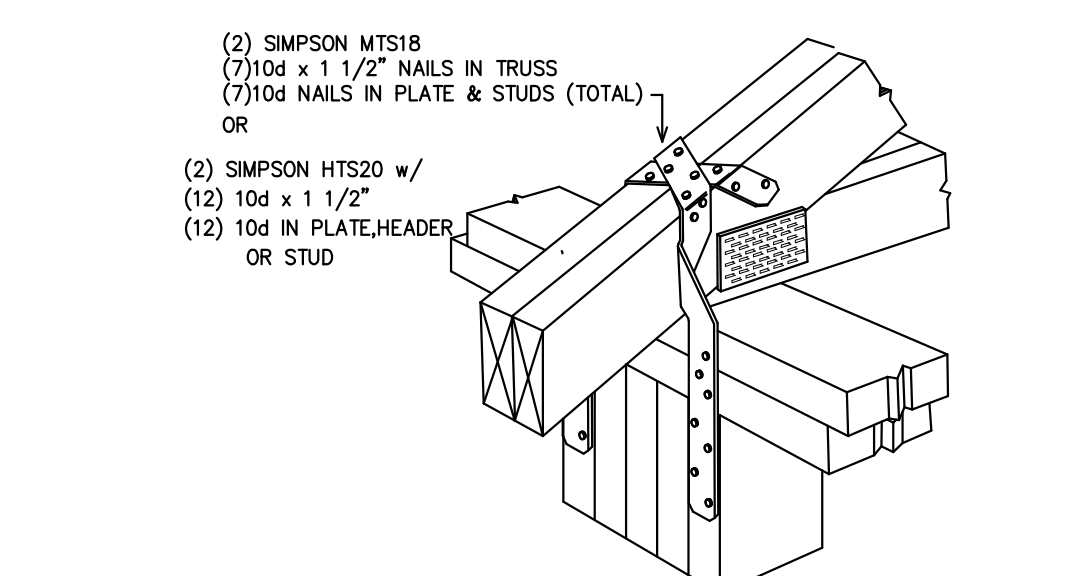
HIP ROOF PANEL BLOCKING NTS



GIRDER UPLIFTS UP TO 3700 LBS
2-SIMPSON LGT2 (ONE ON EACH FACE OF WALL) w/ 16-16d SINKERS EACH IN HOR. AND 14-16d SINKERS EACH IN 2-PLY TRUSS



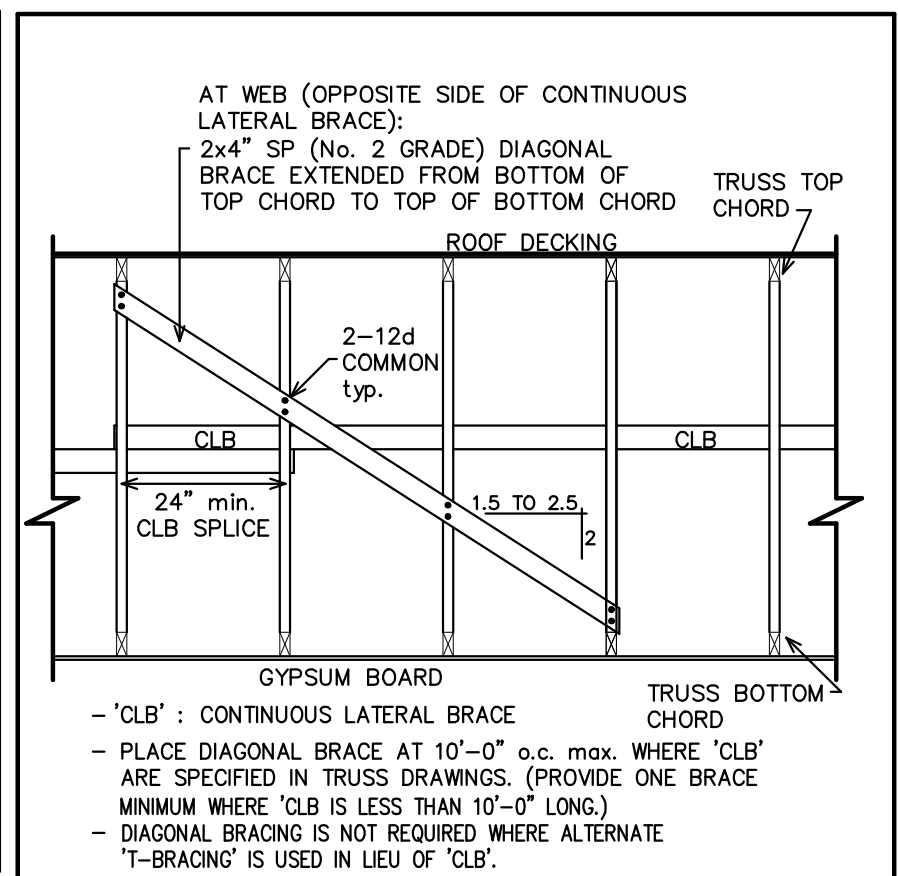
GIRDER UPLIFTS 2401 TO 3965 LBS.



ANCHOR SILL PLATE TO FOUNDATION w/ 5/8x10" ANCHOR BOLT w/ 2" WASHERS EACH SIDE OF STUD PACK (WITH 8") ANCHOR STUD PACK TO SILL PLATE w/ 2-SIMPSON SPH4 w/ 10-10d x 1 1/2" NAILS EACH

GIRDER UPLIFTS UP TO 1600 LBS w/ 2-MTS18
GIRDER UPLIFTS 1601 TO 2400 LBS w/ 2-HTS20

GIRDER TRUSS ANCHORAGE DETAILS



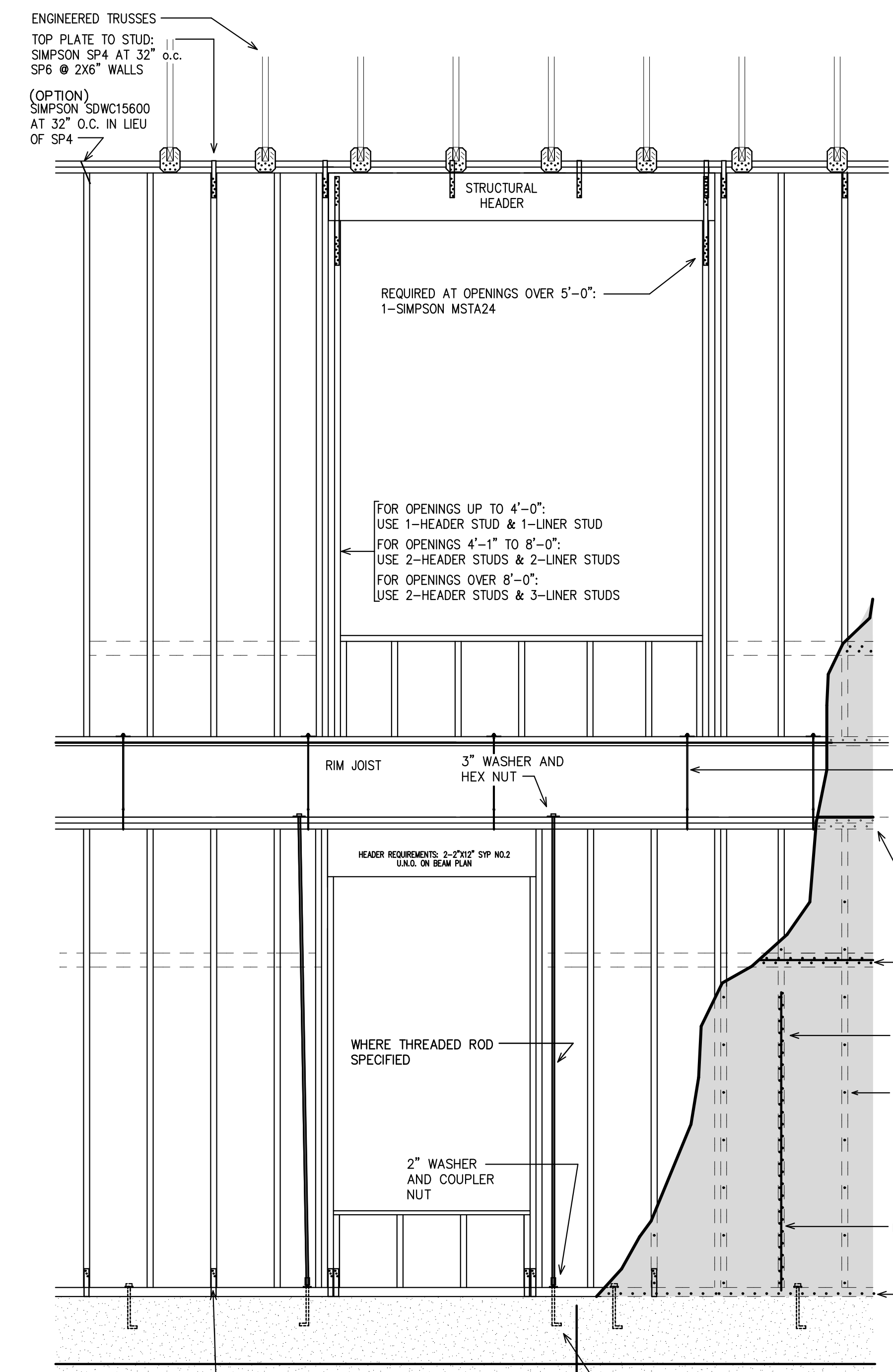
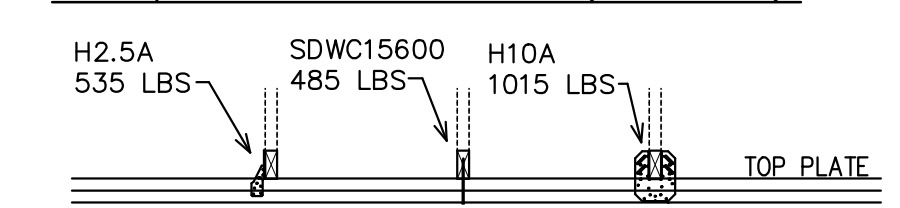
DIAGONAL TRUSS BRACING DETAIL

HIP VALLEY ANCHORAGE:
NOTE: ALL OVER-FRAMING SHALL BE ENGINEERED TRUSSES. ANCHOR OVERFRAME TRUSSES TO MAIN TRUSS SYSTEM w/ SIMPSON VTC2 AT 24" o.c.

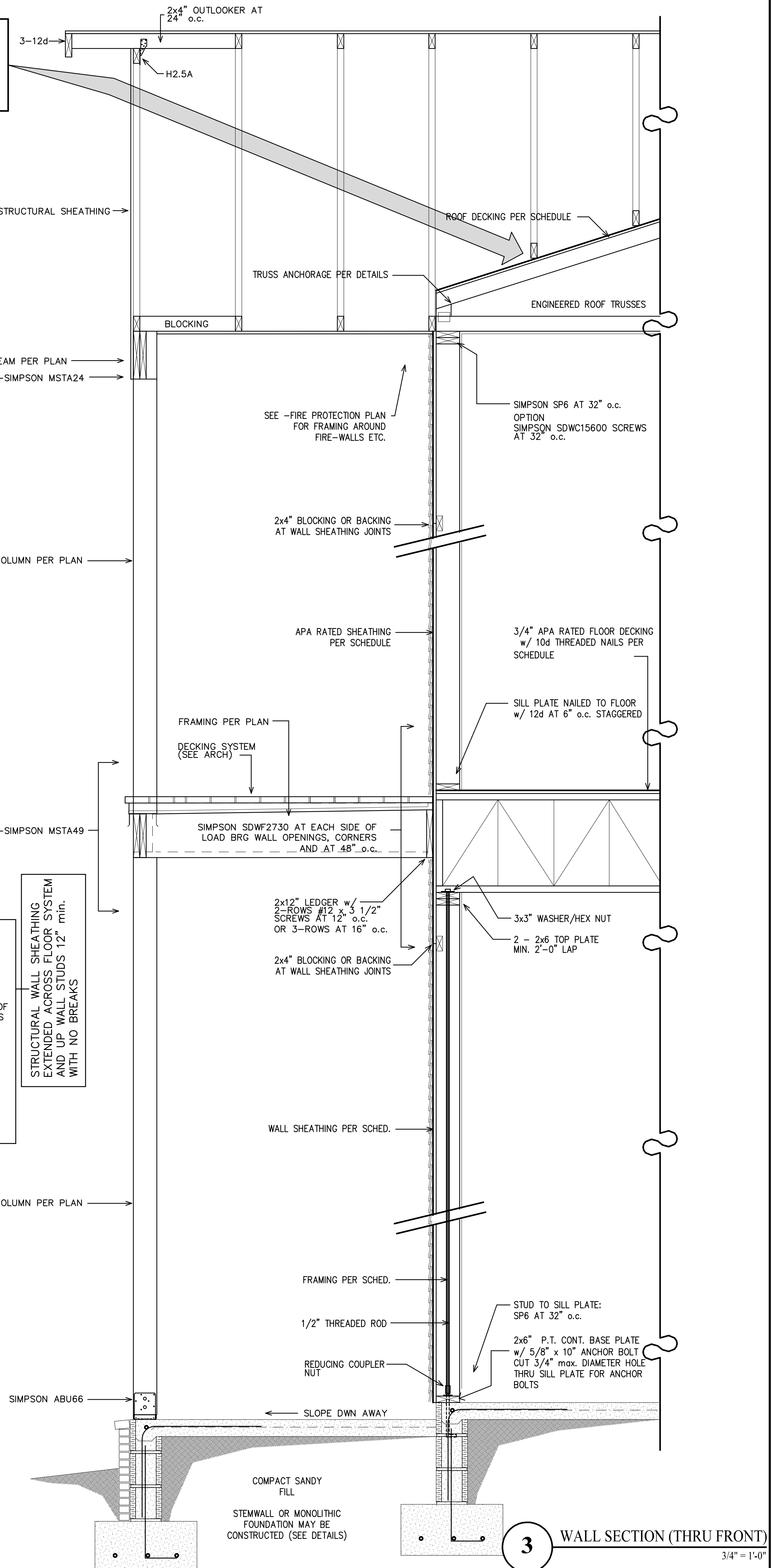
WHERE APPLICABLE
NOTE: AT WOOD LOAD-BEARING INTERIOR WALLS WHERE APA RATED SHEATHING NOT APPLIED: ANCHOR TOP AND SILL PLATES TO STUD w/: SIMPSON SP4/6 AT 16" O.C. ANCHOR HEADER TO PACKS: SIMPSON MSTA24 EACH END

- NOTES FOR THREADED TIE-RODS:
1. IMMEDIATELY PRIOR TO DRYWALL APPLICATION, ALL THREADED TIE-RODS SHALL BE CHECKED BY CONTRACTOR TO INSURE THEY ARE IN A TAUGHT POSITION AND FREE OF SLACK. TIGHTEN HEX NUTS AT TOP PLATE FOR TIE-ROD TENSIONING.
 2. TIE-RODS SHALL BE INSTALLED AT TOP PLATE WITHIN 4" OF STUD PACK. TIE-RODS MAY BE BOWED (NOT BENT) UP TO 8" Laterally TO ACHIEVE PROPER PLACEMENT AT TOP PLATE.
 3. USE GRADE A36 THREADED ROD MATERIAL OR BETTER

TRUSS/TOP ANCHOR OPTIONS: (STRONGTIE)



WALL OPENING DETAIL
2-STORY 1/2" = 1'-0"



3 WALL SECTION (THRU FRONT)
3/4" = 1'-0"

COVINGTON PLACE
Building 'B'
Pensacola, FL

FL P.E. # 56873

Lane and Hatcher Engineers, LLC
CERT. OF AUTH. 9481
5125 OAK GLEN DRIVE
Pace, FL
850-393-0937

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Checked by: ACH	2001		

S6 OF 6 SHEETS



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00234

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 6
314 S. Alcaniz Street
Pensacola Historic District / Zone HC-1 / Wood Cottages District
New Construction

BACKGROUND:

Scott Holland is seeking *CONCEPTUAL* approval for a new two-story, single-family residence. The demolition of the existing non-contributing structure was approved in December 2019 and a Variance to reduce the required rear yard setback was denied in February 2020. Since then, the applicant has revised the site plan to accommodate the zoning setback requirements. The proposed structure will have a reinforced concrete foundation, Hardie ship-lap siding and corrugated metal roof panels. A two-car garage will be hidden on the north side of the house. Additional materials heavy-timber wood brackets, clad wood windows and doors, and wood shutters.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*
Figure 12-2.1 *Wood Cottages District, Streetscape, Type 2*

314 S. Alcaniz Street



Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

December 19, 2019

**Item 6
Demolition / Non-
Contributing**

314 S. Alcaniz Street

**PHD
HC-1/Wood Cottages
District**

Action taken: Approved with comments.

Scott Holland is requesting approval to demolish a non-contributing structure. According to the Escambia County property appraiser website, the existing structure was built in 1960 and is believed to have been used as a one-car garage. In its place, the applicant plans to construct a code-compliant single-family residence that will complement the historic district. Per the project description (provided), the applicant is wishing to relocate the existing structure to the Lee House B&B.

Mr. Holland presented to the Board and stated his plans for restoration were just not working out, but they had talked to several individuals who might like to have the house and possibly move it. He also explained the home was slab on grade and built as a one-car garage, and rising water was an issue. They were concerned with future storms; the elevation was determined to be right at 10'. He preferred returning with another conceptual presentation to make sure all the concerns were addressed. He stated they were 12' – 18' from the rear setback line. He advised they were not at the required 20' and would need to re-plot the two lots and get a common easement. He explained he would eventually sell his office building.

Advisor Pristera did not see the cottage as contributing. Mr. Holland stated they had an agreement with the Lee House who rented the "Pi cottage" for three years, and they would like to have the structure. He also wanted the Board's opinion on granting a variance, and Board Member Mead explained the variance requirements; Mr. Holland stated he would like to be at 13' instead of the 20' requirement. Chairperson Quina suggested the variance could be hardship since they were living on a small lot in a historic district.

Board Member Salter advised this structure was unique and deemed non-contributing, however, now it was some 60 years old and incredibly maintained and renovated. He felt even though it was not designated contributing, it contributed to the atmosphere of the area. He felt if it could be moved, it would depend on the location; its real importance was on the square. Board Member Mead asked if the Board approved the demolition, what would the procedures be to determine whether or not the structure could be salvaged or moved. Historic Preservation Planner Harding advised if the demolition was approved today, the structure would not be able to be demolished until final approval for what would take its place. Chairperson Quina stated although charming, the site was underutilized and was not consistent with other buildings around it. It was determined it was built as an accessory structure and through the Escambia County Property Appraiser that it had been a carport, with other information coming from the applicant. Board Member Villegas asked if it could be raised and moved to a different property, why couldn't that apply to raise and renovate. Board Member Mead explained that the current structure might not meet current codes structurally, and if moved intact, it might be saved under different guidelines. Advisor Pristera stated he could not establish the structure older than the

'60s. He pointed out it had great detail and was good on that square, but other structures around it were two-story, and he loved the option of moving it. **Board Member Mead made a motion to approve the demolition with the condition that the applicant continues to seek opportunities for removal and salvaging the existing structure and demolition only be approved if applicant doesn't find any practicable offers to take the building. Board Member Crawford seconded the motion. With no speakers, the motion carried 4 to 1 with Board Member Salter dissenting.**

Item 7

314 S. Alcaniz Street

PHD

Conceptual Approval

HC-1/Wood Cottages

Action taken: Denied without prejudice.

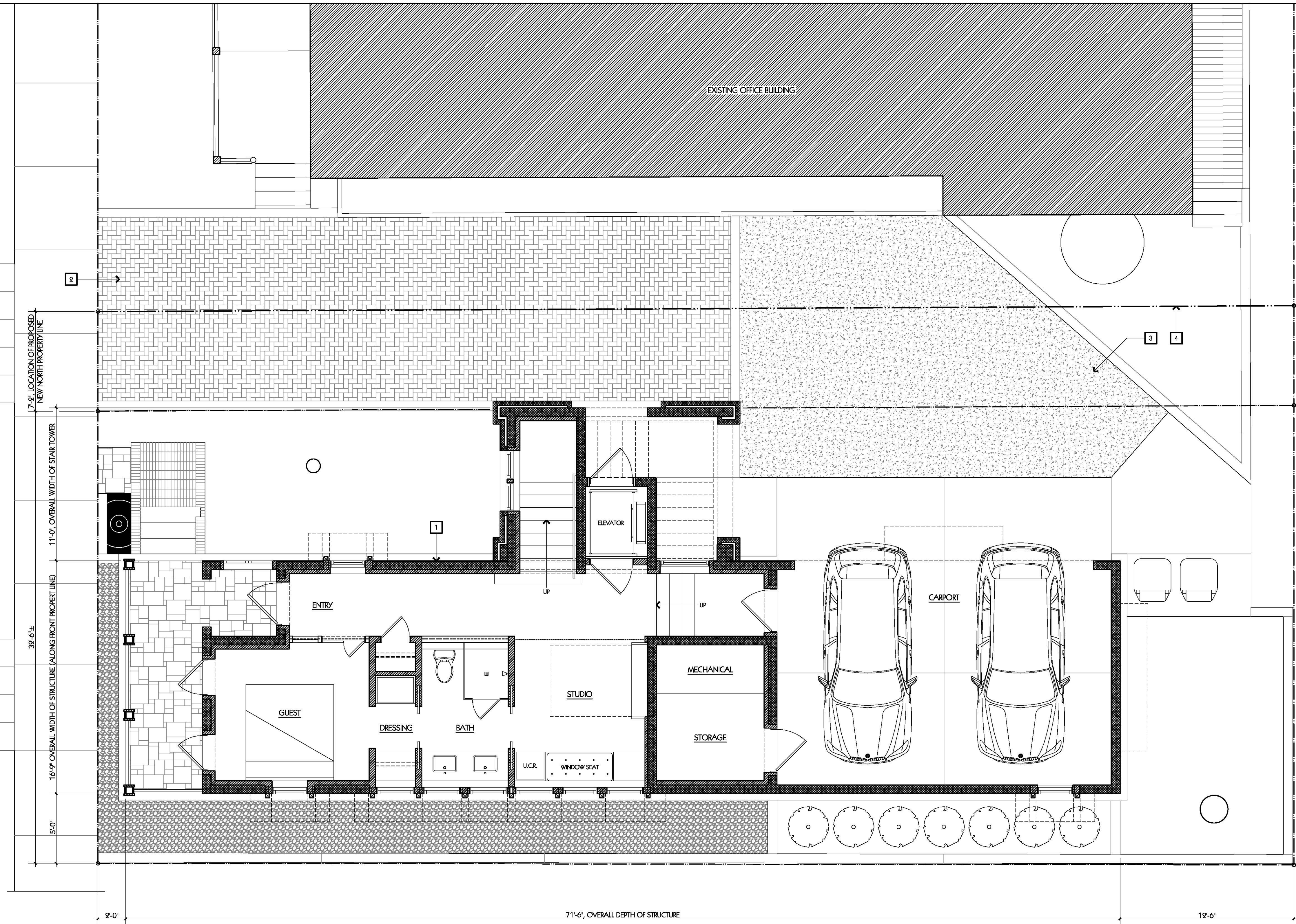
District

Scott Holland is seeking *CONCEPTUAL* approval for a new two-story, single-family residence.

Mr. Holland presented to the Board and stated he intended to use reinforced concrete walls to achieve his 200mph wind load. It would be a net zero home with geothermal insulation with solar panels on the roof. He explained he had not really detailed out all the materials and was expecting to return with a revised version of his plans.

Board Member Salter stated it was a nice modern interpretation especially with the streetscape which would fit in that area nicely. However, he felt the back carport area with the pyramid up to a point did not relate to the style of the building. Board Member Crawford stated the form was traditional and gives visual separation from the office. It had a nice scale on the sidewalk, but he expected the evaluation to be in the details and how they would be treated. He agreed the garage opening was curious. Board Member Mead was less concerned with the garage since it would be behind the stair tower. He was not keen on the window canopies with the legs on the struts being quite long and thought they should be shorter and be brought up to the body of the house with a more bracket feature. He pointed out the asymmetric rhythm that would fight with the asymmetry of the materials; he was not clear on the stair tower and how it functioned in the overall composition.

Advisor Pristera wanted the return presentation to show the elevation with the office to see the relationship; he was fine with the main façade, but materials were important, and he did not want it to be heavy and overpowering. Board Member Crawford explained there was a fine line between looking residential and commercial, but it would develop in how all those details interfaced. Mr. Mead addressed the upstairs terrace mimicking the porch profile; he felt they could make the balcony look more loggia with it attached to the house. **Board Member Mead made a motion to deny without prejudice with the comments provided and looked forward to the next presentation. Board Member Villegas seconded the motion, and with no speakers, the motion carried unanimously.**



FIRST FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/4"=1'-0"



BUILDING DATA:

757 S.F. COND. SPACE - FIRST FLR.
1,138 S.F. COND. SPACE - SECOND FLR.
1,895 S.F. COND. SPACE - TOTAL

413 S.F. GARAGE

191 S.F. EXTERIOR SPACE UNDER ROOF - FIRST FLOOR
998 S.F. EXTERIOR SPACE UNDER ROOF - SECOND FLOOR

SQUARE FOOTAGE AREAS CALCULATED TO OUTSIDE FACE OF CMU AND/OR WOOD STUD.

KEYNOTES (FOR THIS SHEET ONLY)

- 1 NEW STRUCTURE COMPOSED OF EXTERIOR REINF. CMU LOAD-BEARING WALLS WITH A FIRST FLOOR SLAB OF REINF. CONC., SECOND FLOOR WOOD FLOOR TRUSSES, AND WOOD ROOF SYSTEM.
- 2 DENOTES NEW DRIVEWAY COMPOSED OF BRICK PAVERS WITH CONC. RIBBON CURBS.
- 3 DENOTES EXISTING GRAVEL CAR COURT TO REMAIN.
- 4 DENOTES PROPOSED NEW NORTH PROPERTY LINE TO BE RE-PLATTED.

CONSULTANTS

PROJECT TITLE

P12

314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

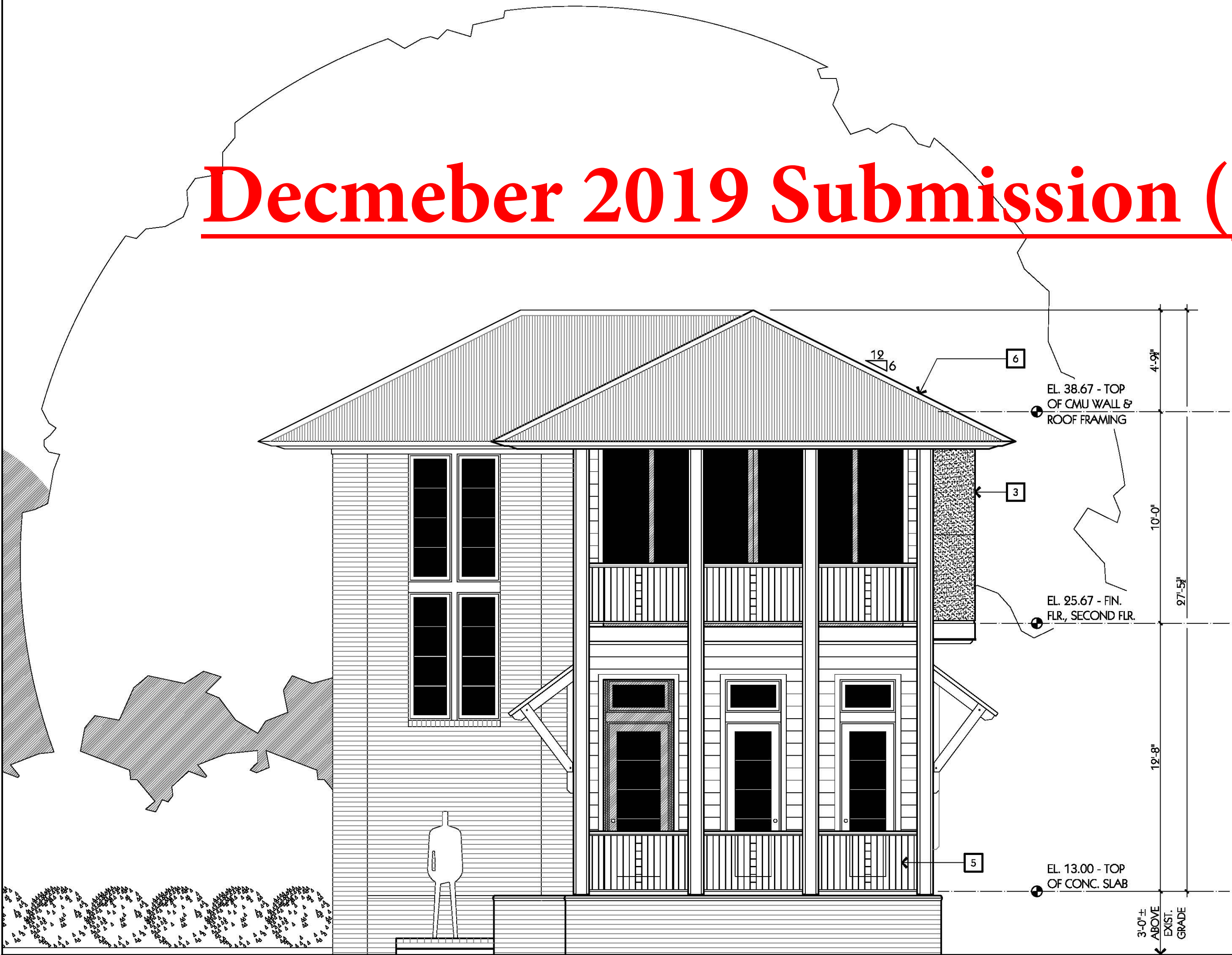
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SHEET TITLE

FIRST FLOOR PLAN - NEW CONSTRUCTION

Decmeber 2019 submission (provided by staff for comparison)

Decmeber 2019 Submission (provided by staff for comparison)



WEST ELEVATION - MAIN VIEW FROM ALCANIZ STREET
SCALE: 1/4"=1'-0"



EAST ELEVATION - REAR VIEW
SCALE: 1/4"=1'-0"

KEYNOTES (FOR THIS SHEETS A4.1 - A4.3)

- 1 DENOTES PAINTED COMPOSITE SHIP-LAP SIDING, 7" EXPOSURE, TYPICAL.
- 2 DENOTES BRICK VENEER, TYPICAL AND WOOD ROOF SYSTEM.
- 3 DENOTES HARD-COAT STUCCO FINISH, TYPICAL.
- 4 DENOTES CLAD WOOD WINDOWS AND DOORS WITH HORIZ. MUNTINS, TYPICAL.
- 5 DENOTES POWDER-COATED ALUMINUM HANDRAILS, TYPICAL.
- 6 DENOTES CORRUGATED METAL ROOF PANELS WITH GALVALUME FINISH, TYPICAL.

PROJECT NO.		1902	00% SUBMITTAL		PROJECT TITLE pl ² 314 SOUTH ALCANIZ STREET PENSACOLA, FL 32502	CONSULTANTS	HEFFERNAN HOLLAND MORGAN A R C H I T E C T U R E
C/D DWG FILE		1902A4.1.dwg	DATE				
DRAWN BY		BSH	REVISION 1				
CHECKED BY		BSH					
COPYRIGHT		HMM 2017					
SHEET TITLE							
ELEVATIONS - WEST & EAST							

Decmeber 2019 Submission (provided by staff for comparison)



SOUTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE
312 S ALCANIZ STREET PENSACOLA, FL 32502 850.433.2799 FLA0001942

CONSULTANTS

PROJECT TITLE

Pl²
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	1902	00% SUBMITTAL	DATE	11-22-19	
	CAD DWG FILE		1902A4.1.dwg	REVISION 1	00-00-00
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SHEET TITLE

SOUTH ELEVATION

A4.2

Decmeber 2019 Submission (provided by staff for comparison)



NORTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE
312 S ALCANIZ STREET PENSACOLA, FL 32502 850.433.2799 FLA0001942

CONSULTANTS

PROJECT TITLE

Pl²
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	1902	00% SUBMITTAL		
	CAD DWG FILE	1902A4.1.dwg	DATE	11-22-19
DRAWN BY	RSI	REVISION 1	00-00-00	
CHECKED BY	RSI			
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SHEET TITLE

NORTH ELEVATION

A4.3



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

February 20, 2020

Item 6 Variance

314 S. Alcaniz Street

PHD
HC-1 / Wood Cottages

Action taken: Denied

Scott Holland is seeking a Variance to increase the minimum rear yard setback from twenty (20) feet to twelve (12) feet, six (6) inches to accommodate a new two-story single family residence. This item is in consideration with Item 7.

Mr. Holland presented to the Board and advised the existing building is 10' from the rear property line, and after removing the residence, he proposed to pull it back 12.5'. He advised there were no objections to the variance, but the neighbor at the rear wanted to ensure the shortcut to the Dharma Blue would remain. Board Member Mead was concerned that this was a 40% variance and was not sure the other elements of the hardship could be met. Assistant City Attorney Lindsay asked if he had looked at the information provided, and he confirmed he did but was uncertain that this would preclude them from building on this lot. He noted there were buildings being constructed on small lots and was not sure how this presented a hardship. Chairperson Quina pointed out he was only asking for the same consideration as the neighbors on both sides, and he was staying further away from the setback than the neighbors had; it also was not creating a special circumstance. Staff advised the requested variance would not increase the non-conformity of what was already existing; the structure to the north was a contributing structure. It was also clarified that when a structure was torn down, it was replaced with a structure which was up to present day Code and not non-conforming, however it could be repaired or extended, and a variance would not be needed. It was also noted the variance would save two heritage trees.

Mr. Fluegge explained that variances caused him heartburn and where does it stop with variances getting larger and setbacks getting smaller; he and his neighbors were concerned with the larger projects, and granting variances was a slippery slope. He emphasized the downtown area was a prized jewel and needed care and protection at all costs.

Board Member Mead was amenable to the property owner's desire but needed the criteria to be met on evidence presented. This was new construction and not preserving a historical structure or preserving some item of uniqueness which is the function of the Board. Chairperson Quina offered that the applicant was indicating without the setback, the site was unbuildable in the remaining footprint for a marketable house. **With other Board members agreeing, Board Member Villegas made a motion to deny because**

of a lack of hardship, seconded by Board Member Mead, and it carried unanimously.
Chairperson Quina informed the applicant that he could approach the Council on this matter.

Item 7	314 S. Alcaniz Street	PHD
New Construction		HC-1 / Wood Cottages
Action taken: Withdrawn.		
Scott Holland is seeking <i>CONCEPTUAL</i> approval for a new two-story single family residence.		



**Architectural Review Board Application
Full Board Review**

Application Date: **04-30-2020**

Project Address: 314 South Alcaniz Street / Pensacola, FL / 32502

Applicant: R. Scott Holland / R. Scott Holland Architect, LLC

Applicant's Address: 312 South Alcaniz Street / Pensacola, FL / 32502

Email: scoho@rsharchitect.com **Phone:** 850-393-2168

Property Owner: R. Scott & Karen P. Holland

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Please see attachment.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on file

Applicant Signature

Date

PROJECT SPECIFICS / DESCRIPTION:

This application is for the following requests:

1. Schematic Design Approval of "Single-Family" Residential Structure

Demolition:

The current structure is composed of a 540 SF cottage and an attached three-car open carport. This structure is classified as a "non-contributing" historic building; believed to have been constructed in the early 1960's as a one-car garage.

New Construction:

The proposed new construction is for a 2,041 SF (conditioned space) two-story, single-family residence. The new structure will be designed to withstand 200+ MPH wind loads and shall be composed of the following components:

1. Foundation: Reinforced concrete spread footings with 8" CMU reinforced stem walls;
2. Exterior Walls: Load-bearing, reinforced 8" CMU walls extended to roof structure;
3. Interior Walls: Wood stud framing;
4. First Floor: Back-fill with reinforced concrete slab (exposed, polished);
5. Second Floor: Wood floor trusses, 20" deep;
6. Roof: Open-trussed wood framing;
7. Exterior Doors & Windows: Kolbe clad wood, impact-rated, horizontal muntins;
8. Exterior Cladding: Hardie "Artisan" ship-lap siding (9" exposure), brick veneer plinth and wall cladding, and hard-coat stucco in selected areas (as shown on elevations);
9. "Eye-Brow" Shade Components: Heavy-timber wood brackets with 2x6 T&G decking and metal roof panels; and
10. Roofing: Metal roof panels, corrugated, Galvalume.

It is the desire of the Owners to design a "Net-Zero" residence utilizing solar power, geothermal mechanical system, and other energy-saving components and equipment.



FRONT VIEW LOOKING BETWEEN BUILDINGS



FRONT VIEW LOOKING NE



FRONT VIEW LOOKING SE



REAR VIEW

PI²

CONCEPTUAL SUBMITTAL : ARB

PROJECT NO.

CAD DWG FILE

DRAWN BY

CHECKED BY

COPYRIGHT

3002

3002A1.dwg

RSB

RSB

RSB-A 3002

DATE

REVISION 1

04-29-2020

03-03-20

00% SUBMITTAL

04-29-2020

03-03-20

PROJECT TITLE

PI²

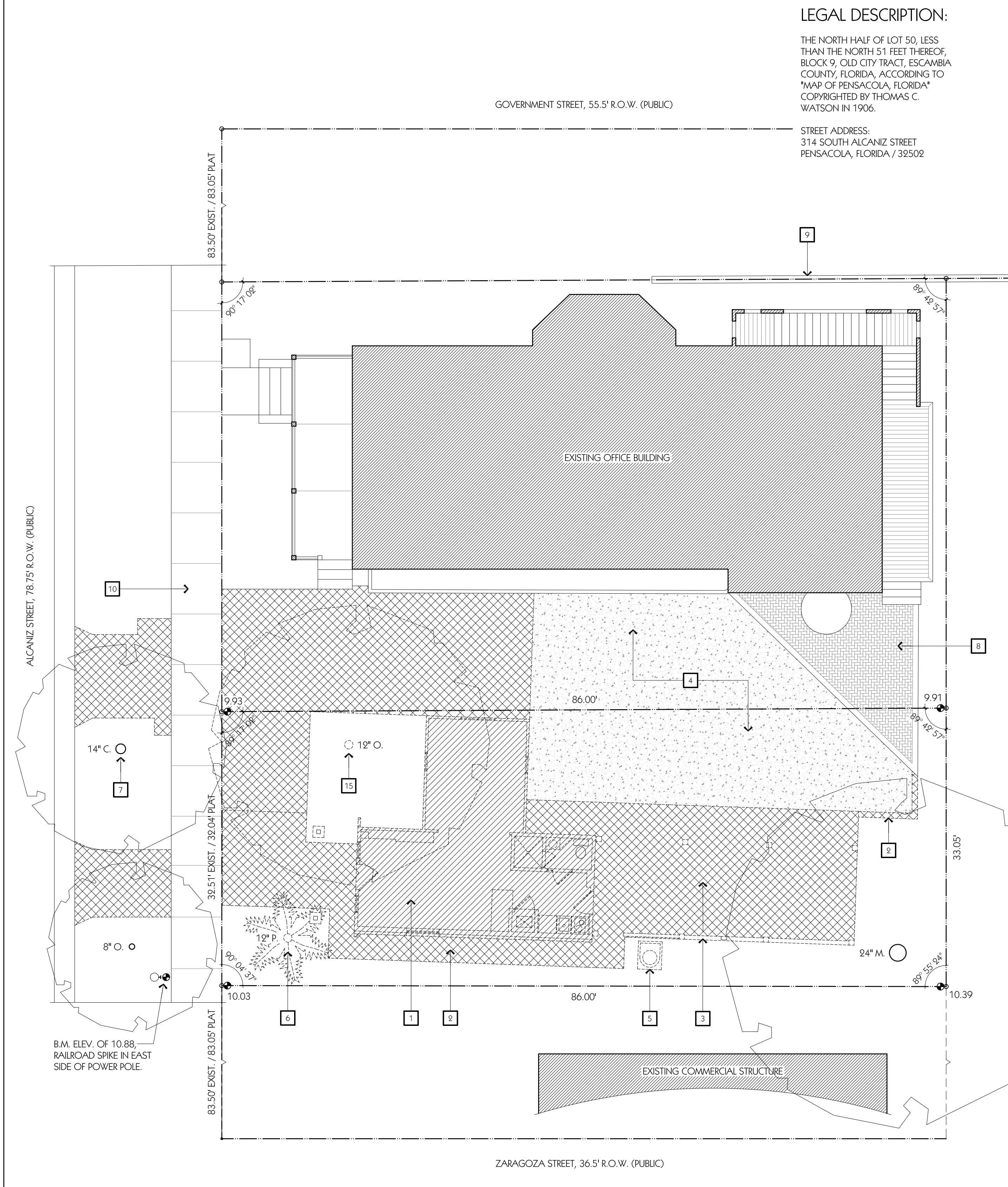
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

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R SCOTT HOLLAND
ARCHITECT
312 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502

RSB

A 1



SITE PLAN - EXISTING CONDITIONS / DEMOLITION
SCALE: 1/4"=1'-0"

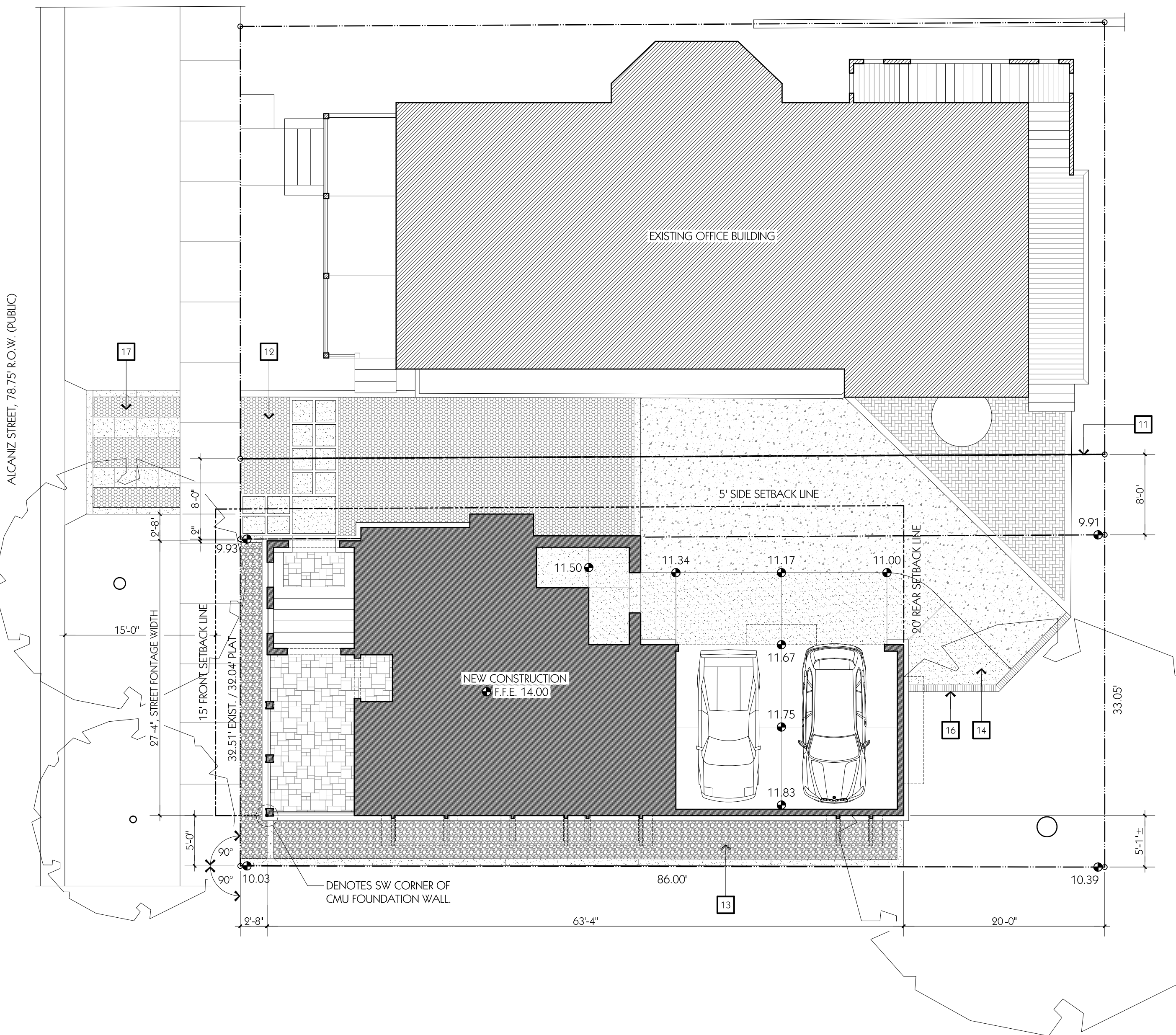


LEGAL DESCRIPTION:
THE NORTH HALF OF LOT 50, LESS
THAN THE NORTH 51 FEET THEREOF,
BLOCK 9, OLD CITY TRACT, ESCAMBIA
COUNTY, FLORIDA, ACCORDING TO
"MAP OF PENSACOLA, FLORIDA"
COPYRIGHTED BY THOMAS C.
WATSON IN 1906.

STREET ADDRESS:
314 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502

KEYNOTES (FOR THIS
SHEET ONLY)

- 1 DENOTES EXISTING COTTAGE TO BE REMOVED.
- 2 DENOTES EXISTING BRICK AND/OR CONC. PAVING & CURBS TO BE REMOVED, TYP.
- 3 DENOTES EXISTING COVERED CARPORT AREA TO BE REMOVED, TYPICAL.
- 4 DENOTES EXISTING GRAVEL CAR COURT TO REMAIN.
- 5 DENOTES EXISTING A/C UNIT TO BE REMOVED.
- 6 DENOTES EXISTING SABEL PALM TO BE REMOVED.
- 7 DENOTES EXISTING TREES TO BE REMAIN, TYPICAL.
- 8 DENOTES EXISTING BRICK PAVING TO REMAIN, TYPICAL.
- 9 DENOTES EXISTING 6' H. BRICK PRIVACY WALL TO REMAIN, TYPICAL.
- 10 DENOTES EXISTING CONC. PAVING TO REMAIN, TYPICAL.
- 11 DENOTES NEW PROPOSED NORTH PROPERTY LINE WITH COMMON EASEMENT.
- 12 DENOTES NEW PERMEABLE, DRIVABLE GRAVEL / BLOCK PAVER SYSTEM WITH 8" W. REINF. CONC. HEADER CURBS, TYP.
- 13 DENOTES NEW ROCK BED COMPOSED OF GRAY MEXICAN BEACH ROCK WITH 8" W. REINF. CONC. HEADER CURB, TYPICAL.
- 14 DENOTES NEW CONC. PAVING, TYPICAL.
- 15 DENOTES EXISTING OAK TREE TO BE REMOVED.
- 16 DENOTES NEW BRICK RETAINING WALL.
- 17 NEW DRIVEWAY.



SITE PLAN - NEW CONSTRUCTION
SCALE: 1/4"=1'-0"



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ARCHITECT
319 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502

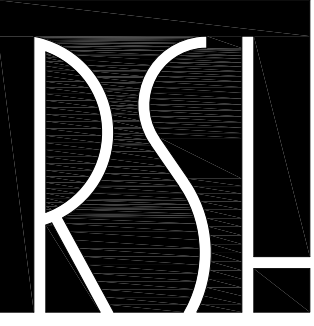
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PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

00% SUBMITTAL	04-29-2020	DATE	03-03-20	REVISION 1	
PROJECT NO.	3002	CAD DWG FILE	300203.dwg	DRAWN BY	RSH
		CHECKED BY	RSH	COPYRIGHT	RSHA 2020

SHEET TITLE
SITE PLANS -
EXIST. CONDITIONS /
DEMOLITION &
NEW
CONSTRUCTION

A 2



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PROJECT TITLE
PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DATE	REVISION 1	RSH	RSH	RSH 5020
3002	3002A.3.1.dwg	04-29-2020	03-03-20			

SHEET TITLE
FIRST FLOOR PLAN

A3.1

EXISTING OFFICE BUILDING

STORAGE

ELEVATOR

STUDIO

ENTRY HALL

GUEST SUITE

BATH

MECH. / STORAGE

GARAGE

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROJECT NORTH

BUILDING DATA:

756 S.F. COND. SPACE - FIRST FLR

1,285 S.F. COND. SPACE - SECOND FLR

2,041 S.F. COND. SPACE - TOTAL

(1,895 S.F. PRIOR) ---

(413 S.F. PRIOR) ---

(191 S.F. PRIOR) ---

(298 S.F. PRIOR) ---

385 S.F. GARAGE

341 S.F. EXTERIOR SPACE UNDER ROOF -

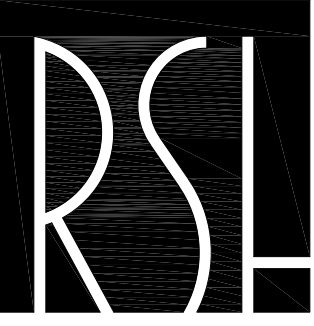
FIRST FLOOR

237 S.F. EXTERIOR SPACE UNDER ROOF -

SECOND FLOOR

CONSTRUCTION: NEW STRUCTURE COM-
POSED OF REIN. CMU, LOAD-BEARING
EXTERIOR WALLS WITH CONT. SPREAD
FOOTINGS, FIRST FLOOR SLAB OF REINF.
CONC., SECOND FLOOR WOOD FLOOR,
TRUSSES, & WOOD TRUSS ROOF SYSTEM.

SQUARE FOOTAGE AREAS CALCULATED
TO OUTSIDE FACE OF CMU AND/OR
WOOD STUD.



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PENSACOLA, FLORIDA / 32502

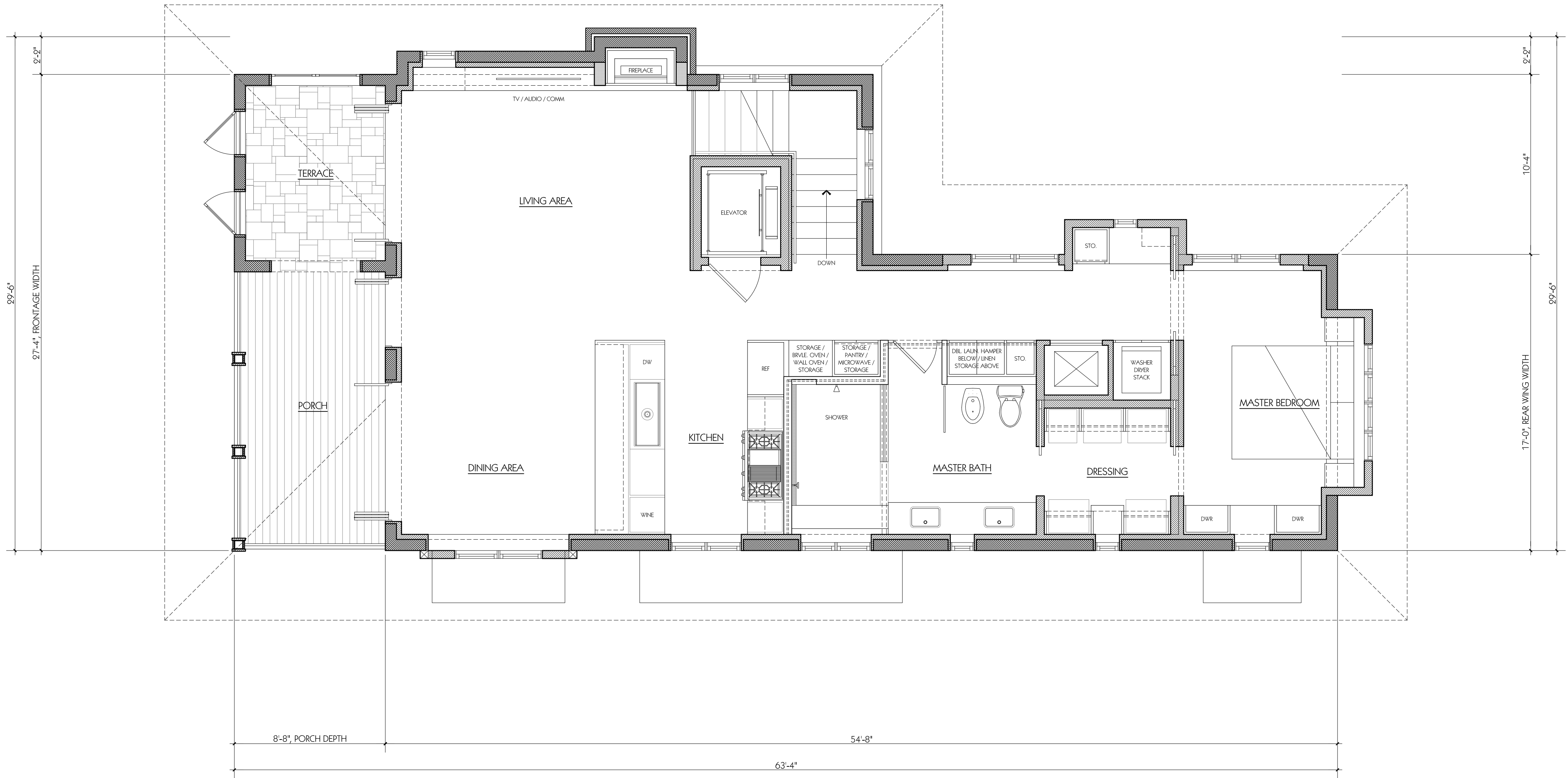
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314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

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3002	3002A.3.1.dwg	04-29-2020	04-29-2020	04-29-2020	04-29-2020
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CHECKED BY	RSH				
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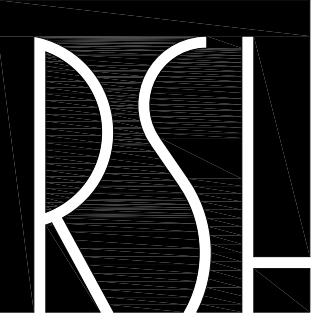
SHEET TITLE
SECOND FLOOR
PLAN

A3.2



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"





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PROJECT TITLE
PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DATE	REVISION 1	DATE	REVISION 1
3002	3002A.4.1.dwg	RSH	RSH	RSH	RSH
PROJECT NO.	CAD DWG FILE	DATE	REVISION 1	DATE	REVISION 1
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SHEET TITLE
WEST ELEVATION -
FRONT VIEW FROM
ALCANIZ STREET

CONSTRUCTION
COMPONENTS
(SHEETS A4.1 - A4.4)

- 1

DENOTES PAINTED COMPOSITE SHIP-LAP SIDING, 9" EXPOSURE, TYPICAL.
- 2

DENOTES BRICK VENEER, TYPICAL.
- 3

DENOTES HARD-COAT STUCCO FINISH, TYPICAL.
- 4

DENOTES CLAD WOOD WINDOWS AND DOORS WITH HORIZ. MUNTINS, TYPICAL.
- 5

DENOTES CUSTOM BRONZE HANDRAILS, TYPICAL.
- 6

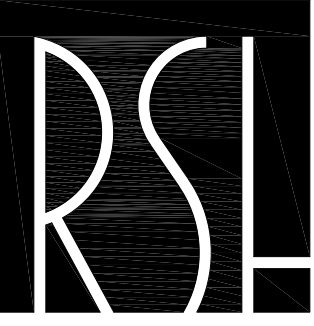
DENOTES CORRUGATED METAL ROOF PANELS WITH GALVALUME FINISH, TYP.
- 7

DENOTES OPERABLE WOOD SHUTTERS, TYPICAL.
- 8

DENOTES AWNINGS COMPOSED OF HEAVY-TIMBER BRACKETS, 16" G WOOD DECKING, AND CORRUGATED METAL ROOF PANELS, TYPICAL.



WEST ELEVATION - VIEW FROM ALCANIZ STREET
SCALE: 1/4"=1'-0"



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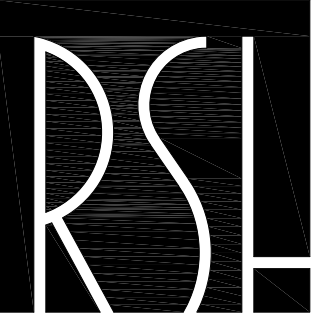
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PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DATE	DATE		PROJECT TITLE
			DATE	REVISION 1	
3002	3002A.4.1.dwg	04-29-2020	04-29-2020	04-29-2020	PI 2
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SHEET TITLE
EAST ELEVATION -
REAR VIEW



EAST ELEVATION - REAR VIEW
SCALE: 1/4"=1'-0"



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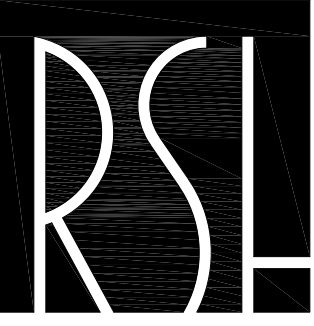
PROJECT TITLE
PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DATE	00% SUBMITTAL		SHEET TITLE
			DATE	REVISION 1	
3002	3002A.4.1.dwg		04-29-2020	03-01-20	
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SOUTH ELEVATION -
SIDE VIEW



SOUTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"



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PI 2
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

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3002	3002A.4.1.dwg	04-29-2020	03-01-20		
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SHEET TITLE
NORTH ELEVATION -
SIDE VIEW



NORTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00242

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 7
919 N. Baylen Street
North Hill Preservation District / PR-1AAA
Contributing Structure

BACKGROUND:

Pat Bolster, Merrill Land Construction, is requesting approval to replace the roofing on a contributing structure. The existing cement tile roof and underlayment is proposed to be replaced with Decra® Stone-Coated Metal Shingles. The proposed profile will be Decra® Shake XD and the proposed color will be "Antique Chestnut". The present underlayment has failed and the original cement tiles cannot be removed without permanent damage.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(6) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES00435
Recorder # _____
Field Date 5/3/95
Form Date 6/26/95

☐ Original
☒ Update

SITE NAMES (addr. if none) HENRY S. WHITE HOUSE [MULT. LIST. #8 _____]
SURVEY NORTH HILL [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☐ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 919 N. BAYLEN ST.
CROSS STREETS nearest/between SW CORNER OF N. BAYLEN AND W. DE SOTO ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9010-014-043
SUBDIVISION NAME NORTH HILL BLOCK 43 LOT NO. 14-19
OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ Xpriv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT
ROUTE TO _____

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 25 RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☒ n
[UTM: ZONE 16 17 EASTING 1 1 1 0 NORTHING 1 1 1 0]
PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

STYLE MEDR EXTERIOR PLAN IRRE NO. STORIES 2
STRUCTURAL SYSTEMS WF
FOUNDATION: Types CONT Materials BRIC/STUC
EXTERIOR FABRICS STUC
ROOF: Types GAIN Materials TILE
Secondary strucs. (dormers etc.) CRGA
CHIMNEY: No. 1 Materials BRIC/STUC LOCATIONS CENTER WEST END
WINDOWS (types, materials, and placements) FIXED, ARCHED, 6 LIGHT, 10 LIGHT
WOOD AND DHS, 4/1, WOOD

MAIN ENTRANCE (stylistic details) _____
PORCHES: #open _____ #closed _____ #incised _____ Locations E/1 STORY ARCADED VERANDAH WITH
Porch roof types COLUMNS, 3 BAY ACCESS SOUTH; E/WROUGHT IRON BALCONY
EXTERIOR ORNAMENT _____

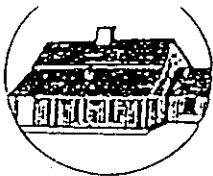
INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ X good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☒ A residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☒ n (No-explain; yes-attach!)

Artifacts or other remains _____

NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)

HOUSE WAS ORIGINALLY BUILT IN 1897 AS A SMALL WOOD FRAME COTTAGE. IT
WAS DRASTICALLY ALTERED TO ITS PRESENT FORM IN THE 1930s.



HISTORICAL STRUCTURE FORM

Site #8

HISTORY

CONSTRUCTION DATE 1930 CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES ☐ yes ☒ no Dates Orig. addr.
 ALTERATIONS ☒ yes ☐ no Dates 1930s Nature
 ADDITIONS ☒ yes ☐ no Dates Nature
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) RESIDENCE
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) HENRY S. AND ELLA N. WHITE (ORIGINAL)
KARL J. REYNOLDS (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	Local Designation Category <u> </u>
Individually elig. for Nat. Register?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	
Potential contributor to NR district?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.)

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCESBIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available)

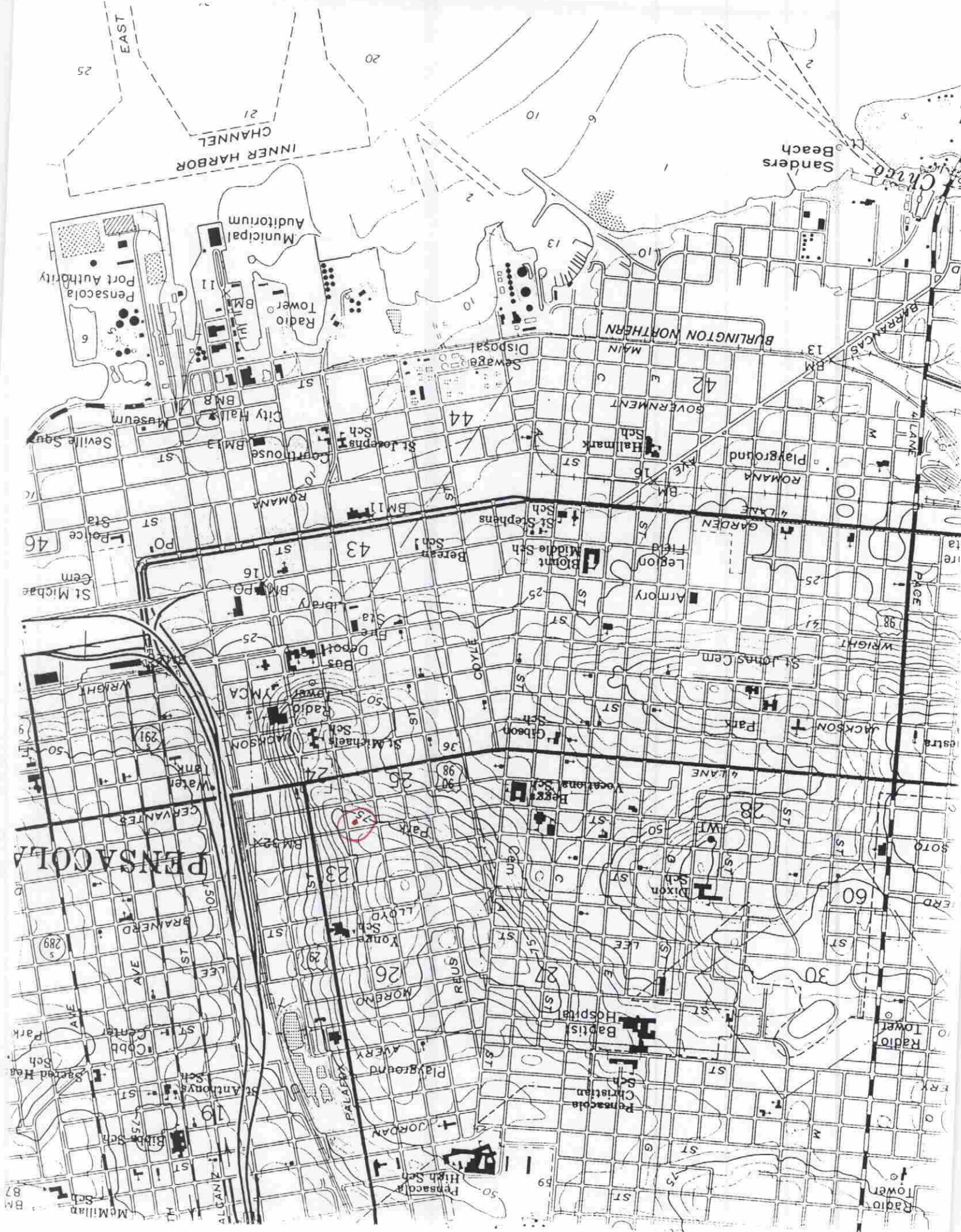
PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R10, F19-20

RECORDERNAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date <u> </u>
		SHPO-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date <u> </u>
DELIST DATE		LOCAL DESIGNATION					Date <u> </u>
		Local office <u> </u>					

REQUIRED:

- * y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==

Site No. 2S 435
Site Name White, Henry S. House 830 ==
Survey Date 8005 820 ==
Address of Site: 919 N. Baylen St. Pensacola, Fl. 32501 905 ==
Instruction for locating SW corner of N Baylen St. 813 ==

Location: Belmont Tract 43 14-19 868 ==
subdivision name block no. lot no.
County: Escambia 808 ==

Owner of Site: Name: Reynolds, Karl J. and Jo Anne
Address: 919 N. Baylen St.
Pensacola, Fl. 32501 902 ==
Type of Ownership Private 848 == Recording Date 8005 832 ==
Recorder:
Name & Title: Gantzhorn, Alan; Guedez, Susan
Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence 818 ==
838 ==
Check One Check One or More
☒ Excellent 863 == ☒ Altered 858 ==
☐ Good 863 == ☐ Unaltered 858 ==
☐ Fair 863 == ☒ Original Site 858 ==
☐ Deteriorated 863 == ☐ Restored () (Date:) () 858 ==
☐ Moved () (Date:) () 858 ==

NR Classification Category: District 916 ==

Threats to Site:

Check One or More
Zoning () ☒ 878 == Transportation () ☒ 878 ==
Development () ☒ 878 == Fill () ☒ 878 ==
Deterioration () ☒ 878 == Dredge () ☒ 878 ==
Borrowing () ☒ 878 ==
Other (See Remarks Below) 878 ==

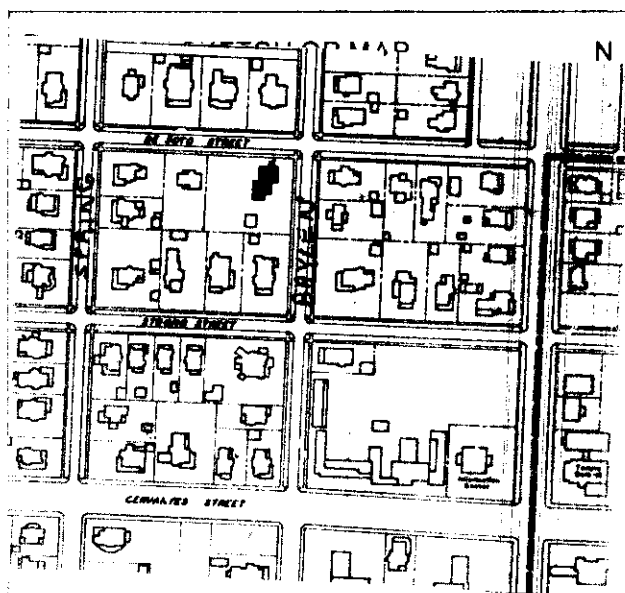
Areas of Significance: Architecture, History 910 ==

Significance.

Henry S. and Ella H. White aquired this property in 1891 and built the house in 1897. In 1903 White was a printer and by 1916 was the president of White Printing Co. at 9 W. Romana. He died in the mid-twenties leaving his wife, Ella, residing in the house.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Mediterranean Revival 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) Stucco 854 ==
 STRUCTURAL SYSTEM(S) Wood Frame 856 ==
 PORCHES E/1 story arcaded verandah , 3 bay, S access#E/wrought
iron balcony, exposed rafters and tie beams 942 ==
 FOUNDATION: Continuous: brick, stuccoed 942 ==
 ROOF TYPE: Intersecting gable 942 ==
 SECONDARY ROOF STRUCTURE(S): cross gable terminating in catsl. 942 ==
 CHIMNEY LOCATION: center west end 942 ==
 WINDOW TYPE: fixed, arched 942 ==
 CHIMNEY: Brick and stucco, 6 and 10 light, wood#DHS,4/1 882 ==
 ROOF SURFACING: Tile 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude: " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



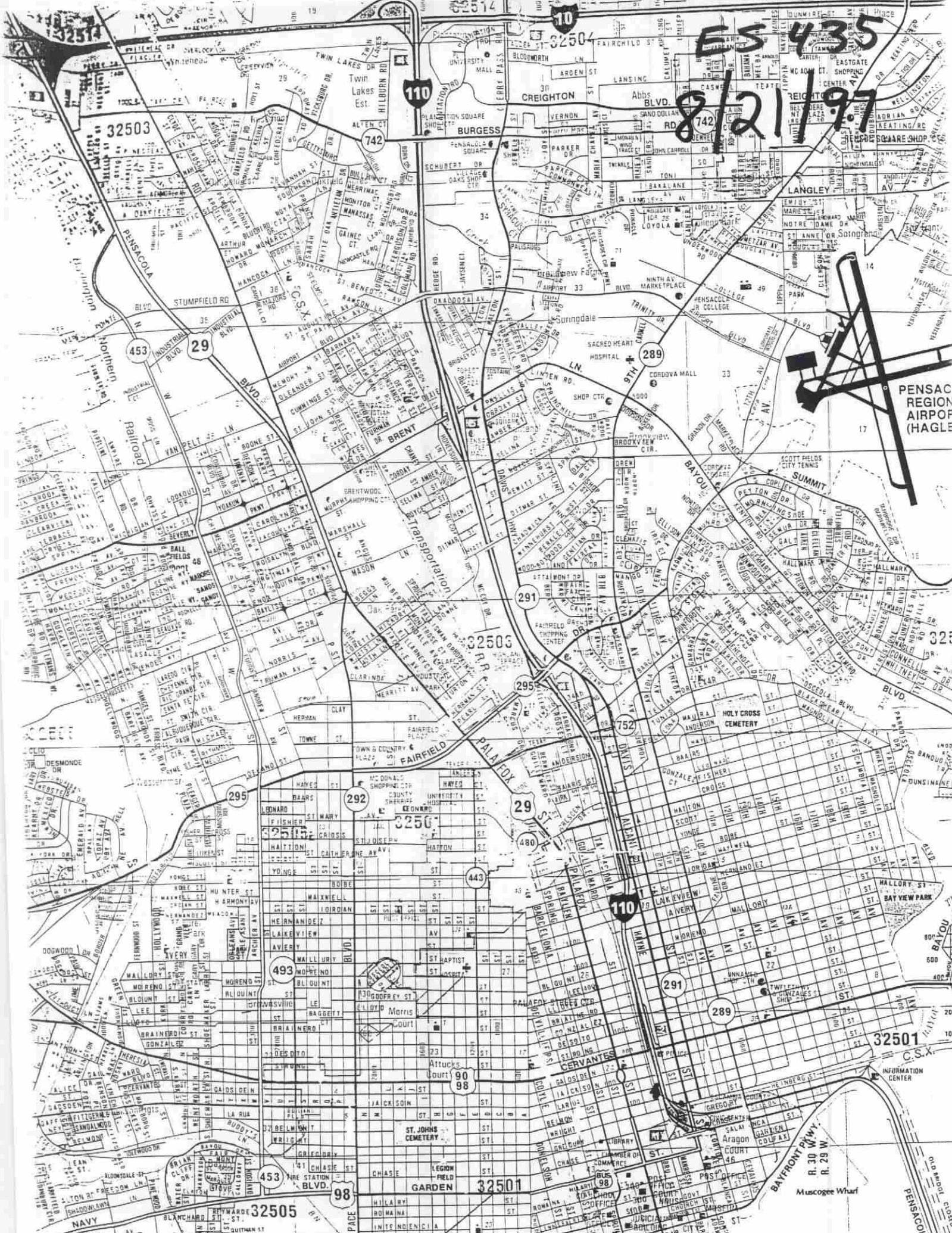
Township	Range	Section	
2S	30W	19	812 ==

UTM Coordinates:

Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P80.20 Fr. 21 860 ==
NH-R4-33A

Contact Print



ES 435
8/21/97



PENSAC REGION AIRPORT (HAGLE)

32514

32503

32503

32501

32505

32515

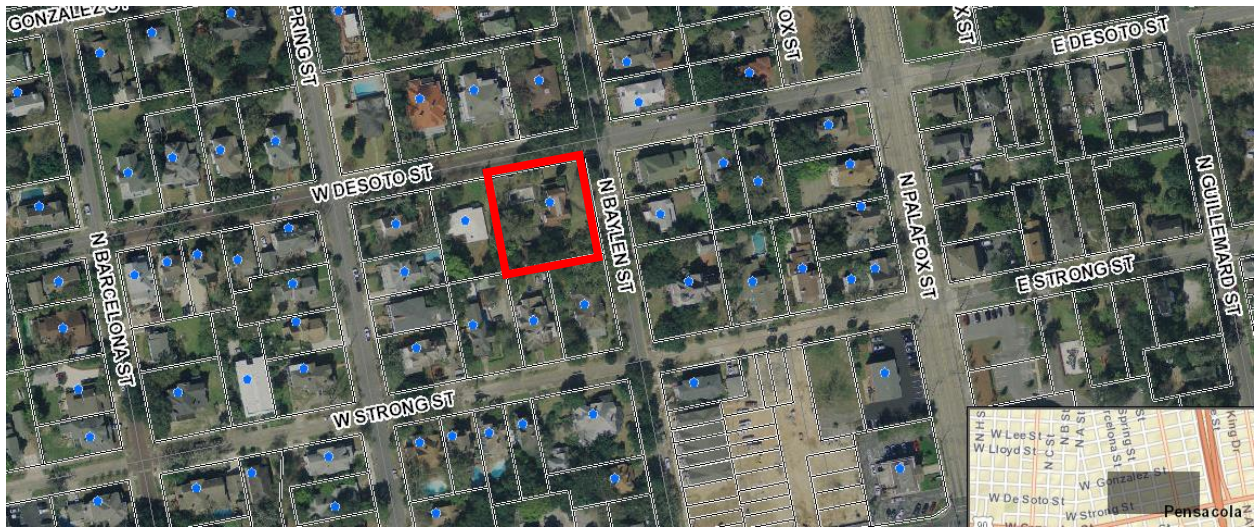
32501

32501

32505



919 N. Baylen Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 4/30/2020

Project Address: 919 N BAYLEN ST, PENSACOLA 32501

Applicant: Merrill Land Construction

Applicant's Address: 226 S Palafox Pl, Ste. 202, Pensacola 32502

Email: patrick@merrillland.com **Phone:** (850) 444-1700

Property Owner: Mr. Jeffrey Reynolds

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

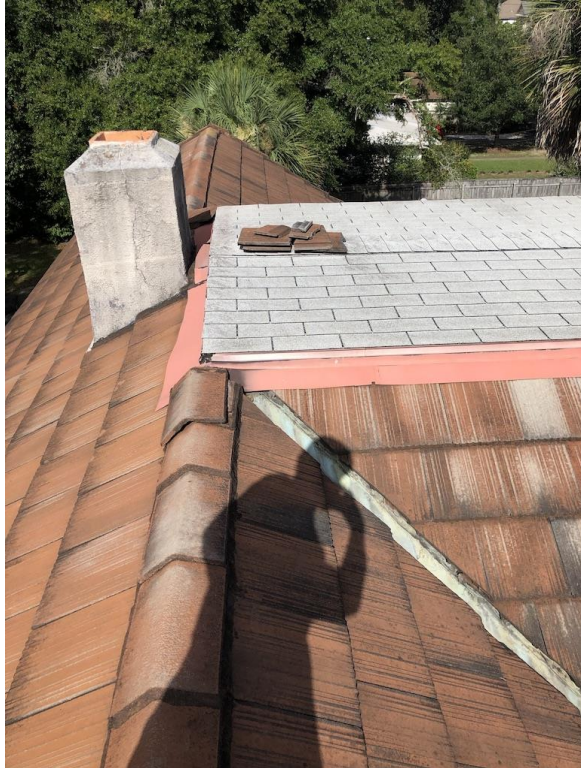
Removal of existing cement tile roof & underlayment and replacement with Decra Stone-Coated Metal Shingle product. The existing underlayment has failed, and the original cement tile roof cannot be removed without permanently damaging the units. The stone coated metal replacement looks very similar and performs at or better than the concrete tile, but is significantly less burdensome in cost of purchase, labor to install, and future maintenance. The stone coated metal shingles is a common replacement for this situation, and it can last just as long as the concrete tile.

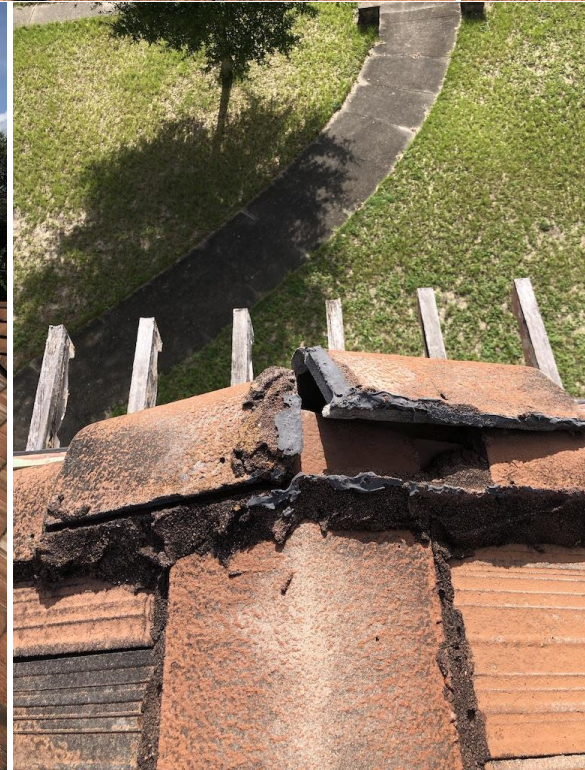
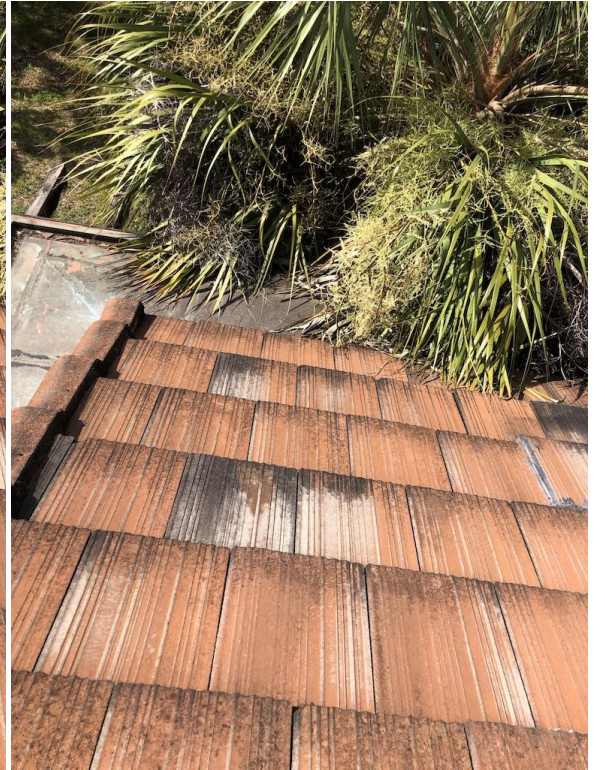
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

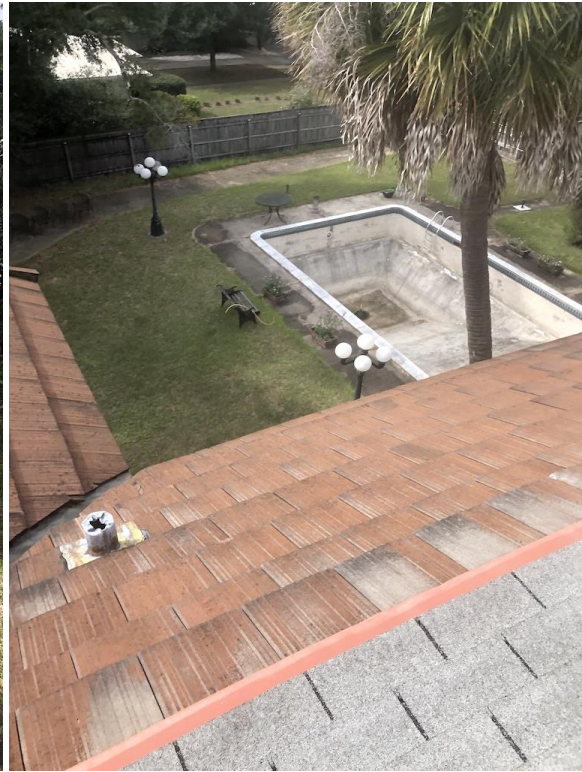

Applicant Signature


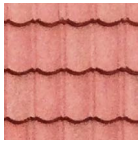

















4/30/2020

Date







PRODUCT PROFILES		PRODUCT SPECIFICATIONS					
			DECRA VILLA TILE	DECRA TILE	DECRA SHINGLE XD [®]	DECRA SHAKE XD [®]	DECRA SHAKE
DECRA VILLA TILE		Min Roof Pitch ▶	3:12	3:12	4:12	3:12	3:12
		Panel Size ▶	17" x 44-1/4"	16-1/2" x 52"	14-1/8" x 52-3/8"	14-1/8" x 52-1/8"	14-5/8" x 53"
		Installed Exposure ▶	14-1/2" x 39-1/2"	14-1/2" x 50"	12-1/4" x 49-1/2"	12-3/8" x 49-7/8"	12-5/8" x 51"
DECRA SHINGLE XD		Panels per Square ▶	25.2	20	23.8	23.4	22.4
		Installed Weight ▶	160 lbs. / sq.	150 lbs. / sq.	150 lbs. / sq.	150 lbs. / sq.	150 lbs. / sq.
DECRA SHAKE							
AVAILABLE COLORS (Final color selection should be made from an actual product sample)							
DECRA VILLA TILE							
Amalfi Sand 		Capri Clay 		Pompeii Ash 		Rustico Clay 	
						Venetian Gold 	
DECRA TILE							
Charcoal 		Chestnut 		Garnet 		Granite Grey 	
Terracotta 		Weathered Timber 		Tuscan Sun 		Shadowwood 	
DECRA SHINGLE XD							
Classic Cobblestone 		Midnight Eclipse 		Natural Slate 		Old Hickory 	
						Woodland Green 	
DECRA SHAKE XD							
Antique Chestnut 		Pinnacle Grey 		Woodland Green 		Midnight Eclipse 	
DECRA SHAKE							
Charcoal 		Chestnut 		Granite Grey 		Shadowwood 	
						Weathered Timber 	

WARRANTY/COMPOSITION

Warranties

- Lifetime Limited Warranty*
- 120 mph Wind Speed Warranty
- Hail Stone Penetration Warranty

Composition

- Steel – Aluminum-Zinc Hot Dip Coating
- Acrylic Priming System
- Acrylic Basecoat
- Ceramic Coated Stone Granules
- Acrylic Over-Glaze

*DECRA offers a Lifetime Limited Warranty on single family residential in the U.S. & Canada.

***Confirmed with manufacturer that color is available with Decra Shake XD

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*DECRA offers a Lifetime Limited Warranty on single family residential in the U.S. & Canada.

DECRA Products Meet Requirements For: International Code Council (IRC, IBC Codes)

INCLUDES: [City of Los Angeles \(LARC, LABC\)](#)
[California State \(CRC, CBC\)](#)

- [ESR-2901 – Tile, Shake, Shingle Plus \(battens\)](#)
- [ESR-1754 – Villa Tile, Shake XD, Shingle XD, Shingle Plus \(direct to deck\)](#)

Miami - Dade County, Florida

- [Miami Dade County NOA#18-1015.06 Tile, Villa Tile, Shake, Shingle Plus, Shake XD](#)
- [Miami Dade County NOA#17-1227.02 DECRA Ridge Vent](#)

Florida Building Code

- [Approval #9759-R8: Shake, Tile, Shingle XD, Shake XD, Villa Tile, Shingle Plus](#)
- [Installation: FL11255-R6 2017](#)
- [DECRA Ridge Vent: FL17492-R3 II NOA 17122702 2017](#)

Texas Department of Insurance

- [TDI Form for Homeowners](#)
- [Qualifying Product of Impact Resistance](#)
- [TDI Report #RC-282 Wind Resistance – Villa Tile](#)

- [TDI Report #RC-235 Wind Resistance – Shake XD, Shingle XD](#)
- [TDI Report #RC-281 Wind Resistance – Tile, Shake, Shingle Plus](#)

Underwriters Laboratories, Inc – Listings File #R14710

- Fire – UL 790 (ASTM E108 – A, B & C)
- Fire – UL CAN/ULC-S107 (Canada)
- Hail – UL 2218 (Class 4)
- Uplift – UL 580 & UL 1897 – Class 90
- ISO 9001:2015; ISO 14001:2015; ISO 45001:2018

Additional Testing for LEED[®] and CA Title 24 Cool Colors

- ASTM – E903 Solar Absorptance, Reflectance, and Transmittance of Materials Using Integrating Spheres
- ASTM – E408 Total Normal Emittance of Surfaces Using Inspection-Meter Techniques
- ASTM – E1980 Calculating Solar Reflectance Index of Horizontal and Low-Sloped Opaque Surfaces

DECRA[®]
METAL ROOFING



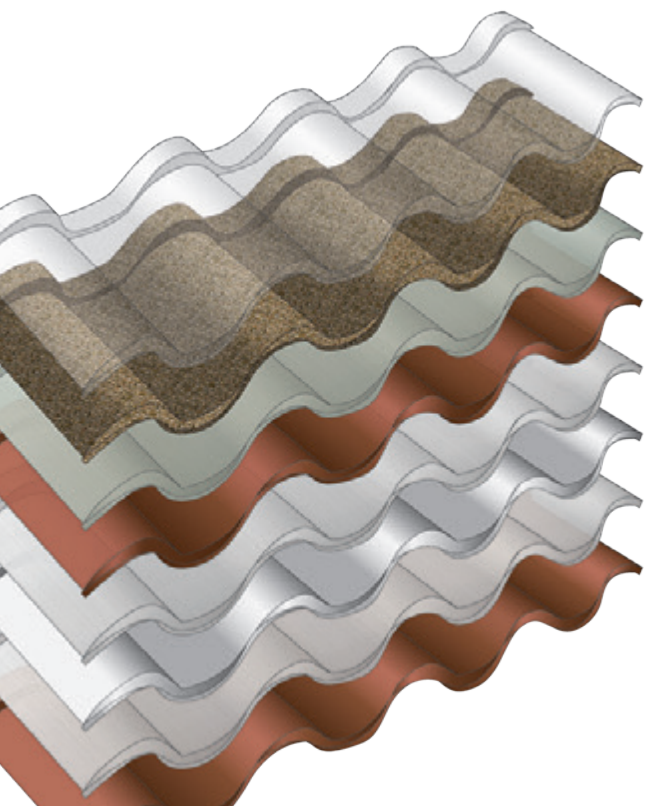
BEAUTY THAT CAPTIVATES.
STRENGTH THAT PROTECTS.

The **#1** Performing Roof to Protect Your Home.



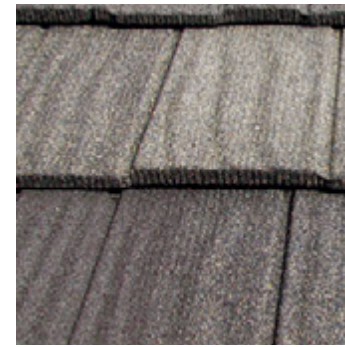
ROOFING WITH STYLE AND SUBSTANCE

A perfect blend of over 60 years of research and practical experience, DECRA's product lines offer the ultimate in style, performance and engineering design. You'll be the absolute envy of your neighborhood.



ENGINEERED TO PROTECT

The strength and durability of a DECRA roof is combined with the versatile good looks of a tile, shake or shingle style, all aimed at providing the optimal roof solution. DECRA panels have a unique interlocking design to withstand high winds while adding shear strength.



PEACE OF MIND

Breathtaking designs are what you see at first glance, but underneath are layers of pure protection. A DECRA roof is a piece of beauty that offers peace of mind.

- ✓ Protective Layers Deliver Long Life Performance
- ✓ Lifetime Limited Warranty
- ✓ Class A Fire Rated Material
- ✓ Best In Class Weight-To-Strength Ratio
- ✓ Severe Weather Resistance
- ✓ Class 4 Impact Resistance (Highest Rating)

“DECRA is not only a beautiful, durable roof that can withstand storms, but it is an investment into the value of our home. I am proud to be a DECRA roof owner.”

— Steven Sigler, Fairhope, Alabama



DECRA VILLA TILE



DECRA VILLA TILE

Classic Elegance of Old Barrel Tile

A unique and premium offering, DECRA Villa Tile features the classic beauty, elegance and architectural detail of an old-world Italian tile. Durable, lightweight and a true barrel tile, Villa Tile outclasses the competition. It's an excellent alternative to clay and concrete tiles, which crack easily and are vulnerable to hail and storm debris impact.



AMALFI SAND



CAPRI CLAY



POMPEII ASH



RUSTICO CLAY



TUSCAN SUN*



VENETIAN GOLD



WOODLAND GREEN



*A CRRC-approved cool color version is available (Tuscan Sun CC)

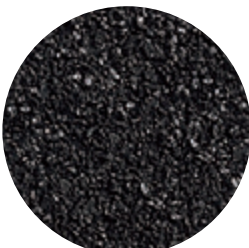


DECRA TILE

DECRA TILE

Beauty and Style of Mediterranean Tile

DECRA Tile, offering the beauty and style of Mediterranean tile, adds a unique elegance to any home. With a long-standing reputation for performance, longevity and versatility, it is an ideal, lightweight alternative to traditional tile products.



CHARCOAL



CHESTNUT



GARNET



SHADOWWOOD



GRANITE GREY



TERRACOTTA



TUSCAN SUN*



WEATHERED TIMBER

*A CRRC-approved cool color version is available (Tuscan Sun CC)





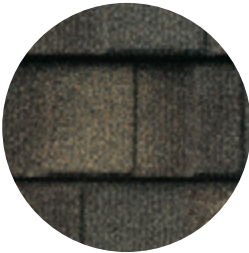
DECRA SHINGLE XD



DECRA SHINGLE XD®

Shingle at a Fraction of the Weight

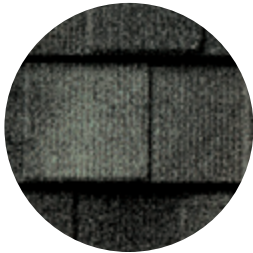
DECRA Shingle XD has the rich, bold appearance of a heavyweight architectural shingle at a fraction of the weight. With its thick-cut edges and deep, distinctive shadow lines, DECRA Shingle XD provides greater dimensionality and a robust appearance. This profile adds the aesthetics of heavy-cutwood shingles without the ongoing maintenance that comes with a conventional shake roof.



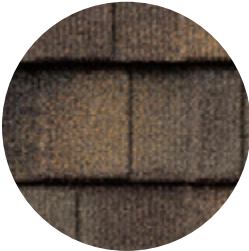
CLASSIC
COBBLESTONE



MIDNIGHT ECLIPSE



NATURAL SLATE



OLD HICKORY



WOODLAND GREEN



DECRA SHAKE XD



DECRA SHAKE XD

Classic Beauty of Hand-Split Wood Shake

DECRA Shake XD, emulating the classic beauty and architectural detail of a thick, rustic, hand-split wood shake, has a unique hidden fastening system and is installed direct-to-deck.



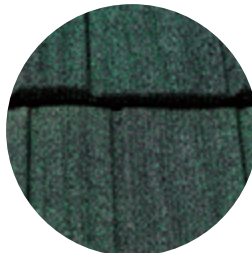
ANTIQUE CHESTNUT



PINNACLE GREY



MIDNIGHT ECLIPSE



WOODLAND GREEN

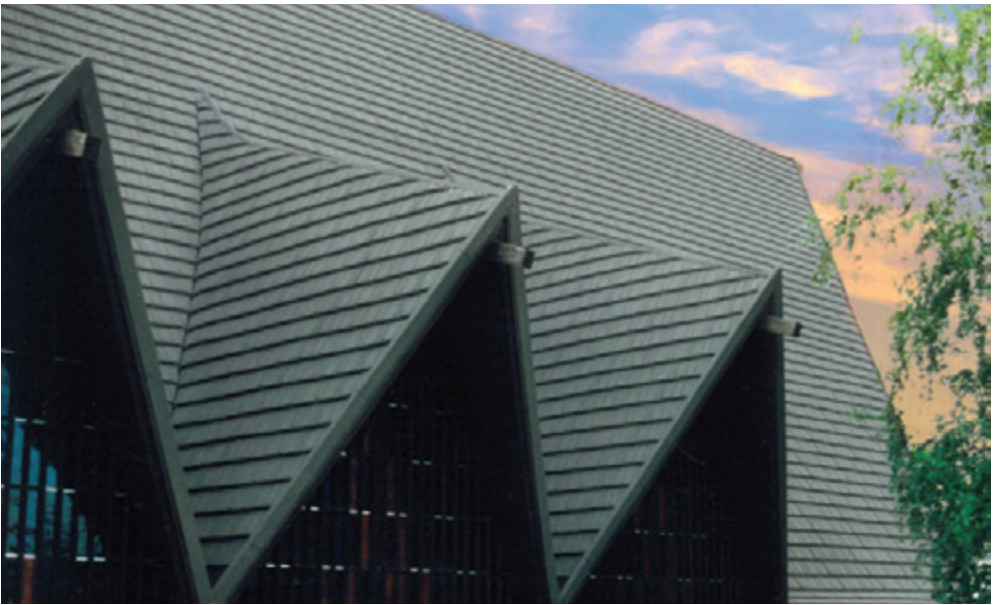


DECRA SHAKE



DECRA SHAKE
Beauty and Richness of Cedar Shake

DECRA stone-coated steel shakes provide the same distinctive rich beauty of cedar shakes with the durability to handle anything Mother Nature dishes out.



CHARCOAL



CHESTNUT



GRANITE GREY



SHADOWWOOD



WEATHERED TIMBER



BEFORE Asphalt Roof



AFTER DECRA Roof

PRODUCT COMPARISON

Asphalt roofs are temporary when compared to DECRA.

In an average lifetime, a homeowner will need to replace an asphalt roof at least two-and-a-half times. With DECRA, there's no worrying about costly, unexpected expenses. Plus, DECRA's Lifetime Limited Warranty eliminates the hassle.



=



ASPHALT ROOF



ASPHALT ROOF



ASPHALT ROOF

PROVEN HISTORY OF SURVIVING HARSH CONDITIONS

DECRA's roofing systems have excelled through some of the harshest weather conditions around the world for over 60 years. DECRA's interlocking panels are strong and non-combustible (Class A fire-rated), and they are covered by a transferable Lifetime Limited Warranty, including peace-of-mind coverage for winds up to 120 mph and hail penetration (Class 4 Impact Resistant).



A DECRA roof is durable, freeze-thaw resistant, and will offer richness and beauty to enhance your home. For style and protection, DECRA is the obvious choice.

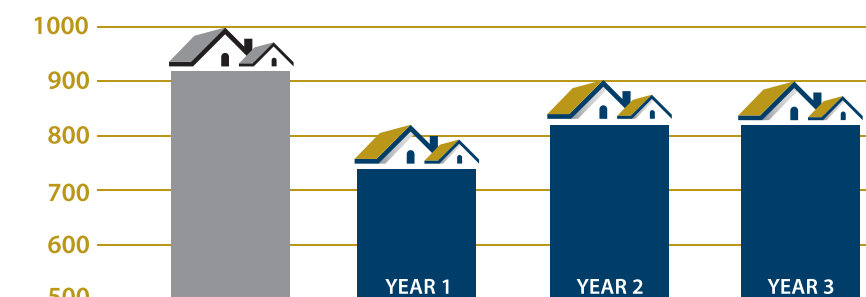


BENEFIT FROM ABOVE SHEATHING VENTILATION (ASV): DECRA Metal Roofing panels create an airspace between the panel and the roof deck. This reduces heat transfer and helps to reduce and or eliminate ice dams.

COOL ROOFING — LITERALLY

A DECRA family lowered its kilowatt use by 15%, simply by installing a DECRA Villa Tile roofing system.

ENERGY SAVED BY SWITCHING FROM CONCRETE TILE TO DECRA VILLA TILE



Average Kilowatt Hour (kWh)

■ Concrete Tile

■ DECRA Villa Tile
METAL ROOFING

“This spring was much hotter than last year, but we used our air conditioning much less. Clearly, our house has stayed cooler with the addition of our DECRA roof.”

— Holly Summers
Ellicott City, Maryland





YOU'LL KNOW WHEN IT'S A DECRA ROOF

What is DECRA's warranty?

The best in the industry. DECRA roofs carry a Lifetime Limited Warranty, covering 120 mph winds, hail penetration for any size hail and manufacturing defects, including excessive granule loss. In addition, material and labor are covered for the first 20 years; after that time, material is covered for the remaining warranty period.



Can I get a discount on my homeowners insurance?

In many states, the Class 4 Impact Resistance rating can earn a discount on homeowners insurance. Ask your local insurance agent for details.

Is a DECRA roofing system more expensive?

A DECRA roof offers more value for your money. You would have to purchase and install two-and-a-half shingle roofs for the cost of one DECRA roof.

Similar to most products you buy – you get what you pay for. A DECRA roof offers more for your money and can last a lifetime.

Rich Appearance of Thick-Cut Shingles

Robust, thick-cut DECRA Shingle XD provides the bold look and distinct shadow lines of heavy architectural shingles in a lightweight roofing profile that is warranted to last a lifetime.

Traditional asphalt shingles must be replaced every 10-20 years due to cupping, delaminating, and blistering. As the lightest roofing material on the market, DECRA Shingle XD can eliminate the need for a complete tear-off of the existing roof, saving time, labor, and expense for roofing remodels and upgrades.

Stone-coated steel provides strength and endurance that eliminates recurring roofing replacement costs with an elegant roofing solution that stands up to hail, rain, fire, storm debris, and even hurricane-force winds.

Unsurpassed Strength Against the Elements



All DECRA roofs are backed by the industry's best Lifetime Limited Warranty, covering 120 mph winds and hail penetration of any size.

Get a free sample at [DECRA.COM](https://www.decra.com)



DECRA Shingle XD Specs

Product Size: 14-¹/₈" x 52-³/₈"

Installed Exposure: 12-¹/₄" x 49-¹/₂"

Panels per Square: 23.8 per 100 sq. ft.

Panels per Pallet: 280

Squares per Pallet: 11.8

Pallet Weight: 1,719 lbs.

Installed Weight: 150 lbs. per 100 sq. ft.

Installation Method:

Designed to be Installed Direct to Deck



DECRA SHINGLE XD **Classic Cobblestone**



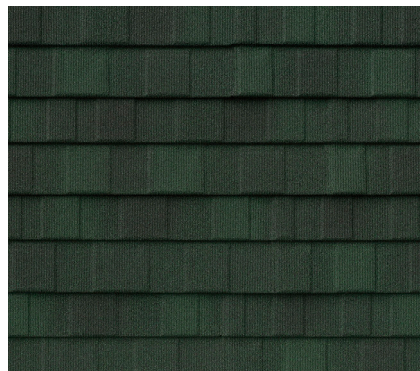
DECRA SHINGLE XD **Midnight Eclipse**



DECRA SHINGLE XD **Natural Slate**



DECRA SHINGLE XD **Old Hickory**



DECRA SHINGLE XD **Woodland Green**

DECRA[®]
METAL ROOFING

©2019 DECRA Roofing Systems, Inc.
*DECRA Lifetime Limited Warranty is only applicable to single family detached residential property in the U.S. & Canada.

877-GO-DECRA [463-3272] | DECRA.COM

ROOFING MATERIAL COMPARISONS

	DECRA METAL ROOFING	CONCRETE & CLAY TILE	FIBER CEMENT	ARCHITECTURAL SHINGLES	WOOD SHAKE	SYNTHETIC COMPOSITE	STANDING SEAM
COST SAVINGS	Low Life Cycle Costs <ul style="list-style-type: none"> Long Use Cycle Lifespan is 2-3 times longer 	High Costs Lifespan is 20-50 years	High Costs Lifespan is 25-40 years	High Costs Lifespan is approx. 20 years	High Costs Lifespan is 20-30 years	High Costs Lifespan is unproven, expect 50 years	Low Life Cycle Cost Long Use Cycle - Lifespan is 2-3 times Longer
FIRE	Class A Rated Material	Class A Rated Material	Class A Rated Material	Class A Rated Material	Class B or C No rating if untreated	Class A or C underlayment requirements	Class A Rated Material
STORM	120 mph Wind Warranty	Wind damage not covered	75 mph Wind Warranty	60-110 mph Wind Warranty Special restrictions	Wind damage not covered	70-110 mph Wind Warranty	UL Tested
HAIL	Class 4 Impact Resistant Warranty covers hail of any size	Cracks very easily, Not rated	Class 4 Warranty limited by hail size	Class 3 or 4	Class 3 or 4	Class 4	Class 4 Warranty limited by hail size
SNOW & ICE	Freeze & Thaw Resistant	Not waterproof, when wet can absorb 15% of weight in water	Freeze/Thaw Resistant	Freeze/Thaw Resistant	Limited Freeze/Thaw Cycles	Freeze/Thaw Resistant	Freeze/Thaw Resistant (snow guards recommended)
EARTHQUAKE	Lightweight & Added Shear Strength	Heaviest weight with no added shear strength	Moderate weight with no added shear strength	Moderate weight with no added shear strength	Light to moderate weight with no added shear strength	Moderate weight with no added shear strength	N/A
ECO-FRIENDLY	Low Impact <ul style="list-style-type: none"> Often no tear-off needed Recycled material End of life recyclability 	High Impact <ul style="list-style-type: none"> High embodied energy Tear-off is required Limited recycling use 	Moderate Impact <ul style="list-style-type: none"> Not virgin material Tear-off is required Limited recycling use 	High Impact <ul style="list-style-type: none"> High embodied energy Tear-off usually required Limited recycling use 	Moderate Impact <ul style="list-style-type: none"> Renewable resource Tear-off required End of life recyclability 	Moderate to High Impact <ul style="list-style-type: none"> Limited information Tear-off required Not all are recyclable 	Low Impact <ul style="list-style-type: none"> Often no tear-off Recycled material End of life recyclability
MAINTENANCE	Low	Moderate to High (broken tiles)	Moderate to High (broken tiles)	Low	High (fire resistance maintenance required)	Moderate (replacement for breakage and curling)	Moderate to High (if repainting required)
WEIGHT	Lightest 1.4-1.6 lbs./sq.ft. Avg. Roof: 3,700 to 4,500 lbs.	6-15 lbs./sq.ft. Avg. Roof: 18,000 to 45,000 lbs.	6 lbs./sq.ft. Avg. Roof: 18,000 lbs.	2.5-4 lbs./sqft Avg. Roof: 7,500 to 12,000 lbs.	1.5-2 lbs./sq.ft. Avg. Roof: 4,500 to 6,000 lbs.	2.5-3 lbs./sq.ft. Avg. Roof: 7,500 to 9,000 lbs.	.7-1.5 lbs./sq.ft. Avg. Roof: 3,750 to 4,500 lbs.
WARRANTY	Lifetime Limited Warranty	25-50 Year Limited Warranty	50-Year Limited Warranty	25-Year to Lifetime Limited Warranty	25-40 Year Limited Warranty	50-Year Limited Warranty	Coverage varies by manufacturer



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00245

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 8
113 N. Palafox Street
Palafox Historic Business District / Zone C-2A
Contributing Structure

BACKGROUND:

Scott Sallis is requesting approval to modify the front and rear of a non-contributing structure. The proposed street front renovations include a replacement standing seam awning with wood brackets, a new aluminum storefront system, lighting, and a new stucco façade. Improvements to the rear will primarily include minor repairs and new paint. Since the current awning is shared by the adjacent store (111 N. Palafox Street), the next door awning will be replaced in-kind to match the existing materials and colors.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTION:

Sec. 12-2-21(F)(4) *PHBD, Board review standards, specifically (4)(b) Building fronts, rears, and sides abutting streets and public areas, (4)(c) Windows, (4)(d) Show windows and storefronts, and (4)(e) Exterior walls*

FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM 802 = =
1009 = =

Site Name _____ Site No. 2S 1003
Address of Site: 113-119 N. Palafox St., Pensacola, FL 32501 830 = = Survey Date 8210 820 = =
Instruction for locating West side of N. Palafox St. between W. Chase St. 905 = =
and W. Gregory St.
Location: old city tract 813 = =
subdivision name Arpent lts. block no. 36 lot no. 36 868 = =
County: Escambia 808 = =
Owner of Site: Name: Peake, E.W.
Address: P.O. Box 769
Pensacola, FL - 32502 902 = =
Type of Ownership Private 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Marcille, Ruth
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
Check One Check One or More 838 = =
☐ Excellent 863 = = ☒ Altered 858 = = Present Use Commercial 850 = =
☐ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning C + 1910 844 = =
☒ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 20th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: Building 916 = =
Threats to Site:

Check One or More
☐ Zoning (X) 878 = = ☐ Transportation (X) 878 = =
☐ Development (X) 878 = = ☐ Fill (X) 878 = =
☐ Deterioration (X) 878 = = ☐ Dredge (X) 878 = =
☐ Borrowing (X) 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture 910 = =

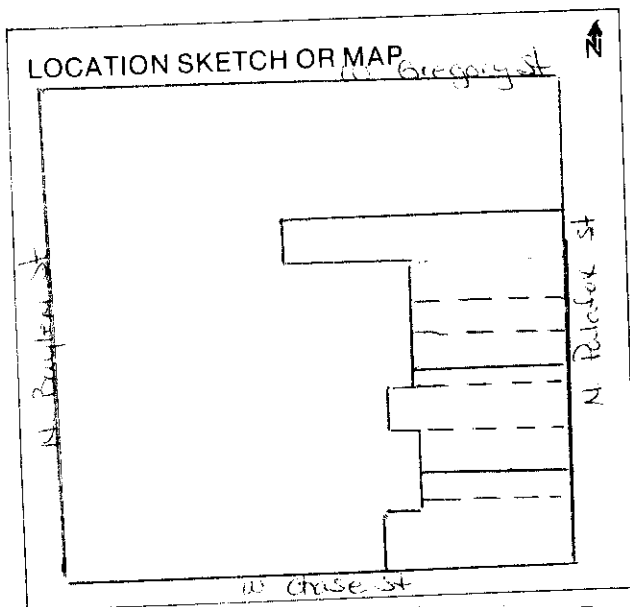
Significance:

Built between 1909 and 1912 by H.S. Keyser and George Brosnahan, this modest masonry vernacular structure has been in continuous use by various retail firms. It contributes to the character of the DIB district.

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Rectangular 966 = =
 EXTERIOR FABRIC(S) Ceramic tile # stucco: smooth # brick veneer # 854 = =
 STRUCTURAL SYSTEM(S) masonry: brick 856 = =
 PORCHES 942 = =
 FOUNDATION: Continuous: brick 942 = =
 ROOF TYPE: Flat: built up with parapet 942 = =
 SECONDARY ROOF STRUCTURE(S): Marquee: metal 942 = =
 CHIMNEY LOCATION: East, offset, interior 942 = =
 WINDOW TYPE: Fixed 882 = =
 CHIMNEY: Brick, corbelled 882 = =
 ROOF SURFACING: Built up 882 = =
 ORNAMENT EXTERIOR: Segmental arch over door 950 = =
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 1 954 = =
 NO. OF DORMERS 0
 Map Reference (incl. scale & date) USGS 7.5 min. Pensacola 1970 809 = =
 Latitude and Longitude: 800 = =
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section
2S	30W	46

UTM Coordinates:

Zone Easting Northing 890 = =

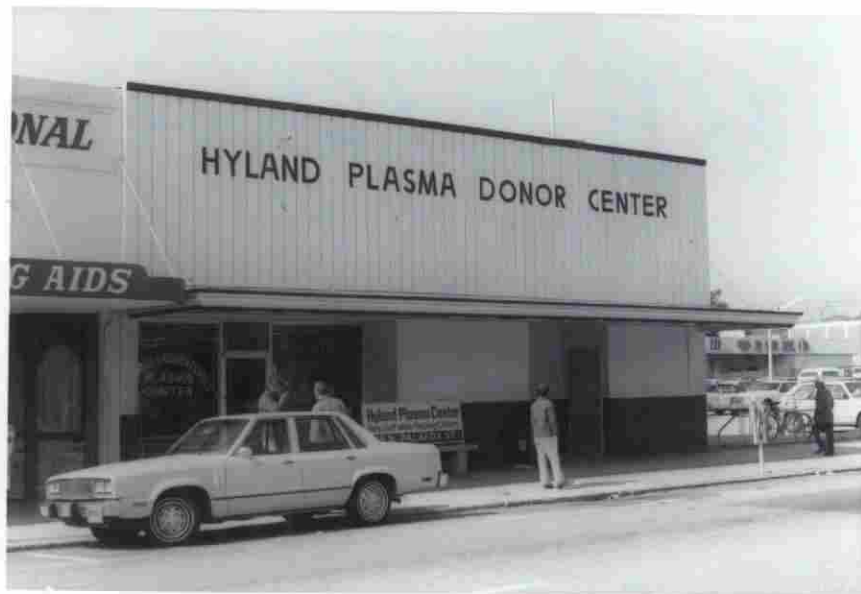
Photographic Records Numbers HPPB P. 83.8 Frame 36A 860 = =
P. 83.10 Frame 0

Contact Print

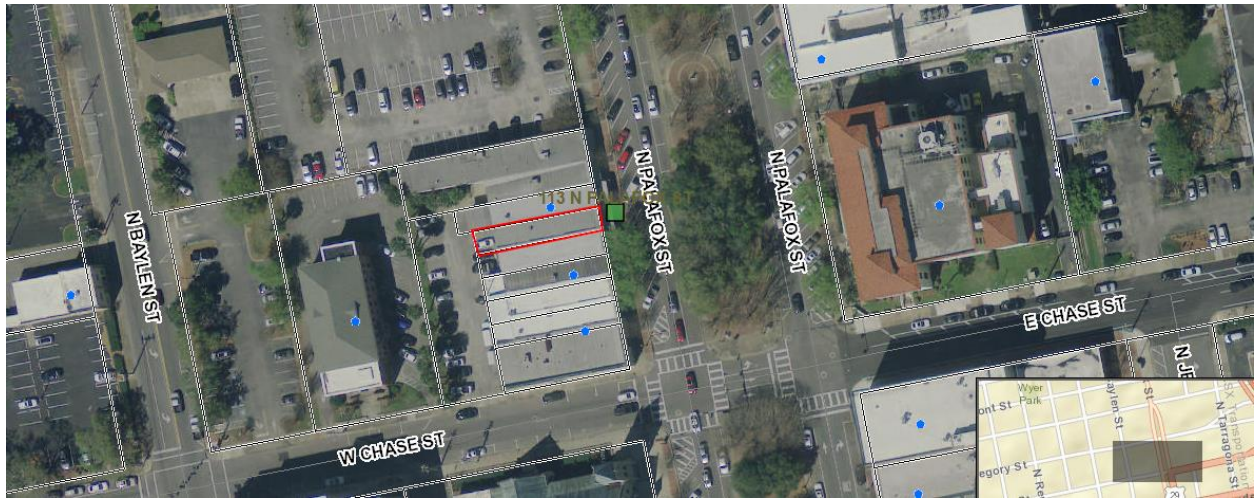
CONTINUATION SHEET

EXTERIOR FABRIC(S): wood, board and batten # metal, aluminum
siding # brick: common (6th) running

854==



113 N. Palafox Street



**Architectural Review Board Application
Full Board Review**



Application Date: 04-30-20

Project Address: 113 N. Palafox St.
Applicant: Dalrymple I Sallis Architecture
Applicant's Address: 503 E. Government St.
Email: scott@dalsal.com **Phone:** 850-470-6399
Property Owner: Spetto Properties, Inc.

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Removing existing building's awning, and renovating the facade to include new storefront,
awning, and stucco.

111 N. Palafox St: Due to the existing continuous, shared awning with the neighboring building,
replacement of the adjacent building's awning.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

04/30/20
Date

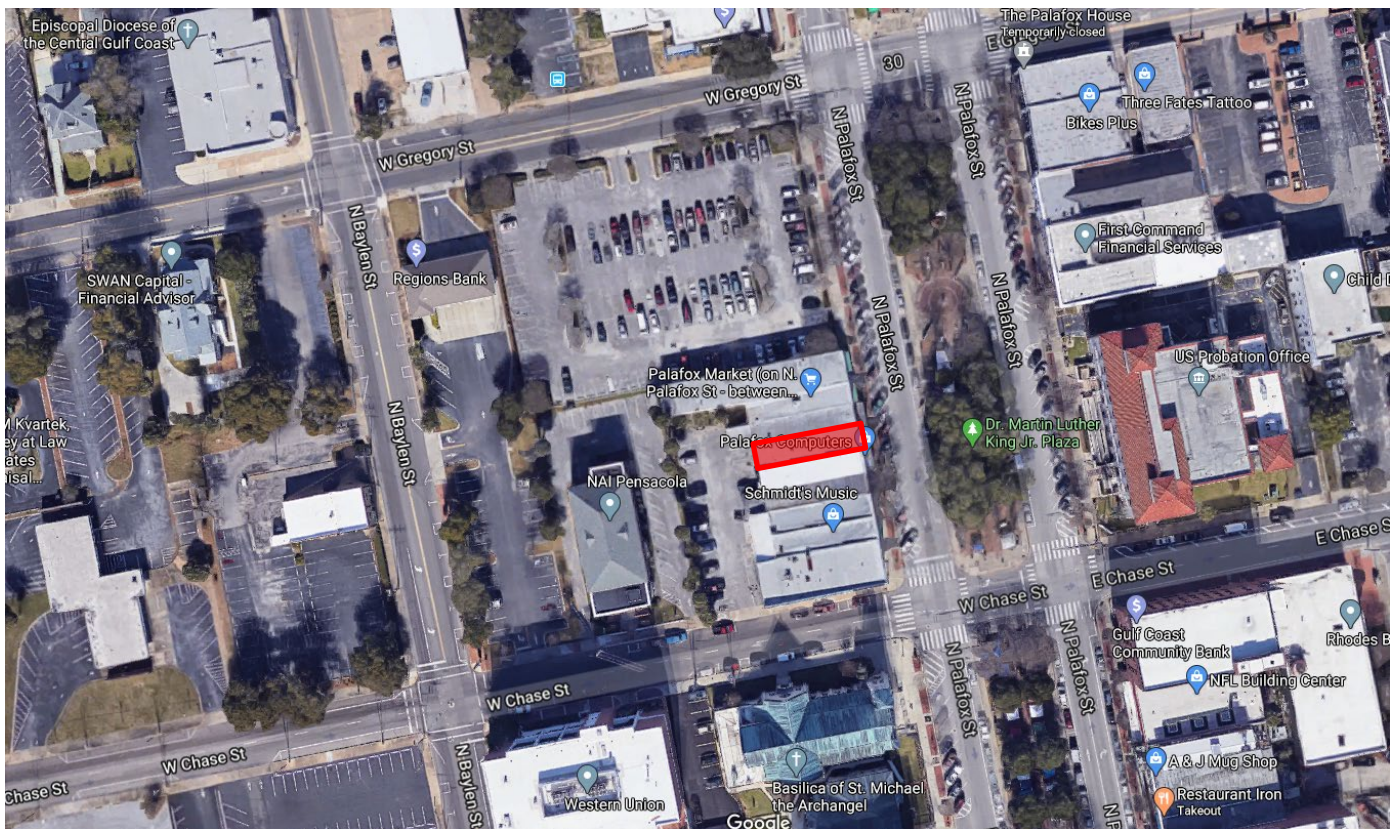
Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Date: Wednesday, April 29, 2020

Project: 113 N. Palafox St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



Project Location



View of Existing Front (Purple)



View of Existing Rear



Historical Photographs



113 N. Palafox, 1980s (Far Left)

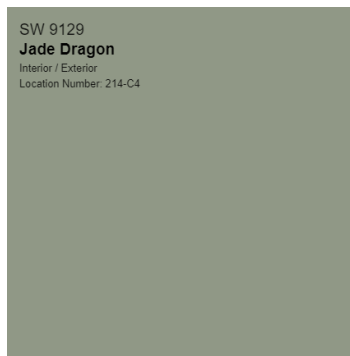
Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Stucco Primary (Front and Rear)	Sherwin Williams	SW "Passive"
Stucco Base	Sherwin Williams	SW "Jade Dragon"
Storefront Mullions	TBD	Dark Bronze Aluminum
Entry Door	Sherwin Williams	SW "Peppercorn"
Window/Door Headers	Sherwin Williams	SW "Peppercorn"
Water Table	Sherwin Williams	SW "Peppercorn"
Cornice	Sherwin Williams	SW "Peppercorn"
Awning Brackets/Framing	Sherwin Williams	SW "Tricorn Black"
Awning Roofing	Metal Sales	Galvalume
Alcove Ceiling	Sherwin Williams	SW "Passive"
Alcove Paving	Concrete	To Match Existing Sidewalk
Lighting	TBD	Black or Dark Bronze Metal
Rear Brick	-	Existing
Rear Door	Sherwin Williams	SW "Peppercorn"
 <u>111 N. Palafox St.</u>		
Awning Fascia	Sherwin Williams	To Match Existing
Awning Ceiling	Sherwin Williams	To Match Existing

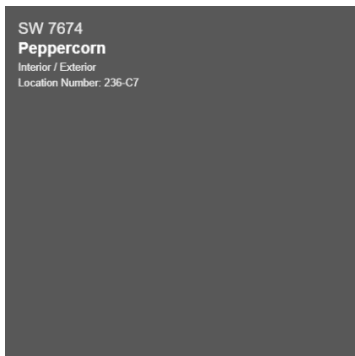
PAINT COLORS



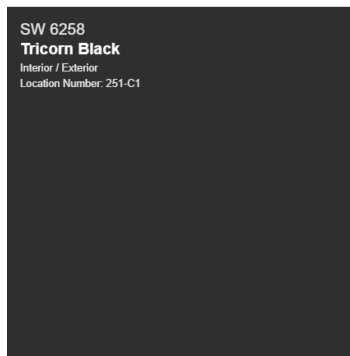
Stucco Primary
Sherwin Williams: "Passive"



Stucco Base
Sherwin Williams: "Jade Dragon"

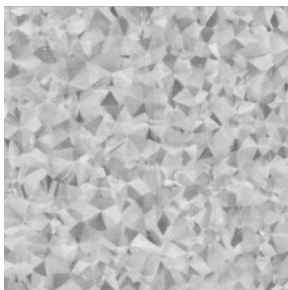


**Cornice/Headers/
Water Table/Doors**
Sherwin Williams:
"Peppercorn"



**Awning Brackets/
Framing**
Sherwin Williams:
"Tricorn Black"

AWNING



Roofing
Metal Sales
Standing Seam Metal:
Galvalume

LIGHTING



Exterior Sconce

Finish: Black or Bronze Metal



Gooseneck

Finish: Black or Bronze Metal

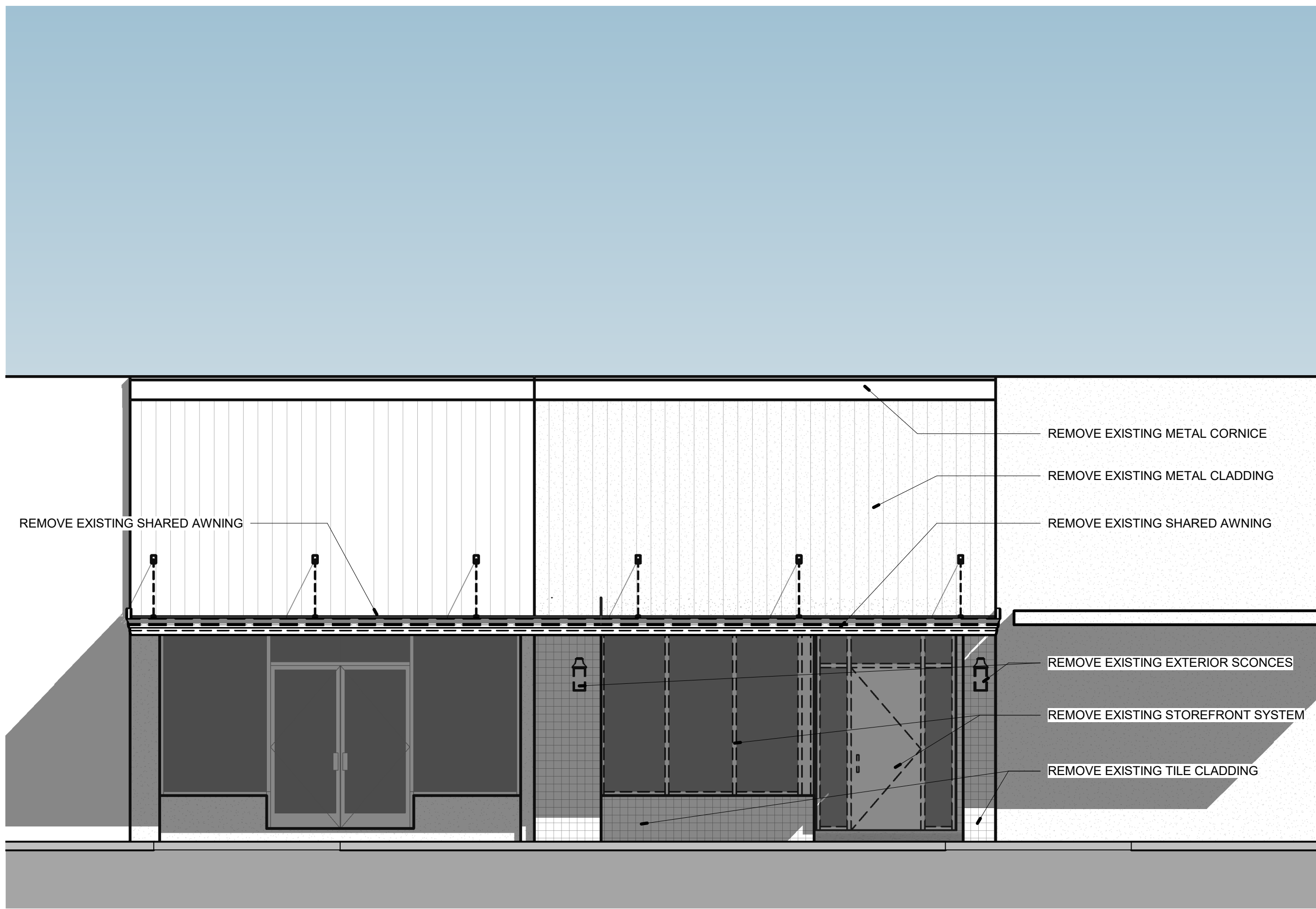
Renderings



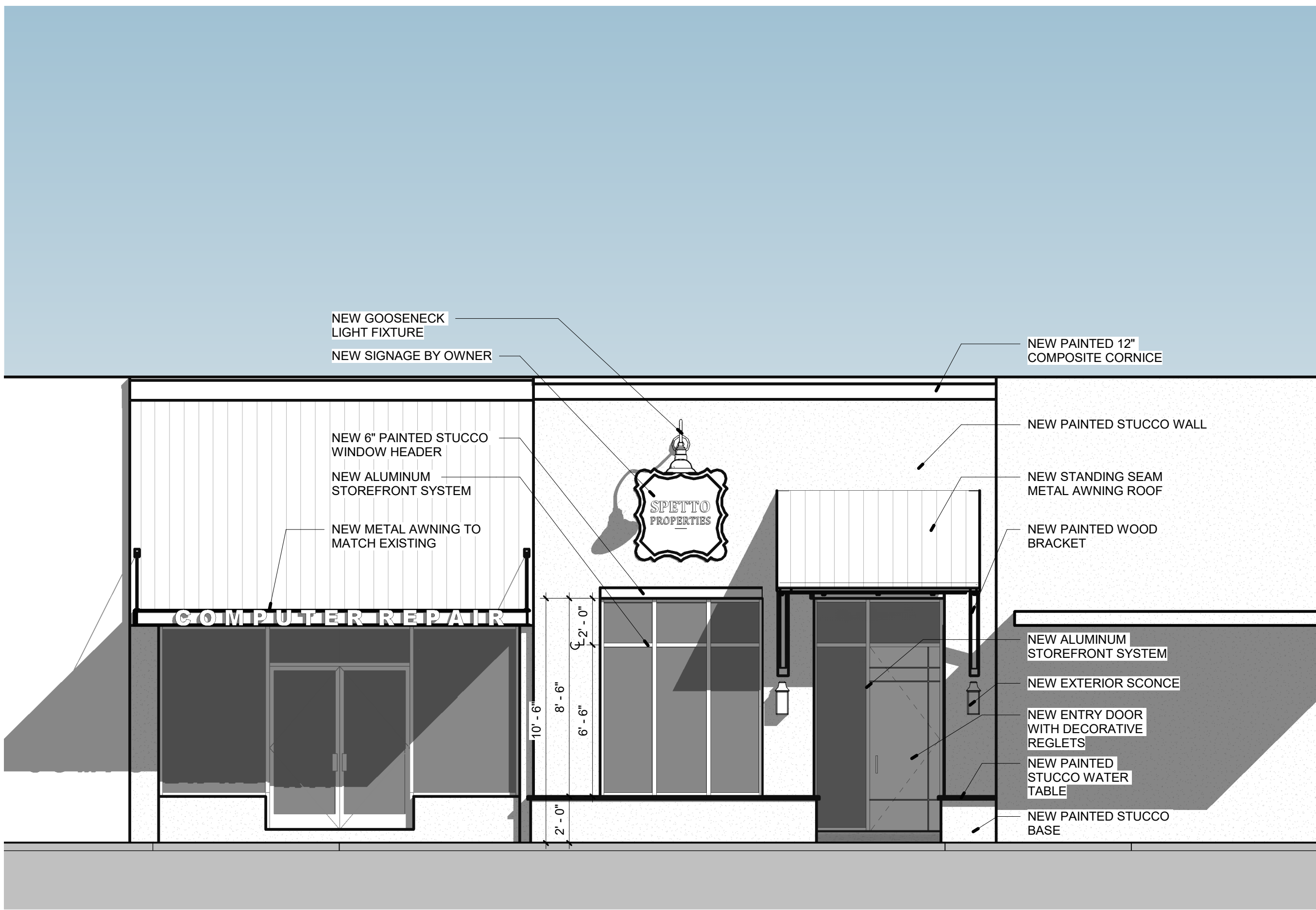
View of Front



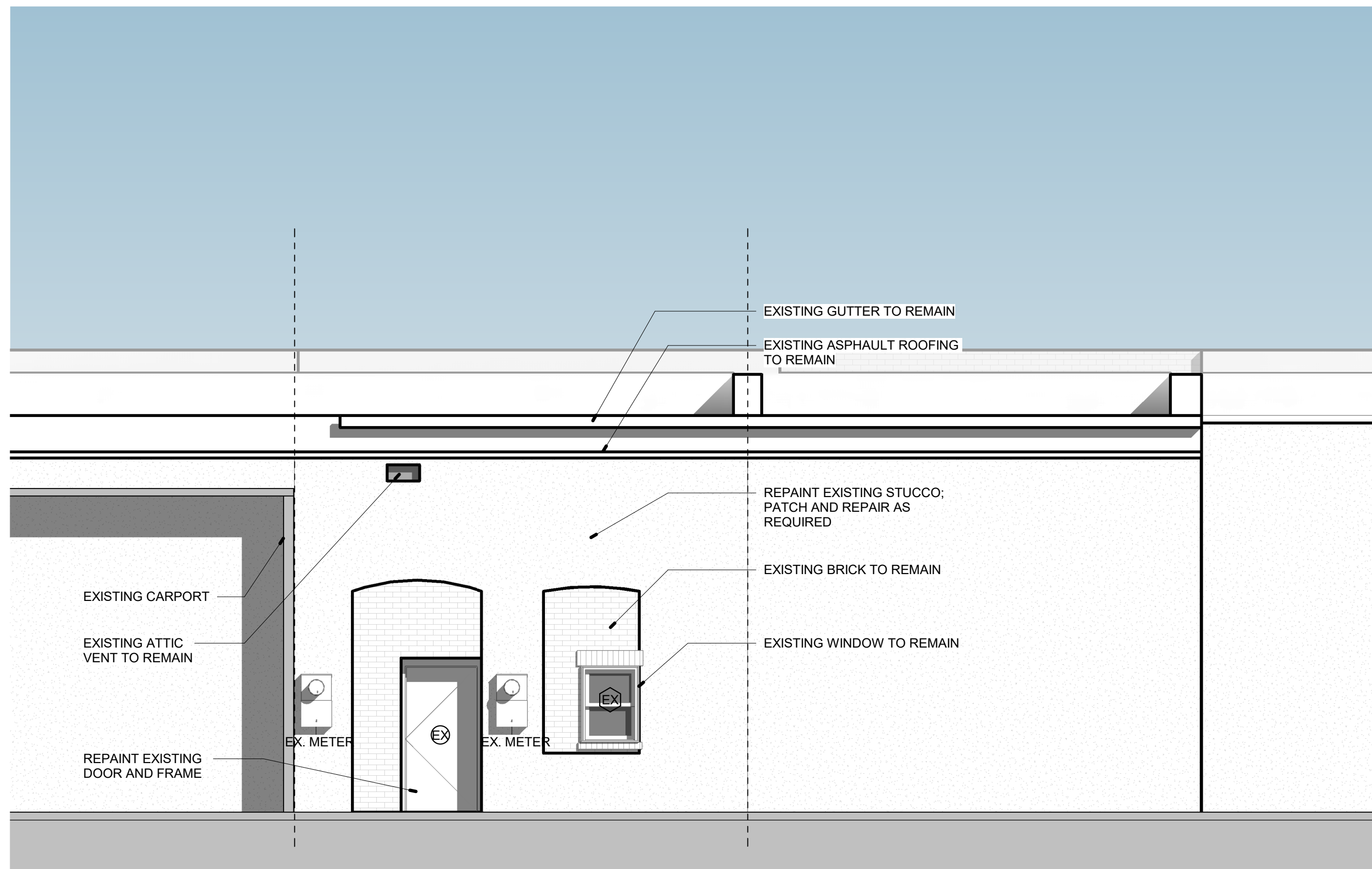
View of Rear



3 FRONT DEMOLITION ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

Spear Office Renovation

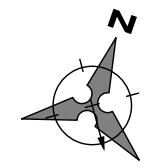
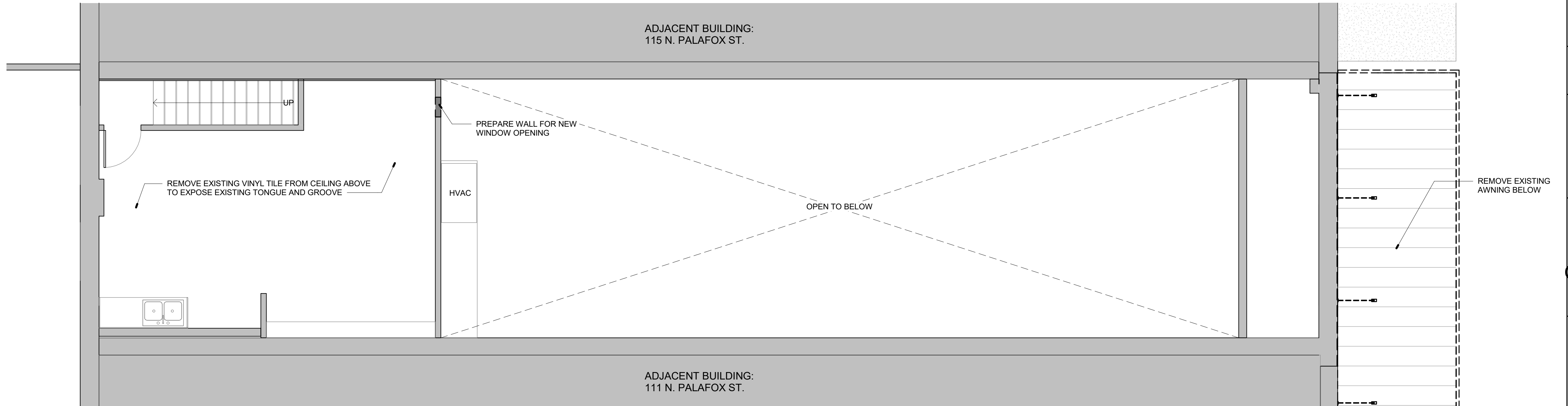
113 N Palafox St.
Pensacola, FL 32502

DRAWN BY: MH	CHECKED BY: JSS
ISSUE DATE: 04/28/20	
REVISIONS No.	Des. Date

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A201

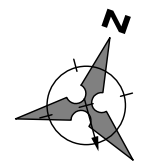
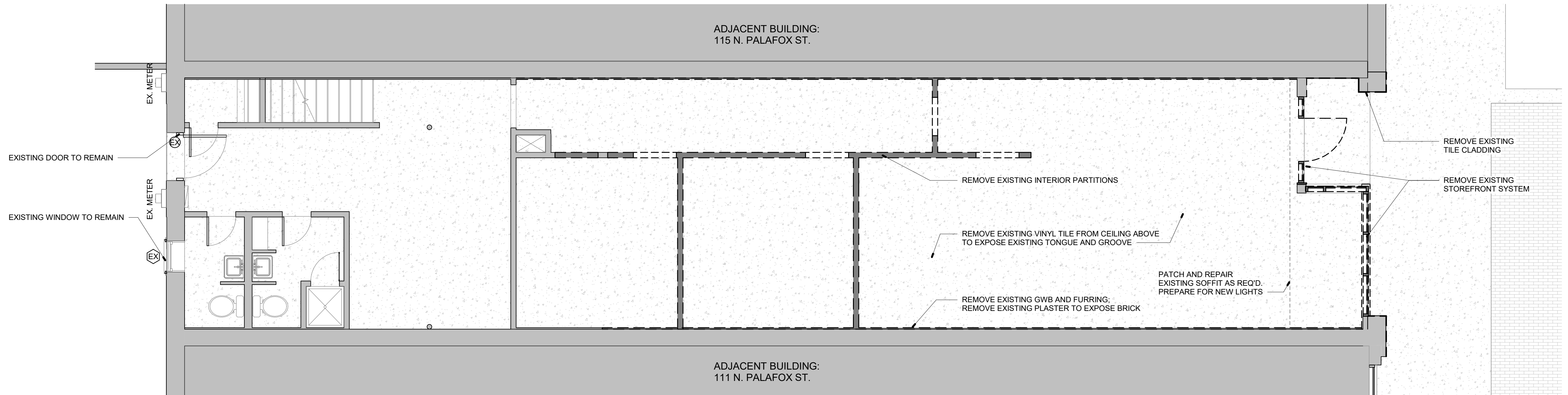
PROJECT NO:
20007



2

SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



1

FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



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architecture

503 E. Government St.
Pensacola, FL 32502
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f: 850-470-6397
www.dalsal.com
AR 0016385

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THE FIRM'S PRINCIPALS

CERTIFICATION

**NOT FOR
CONSTRUCTION**

Spear Office Renovation

113 N Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
04/28/20

REVISIONS No.	Des.	Date
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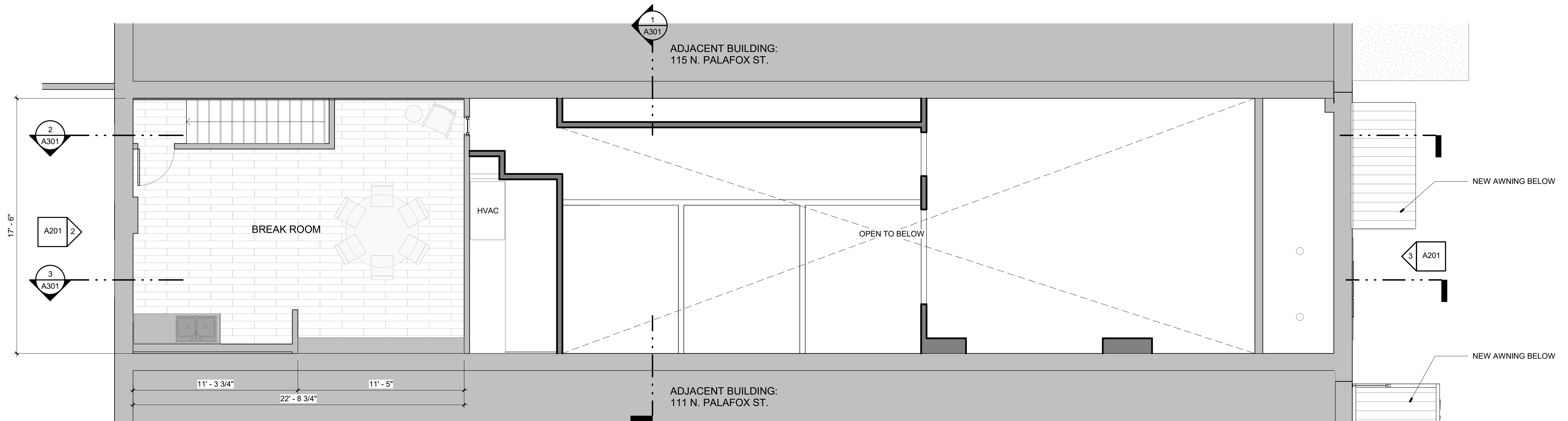
SHEET TITLE:

**DEMOLITION
PLANS**

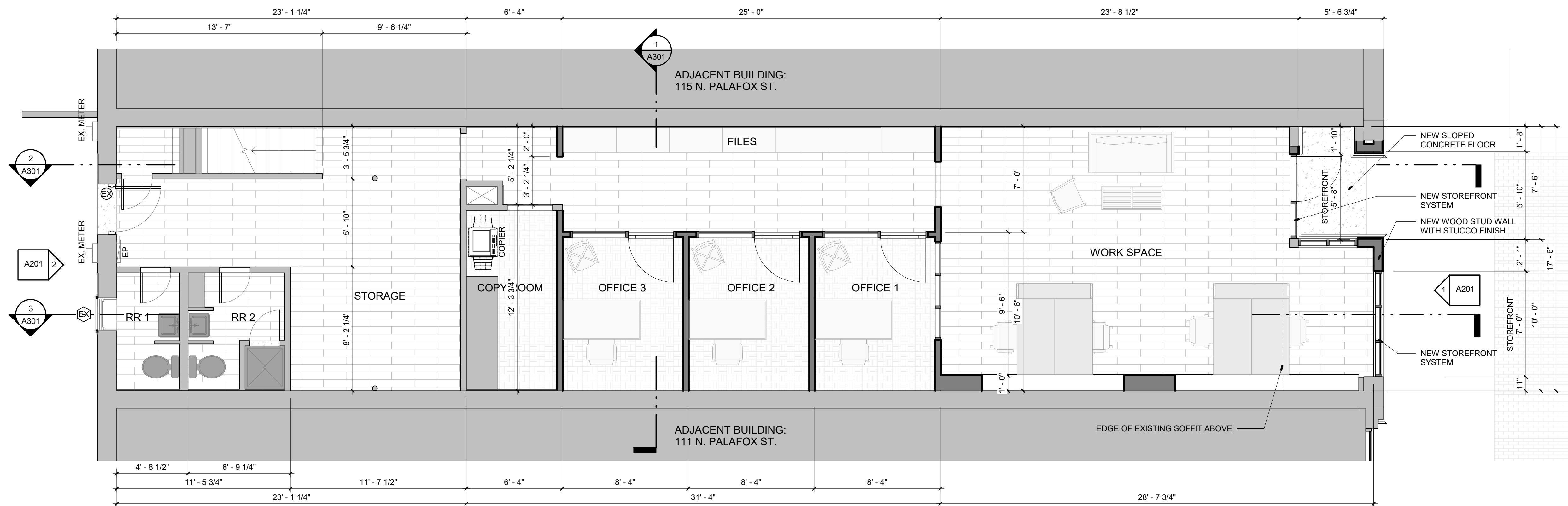
SHEET NO:

A001

PROJECT NO:
20007



2 MEZZANINE FLOOR PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"



dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

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CERTIFICATION

NOT FOR CONSTRUCTION

Spear Office Renovation

113 N Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
04/28/20

REVISIONS
No. Des. Date

SHEET TITLE:

NEW WORK FLOOR PLANS

SHEET NO:

A101

PROJECT NO:
20007



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00248

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 9
415 N. Alcaniz Street
Old East Hill Preservation District / Zone OEHC-1
Contributing Structure

BACKGROUND:

Scott Sallis is requesting final approval to renovate the 1928 Mount Olive Christian Church. The plans depict Airbnb-style boarding house with a new restaurant, bar, outdoor dining and event space. Modification to the building itself includes overall repairs, treatments to the outside flooring and stairs, replacement vinyl windows with simulated divided lites, new vinyl and fiberglass doors, and new lighting fixtures. Improvements will also include new landscaping, hardscape, and fencing.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(C)(6) *OEHPD, Regulations for any development in OEHPD*
Sec. 12-2-10(C)(8) *OEHPD, Renovation, alterations and additions to non-contributing structures within OEHPD*

HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site 8 ES 02016

☒ original
☐ update

Version 1.1: 3/89

Recorder # _____

SITE NAME Metropolitan Community Church of Pensacola, Inc.HISTORIC CONTEXTS Depression/New DealNAT. REGISTER CATEGORY DistrictOTHER NAMES OR MSF NOS NoneCOUNTY EscambiaOWNERSHIP TYPE Religious organizationPROJECT NAME West-East Hill Survey: S&RDHR NO **3226**

LOCATION (Attach copy of USGS map, sketch-map of immediate area)

ADDRESS 415 N. Alcaniz St.CITY PensacolaVICINITY OF / ROUTE TO West-East Hill neighborhood, NE corner ofN. Alcaniz St. between E. LaRue St. and E. Belmont St.SUBDIVISION East King TractBLOCK NO 21LOT NO 15PLAT OR OTHER MAP County Appraiser's Atlas Sheet # 68TOWNSHIP 2SRANGE 30WSECTION 191/41/4-1/4IRREGULAR SEC? ☒ y ☐ n LAND GRANT _____USGS 7.5' MAP Pensacola 1970 PR 1987

UTM: ZONE _____

EASTING _____

NORTHING _____

COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____

M _____

L Unknown

BUILDER: F _____

M _____

L UnknownCONST DATE 1933 CIRCA c

RESTORATION DATE(S): _____

MODIFICATION DATE(S): _____

MOVE: DATE _____ ORIG LOCATION _____

ORIGINAL USE(S) religiousPRESENT USES(S) religious

DESCRIPTION

STYLE masonry vernacularPLAN: EXTERIOR rectangle

INTERIOR _____

NO.: STORIES _____

OUTBLDGS 2

PORCHES _____

DORMERS _____

STRUCTURAL SYSTEM(S) unspecifiedEXTERIOR FABRIC(S) brick, concreteFOUNDATION: TYPE slabMATLS brickINFILL unspecifiedPORCHES 1 front apron roof masonry columnsROOF: TYPE gable

SURFACING _____

composition

SECONDARY STRUCS. _____

CHIMNEY: NO _____

MTLS _____

LOCNS _____

WINDOWS fixed 2/2EXTERIOR ORNAMENT stuccoCONDITION fair

SURROUNDINGS _____

residential

NARRATIVE (general, interior, landscape, context; 3 lines only)

partial stained glass lights

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? ☐ y ☒ n (IF Y, ATTACH)

ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local Community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

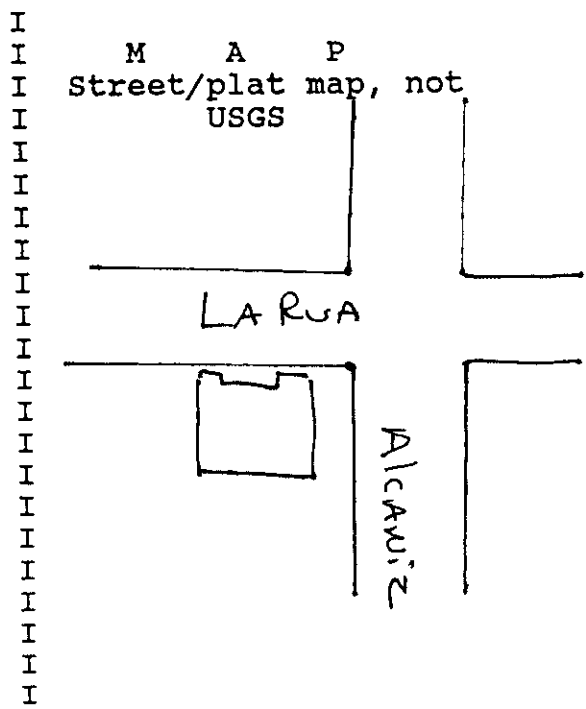
* * *DHR USE ONLY* * * * * DHR USE ONLY * *
*
* DATE LISTED ON NR *
* KEEPER DETERMINATION OF ELIG.(DATE): -YES -NO *
* SHPO EVALUATION OF ELIGIBILITY(DATE): -YES -NO *
* LOCAL DETERMINATION OF ELIG.(DATE): -YES -NO *
* OFFICE *
* * *DHR USE ONLY* * * * * DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T. L Brosnahan
DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Bd.

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Historic Pensacola Preservation Bd.
NEGATIVE NUMBERS 91N114WEH (frames 13-14)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



+

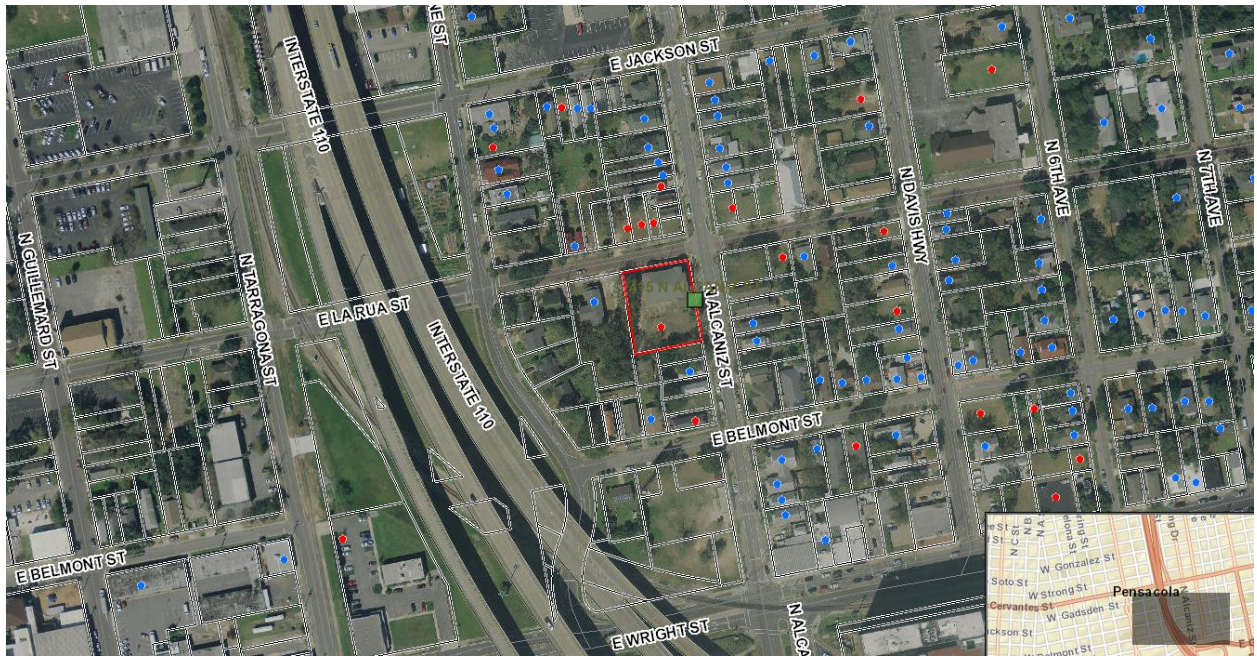
5

PENSACOLA, FLA.
30087-DA-TF-024
#70
Revised 1987
DMA 3544 1 NW-Series

0 ES 2016



415 N. Alcaniz Street



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 19, 2020

Item 2

415 N. Alcaniz Street

OEHPD / OEHC-1

Contributing Structure

Action taken: Conceptual approval with exceptions.

Scott Sallis is requesting *CONCEPTUAL* approval to renovate the 1928 Mount Olive Christian Church.

Mr. Sallis addressed the Board and stated Nashville developers purchased this building and agreed to disrupt the exterior of the building as little as possible. He explained it would be a boarding house, airbnb style with a custom restaurant. Chairperson Quina suggested this could also become an affordable housing project. He also asked about window placement, and Mr. Sallis stated they had not decided since this was conceptual, and they had not chosen a brand. The large worship center would require a different system, and budget might not allow for a curtain wall system. He indicated the original smaller windows were wood with the taller sanctuary windows being steel with single-pane glass.

Board Member Mead indicated it appeared the exterior was unpainted brick, and the pale beige diminished the pediment; he was concerned about preserving as much as possible the historic fabric of the brick since it appeared to be a dominating character of the building. Mr. Sallis indicated the overall masonry of the building was chaotic, and different sides of the building were using masonry in different ways. They were not led to work hard to preserve it in that sense. The masonry inside was chaos, with one wall being tile, with the other brick, and there was no order. He explained they were painting the building, and the masonry wall had no ability to place a vapor barrier; with the present codes, they would have a weather barrier on the exterior walls and insulate from the inside. He also stated the clients and neighborhood were happy with their approach. Mr. Mead was concerned with the treatment of the brick sides of the pediment and the difference between the base and body. Mr. Sallis explained the white pediment was not original; it was brick covered in stucco. The parking lot will be paved with pavers and can be used as an event space. He advised they were required to have 9 to 10 parking spaces; they would also have street parking and with CRA reductions, no parking for the restaurant. Regarding the paint, staff stated typically, this Board had not reviewed paint colors for Old East Hill, and Board Member Mead stated it was not the paint color but painting over the brick that was a concern since it was a contributing structure.

Board Member Mead made a motion to approve conceptually with the following exceptions: Further discussion of painting the brick and the impact of the selection of colors and the method of painting the brick, and the details on how they affect the pediments both the primary and secondary. Board Member Villegas seconded the motion. Staff advised there were comments from the neighborhood which indicated they were happy with the project but concerned about parking. **The motion then carried unanimously.**



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. G. Sallie

Applicant Signature

Date

Date: Thursday, April 30, 2020

Project: 415 Alcaniz St. (Lodging House)
415 Alcaniz St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



North View of Existing Structure



South View of Existing Structure



West View of Existing Structure



Side View of Existing Residence



North View of Existing Entry



North View of Existing Entry



South View of Existing Entry



South View of Existing Entry



View of Front Elevation



View of Existing Ground Floor Access



View of West Elevation



View of Front Wall



View of Base Plaster wall

Exterior Color Schedule – 415 ALCANIZ

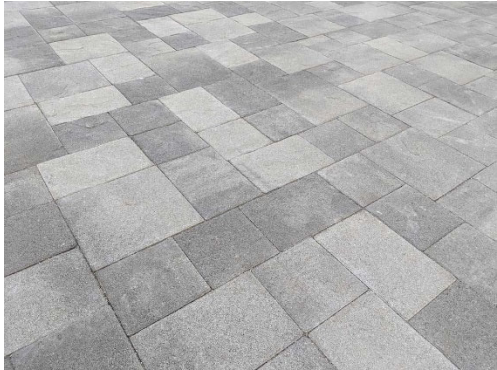
Date: Thursday, April 30, 2020

Project: 415 Alcaniz St. (Lodging House)

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Stucco Base	N/A	"SW 7076 Cyberspace"
Brick Color (Moisture Barrier)	Sherwin-Williams	"SW 7005 Pure White"
Wood Gate	Solid Body Stained	"SW 3524 Chestnut"
Fence Pylons	N/A	"SW 7005 Pure White"
Wood Fence	Solid Body Stained	"SW 3524 Chestnut"
Concrete Pavers	Titan Pavers	Gray Charcoal
Columns	CI SYSTEM	"SW 7005 Pure White"
Exterior Stair Railing – metal tubes	Powdered Coated Alum. (PCA)	"SW 7034 Status Bronze"
Exterior covered dining roof	TPO	N/A
Pergola (Wood)	Solid Body Stained	"SW 3524 Chestnut"
Exterior Windows	PGT	"SW 7034 Status Bronze"
Exterior doors	PGT	"SW 7034 Status Bronze"
Exterior Church Windows	PGT	"SW 7034 Status Bronze"
Signage	Extruded Metal	N/A
Fascia color	Sherwin-Williams	"SW 7005 Pure White"
Soffit color	Sherwin-Williams	"SW 7005 Pure White"
Tile at step risers	Lili Tile	N/A
Metal Railing (ADA)	Powdered Coated Alum. (PCA)	"SW 7034 Status Bronze"
Concrete Cap	N/A	N/A
Concrete Retaining Walls	CI SYSTEM	"SW 7005 Pure White"
Exterior Sconces	N/A	To Match "SW 7034 Status Bronze"
Exterior Church Fixtures	N/A	To Match "SW 7034 Status Bronze"
Perimeter WD Fence	Solid Body Staine	"SW 7005 Pure White"

FLOOR TREATMENT

CONCRETE PAVERS



TILE (STEP RISERS)



COLOR SCHEDULE

EXIST. STUCCO (At base)



SW 7076 Cyberspace

BRONZE TRIM COLOR



SW 7034 Status Bronze

BRICK/ TRIM / STUCCO PAINT COLOR



SW 7005 Pure White

SOLID BODY STAIN (EXTERIOR COVERED DINING AREA)

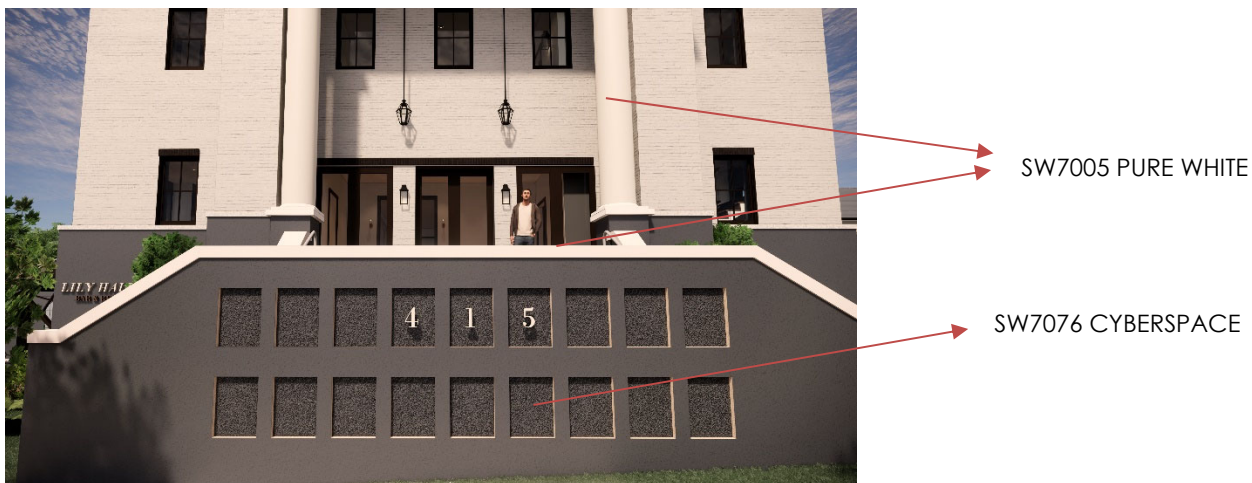


SW 3524 Chestnut

GABLE DETAILS



FRONT WALL DETAILS



PRIVACY FENCE (NORTH-EAST SIDES) with GATE



PERIMETER FENCE (SOUTH/WEST)



CLEAR ANNOIDIZED 1 1/2" METAL ALUM. RAILING (ADA)



EXTERIOR STAIR RAILING – METAL TUBES/CONCRETE TREADS



BRACKET FOR CANOPY



METAL CANOPY 5V CRIMP



LIGHT FIXTURES

EXTERIOR SCONCES (MAIN ENTRY)

Norwell
Lighting and Accessories



CHURCH LIGHT FIXTURES (MAIN ENTRY)

HINKLEY



EXTERIOR SCONCES (TYP)



EXT. LIGHT FIXTURES (AT SIGNAGE)



STEP LIGHTING



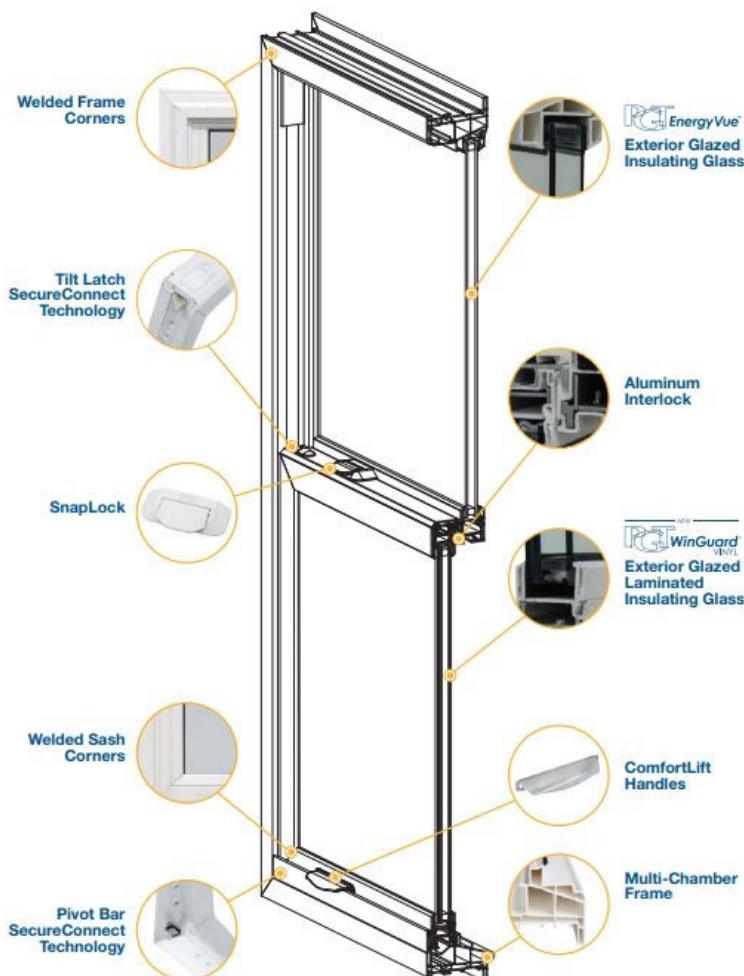
SIGNAGE (TBD)

SIGN AT NORTH ELEV.

SIGN AT EAST ELEV.

WINDOWS – Refer to renderings for grid info.

PGT'S WINGUARD® AND ENERGYVUE™ VINYL PRODUCTS FEATURE INNOVATIONS NOT FOUND IN OTHER WINDOWS AND DOORS:



SecureConnect Technology

PGT's SecureConnect technology is a proprietary-designed corner key integrated into the sash of each window. This design system ensures the integrity and performance of every window no matter how large or small.

SnapLock

Just shut the window and PGT's SnapLock automatically locks into place with its 3-point locking mechanism.

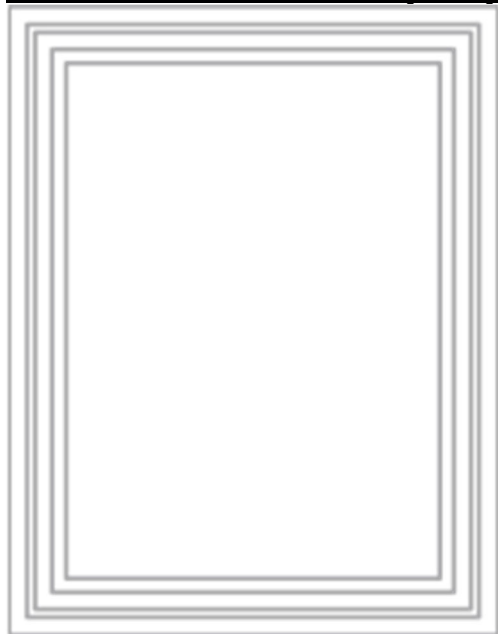
ComfortLift Handles

PGT's ComfortLift handle provides fingertip operation when opening or closing the windows.

TrueHold Hinge

PGT's TrueHold hinge ensures that your Casement window, no matter how large, will maintain its smooth, effortless operation for years to come.

CASEMENT WINDOWS (TYP.) – Refer to renderings for grid info.



FRAME COLORS

STANDARD



WHITE

OPTIONAL



BEIGE



BLACK



BRONZE

CA5540 -PGT

GRID OPTIONS

WINDOW GRID STYLES



FLAT GRID
(GBG)



CONTOUR
GRID (GBG)



TRADITIONAL
SIMULATED
DIVIDED LITE
GRIDS

GLASS TINTS

EXTERIOR REFLECTION

LOOKING OUTSIDE



CLEAR



BRONZE



GRAY



GREEN



AZURE BLUE



SOLAR COOL
BRONZE



GRAYLITE II



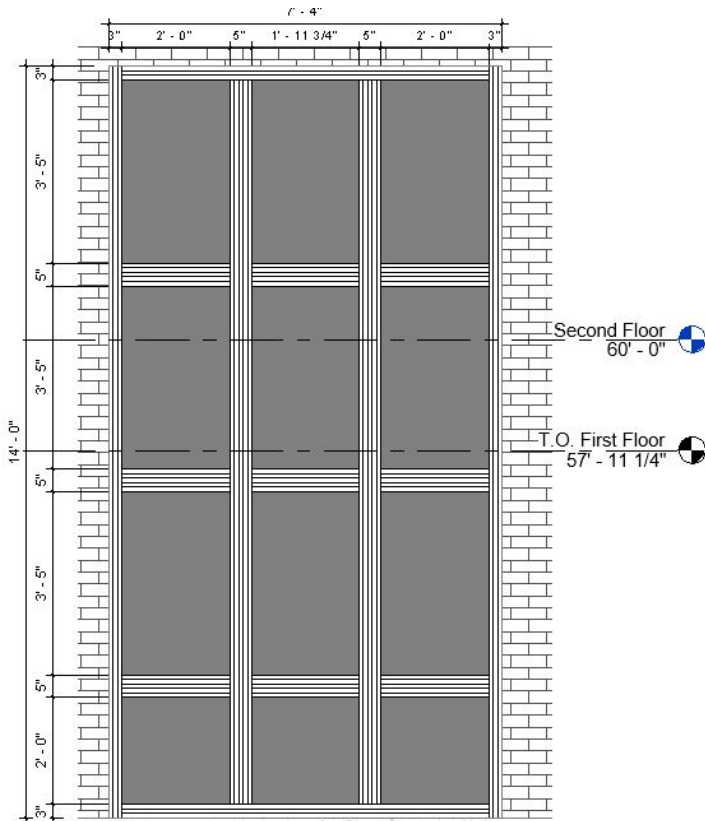
OBSCURE
TEXTURED
(PRIVACY)



WHITE
OPAQUE
INTERLAYER
(PRIVACY)

“Spandrel Area”

CHURCH WINDOWS TYP. (6) (CHURCH WINDOW TO BE MULLED VINYL)

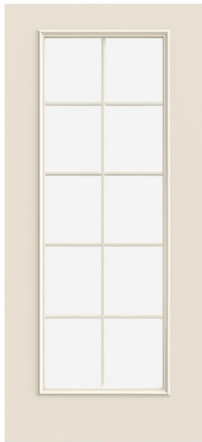


MAIN ENTRY DOORS / GROUND FLOOR DOORS (REST. BAR) – SAME SPECS AS WINDOWS. –

Refer to renderings for grid info.

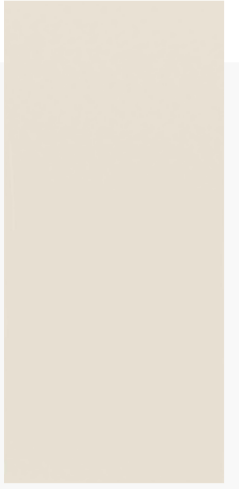


FD5555 - WINGUARD® VINYL (BAR/ REST. LOBBY ENTRY) – Refer to renderings for grid info.



GROUND FLOOR DOORS (UNITS/MECHANICAL ROOM/EMERGENCY EXITS)

Smooth-Pro™ Fiberglass Exterior Door: Flush



PLANTING TYPES

NATIVE PLANTS



Forestiera segregata Florida Privet



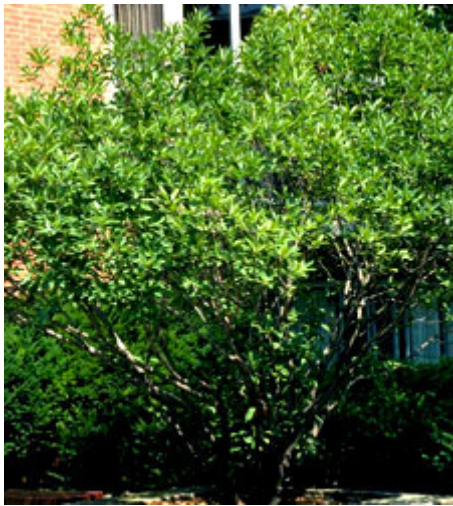
Buttonbush



Honeysuckle - Coral Honeysuckle



Cross Vine - Trumpet Flower



Fringetree



River Birch

PROPOSAL – RENDERINGS



Front Perspective View





North Perspective View

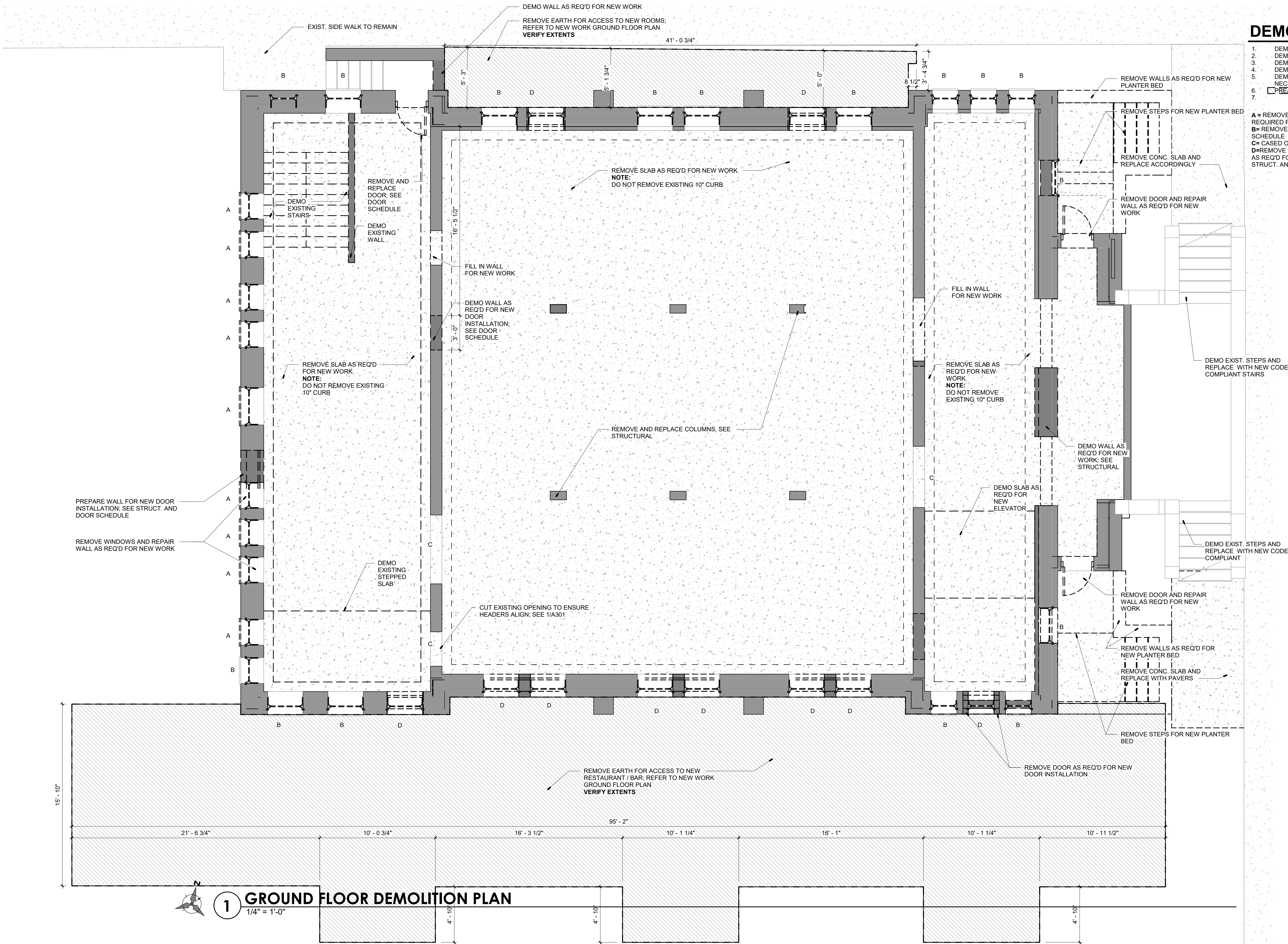




Rear Perspective View







DEMOLITION NOTES

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.

DEMOLITION KEY

1. DEMO WALLS AS REQ'D FOR NEW WORK
2. DEMO SLAB FOR NEW OTIS ELEV. INSTALLATION
3. DEMO SLAB AS REQUIRE FOR NEW WORK
4. DEMO ALL INTERIOR PLASTER
5. DEMO AND REPAIR EXTERIOR PLASTER AS NECESSARY
6. PREPARE WASH ALL EXISTING PAVERS
7. BOUNDARY OF EARTH REMOVAL

A= REMOVE WINDOW AND REPAIR WALL AS REQUIRED FOR NEW WORK
B= REMOVE AND REPLACE WINDOW; SEE WINDOW SCHEDULE
C= CASED OPENING TO REMAIN
D=REMOVE WINDOW AND PREPARE WALL OPENING AS REQ'D FOR NEW DOOR INSTALLATION; SEE STRUCT. AND DOOR SCHEDULE



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CERTIFICATION

CONSTRUCTION
DOCUMENT

415 N. ALCANIZ ST.

415 N. ALCANIZ ST.

DRAWN BY: SRJ
CHECKED BY: JSS

ISSUE DATE:
04/27/20

REVISIONS
No. Des. Date

SHEET TITLE:
GROUND FLOOR DEMO PLAN

SHEET NO:
A001
PROJECT NO:
19050



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4.10. IN: ALCAINIZ 31.

REVISIONS		
No.	Des.	Date

FIRST FLOOR DEMO PLAN

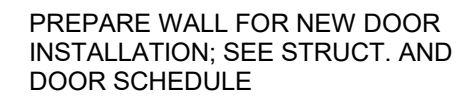
A002

PROJECT NO:
19050

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.

1. DEMO WALLS AS REQ'D FOR NEW WORK
2. DEMO SLAB FOR NEW OTIS ELEV. INSTALLATION
3. DEMO SLAB AS REQUIRE FOR NEW WORK
4. DEMO ALL INTERIOR PLASTER
5. DEMO AND REPAIR EXTERIOR PLASTER AS NECESSARY
6. ☒ PRESSURE WASH ALL EXISTING PAVERS
7. BOUNDARY OF EARTH REMOVAL

A = REMOVE WINDOW AND REPAIR WALL AS REQUIRED FOR NEW WORK
B= REMOVE AND REPLACE WINDOW; SEE WINDOW SCHEDULE
C= CASD OPENING TO REMAIN
D=REMOVE WINDOW AND PREPARE WALL OPENING AS REQ'D FOR NEW DOOR INSTALLATION; SEE STRUCT. AND DOOR SCHEDULE


$$\overline{1/4'' = 1'-0''}$$

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.

1. DEMO WALLS AS REQ'D FOR NEW WORK
2. DEMO SLAB FOR NEW OTIS ELEV. INSTALLATION
3. DEMO SLAB AS REQUIRE FOR NEW WORK
4. DEMO ALL INTERIOR PLASTER
5. DEMO AND REPAIR EXTERIOR PLASTER AS
NECESSARY
6. ☒ PRESSURE WASH ALL EXISTING PAVERS
7. BOUNDARY OF EARTH REMOVAL



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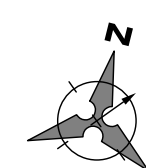
CERTIFICATION

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DESIGNS	
Des.	Date

TEST NO: _____

PROJECT NO:
050



1 SECOND FLOOR DEMOLITION PLAN

ds

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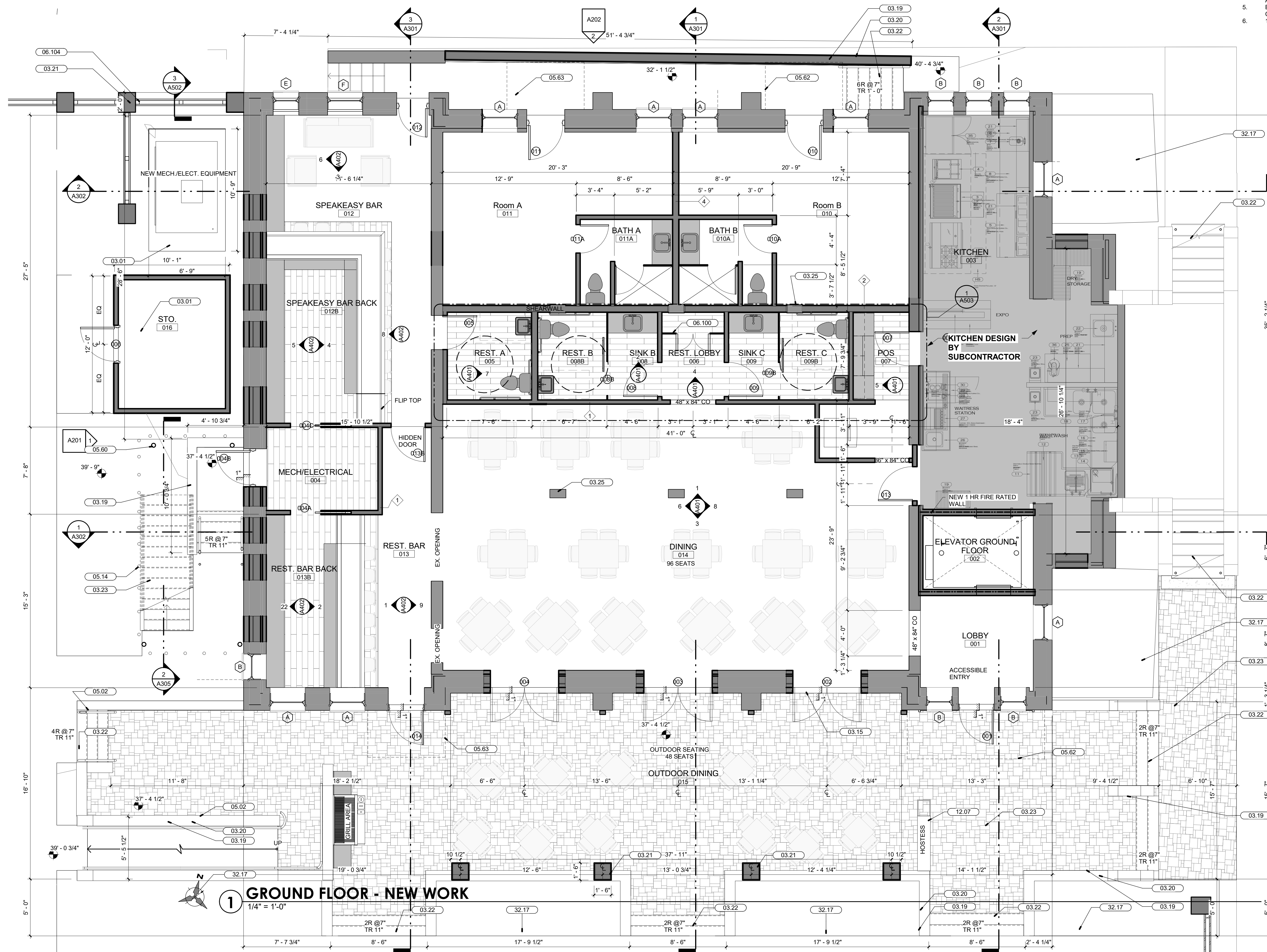
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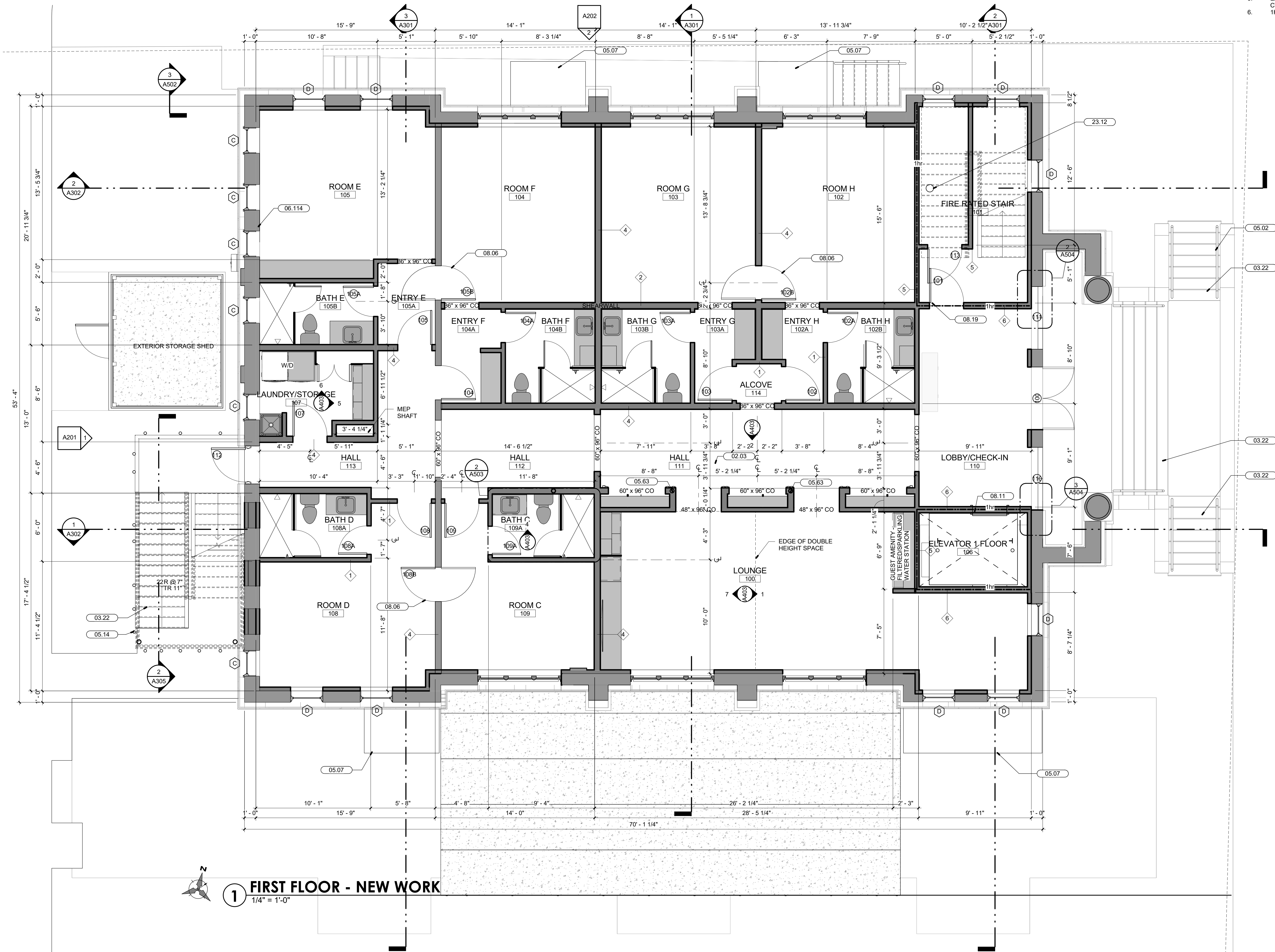
FINALITY

**NEW WORK
-GROUND
FLOOR PLAN**

A100

PROJECT NO:
19050





1 FIRST FLOOR - NEW WORK
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR @WALL REFER TO FRONT ELEVATION. VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
4. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
5. 1HR FIRE RATED WALL.
- 6.

KEYNOTE LEGEND

NUMBER	TEXT
02.03	EXISTING FLOOR STRUCTURE TO REMAIN
03.22	NEW CONCRETE STEPS W/ LILI CEMENT TILE @RISERS.
05.02	CLEAR ANNOIDIZED 1 1/2" ALUM. HANDRAIL. MOUNT AT 33" ABOVE FINISH FLOOR
05.07	NEW 5V CRIMP SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS.
05.14	2" DIA. ROUND METAL PIPE; SEE STAIR ELEVATION
05.63	NEW ROUND STEEL METAL COLUMNS; SEE STRUCTURAL
06.114	EXISTING WD STUD WALL W/ NEW MINIMUM R-19 BATT INSULATION BETWEEN STUDS AND 1/2" SHEETROCK; SEE WAL SECT. TYP
08.06	CONNECTING DOOR AT GUESTROOM; SEE DOOR SCHEDULE FOR SIZE AND LOCATION.
08.11	ELEVATOR DOOR & FRAME.
08.19	FIRE DOOR.
23.12	HVAC EXHAUST/RETURN PIPES.

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR @WALL REFER TO FRONT ELEVATION. VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
5. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
6. 1HR FIRE RATED WALL

KEYNOTE LEGEND

NUMBER	TEXT
05.14	2" DIA. ROUND METAL PIPE; SEE STAIR ELEVATION
05.64	NEW POWDERED COATED ALUM. RAILING
06.115	NEW 2x4 WD STUD WALL; TYP.
08.06	CONNECTING DOOR AT GUESTROOM; SEE DOOR SCHEDULE FOR SIZE AND LOCATION.
09.61	SHOWER PAN
09.107	NEW HARDWOOD FLOORING
23.12	HVAC EXHAUST/RETURN PIPES.



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ISSUE DATE:
04/27/20

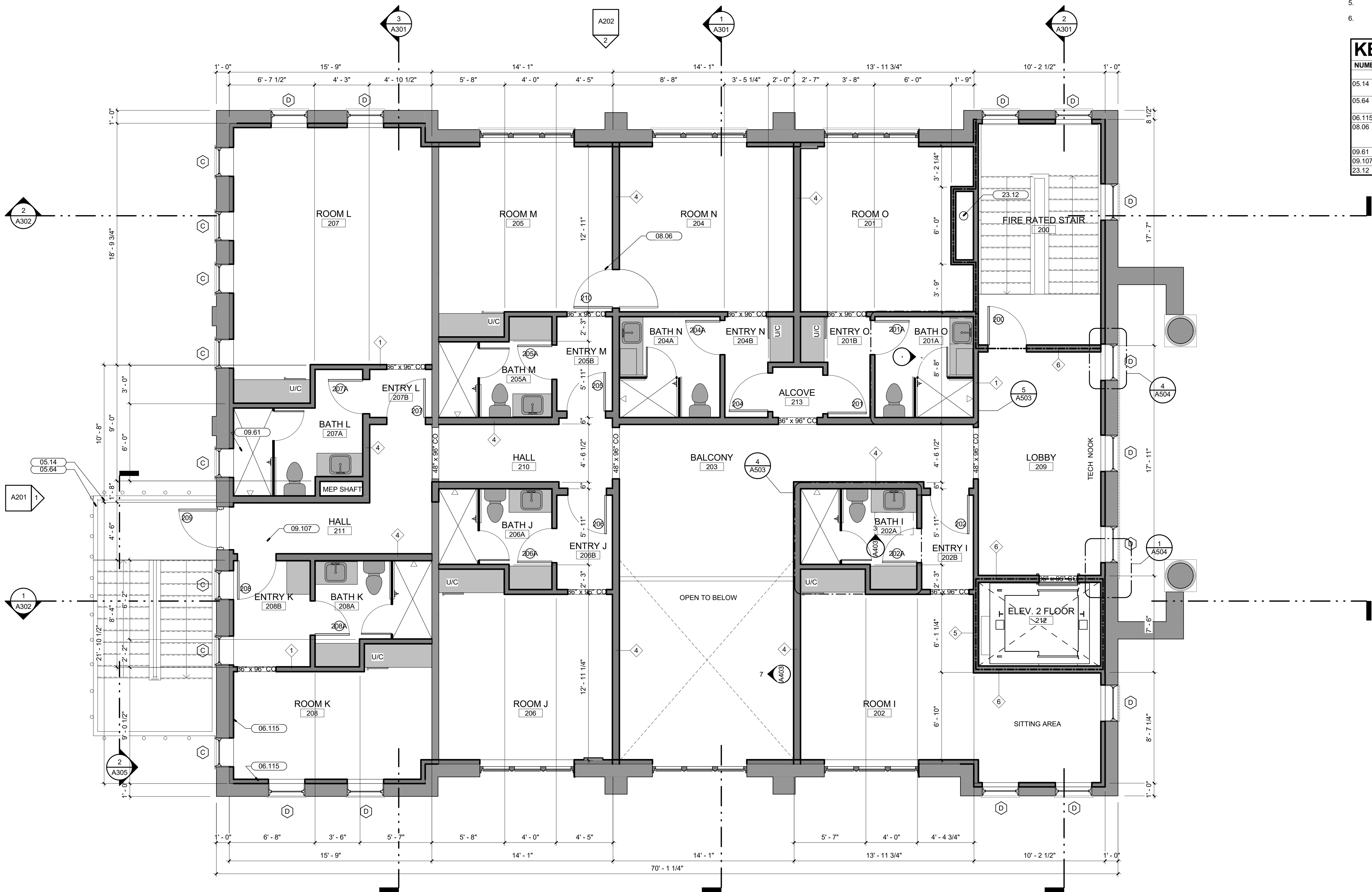
REVISIONS
No. Des. Date

SHEET TITLE:
NEW WORK
SECOND
FLOOR PLAN

SHEET NO:


A102

PROJECT NO:
19050

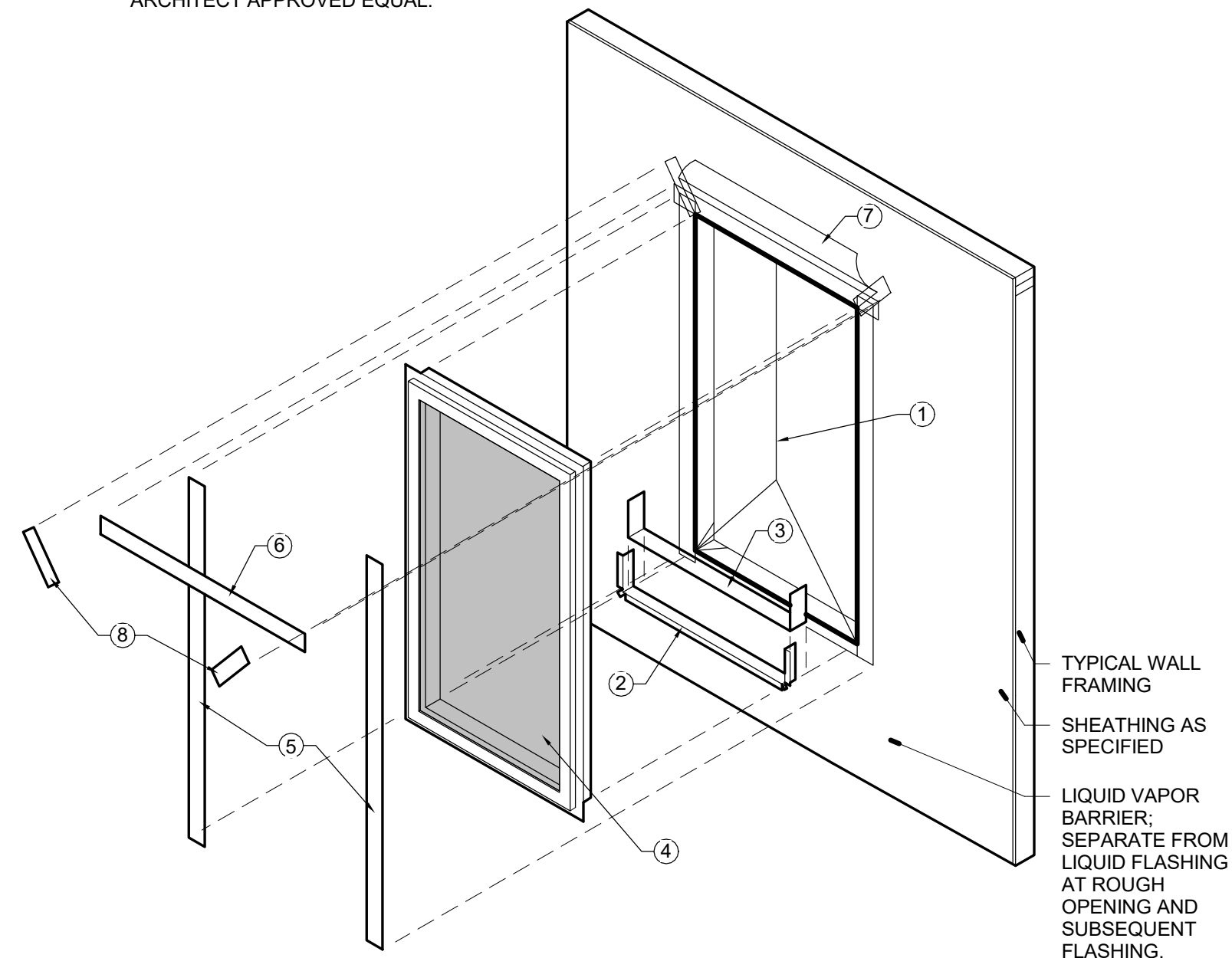


1 SECOND FLOOR - NEW WORK
1/4" = 1'-0"



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SHEET TITLE: EXTERIOR ELEVATIONS		
SHEET NO: A201		
PROJECT NO: 19050		

1.	IF LIQUID VAPOR BARRIER IS NOT USED, CUT BUILDING WRAP VAPOR BARRIER AS SHOWN, FOLD BOTTOM AND TOP SIDE FLAPS INTO OPENING AND FASTEN. TEMPORARILY HOLD TOP FLAP UP ABOVE OPENING. IF LIQUID VAPOR BARRIER IS USED, PAINT BARRIER INTO OPENING.
2.	PROVIDE SILL FLASHING TAPE OR ADDITIONAL LIQUID FLASHING THAT OVERHANGES OPENING 1" AND EXTENDS UP OPENING SIDES A MINIMUM OF 6".
3.	PROVIDE SECOND LAYER OF SILL FLASHING OR LIQUID FLASHING TO OVERLAP FIRST LAYER BY 1". DO NOT EXTEND SILL FLASHING TO GROUND OR FACE OF FRAMING.
4.	INSTALL WINDOW FROM EXTERIOR OF BUILDING, PLUMB, SQUARE AND VERIFY OPERATION. FASTEN WINDOW IN OPENING WITH 2" GALVANIZED ROOFING NAILS AT 6" O.C.
5.	PROVIDE SIDE FLASHING TAPE OR ADDITIONAL LIQUID FLASHING TO EXTEND 2" ABOVE TOP AND BOTTOM OF OPENING.
6.	PROVIDE TOP FLASHING TAPE OR LIQUID FLASHING TO EXTEND PAST EDGE OF SIDE FLASHING TAPE BY 1". DO NOT TAPE OR SEAL BOTTOM NAILING FIN.
7.	IF LIQUID VAPOR BARRIER IS NOT USED, FOLD DOWN TOP FLAP OF BUILDING WRAP VAPOR BARRIER.
8.	IF LIQUID VAPOR BARRIER IS USED, APPLY ADDITIONAL LAYER OF LIQUID FLASHING ABOVE WINDOW.
9.	PROVIDE FLASHING TAPE/ADDITIONAL LIQUID FLASHING AT DIAGONAL CUTS AT LEAST 1" LONGER THAN CUT.
10.	WHERE EXTERIOR SEALANT IS REQUIRED, USE OSI QUAD MAX CHEMICALLY CURING SEALANT, OR ARCHITECT APPROVED EQUAL.

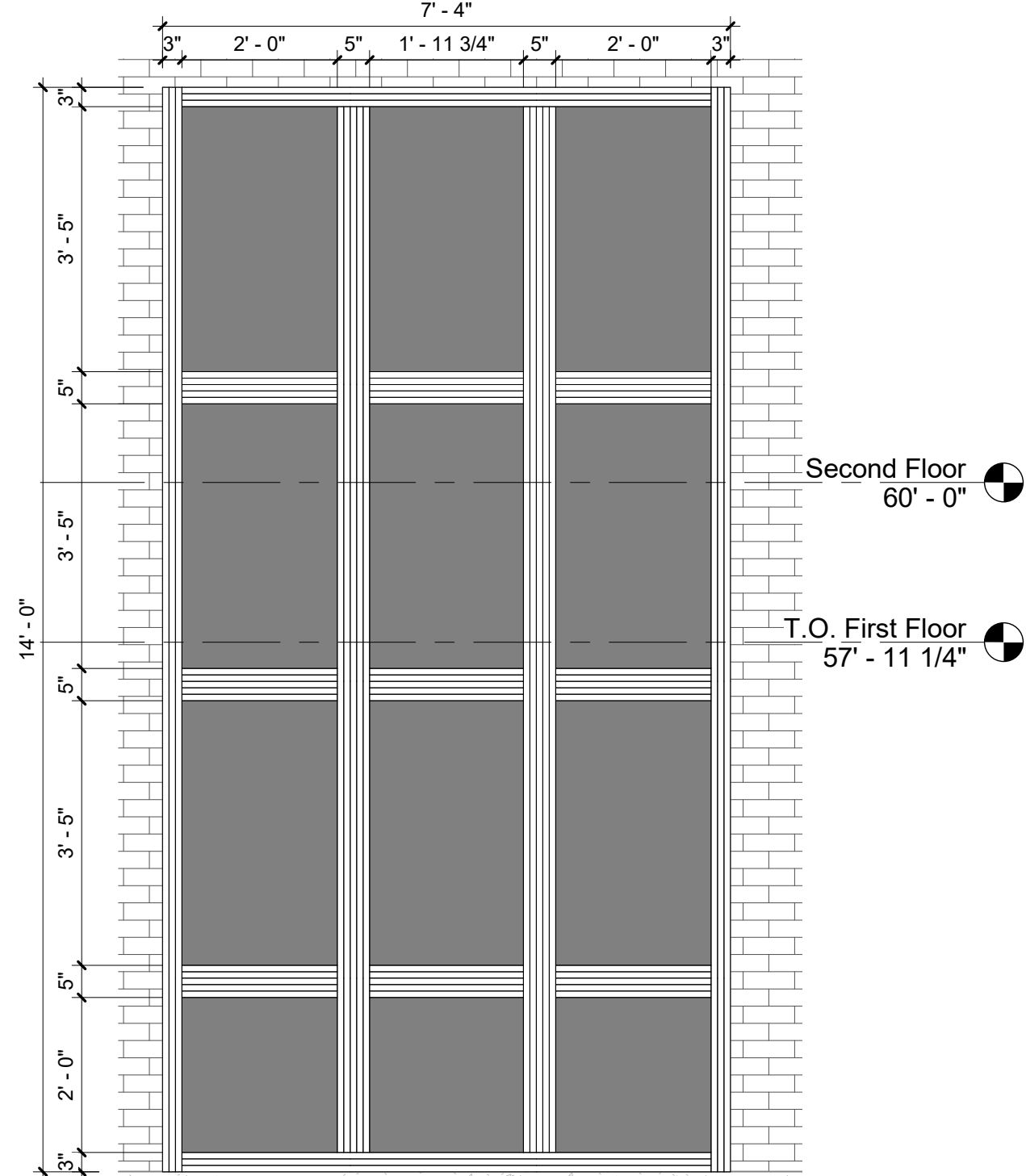


Type Mark	Width	Height	Head Height	Comments
A	3' - 1"	3' - 10"		SEE DIMS. IN ELEV. FOR VARYING HEAD HEIGHTS
B	2' - 3"	3' - 10"	7' - 10"	
C	2' - 3"	5' - 0"		SEE DIMS. IN ELEV. FOR VARYING HEAD HEIGHTS
D	2' - 10"	5' - 0"		SEE DIMS. IN ELEV. FOR VARYING HEAD HEIGHTS
E	2' - 3"	2' - 3"	7' - 10"	
F	3' - 1"	3' - 6"	7' - 10"	

Diagram showing six window styles (A-F) with their dimensions. All are labeled 'FIXED'.

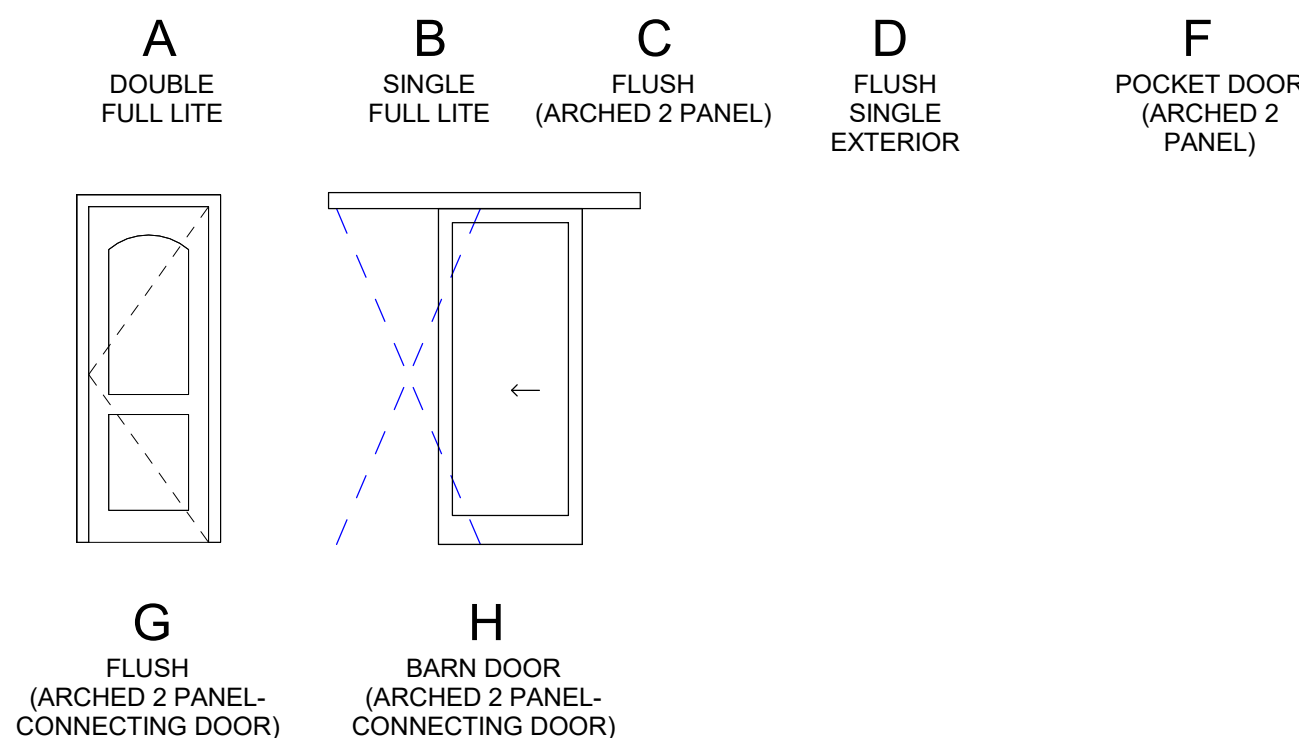
- A** FIXED: 3'-10" height, 3'-1" width.
- B** FIXED: 3'-10" height, 2'-3" width.
- C** FIXED: 5'-0" height, 2'-3" width.
- D** FIXED: 5'-0" height, 2'-10" width.
- E** FIXED: 2'-3" height, 2'-3" width.
- F** FIXED: 3'-6" height, 3'-1" width.

1. ALL WINDOWS TO BE VYNIL, IMPACT-RATED PRODUCT.
2. ALL WINDOWS TO HAVE MIN. LOW-E GLASS COATING.



② $1/2'' = 1'-0''$

MARK#	DOOR			Type Mark	Lockset	NOTES
	WIDTH	HEIGHT	MATERIAL			
Ground Floor						
001	3' - 0"	7' - 10"	FB	B	PRIVATE	
002	6' - 0"	7' - 0"	FB	A	PRIVATE	
003	6' - 0"	7' - 0"	FB	A	PRIVATE	
004	6' - 0"	7' - 0"	FB	A	PRIVATE	
004A	2' - 8"	7' - 0"	WD	F	PASSAGE	
004B	3' - 0"	7' - 0"	FB	D	PRIVATE	
004C	2' - 8"	7' - 0"	WD	F	PASSAGE	
005	3' - 0"	7' - 0"	WD	C	PRIVATE	
006	3' - 0"	7' - 0"	FB	D	PRIVATE	
007	3' - 0"	7' - 0"	WD	C	PASSAGE	
008	3' - 0"	7' - 0"	WD	C	PASSAGE	
008B	3' - 0"	7' - 0"	WD	H	PRIVATE	BARN DOOR
009	3' - 0"	7' - 0"	WD	C	PASSAGE	
009B	3' - 0"	7' - 0"	WD	H	PRIVATE	BARN DOOR
010	3' - 0"	7' - 0"	FB	D	PRIVATE	
010A	2' - 6"	7' - 0"	WD	C	PRIVATE	
011	3' - 0"	7' - 0"	FB	D	PRIVATE	
011A	2' - 6"	7' - 0"	WD	C	PRIVATE	
012	2' - 6"	7' - 0"	FB	D	PRIVATE	
013	3' - 0"	7' - 0"	WD	C	PASSAGE	
013B	3' - 0"	7' - 0"	WD	C	PASSAGE	
014	3' - 0"	7' - 0"	FB	B	PRIVATE	
First Floor						
100	5' - 6"	8' - 0"	FB	A	PRIVATE	
101	3' - 0"	7' - 0"	WD	C	PASSAGE	FIRE RATED
102	3' - 0"	7' - 0"	WD	C	PRIVATE	
102A	2' - 8"	7' - 0"	WD	C	PRIVATE	
102B	3' - 0"	7' - 0"	WD	G	PRIVATE	
103	3' - 0"	7' - 0"	WD	C	PRIVATE	
103A	2' - 8"	7' - 0"	WD	C	PRIVATE	
104	3' - 0"	7' - 0"	WD	C	PRIVATE	
104A	2' - 8"	7' - 0"	WD	C	PRIVATE	
105	3' - 0"	7' - 0"	WD	C	PRIVATE	
105A	2' - 8"	7' - 0"	WD	C	PRIVATE	
105B	3' - 0"	7' - 0"	WD	G	PRIVATE	
107	3' - 0"	7' - 0"	WD	C	PASSAGE	
108	3' - 0"	7' - 0"	WD	C	PRIVATE	
108A	2' - 6"	7' - 0"	WD	C	PRIVATE	
108B	3' - 0"	7' - 0"	WD	G	PRIVATE	
109	3' - 0"	7' - 0"	WD	C	PRIVATE	
109A	2' - 6"	7' - 0"	WD	C	PRIVATE	
110	5' - 6"	8' - 0"	FB	A	PRIVATE	FIXED
111	5' - 6"	8' - 0"	FB	A	PRIVATE	FIXED
112	3' - 0"	7' - 0"	FB	D	PRIVATE	EMERGENCY EXIT DOOR
113	3' - 0"	7' - 0"	WD	C	PRIVATE	FIRE RATED
Second Floor						
200	3' - 0"	8' - 0"	WD	C	PASSAGE	FIRE RATED
201	3' - 0"	8' - 0"	WD	C	PRIVATE	
201A	2' - 8"	8' - 0"	WD	C	PRIVATE	
202	3' - 0"	8' - 0"	WD	C	PRIVATE	
202A	2' - 8"	8' - 0"	WD	C	PRIVATE	
204	3' - 0"	8' - 0"	WD	C	PRIVATE	
204A	2' - 8"	8' - 0"	WD	C	PRIVATE	
205	3' - 0"	8' - 0"	WD	C	PRIVATE	
205A	2' - 8"	8' - 0"	WD	C	PRIVATE	
206	3' - 0"	8' - 0"	WD	C	PRIVATE	
206A	2' - 8"	8' - 0"	WD	C	PRIVATE	
207	3' - 0"	8' - 0"	WD	C	PRIVATE	
207A	2' - 8"	8' - 0"	WD	C	PRIVATE	
208	3' - 0"	8' - 0"	WD	C	PRIVATE	
208A	2' - 8"	8' - 0"	WD	C	PRIVATE	
209	3' - 0"	8' - 0"	FB	D	PRIVATE	EMERGENCY EXIT DOOR
210	3' - 0"	8' - 0"	WD	G	PRIVATE	



1. CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
2. ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
3. PROVIDE LEVER STYLE HARDWARE. TYP.
4. WOOD DOORS TO BE SOLID CORE, STAINED.
5. PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED



THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

**CONSTRUCTION
DOCUMENT**

415 N. ALCANIZ ST.

415 N. ALCANIZ ST.

DRAWN BY: SRJ	CHECKED BY: JSS
-------------------------	---------------------------

ISSUE DATE:
04/27/20

REVISIONS		
No.	Des.	Date

SHEET TITLE:

**SCHEDULES
AND
DIAGRAMS**

SHEET NO: _____

A601

PROJECT NO:
19050



dalrymple | sallie
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

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DOCUMENT**

415 N. ALCANIZ ST.

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ISSUE DATE:	04/27/20
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REVISIONS		
No	Des	Date

SHEET TITLE:
**3D EXTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A701

PROJECT NO:
19050

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00243

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/13/2020

SUBJECT:

New Business - Item 10
1915 N. 11th Avenue
Zone R-1AA / Fairnie Hill Place
Historic Structures Demolition Review

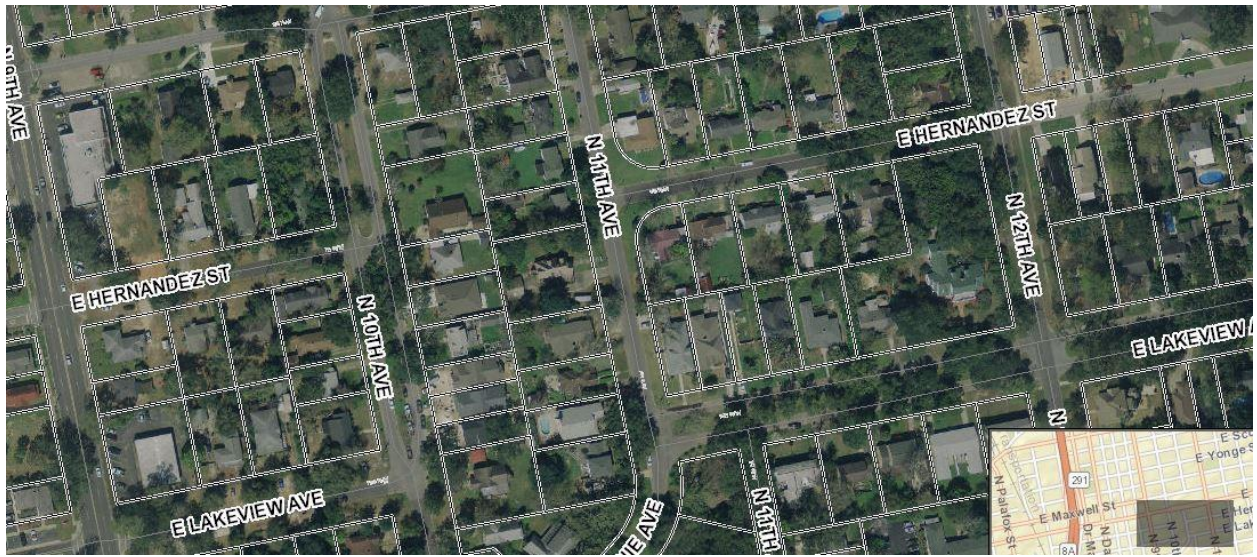
BACKGROUND:

Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to its architecture. Per the ordinance, the Board is tasked with determining whether or not this structures meet criteria for listing in the National Register of Historic Places. If eligible and deemed historically significant by those criteria, the Board must determine if the building is subject to a demolition delay of no more than 60 days. To determine that a historically significant building is subject to the demolition delay, the ARB must find that, in the public interest, it is preferable that the building be preserved or rehabilitated rather than demolished.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-5(E), *City of Pensacola's Historic Building Demolition Review*

1915 N. 11th Avenue





City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Abbreviated Review for Historic Structure
Demolition**

Application Date: 4/14/2020

Project Address: 1915 N. 11th AVE

Applicant: GEORGE SITTON

Applicant's Address: _____

Email: GSITTONIV@AOL.COM Phone: 850-554-0757

Property Owner: DAN CAMPBELL
(If different from Applicant)

(Office Use)

Construction Year: 1933 ZONE R-1A

Current Use: VACANT / SINGLE FAMILY RESIDENCE

Ownership History: JOEL CAMPBELL (2010-2017), JOANNA KWIECINSKI (2017-2010),
TIMOTHY & JOANNA HOGAN (2010-2003), RAFAEL BARRAZA
(2003-1988), JOANN & ERNEST JOHNSON (1988-1906?)
PROPERTY APPRAISER DATA

Meets NRHP criteria: _____

Notes: NO MAXVAULT RECORDS.

Historical significance determination based on National Register of Historic Places criteria (see Sec. 12-12-5(E)(5)(c)).
If applicable, provide photographs of all elevations and a completed FMSF Historical Structures Form.

This request was reviewed by the following member of Planning Staff.

[Signature]
ARB Secretary Signature

4/16/2020
Date

This request was reviewed by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

[Signature] 4-17-2020
UWFHT Representative Signature / Date

Comments: Send to Full Board

Architectural significance
Great example of tudor revival style house

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Source: Escambia County Property Appraiser

[Restore Full Version](#)

General Information		Assessments				
Reference:	000S009030016003	Year	Land	Imprv	Total	<u>Cap Val</u>
Account:	143315000	2019	\$162,624	\$0	\$162,624	\$162,624
Owners:	CAMPBELL JOEL M	2018	\$162,624	\$81,019	\$243,643	\$243,643
Mail:	232 SABINE DR PENSACOLA BEACH, FL 32561	2017	\$162,624	\$74,007	\$236,631	\$162,722
Situs:	1915 N 11TH AVE 32503	Disclaimer				
Use Code:	SINGLE FAMILY RESID	Tax Estimator				
Taxing Authority:	PENSACOLA CITY LIMITS	File for New Homestead Exemption Online				
Tax Inquiry:	Open Tax Inquiry Window					
Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector						

Sales Data						2019 Certified Roll Exemptions
Data						None
Sale Date	Book	Page	Value	Type	Official Records (New Window)	Legal Description
11/28/2017	7818	130	\$170,000	WD	View Instr	
04/21/2010	6582	1297	\$52,500	WD	View Instr	
09/2003	5253	1822	\$162,700	WD	View Instr	
10/1988	2620	326	\$67,500	WD	View Instr	
01/1906	1114	889	\$22,500	WD	View Instr	
Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller						Extra Features
						None

Parcel Information
Section Map Id:
[CA051](#)
Approx. Acreage:
 0.3937
Zoned:
 R-1AA
Evacuation & Flood Information
[Open Report](#)

[View Florida Department of Environmental Protection\(DEP\) Data](#)

Buildings

Address:1915 N 11TH AVE, Year Built: 1933, Effective Year: 1933

Structural Elements

DECOR/MILLWORK-BELOW AVERAGE

DWELLING UNITS-1

EXTERIOR WALL-BRICK-COMMON

EXTERIOR WALL-STUCCO OV WD/LA

FLOOR COVER-HARDWOOD/PARQET

FOUNDATION-WOOD/SUB FLOOR

HEAT/AIR-CENTRAL H/AC

INTERIOR WALL-DRYWALL-PLASTER

NO. PLUMBING FIXTURES-6

NO. STORIES-2

ROOF COVER-COMPOSITION SHG

ROOF FRAMING-GABL/HIP HI PTC

STORY HEIGHT-0

STRUCTURAL FRAME-WOOD FRAME

Areas - 2628 Total SF

BASE AREA - 1109

CARPORT FIN - 187

GARAGE UNFIN - 638

OPEN PORCH FIN - 184

UPPER STORY FIN - 510

34

15

USF

34

15

22

29

GRU

29

22

7

7

OPF

7

7

11

9

17

11

17

11

7

9


8

9

43

BAS

Images



3/20/19

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

www.escpa.org/cama/Detail_a.aspx?s=000S009030016003

2/2

1915 N. 11th Ave

Front, facing west



Front, facing west/southwest



Front portion of north side, facing south



Mid-section of north elevation, facing south



Northwest corner showing north elevation and rear, facing south/southeast



Rear elevation, facing east



Rear portion of south elevation, facing north



South elevation, facing north/northeast



Middle and front portion of south elevation, facing north



Southeast corner of house, facing northwest



View of porch, facing north



View of front entrance area



View of front façade, facing west/southwest



Example image of brick



Front from N. 11th Ave, facing west



PROPOSED
ORDINANCE NO. 24-19

ORDINANCE NO. 19-19

AN ORDINANCE
TO BE ENTITLED:

AN ORDINANCE AMENDING SECTION 12-12-5 OF THE CODE OF THE CITY OF PENSACOLA, FLORIDA; CREATING SUBSECTION 12-12-5(E) ESTABLISHING A PROCESS FOR THE REVIEW OF REQUESTS TO DEMOLISH BUILDINGS OF HISTORICAL, ARCHITECTURAL, CULTURAL OR URBAN DESIGN VALUE TO THE CITY; PROVIDING DEFINITIONS; PROVIDING ARCHITECTURAL REVIEW BOARD CRITERIA AND PROCEDURES; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY OF PENSACOLA, FLORIDA:

SECTION 1. Section 12-12-5 of the Code of the City of Pensacola, Florida, is hereby amended to read as follows:

SECTION 12-12-5. - Building permits.

This section is established to provide for building permits for review of compliance with the provisions of this land development code. A "building permit" means any building or construction permit required by Chapter 14-1.

(A) *Application.* Any owner, authorized agent, or contractor who desires to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by the Standard Building Code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit for the work. All applications for building permit shall be accompanied by the following information and materials:

(a) Two (2) complete sets of building construction plans shall be required. In addition, a plot plan drawn to scale depicting the following information shall be required for residential and commercial building permits:

1. Lot dimensions, boundary lines, area of the lot, and its legal description.
 2. The locations and dimensions of buildings, structures or additions, including all overhangs, eaves and porches.
 3. The yard requirements indicating distance from all property lines to the proposed buildings, structures or additions in feet.
 4. The existing and proposed uses of each building, structure or addition.
 5. Access and parking layout, including driveway location. Where applicable, required loading and unloading spaces should be indicated.
 6. Elevations showing architectural features of each side of the existing and proposed construction.
 7. Where application is made to build upon a lot nonconforming in size or dimensions (lot of record), the application shall be accompanied by a recorded deed giving description of the property as of July 23, 1965.
 8. For all plans except single-family or duplex dwellings a landscape plan is required pursuant to section 12-6-4.
- (b) Proof of sewer tap from Escambia County Utilities Authority.
- (c) Completed current Florida Model Energy Efficiency Code Building Construction.

One (1) copy of the plans shall be returned to the applicant by the building official after he has marked such copy either as approved or disapproved and attested same by his signature on such copy. The original, similarly marked, shall be retained by the building official.

- (B) *Issuance of building permits.* No application for a building permit shall be approved by the building official for any building, structure, or addition on any lot in violation of this chapter or not in compliance with any provisions of this chapter, unless authorized under subsection 12-12-2(A)(2), Variances.
- (C) *Construction and occupancy to be as provided in applications.* Building permits issued on the basis of plans and applications approved by the building official authorize only the occupancy, arrangement, and

construction set forth in such approval plans and applications, and no other occupancy, arrangement, or construction. Occupancy, arrangement, or construction in variance with that authorized shall be deemed a violation of this chapter, unless such change is reviewed and approved by the building official.

- (D) *Expiration of building permits.* Every permit issued shall become invalid unless the work authorized by such permit is commenced within six (6) months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six (6) months after the time the work is commenced; provided that, for cause, one or more extensions of time, for periods not exceeding ninety (90) days each, may be allowed, and such extensions shall be in writing by the building official.
- (E) This section shall be known and cited as the City of Pensacola's Historic Building Demolition Review Ordinance. The purpose of this section is to establish a predictable process for reviewing requests to demolish certain historic buildings not located within historic and preservation land use districts in order to establish an appropriate waiting period during which the City and the Applicant can propose and consider alternatives to the demolition of a building of historical, architectural, cultural or urban design value to the City.

(1) Definitions.

For the purposes of this section only, the following words and phrases, whether or not capitalized, shall have the following meanings:

Applicant means the person or persons filing an application for review under this Section.

Application means a Demolition Permit application for review under this Section, filed with the City's Inspection Services Division.

Application filing date means the date on which the application was filed with the City's Inspection Services Division.

Architectural Review Board means the City's Architectural Review Board as advisors to the City Council.

Contributing Structure means any building adding to the historic significance of a property or district.

Day means any day, including Saturdays, Sundays, and holidays.

Demolition means any act of pulling down, destroying, razing, or removing a building.

Demolition permit means a permit issued by the Inspection Services Division authorizing the demolition of a building pursuant to an application.

Florida Master Site File means the State of Florida's official inventory of historical, cultural resources including archaeological sites, historical structures, historical cemeteries, historical bridges and historic districts, landscapes and linear resources.

Historic Building means a building or structure that is:

- (a) At least 50 years in age or more; or
- (b) Individually listed in the National Register of Historic Places; or
- (c) A contributing property in a National Register of Historic Places listed district; or
- (d) Designated as historic property under an official municipal, county, special district or state designation, law, ordinance or resolution either individually or as a contributing property in a district; or
- (e) Determined potentially eligible as meeting the requirements for listing in the National Register of Historic Places, either individually or as a contributing property in a district, by the Secretary of the Interior.

Historic Site means a place, or associated structures, having historic significance.

Historic Structure means a building, bridge, lighthouse, monument, pier, vessel or other construction that is 50 years in age or more and is designated or that is deemed eligible for such designation by a local, regional or national jurisdiction as having historical, architectural or cultural significance.

Neighborhoods means all the areas of the City.

Significant building means a building with respect to which the Architectural Review Board has made a determination, that further examination, is warranted to determine whether a delay in demolition should be required.

National Register of Historic Places means the official Federal lists of districts, sites, buildings, structures and objects determined significant in American history, architecture, archaeology, engineering and culture.

(2) Buildings Subject to Review.

The following buildings are subject to review by the Architectural Review Board for the purpose of determining whether such buildings are historically significant:

Any building located in the Neighborhoods of the city of Pensacola if:

- (a) Such building, or the portion thereof to which the application relates, is 50 years old or older; or
- (b) Such building is listed on the City of Pensacola's "Local Registry of Historic or Significant Buildings" and/or the Florida Division of Historical Resource's Florida Master Site File, or
- (c) Such building or the portion thereof is determined to be a historically significant building pursuant to subsection (5)c, herein.

(3) Exemptions.

Demolition of historic buildings, whether contributing or noncontributing, located in the following districts shall be exempt from this section.

- (a) Pensacola Historic District, refer to section 12-2-10(A) (9) to (11);
- (b) North Hill Preservation District, refer to section 12-2-10(B) (9);
- (c) Old East Hill Preservation District, refer to section 12-2-10(C) (10);
- (d) Palafox Historic Business District, refer to section 12-2-21(F) (2) (d); and

(e) Governmental Center District.

(4) Enforcement.

(a) Issuance of Demolition Permit. With exception to the districts listed in subsection 3, herein, the requirements set forth in this Section are in addition to, and not in lieu of, the requirements of any other codes, ordinances, statutes, or regulations applicable to the demolition of buildings. The Building Official shall not issue any demolition permit relating to a building that is subject to review, unless:

1. The Building Official has determined that the building is unsafe in accordance with City Code Section 14-1-139.
2. The Building Official: (i) has received a notice issued by the Architectural Review Board, that the building is not subject to review under this section, or is not a historically significant building, or (ii) has not received such notice within the time period set forth in subsection (5) (a); or
3. The Building Official: (i) has received a notice issued by the Architectural Review Board that no demolition delay is required; or (ii) has not received such notice within the time period set forth in subsection (5) (a); or
4. The Building Official has received a notice issued by the Architectural Review Board that there is no feasible alternative to demolition; or
5. The demolition delay period set forth in subsection (5) (a) has expired.

(b) Required Demolition or Repair.

1. Demolition. Nothing in this section shall restrict the authority of the Building Official to order the building owner, or the City, to demolish a building at any time if the Building Official determines that the condition of a building or part thereof presents an imminent and substantial danger to the public health or safety.

(5) Procedure.

- (a) Application. An application for review under this section shall be made in the manner provided below. The process, from start (application) to finish (determination and/or permit issuance) shall not exceed 120 days. If the Applicant is not the owner of record of the building, the owner or owners of record shall co-sign the application.
1. Time for Filing Application. The Applicant (or building owner)^h is encouraged to apply for review under this section as early as possible, so that any necessary review, and any delay period required by this Section, may be completed prior to, or during, any other review to which the building or its site may be subject.
 2. Application for Early Review. At any time prior to filing an application for a demolition permit, the Applicant may apply for review under this Section by submitting a request in writing to the Architectural Review Board.
 3. Informational evidence: The Applicant must submit for review sufficient information to enable the Architectural Review Board to make their determination, including an accurate site plan showing the footprint, photos of all sides of the subject building and the site to indicate all existing site features, such as trees, fences, sidewalks, driveways and topography, and photos of the adjoining streetscape, including adjacent buildings to indicate the relationship of the existing structure to the surrounding properties.
- (b) Determination: Applicability of Review and Significance of Building. After its receipt of an application from Planning Staff, the Architectural Review Board shall determine: (1) whether the building is subject to review under this Section, and (2) whether the building is a historically significant building. The Architectural Review Board may seek the assistance of City staff or the University of West Florida's Historic Trust or the

University of West Florida Archaeological
Institute.

The initial review process shall be handled as an abbreviated review involving staff, the Chairman or his/her designee of the Architectural Review Board, and a staff member of West Florida Historic Preservation, Inc. If it is determined by the abbreviated review panel to be potentially historically significant, the application would then go to the full Architectural Review Board for review.

However, if the building is determined by the abbreviated review panel to not be historically significant by not meeting the criteria set forth in subsection (5)c, the Historic Building Demolition Review will end.

The Architectural Review Board shall issue a notice of its determination within sixty (60) days of an application being received. If the Architectural Review Board determines that the building is historically significant, such notice shall:

1. Invite the Applicant to submit any information that the Applicant believes will assist the Architectural Review Board in: (i) determining whether the building is subject to demolition delay according to the criteria set forth herein, and (ii) evaluating alternatives to demolition.
2. Set forth the Criteria for Requiring Demolition Delay. The Architectural Review Board shall make its determination concerning the requirement of demolition delay according to the following criteria: To determine that a historically significant building is subject to the demolition delay, the Architectural Review Board must find that, in the public interest, it is preferable that the building be preserved or rehabilitated rather than demolished. In making such finding, the Architectural Review Board shall consider the criteria for determining historical significance.

The Applicant is encouraged to present any information the Applicant believes will assist the Architectural Review Board in making its determination.

3. Provide Information regarding the Early Determination of No Feasible Alternative. At the determination meeting or within the demolition delay period, the Applicant may present any information the Applicant believes will assist the Architectural Review Board in evaluating alternatives to demolition. If, at such hearing, the Architectural Review Board finds that demolition delay is required, and also finds that the information presented at such hearing is sufficient for the Board to issue a determination that there is no feasible alternative to demolition, the Board shall issue such determination within the time period set forth in this subsection for the issuance of the Architectural Review Board's hearing determination.

(c) Criteria for Determining Significance. The Architectural Review Board shall determine that the building to which the application relates is a historically significant building if:

1. The building is associated with events that have made a significant contribution to the broad patterns of our national, regional or local history; or
2. The building is associated with the lives of persons significant in our national, regional or local past; or
3. The building embodies the distinctive characteristics of a type, period or method of construction, or that represents the work of a master, or that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
4. The building has yielded, or may be likely to yield, information important in national, regional or local history.

(e) Criteria for Determination that Building is Subject to Demolition Delay. To determine that a historically significant building is subject to the demolition delay, the Architectural Review Board must find that, in the public interest, it is preferable that the building be preserved or rehabilitated rather than

demolished. In making such finding, the Architectural Review Board shall consider the criteria for determining historical significance.

(d) Demolition Delay.

1. Delay Period. If the Architectural Review Board has issued a determination that a historically significant building is subject to demolition delay, the Building Official shall not issue a demolition permit until sixty (60) days have elapsed from the date of determination but in no case exceeding the aggregate of 120 days from the date of application.

Upon expiration of the delay period, the Architectural Review Board shall issue a notice in writing stating that such delay period has expired, and the date of such expiration, unless the Architectural Review Board has issued a determination that there is no feasible alternative to demolition.

1. Invitation to Consider Alternatives. If the Architectural Review Board has determined that a historically significant building is subject to demolition delay, and has not determined, at the hearing that there is no feasible alternative to demolition, the Architectural Review Board shall invite the Applicant (or the owner of record, if different from the Applicant) to participate in an investigation of alternatives to demolition. The Architectural Review Board also may invite the participation, on an advisory basis, of City Staff, as well as any individual or representative of any group whose participation the Applicant (or owner) requests, to assist in considering alternatives.

(e) Evaluation of Alternatives to Demolition. In evaluating alternatives to demolition, the Architectural Review Board may consider such possibilities as: the incorporation of the building into the future development of the site; the adaptive re-use of the building; the use of financial or tax incentives for the rehabilitation of the building; the removal of the building to

another site; and, with the owner's consent, the search for a new owner willing to purchase the building and preserve, restore, or rehabilitate it.

In evaluating alternatives to demolition, the Architectural Review Board shall consider, and shall invite the Applicant to present, the following information:

1. The cost of stabilizing, repairing, rehabilitating, or re-using the building;
2. A schematic, conceptual design drawing;
3. Any conditions the Applicant proposes to accept for the redevelopment of the site that would mitigate the loss of the building; and
4. The availability of other sites for the Applicant's intended purpose or use.

(f) Determination of No Feasible Alternative. If, based on its evaluation of alternatives to demolition, the Architectural Review Board is satisfied that there is no feasible alternative to demolition, the Architectural Review Board may issue a determination prior to the expiration of the delay period, authorizing the building official to issue a demolition permit.

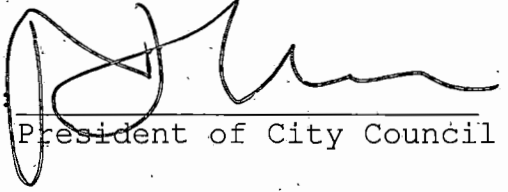
(g) Notice. Any determination or notice issued by the Architectural Review Board or its staff shall be transmitted in writing to the Applicant, with copies to the building official and, where applicable, to any individual or group that the Architectural Review Board has invited to participate in an exploration of alternatives to demolition.

SECTION 2. If any word, phrase, clause, paragraph, section or provision of this ordinance or the application thereof to any person or circumstance is held invalid or unconstitutional, such finding shall not affect the other provision or applications of the ordinance which can be given effect without the invalid or unconstitutional provisions or application, and to this end the provisions of this ordinance are declared severable.



SECTION 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 4. This ordinance shall take effect on the fifth business day after adoption, unless otherwise provided, pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Adopted: September 26, 2019

Approved: 
President of City Council

Attest:



City Clerk

Robyn M. Tice
CITY CLERK'S OFFICE, CITY OF PENSACOLA
3RD FLOOR, 222 WEST MAIN STREET
PENSACOLA, FL 32502

Published Daily-Pensacola, Escambia County, FL

PROOF OF PUBLICATION

State of Florida
County of Escambia:

Before the undersigned authority personally appeared said legal clerk, who on oath says that he or she is a Legal Advertising Representative of the Pensacola News Journal, a daily newspaper published in Escambia County, Florida that the attached copy of advertisement, being a Legal Ad in the matter of

NOTICE OF PROPOSED ORDINANCE

as published in said newspaper in the issue(s) of:

09/16/19

Affiant further says that the said Pensacola News Journal is a newspaper in said Escambia County, Florida and that the said newspaper has heretofore been continuously published in said Escambia County, Florida, and has been entered as second class matter at the Post Office in said Escambia County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and Subscribed before me this 16th of September 2019, by legal clerk who is personally known to me

Affiant

Notary Public State of Wisconsin, County of Brown

My commission expires

Publication Cost: \$316.74
Ad No: 0003791732

SHELLY HORA
Notary Public
State of Wisconsin

NOTICE OF PROPOSED ORDINANCES

Please be advised that Proposed Ordinance Nos. 24-19, 25-19, 27-19, 28-19, and 29-19 were presented to the City Council of the City of Pensacola for first reading on Thursday, September 12, 2019 and will be presented for final reading and adoption on Thursday, September 26, 2019 at 5:30 p.m., in Council Chambers on the First Floor of City Hall, 222 West Main Street, Pensacola, Florida.

The title(s) of the proposed ordinance(s) are as follows:

P.O. #24-19:

AN ORDINANCE AMENDING SECTION 12-12-5 OF THE CODE OF THE CITY OF PENSACOLA, FLORIDA; CREATING SUBSECTION 12-12-5(E) ESTABLISHING A PROCESS FOR THE REVIEW OF REQUESTS TO DEMOLISH BUILDINGS OF HISTORICAL, ARCHITECTURAL, CULTURAL OR URBAN DESIGN VALUE TO THE CITY; PROVIDING DEFINITIONS; PROVIDING ARCHITECTURAL REVIEW BOARD CRITERIA AND PROCEDURES; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

P.O. #25-19:

AN ORDINANCE REPEALING SECTION 12-13-4, OF THE CODE OF THE CITY OF PENSACOLA, FLORIDA; ABOLISHING THE GATEWAY REVIEW BOARD; AMENDING SECTION 12-13-2, TRANSFERRING FUNCTIONS OF THE GATEWAY REVIEW BOARD TO THE PLANNING BOARD; CONFORMING REFERENCES WITHIN THE CODE; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

P.O. #27-19:

AN ORDINANCE AMENDING SECTION 10-4-19 OF THE CODE OF THE CITY OF PENSACOLA, FLORIDA ADJUSTING RATES AND CHARGES FOR THE SALE OF NATURAL GAS; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; PROVIDING AN EFFECTIVE DATE.

P.O. #28-19:

AN ORDINANCE AMENDING SECTION 4-3-97 OF THE CODE OF THE CITY OF PENSACOLA, FLORIDA; PROVIDING FOR INCREASE IN SANITATION COLLECTION FEES AND THE SANITATION EQUIPMENT SURCHARGE; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

P.O. #29-19:

AN ORDINANCE RELATING TO FUNDING FOR THE PROVISION OF INDIGENT CARE SERVICES BY HOSPITALS LOCATED WITHIN THE CITY OF PENSACOLA; PROVIDING A SPECIAL NON-AD VALOREM ASSESSMENT AGAINST THE PROPERTY OF SUCH HOSPITALS FOR THE PURPOSE OF INCREASING FUNDING AVAILABLE FOR THE PROVISION OF SUCH SERVICES; PROVIDING DEFINITIONS; PROVIDING PROCEDURES FOR THE IMPLEMENTATION AND COLLECTION OF SPECIAL ASSESSMENTS; CONFORMING TO THE REQUIREMENTS OF LAW; PROVIDING FOR SEVERABILITY; REPEALING AND REPLACING ORDINANCE NO. 10-19; AND PROVIDING AN EFFECTIVE DATE.

A copy of proposed ordinances may be inspected by the public in the City Clerk's office, located on the 3rd Floor of City Hall, 222 West Main Street, Pensacola, Florida, or on-line on the City's website: <https://pensacola.legistar.com/Calendar.aspx>. Interested parties may appear at the Council meeting and be heard with respect to the proposed ordinances.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

CITY OF PENSACOLA, FLORIDA

By: Ericka L. Burnett, City Clerk

Visit www.cityofpensacola.com to learn more about City activities. Council agendas posted on-line before meetings.

Legal No. 3791732 9/16/2019



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00274

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/18/2020

SUBJECT:

New Business - Item 11
190 W. Government Street
Governmental Center District / Zone C-2A
Non-Contributing Structure

BACKGROUND:

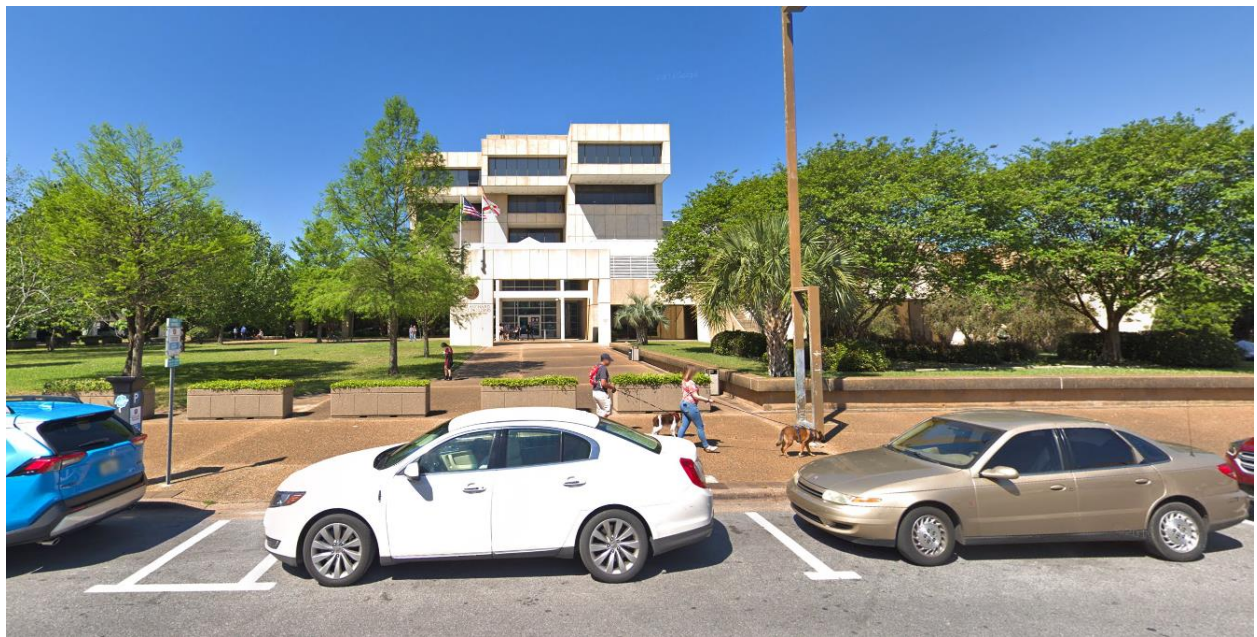
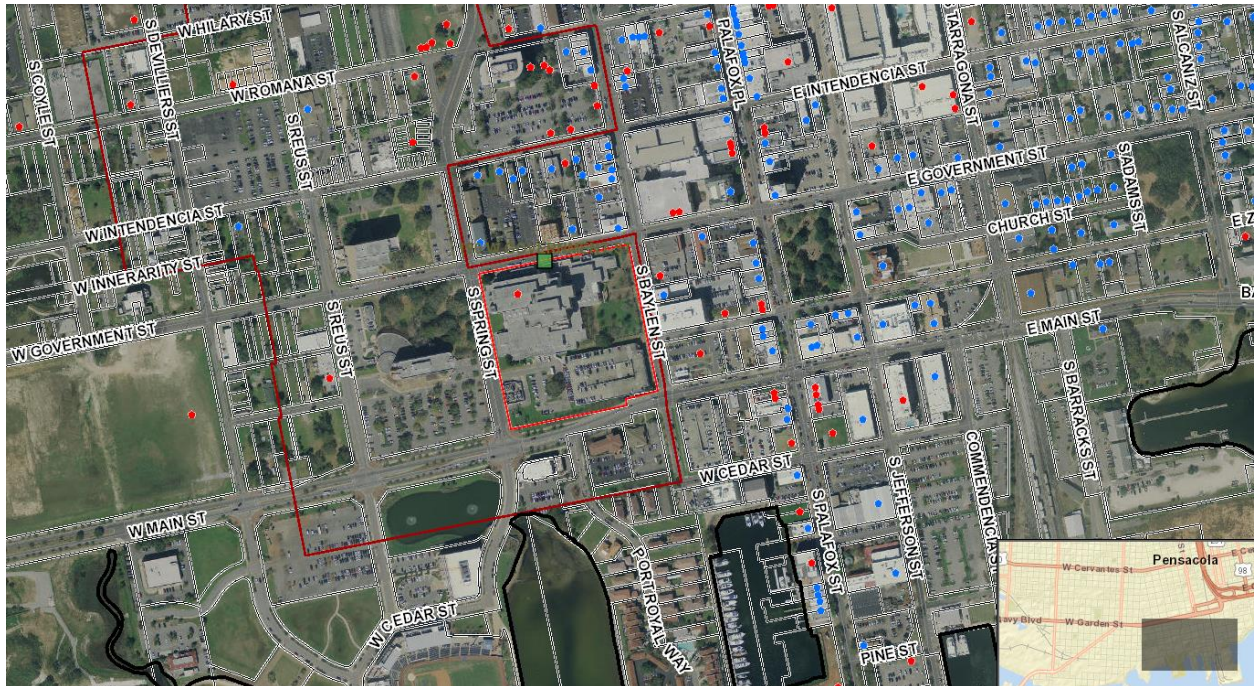
Ben Townes, Townes + architects, is requesting approval for additions to the MC Blanchard Judicial Center. The proposed work includes adding a covered canopy to the main east entrance and several concrete security planters which will match the existing planters on site.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-22 *Governmental Center District*

190 W. Government Street



**Architectural Review Board Application
Abbreviated Review**

Application Date: 04/03/2020

Project Address: 190 Governmental Center

Applicant: Ben Townes / Townes Plus Architects

Applicant's Address: 2421 North 12th Ave. / Pensacola, FL 32503

Email: ben@townesplus.com **Phone:** 850-433-0203

Property Owner: Escambia County

(If different from Applicant)

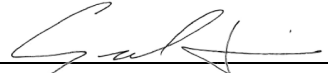
District: **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD** ☒

There is a \$25 Application Fee for the following project types:

- | | |
|--|---|
| <input type="checkbox"/> Change of Paint Color(s) | Body: _____ |
| | Trim: _____ |
| | Accent: _____ |
| <input type="checkbox"/> New/Replacement Sign(s) | Sign Type: _____ |
| | Dimensions: _____ |
| | Colors: _____ |
| <input type="checkbox"/> Minor Deviation to an
Approved Project / Change
of Roofing Material | Description: <u>See attached Supplemental Project Specifics /</u>
<u>Description</u> |

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.



ARB Secretary Signature

5/18/2020

Date

This request was reviewed and approved by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

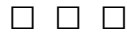
**Referred to the Full Board by ARB
Reviewer
-GH 5.18.2020**

Comments: _____

UWFHT Representative Signature / Date

TOWNES + architects, P.A.

Architects



Planners

2421 North 12th Ave.

Pensacola, Florida 32503

Architectural Review Board Application Supplemental Project specifics/description

MC Blanchard Judicial Center
190 Governmental Center

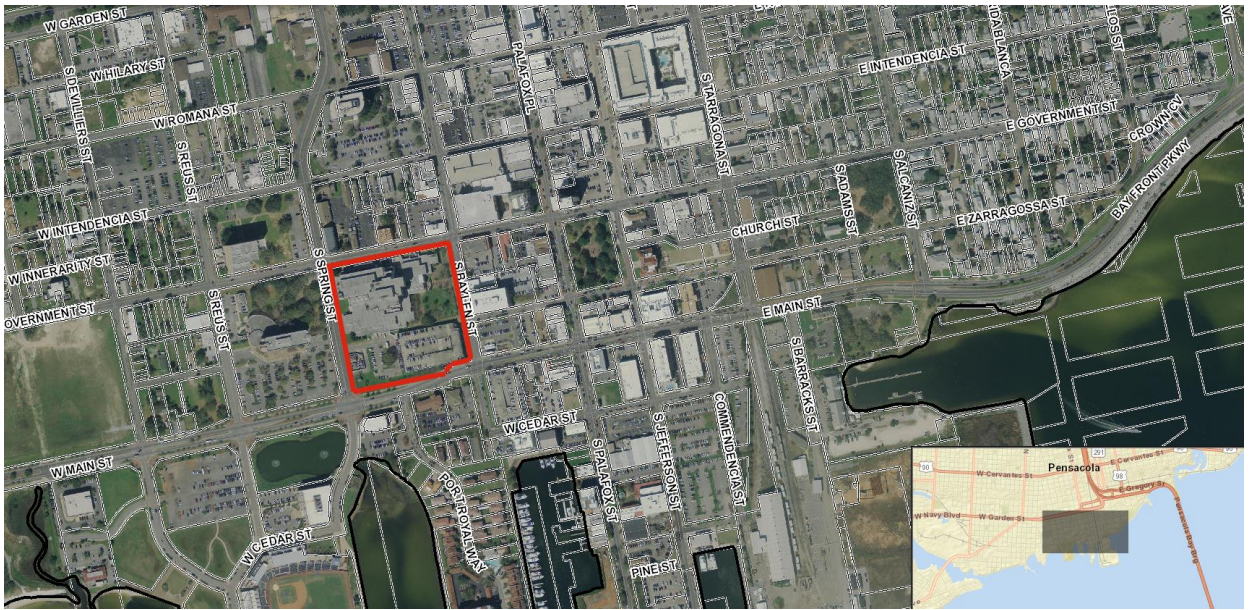
The MC Blanchard Judicial Center is proposing security enhancements at the exterior of the building complex. The project will comprise the following elements:

1. A covered entrance canopy extending from the main entrance east toward the Baylen Street pedestrian approach. The purpose of this feature is to provide shelter as large jury pools queue up to proceed through security screenings prior to entering the building. This entrance canopy will be integrated with the architecture of the existing main entrance and will be consistent in materials and detailing. The current concrete structure which forms a monumental gateway feature will remain intact. The new canopy will extend under it. The structure will comprise:
 - a. Foundation: Reinforced concrete spread footings.
 - b. Vertical Supports: Steel columns covered with aluminum panel system to match existing.
 - c. Fascia: Steel structural elements covered with aluminum panels to match existing.
 - d. Roof: Single ply membrane sloped toward interior roof drains. Downspouts will be concealed inside column covers.
 - e. Ceiling: Underside of roof structure will be concealed with metal panel system—color to match the aluminum panel system.
 - f. Entire structure will be designed to withstand wind loads as required by the current Florida Building Code.
 - g. Fire resistance will comply with requirements of the current Florida Building Code.
2. Several series of concrete security planters are proposed at various points around the perimeter of the building. These new planters will match the size, shape and material of planters currently located at the property's eastern boundary—mostly along Baylen Street. These additional planters are planned at areas around the building's perimeter which are vulnerable to nefarious vehicular approach—mostly along Government St. to the north and Spring Street to the west.

Telephone: (850) 433-0203

Email: ben@townesplus.com

AA-26001051



1. Site location of the MC Blanchard Judicial center




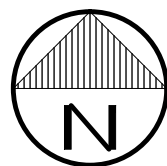
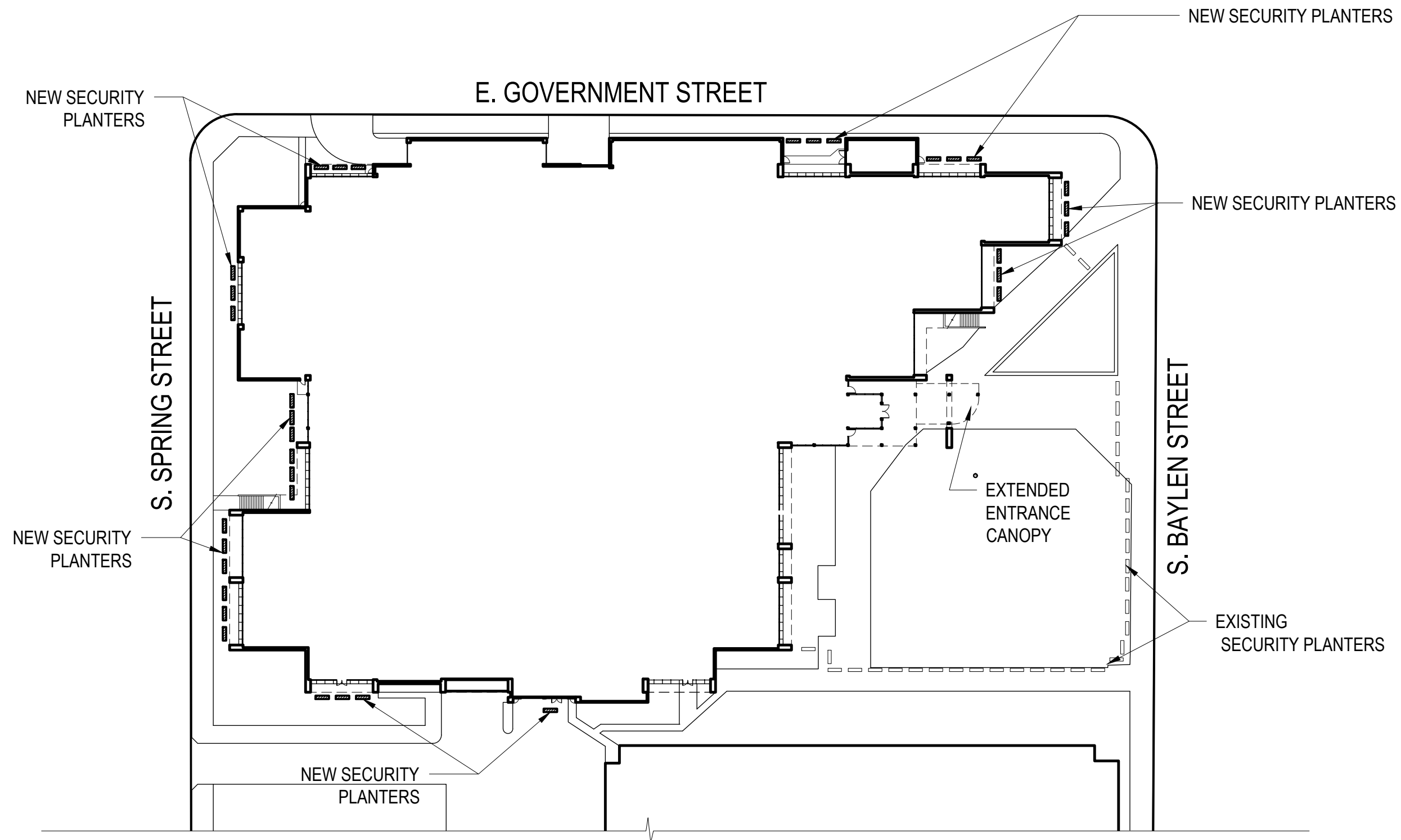
2. Aerial view of work location



3. Existing Entrance



4. Entrance showing proposed entrance canopy expansion.



SITE PLAN (NEW BOLLARDS AND PLANTERS)

SCALE: 1/64" = 1'-0"

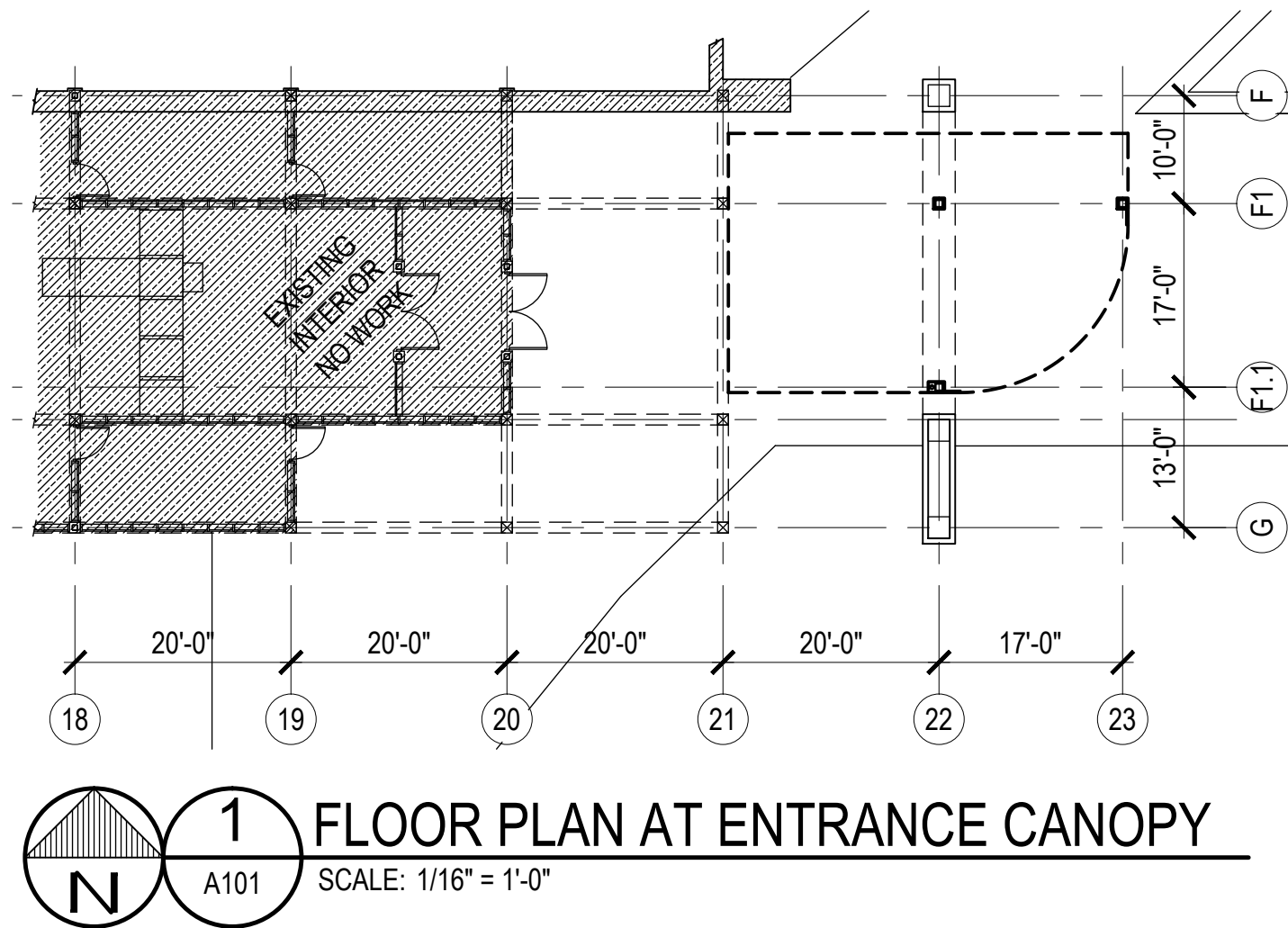
TOWNES + architects, P.A.
ARCHITECTS - PLANNERS
 2421 North 12th Ave.
 Pensacola, FL 32503
 PH(850)433-0203 FAX(850)433-2177
 AA-26001051

MC BLANCHARD JUDICIAL CENTER
SECURITY BOLLARDS AND PLANTERS
STIE PLAN

Scale:
AS NOTED

Date:
04/22/2020

A100



PLAN KEY NOTES

- A** NEW STEEL TUBE COLUMN CLAD WITH ALUMINUM PANEL SYSTEM TO MATCH EXISTING.
- B** EXTERIOR FACE OF NEW FASCIA SYSTEM ABOVE. NEW FASCIA COMPOSED OF STEEL FRAMING WITH ALUMINUM PANEL SYSTEM TO MATCH EXISTING. TOP OF FOOTING ELEVATION: 3'-0" BELOW FINISH FLOOR. TOP ELEVATION OF ALUMINUM ENCASEMENT: 15'-0" A.F.F. DEPTH OF FASCIA SYSTEM: 24".
- C** NEW CANOPY ROOF SYSTEM COMPRISING SINGLE PLY ROOF ON TAPERED INSULATION SLOPED TOWARD INTERNAL ROOF DRAINS. ROOFING SUPPORTED BY METAL ROOF DECK ON STEEL FRAMING MEMBERS.
- D** EXISTING CONC. WALKWAY REMOVED TO THE EXTENT NECESSARY FOR THE PLACEMENT OF NEW FOOTINGS SHALL BE REPLACED AND MADE LEVEL WITH EXISTING SURFACE.
- E** EXIST CONCRETE PIER ENCASED WITH CONCRETE PANELS TO REMAIN. SURFACE APPLIED COUNTY SEAL, DIMENSIONAL LETTERING, FLAG POLES/HOLDERS SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION. PROTECT ALL SURFACES DURING CONSTRUCTION.
- F** EXISTING CONCRETE BEAM ENCASED WITH PRECAST CONCRETE PANELS TO FORM OVERHEAD ARCHITECTURAL GATEWAY FEATURE (TOTAL WIDTH INCLUDING ENCASEMENT: 3'-0". TOTAL DEPTH INCLUDING ENCASEMENT: 8'-1") BOTTOM OUTSIDE ELEVATION OF ENCASEMENT: 17'-0" A.F.F. BEAM SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.

TOWNES + architects, P.A.
ARCHITECTS - PLANNERS
2421 North 12th Ave.
Pensacola, FL 32503
PH(850)433-0203 FAX(850)433-2177
AA-26001051

MC BLANCHARD JUDICIAL CENTER
ENTRANCE CANOPY
ARCHITECTURAL

Scale:
AS NOTED

Date:
04/22/2020

A101



BOHLMANN™
QUALITY PRODUCTS

PRODUCT SPEC SHEET

P-9630

MODEL: P-9630

DESCRIPTION: Concrete Security Planter
with Forklift Knockouts & Drain Holes

REINFORCING: Welded #3 Rebar Frame

DIMENSIONS: 96" L x 24" W x 30" H

WEIGHT: 2060 lbs.

FINISH OPTIONS: Tan River Rock

Gray Limestone

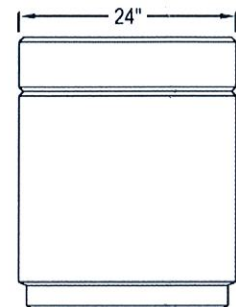
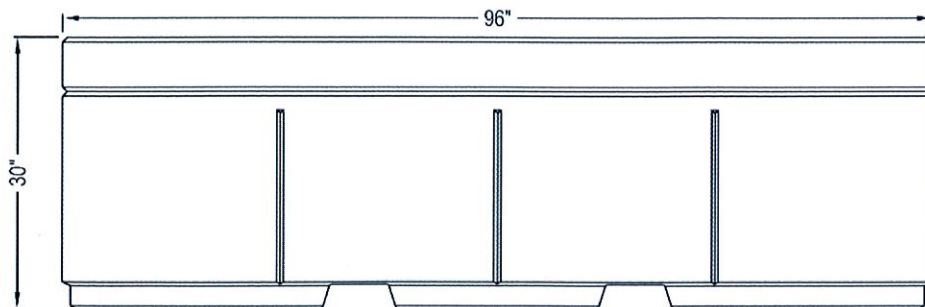
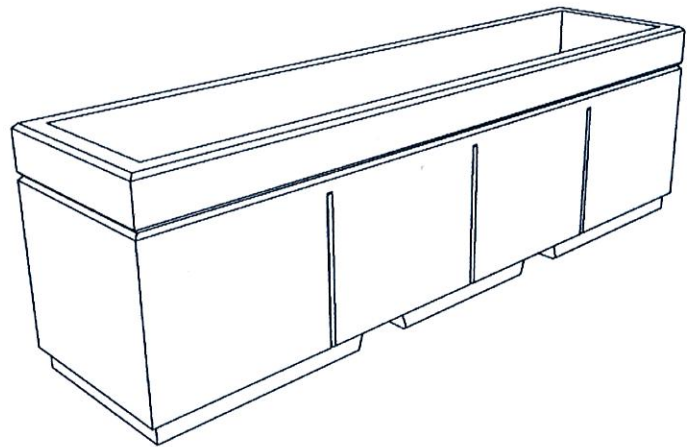
Red Quartzite

Smooth Gray Concrete

• Sherwin-Williams Concrete Stain
Available for Finish. Just Provide Us
with the Color Code



***Tan River Rock Pictured*



See our complete product lineup at www.bohlmann.com or call **712.263.3743** to request a proposal



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00278

Architectural Review Board

5/21/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 5/19/2020

SUBJECT:

New Business - Item 12
804 E. Wright Street
Old East Hill Preservation District / Zone OEHC-2
New Construction

BACKGROUND:

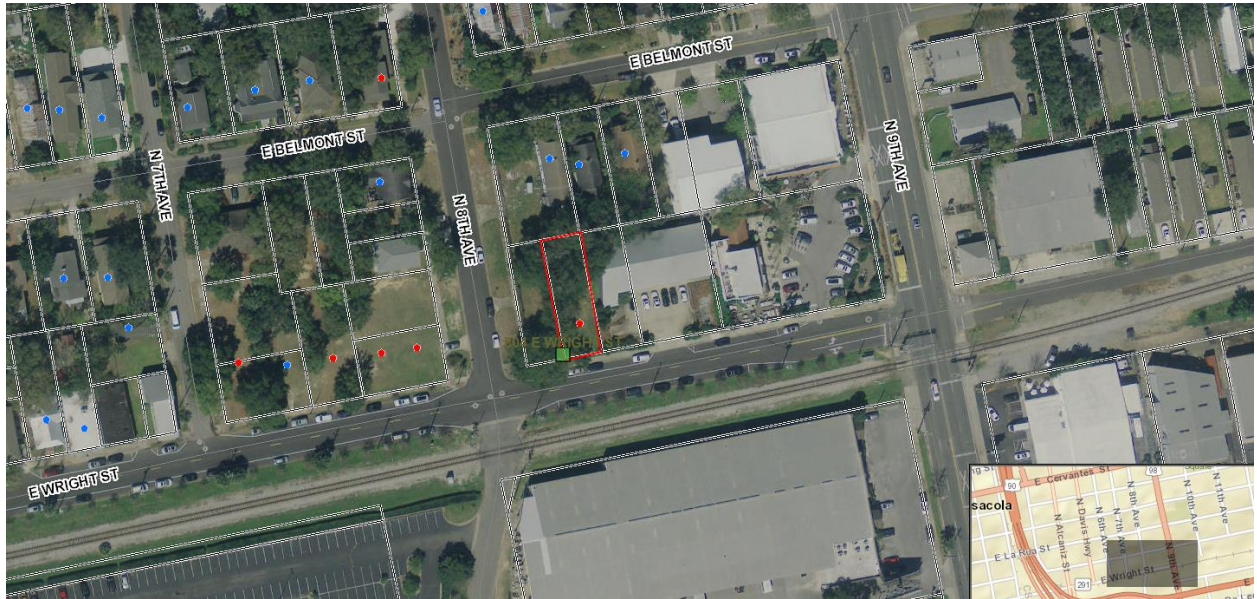
George Williams is providing revisions to a new single story retail building. The revisions include changes and clarifications to the landscaping, the storm water layout, details on the front brackets, and the final storefront details. This project came before the Board in March 2020 where it was approved with an Abbreviated Review to follow. That review was referred to the Full Board and is included in this packet.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(C)(6) *OEHPD, Regulations for any development in OEHPD*
Sec. 12-2-10(C)(9) *OEHPD, Regulations for new construction in the OEHPD*

804 E. Wright Street





MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 19, 2020

Item 3

804 E. Wright Street

OEHPD / OEHC-2

New Construction

Action taken: Approved with abbreviated review.

George Williams is seeking final approval for a new single story retail building. The new space will be an addition to the DUH commercial campus and has been designed to match the existing building to the east.

Mr. Williams presented to the Board and furnished information to the Board members and stated the structure would be a continuation of the main structure. He advised the original building they were adjacent to needs repainting and minor repair to the board and batten. The landscape plan was being designed. The survey had been completed but there was no stormwater plan, however the plan was to use the property between the buildings as a nice swell; the original plan for a pond had been negated. The neighborhood wanted to make sure the materials presented would be the ones installed. He also indicated they had adequate parking without adding additional spaces. Board Member Mead advised he liked the relating to the railroad warehouse. Regarding the brackets, he asked if they had considered inspiration from the railhouse since the brackets did not really relate to the site. He asked about the lighting detail, and Mr. Williams stated they would have soffit lighting under the overhang. Board Member Villegas felt the renderings were not presented properly and had a problem with final approval, and Board Member Crawford agreed. Board Member Mead agreed the landscaping was a concern and explained the cedar tree should probably be kept. Board Member Fogarty was concerned with the bracket columns looking spindly. **Board Member Crawford made a motion to approve with an abbreviated review on landscaping, more detail on the bracket columns for the front porch, final stormwater layout and final storefront details. Board Member Villegas seconded the motion, and it carried unanimously.**



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00151

Architectural Review Board

3/19/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 3/11/2020

SUBJECT: **March 2020 Submission**

Item 3 - 804 E. Wright Street
Old East Hill Preservation District / Zone OEHC-2
New Construction

RECOMMENDATION:

George Williams is seeking final approval for a new single story retail building. The new space will be an addition to the DUH commercial campus and has been designed to match the existing building to the east. The building will have matching board and batten siding, a 5V-crimp metal roof, aluminum storefront and doors, and a paint palette to match. The landscaping will be minimal with matching white oleander and sod as well as simple concrete walkways between the buildings and to the sidewalk.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-10(C)(6) *OEHPD, Regulations for any development in OEHPD*
Sec. 12-2-10(C)(9) *OEHPD, Regulations for new construction in OEHPD*

March 2020 Submission

City of
Pensacola

*America's First Settlement
And Most Historic City*



Architectural Review Board Application Full Board Review

Application Date: 2/25/20

Project Address: 804 E. WRIGHT STREET

Applicant: George Williams (GMC) for Quinn Stinson

Applicant's Address: 720 Bayfront Parkway Pensacola, FL 32502

Email: george.williams@gmcnetwork.com **Phone:** 850-462-3038

Property Owner: Chandler Quinn Properties LLC.

District: ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

New Single Story 2,209 Sf. Retail Sales Building. The building is located on parcel "D", East of
and contiguous with existing DUH "Campus." The exterior of the new retail sales building will be
matched to the existing Barn Building (Matches Existing Building #3). Metal Roof, Board and
Batten Siding, and Clear Anodized Aluminum Storefront materials will be matched and applied to
the new structure.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature (AGENT)

FEB 26, 2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

March 2020 Submission

Myles Sampson

From: Myles Sampson
Sent: Friday, February 28, 2020 2:56 PM
To: Gregg Harding
Cc: Leslie Statler; George Williams
Subject: RE: [EXTERNAL]RE: [EXTERNAL] ARB March Electronic Submission

Good Afternoon Mr. Harding

Here are the answers to your questions:

This is for final submission.

-On the plan, we have indicated the building setbacks from the exterior face of wall on all the sides of the building.

-The proposed swale will be sodded. Upon further discussions with our Civil Engineer, we utilize two small side-yard swales allowing the front lawn to be landscaped with planting and crushed stone to match and blend with the existing campus.

-The awning is a continuation of the roof structure complete with 5v galvanized metal roof. The support columns/posts will be tube steel with wood trim painted.

-The new walkway is to be a concrete walk.

-The new board and batten wood siding is to be painted to match the existing board and batten siding.

Myles Sampson

Intern Architect, Architecture

T: 850.432.0706 ext. 857

E: myles.sampson@gmcnetwork.com

720 Bayfront Parkway

Suite 200

Pensacola, FL 32502

[Building Communities](#)

GMC

From: Gregg Harding <GHarding@cityofpensacola.com>
Sent: Thursday, February 27, 2020 9:02 AM
To: Myles Sampson <myles.sampson@gmcnetwork.com>
Cc: Leslie Statler <LStatler@cityofpensacola.com>
Subject: [EXTERNAL]RE: [EXTERNAL] ARB March Electronic Submission

Good morning Myles,

Thank you for the ARB submittal. This looks fantastic. I have a couple of questions / needs for clarification to help this item move as smoothly as possible.

These are:

- Is this for final submission or conceptual (I assume final)?
- On your site plan (page A2), can you please indicate the distance between the property lines and the exterior walls of the building. In this zone, only 5' side yard setbacks are required (as labeled in your

proposed land and parking data). While I am sure that you meet this, we will still need to see these numbers to confirm exactly where the building will be.

- ARB will expect a landscape plan. I see somewhat of a landscape plan for this property on page A2 although no listed plant species. On page A0, it looks like there's a proposed swale? Will this be landscaped?
- Will there be any lighting? Any signage? If not, then no worries.
- Can you provide details on the awning? Will this be a continuation of the roof or will this be a separate, added structure. Will the brackets / supports be wood or metal?
- I assume that the new building will be painted to match the existing. Can you confirm this for me. Also, are you able to provide paint samples for the body, trim, and any accents with your packet?
- The walkway to the proposed building – will it be concrete pavers?

That's it for now. Please feel free to contact me with any questions. Also, attached is a Full Board Review application just in case. When everything is addressed, please provide us with fourteen (14) hardcopies and payment for a commercial project. Thank you!

Best,

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

gharding@cityofpensacola.com



March 2020 Submission

Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Leslie Statler <LStatler@cityofpensacola.com>

Sent: Thursday, February 27, 2020 7:53 AM

To: 'Myles Sampson' <myles.sampson@gmcnetwork.com>

Cc: Gregg Harding <GHarding@cityofpensacola.com>

Subject: FW: [EXTERNAL] ARB March Electronic Submission

Thanks Myles!

Leslie

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1673

lstatler@cityofpensacola.com

March 2020 Submission

EXISTING LAND AND PARKING DATA:

PARCEL	TOTAL
A	14,100 SF
B	18,000 SF
C	23,500 SF
TOTAL	55,600 SF

EXISTING

BLDG	GROUND FLOOR	SECOND FLOOR	TOTAL
1. DUH	1,935 SF	NA	1,935 SF
2. FARMHOUSE	1,848 SF	1,104 SF	1,952 SF
3. BARN	5,468 SF	NA	5,468 SF
4. WAREHOUSE	6,090 SF	NA	6,090 SF
TOTAL			16,465 SF

PROPOSED

BLDG	GROUND FLOOR	SECOND FLOOR	TOTAL
1. DUH	0	0	0
2. FARMHOUSE	1,848 SF	1,104 SF	1,952 SF
3. BARN	5,468 SF	NA	5,468 SF
4. WAREHOUSE	6,090 SF	NA	6,090 SF
5. NEW	3,675 SF	NA	3,675 SF
TOTAL			18,205 SF

PARKING REQUIREMENTS

BLDG	FUNCTION	AREA (SF)	RATIO REQ'D	TOTAL
FARMHOUSE	CAFE (INDOOR)	1,512	1:100	15
FARMHOUSE	CAFE (OUTDOOR)	400	1:100	4
FARMHOUSE	RETAIL	336	1:500	1
FARMHOUSE	OFFICE	1,104	1:300	4
BARN	WHOLESALE	5,468	1:1,000	6
WAREHOUSE	RETAIL	6,090	1:500	12
NEW	WAREHOUSE	3,675	1:2,000	2
TOTAL				44 CARS

PARKING REQUIREMENTS

PROVIDED ON SITE (2 ACCESSIBLE)	29
ON STREET PARKING (PER LDC)	20
TOTAL	49 CARS
LOADING-RECEIVING PROVIDED	

PROPOSED LAND AND PARKING DATA:

PARCEL D= 4,418 SF
MAXIMUM BUILDING AREA: 2,209 SF
BUILDING SIDE YARD SET BACK = 5'
PROPOSED BUILDING 27' X 82'
PARKING REQUIRED (WHOLESALE) = 3
REVISED TOTAL PARKING REQUIRED: (44 + 3) 47 CARS
Construction Type: V-B FBC
Exterior walls (east and west:
1-hr per FBC Table 602

NORTH EIGHTH AVENUE (70' row)

EAST BELMONT STREET (70' row)

NORTH NINTH AVENUE (70' row)

EAST WRIGHT STREET (70' row)

EXISTING RAIL ROAD

SITE DEVELOPMENT PLAN
SCALE 1" = 20'-0"



GMC

720 Bayfront
Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
GMCNETWORK.COM
COA: A2600559

ISSUE DATE

A08 SUBMITTAL 02-27-2020

DRAWN BY: gdc

CHECKED BY: GDW

New Building for DUH
805 East Wright Street
Pensacola, FL

GMC Project # 200003
PROJECT # P2020-171

SITE PLAN

A0

Arch 2020 Submission

This architectural floor plan illustrates a proposed new retail building and an existing building, along with associated landscape and parking areas. The plan is oriented with North at the top.

Key Features and Dimensions:

- New Retail Building:** A rectangular structure with a total width of 37.6'. It includes a **Covered Porch** on the left side, measuring 27'-0" in width. The building is surrounded by a **Shallow Swale (Sodded)**, approximately 18" deep maximum, typical on each side.
- Existing Building:** A larger structure to the right of the new building, featuring several interior rooms and a **NEW CONCRETE WALK** along its left side.
- Parking and Walkways:** An **EXISTING WALK** runs along the bottom of the existing building. A **NEW CONCRETE WALK** is proposed along the left side of the new retail building. **EXISTING PARKING** is located to the right of the existing building, with two cars shown. A **NEW CONCRETE WALK** is also shown along the bottom of the new retail building.
- Landscape:** The plan includes various landscape elements: **WHITE OLEANDER** to match existing (see GSDI plan), **SHALLOW SWALE (SODDED)**, and **EXISTING LANDSCAPE TO REMAIN** (see attached). A **NEW LANDSCAPE** area is indicated at the bottom center.
- Dimensions:** Key dimensions include 37.6' (total width), 27'-0" (covered porch width), 10'-8" (distance between buildings), 5'-7" (distance from building to walk), 5'-0" (distance from building to swale), 8'-4" (distance from building to swale), 17.5' (distance from building to walk), and 25'-8" (distance from building to walk).

Legend:

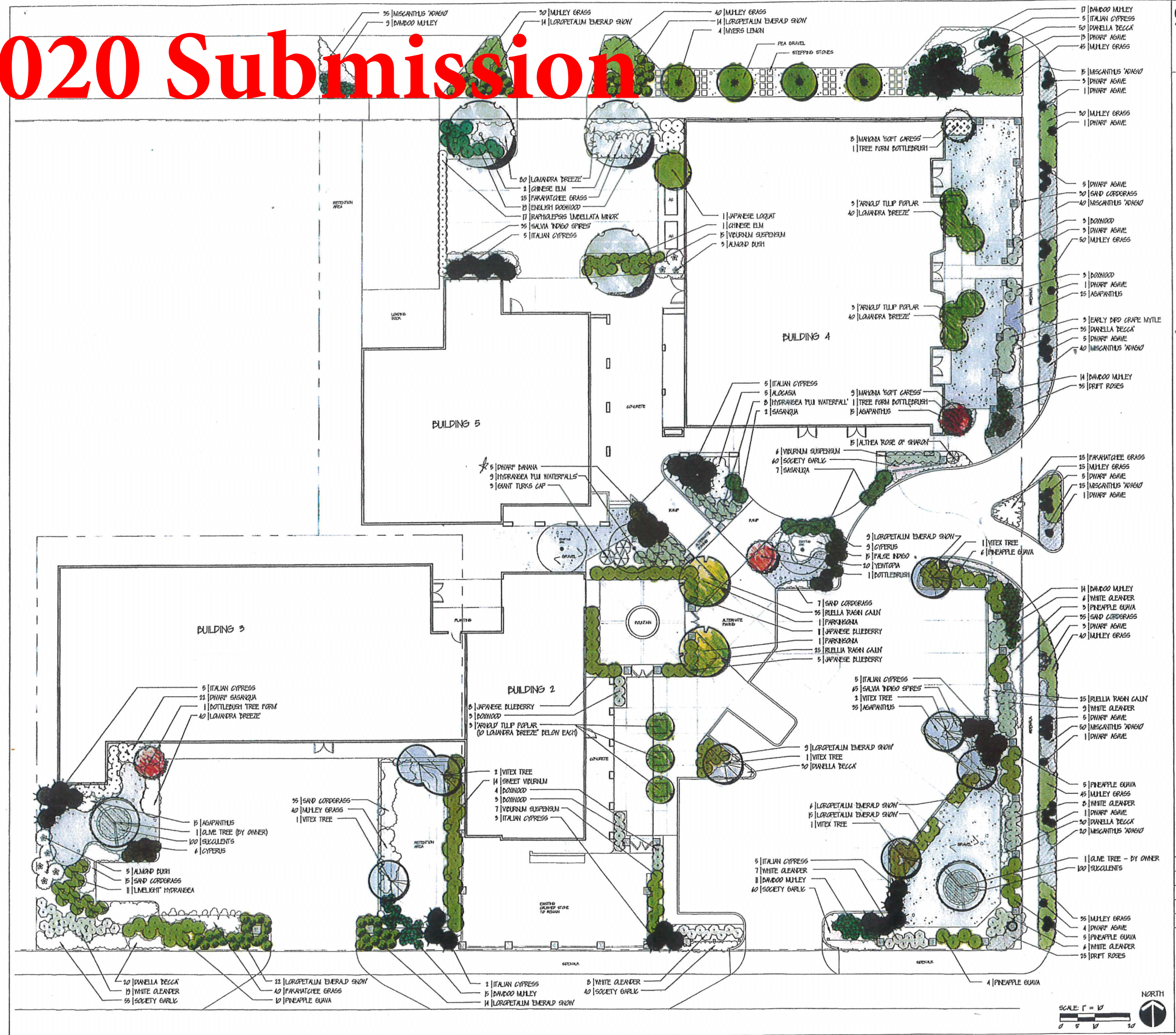
- NEW LANDSCAPE
- EXISTING LANDSCAPE TO REMAIN (SEE GSDI PLAN)

Scale and Orientation:

- 1 FLOOR PLAN**
- SCALE: 1/8" = 1'-0"**
- TRUE NORTH**

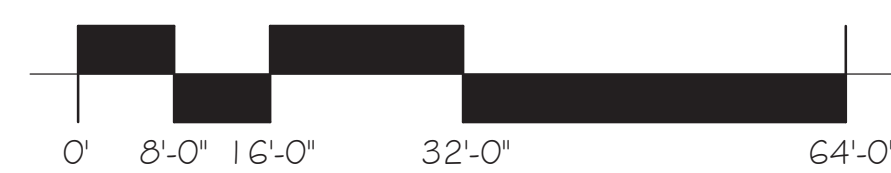
← NEW LANDSCAPE ○ EXISTING LANDSCAPE
TO REMAIN
SEE GSDI PLAN →

GNC

Landscape
Concept

1 Site Plan

SCALE: 1/16" = 1'-0"



NORTH 8TH AVENUE

March 2020 Submission

NEW BUILDING 6

EAST WRIGHT STREET

EAST BELMONT ST.

NORTH 9TH AVENUE

SITE PLAN

DUH, BUILDING 6
804 EAST WRIGHT STREET
PENSACOLA FL, 32501

ISSUE	DATE
[PROJECT STATUS]	[ISSUE DATE]

A

GMC # APEN200003

DRAWN BY:	Author
CHECKED BY:	Checker

720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850.432.0706
F 850.433.0508
GMCNETWORK.COM
COA: AA26000557



March 2020 Submission

1 NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING BUILDING

NEW BUILDING

LEVEL 3
22' - 7"

LEVEL 2
14' - 0"

LEVEL 1
0' - 0"

2 SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

NEW BUILDING

EXISTING BUILDING

LEVEL 3
22' - 7"

LEVEL 2
14' - 0"

LEVEL 1
0' - 0"

MATERIAL LEGEND

- A METAL ROOFING
- B BOARD AND BATTEN SIDING
- C CONCRETE CMU FOUNDATION
- D ALUMINUM STOREFRONT - CLEAR ANODIZED ALUMINUM
- E RATED HOLLOW METAL DOOR & FRAME ASSEMBLY
- F METAL GUTTER & DOWNSPOUT

GMC

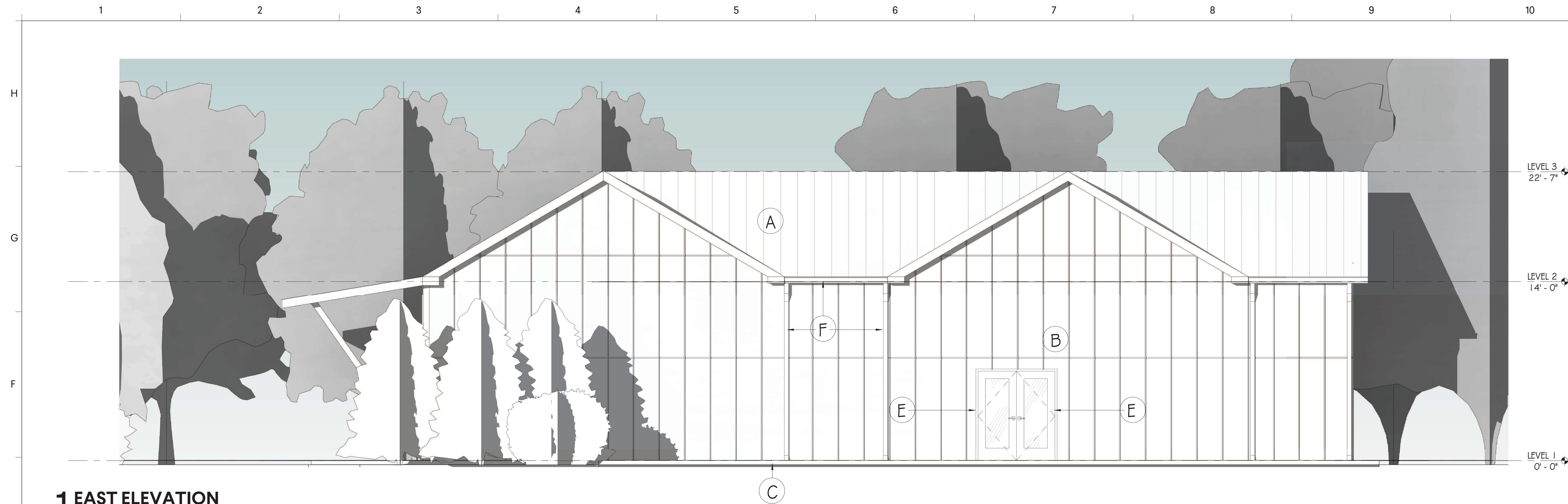
720 BayFront Parkway, Suite 200
Pensacola, FL 32502
T 850.432.0706
F 850.433.0508
GMCNETWORK.COM
COA: AA26000557

DUH, BUILDING 6
804 EAST WRIGHT STREET
PENSACOLA FL, 32501

GMC # APEN200003

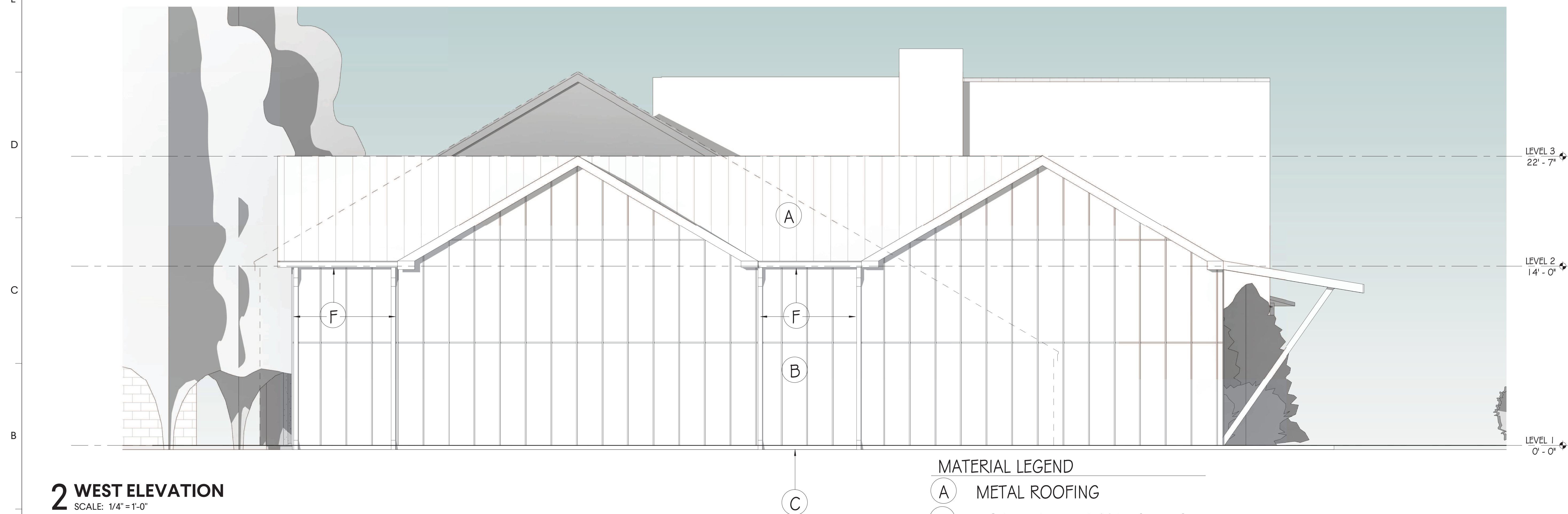
EXTERIOR
ELEVATIONS

A3



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION



- MATERIAL LEGEND**
-
- | | |
|---|---|
| A | METAL ROOFING |
| B | BOARD AND BATTEN SIDING |
| C | CONCRETE CMU FOUNDATION |
| D | ALUMINUM STOREFRONT - CLEAR ANODIZED ALUMINUM |
| E | RATED HOLLOW METAL DOOR & FRAME ASSEMBLY |
| F | METAL GUTTER & DOWNSPOUT |

March 2020 Submission



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	ISSUE	DATE
[PROJECT STATUS]		[ISSUE DATE]
DRAWN BY:		Author
CHECKED BY:		Checker

DUH, BUILDING 6
804 EAST WRIGHT STREET
PENSACOLA FL, 32501

GMC # APEN200003

EXTERIOR ELEVATIONS

A4



March 2020 Submission



March 2020 Submission

EXISTING SITE

GMC



STOREFRONT AT BUILDING 3



WRIGHT STREET – VIEW TO WEST



PARCEL D VIEW FROM EXISTING PARKING

EXISTING SITE

March 2020 Submission



PARCEL D: VIEW FROM WRIGHT STREET



REAR OF PARCEL D



WRIGHT STREET – DUH EXISTING BUILDING 3 & PARCEL D

March 2020 Submission

EXTERIOR MATERIALS



WINDOWS/DOORS: CLEAR ANODIZED ALUMINUM
STOREFRONT SYSTEM (TO MATCH EXISTING)

MANUFACTURER: KAWNEER



METAL ROOF: 5V- PANEL (TO MATCH EXISTING)

MANUFACTURER: BAKER METAL WORKS & SUPPLY



WOOD SIDING: 24" BOARD AND BATTEN
(TO MATCH EXISTING)

MANUFACTURER: GEORGIA PACIFIC PLYWOOD





City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Abbreviated Review**

Application Date: 5/12/2020

Project Address: 804 E. Wright Street

Applicant: Myles Sampson / George Williams

Applicant's Address: 720 Bayfront Parkway

Email: myles.sampson@gmcnetwork.com **Phone:** 850-432-0706 x857

Property Owner: DUH

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD ☐

There is a \$25 Application Fee for the following project types:

- ☐ Change of Paint Color(s) Body: _____
Trim: _____
Accent: _____
- ☐ New/Replacement Sign(s) Sign Type: _____
Dimensions: _____
Colors: _____
- ☒ Minor Deviation to an Approved Project / Change of Roofing Material Description: Per Board's 3/2020 request to review:
1) Landscaping; 2) details on front bracket columns; 3) storm water layout; and 4) final storefront details.

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

ARB Secretary Signature

5/14/2020

Date

This request was reviewed and approved by the following members of the Architectural Review Board:

5.19.20
Architect Signature / Date

Comments: due to nature and location of stormwater at front lawn, recommend review by full board. Also need details for column.

Comments: _____

UWFHT Representative Signature / Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 19, 2020

Item 3

804 E. Wright Street

OEHPD / OEHC-2

New Construction

Action taken: Approved with abbreviated review.

George Williams is seeking final approval for a new single story retail building. The new space will be an addition to the DUH commercial campus and has been designed to match the existing building to the east.

Mr. Williams presented to the Board and furnished information to the Board members and stated the structure would be a continuation of the main structure. He advised the original building they were adjacent to needs repainting and minor repair to the board and batten. The landscape plan was being designed. The survey had been completed but there was no stormwater plan, however the plan was to use the property between the buildings as a nice swell; the original plan for a pond had been negated. The neighborhood wanted to make sure the materials presented would be the ones installed. He also indicated they had adequate parking without adding additional spaces. Board Member Mead advised he liked the relating to the railroad warehouse. Regarding the brackets, he asked if they had considered inspiration from the railhouse since the brackets did not really relate to the site. He asked about the lighting detail, and Mr. Williams stated they would have soffit lighting under the overhang. Board Member Villegas felt the renderings were not presented properly and had a problem with final approval, and Board Member Crawford agreed. Board Member Mead agreed the landscaping was a concern and explained the cedar tree should probably be kept. Board Member Fogarty was concerned with the bracket columns looking spindly. **Board Member Crawford made a motion to approve with an abbreviated review on landscaping, more detail on the bracket columns for the front porch, final stormwater layout and final storefront details. Board Member Villegas seconded the motion, and it carried unanimously.**

Gregg Harding

From: Myles Sampson <myles.sampson@gmcnetwork.com>
Sent: Tuesday, May 12, 2020 12:43 PM
To: Gregg Harding
Cc: Carter Quina (cquina@qgarchitects.com); George Williams
Subject: [EXTERNAL] Architectural Review Board Abbreviated Review for GMC DUH Building 6
Attachments: GMC_DUH Building 6_Abbreviated_Review_.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

To City of Pensacola Architectural Review Board:

Ladies and Gentlemen:

Enclosed please find our submission for final review and (abbreviated review) for the new DUH Building 6, located at 804 East Wright Street.

Enclosed you will find:

- A0 Site Plan
- A1 New Work Landscape Plan
- A1.1 New Work and Existing Landscape Plan
- A2 Floor Plan
- A3 Exterior Plans
- A4 Exterior Plans
- A5 Storefront Details
- Existing Landscape Plan (GDSI)
- Civil Plans (Rebol Battle) 8 sheets
- Proposed Renderings

Following our March 19th presentation and review of your comments, we have made several improvements to the design. With the challenge of stormwater management, we looked at several options to overcome this impediment. Our initial thought for the new storm water management system was to construct a new subsurface stormwater retention system. However, after contract pricing, and client meetings, it was determined an underground system would prove too costly and thus render the entire project beyond the owner's budget. After collaborating with the civil engineer, we elected to provide a shallow grass/planted swale in in the front lawn area. Rather than a negative, we viewed this as an opportunity to playfully explore the options of landscaping the site to hide the retention pond while enhancing the street facing façade of the building. One could say that landscape design is Quinn Stinson's, the owner and co-founder of DUH, second passion after interior design. Currently, Mr. Stinson has invested \$200,000 in DUH campus landscaping costs. So, it was no shock he was optimistic about the challenge we presented. With the assistance of Garden Design Solutions Inc., we were able to continue and blend the vibrant foliage from the existing site to the new site while addressing stormwater retention.

With the civil plan finalized, we saw an opportunity to create a grand entry into the building while solving the accessibility challenges presented to us by the dynamic sloping columns. Our design solution was to utilize the existing sloping grade of the site thus placing the front entry 30" above existing grade and contour the grade to meet the existing building at its finish floor grade at the back of the site. With the columns, we designed them to rest on concrete piers detached from the porch and 8" below the finished porch. We created a wraparound porch stair, addressing the 30" grade differential, that would open the entry of the new building in all directions while terminating in front of the concrete piers. With a raised entry porch, the issue of "walking into" the columns disappeared, (unless you were over the height of 7'-3"). The columns which the board deemed too spindly at 8"x 3", are now 10"x 8" and will be wrapped with a dark finish siding material to match the painted board and batten siding. The resulting columns match the appearance of thinness of the canopy overhead and the fascia trim around the building.

The storefront at the porch entry is to match the existing adjacent building (Clear Anodized Kawneer IR501 with 350 IR Medium stile doors.) The storefront for the new building is designed to be at a height of 10' and the width of 22'.

As noted, we have attached detail drawings and renderings to help illustrate this connection. We trust the above and attached adequately addresses your previous comments and provide a finished design acceptable to the Board. We stand ready to answer any questions you may yet present and look forward to receiving your “approval”.
Thank You,

Myles Sampson

Intern Architect, Architecture

T: 850.432.0706 ext. 857

E: myles.sampson@gmcnetwork.com

720 Bayfront Parkway

Suite 200

Pensacola, FL 32502

[Building Communities](#)



1 NEW WORK LANDSCAPE PLAN

SCALE: 1/4" = 1'-0"

PLANT SCHEDULE			
QTY.	COMMON NAME BOTANICAL NAME	CONTAINER	SIZE
1	DAHOON HOLLY ILEX CASSINE	25 GAL.	6-8' HT.
1	BOTTLEBRUSH 'TREE FORM' CALLISTEMON CITRINUS	25 GAL.	5-6' HT.
32	SWEET VIBURNUM VIBURNUM ODORATISSIMUM	7 GAL.	
4	ALMOND BUSH ALOYSIA VIRGATA	3 GAL.	
40	MUHLY GRASS MUHLENBERGIA CAPILLARIS	3 GAL.	
30	FAKAHATCHEE GRASS TRIPSACUM DACTYLOIDES	3 GAL.	
10	ROSEMARY ROSMARINUS OFFICINALIS	3 GAL.	
25	DIANELLA 'BECCA' DIANELLA CAERULEA 'BECCA'	1 GAL.	
30	SOCIETY GARLIC TULBAGHIA VIOLACEA	1 GAL.	
3	EMPIRE ZOYSIA SOD ZOYSIA JAPONICA 'S5500'		PALLET

NEW WORK
LANDSCAPE PLAN

A1
sheet of

DUH, BUILDING 6

804 EAST WRIGHT STREET
PENSACOLA FL 32501

GMC # APEN200003

ISSUE

DATE
ARB 2 5-12-20

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CHECKED BY: Checker

720 Bayfront Parkway, Suite 200

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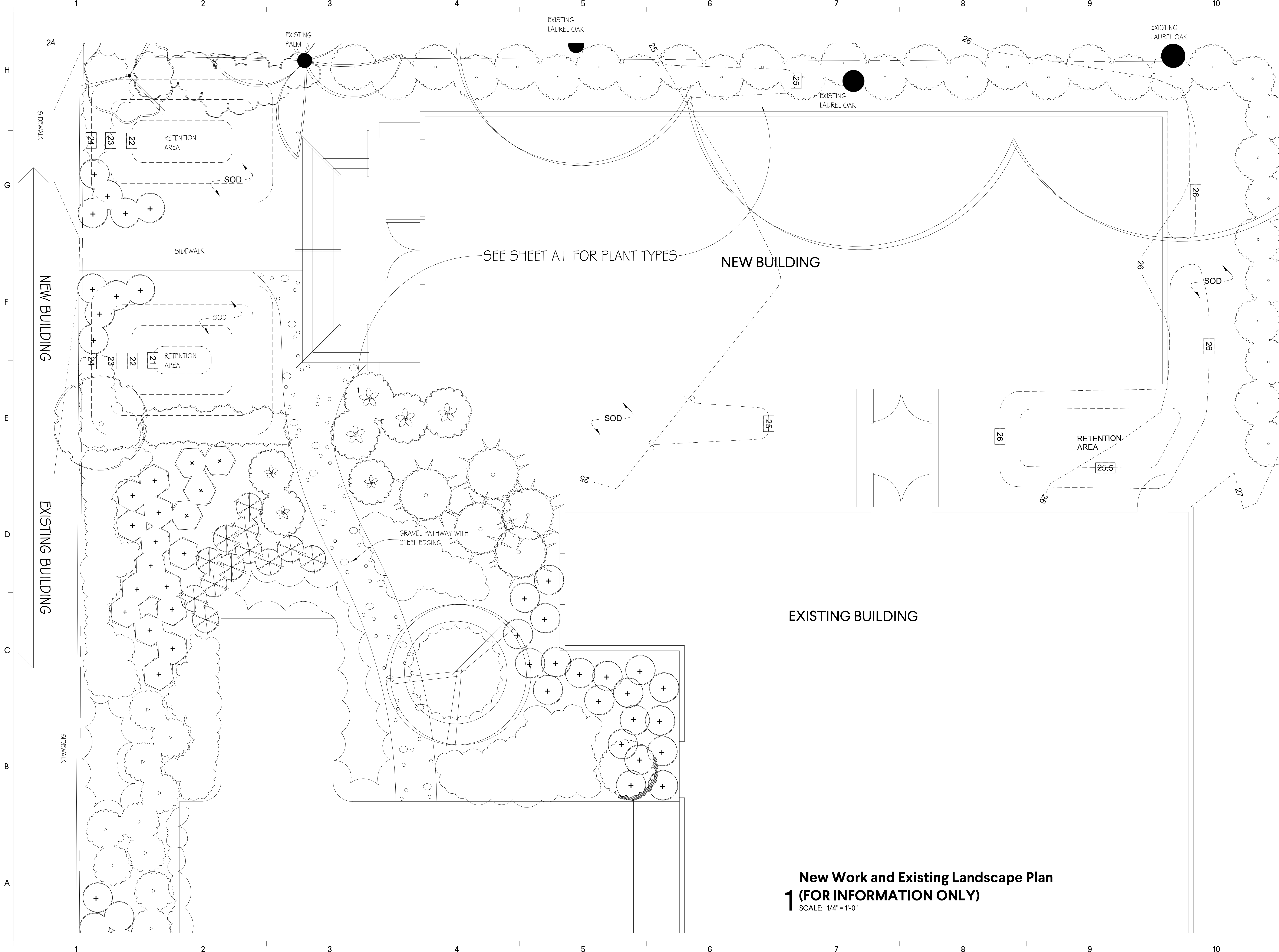
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COA # AA26000557

GMC



New Work and Existing Landscape Plan
1 (FOR INFORMATION ONLY)
SCALE: 1/4" = 1'-0"

NEW WORK AND
EXISTING
LANDSCAPE PLAN

A1.1
sheet of

DUH, BUILDING 6

804 EAST WRIGHT STREET
PENSACOLA FL 32501

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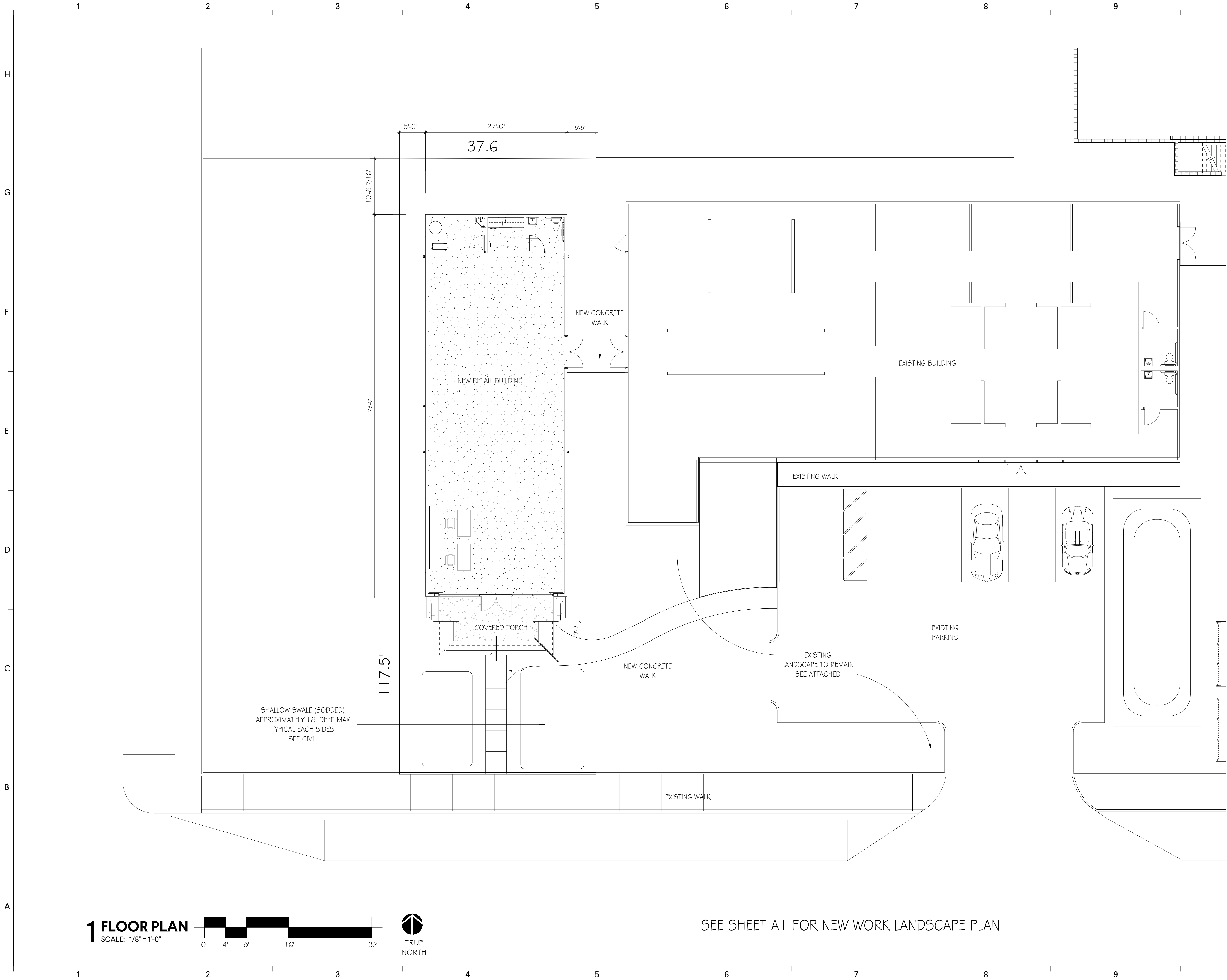
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1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN

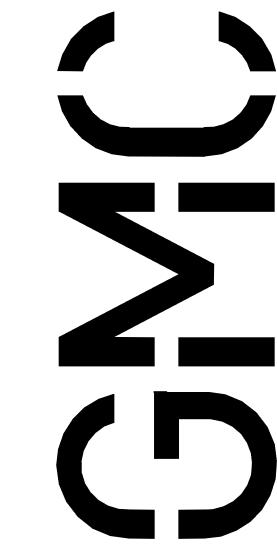
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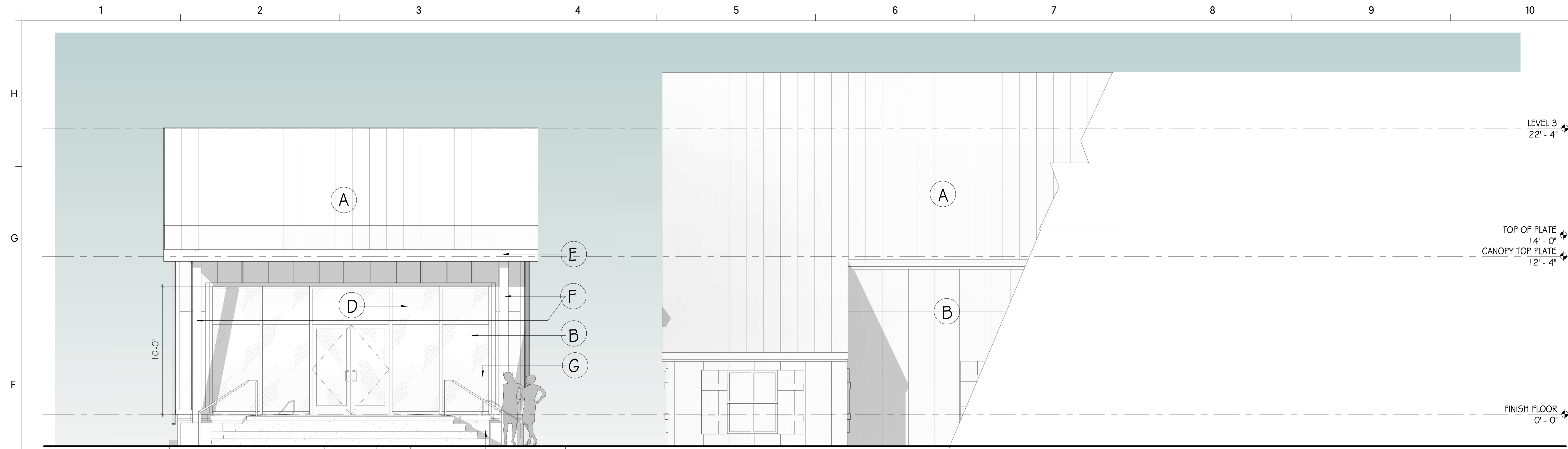
A2

ISSUE	DATE
ARB 2	5-12-20

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CHECKED BY:	Checker

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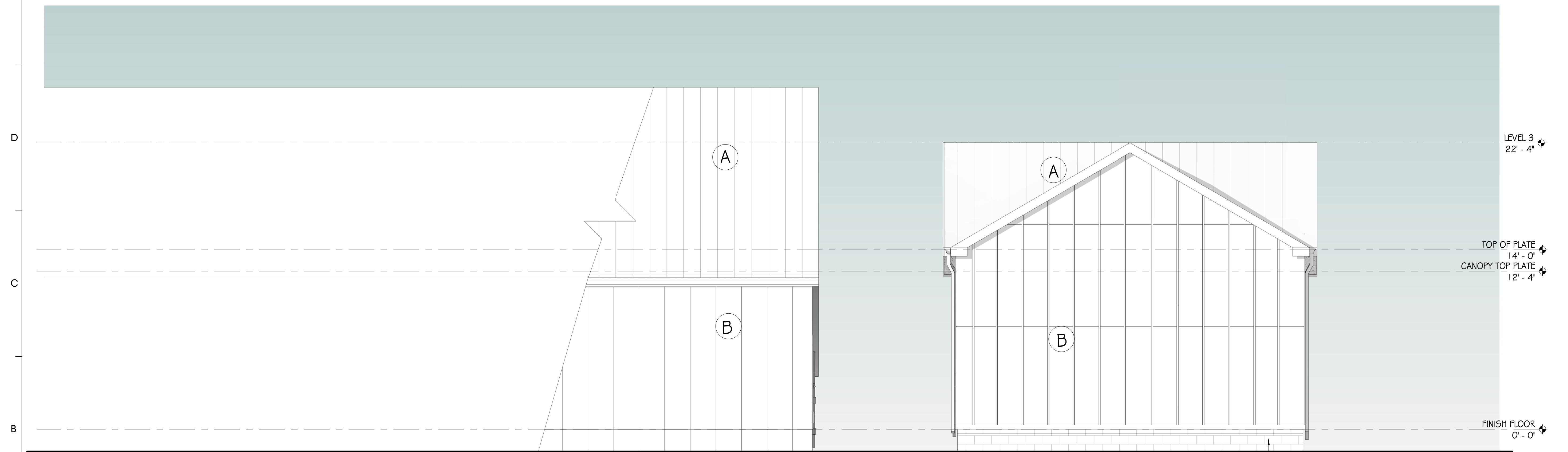
1 SOUTH (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

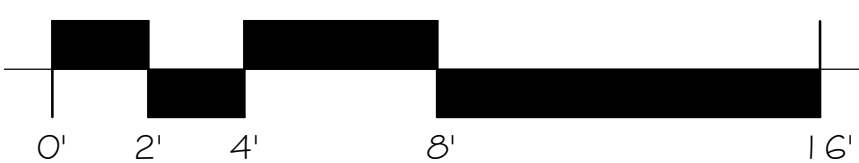
NEW BUILDING

EXISTING BUILDING



2 NORTH (REAR) ELEVATION


SCALE: 1/4" = 1'-0"



MATERIAL LEGEND

- ☐ A METAL ROOFING - GAVALUME
- ☐ B BOARD AND BATTEN SIDING - PAINTED
- ☐ C CONCRETE CMU FOUNDATION
- ☐ D ALUMINUM STOREFRONT - CLEAR ANODIZED ALUMINUM

- (E) GALVANIZED METAL ROOFING TRIM OVER PAINTED FASCIA BOARD
- (F) STEEL COLUMN WRAPPED
- (G) MILL FINISHED ALUMINUM HANDRAIL



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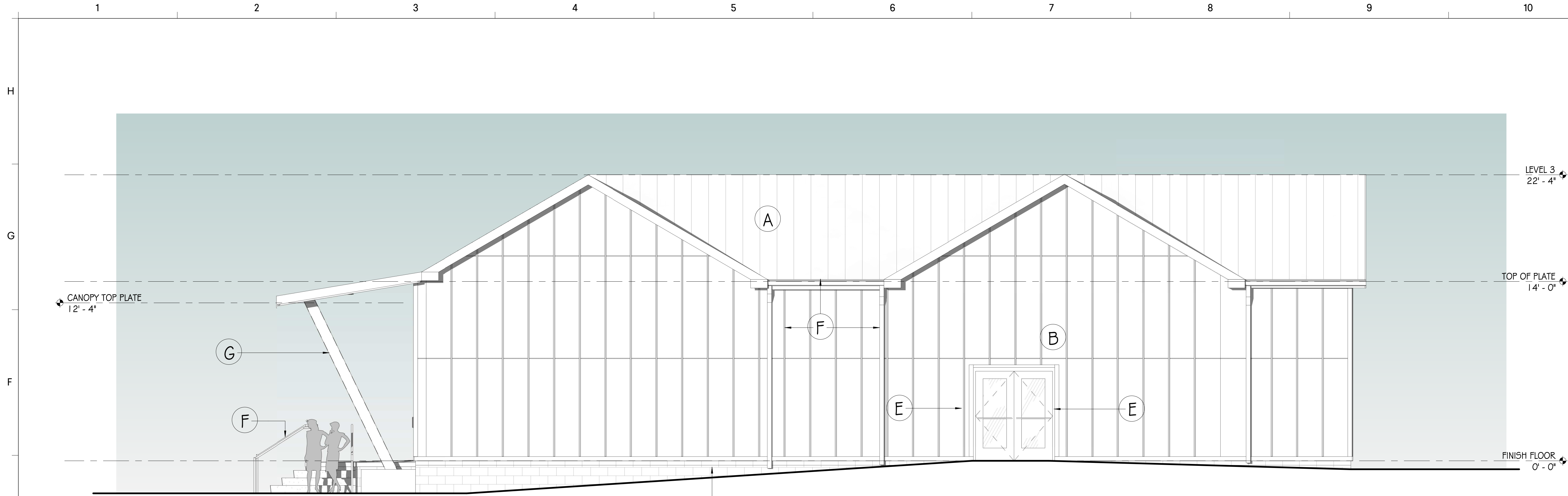
ISSUE	DATE
ARB 2	5-12-20
DRAWN BY:	Author
CHECKED BY:	Checker

DUH, BUILDING 6
804 EAST WRIGHT STREET
PENSACOLA FL, 32501

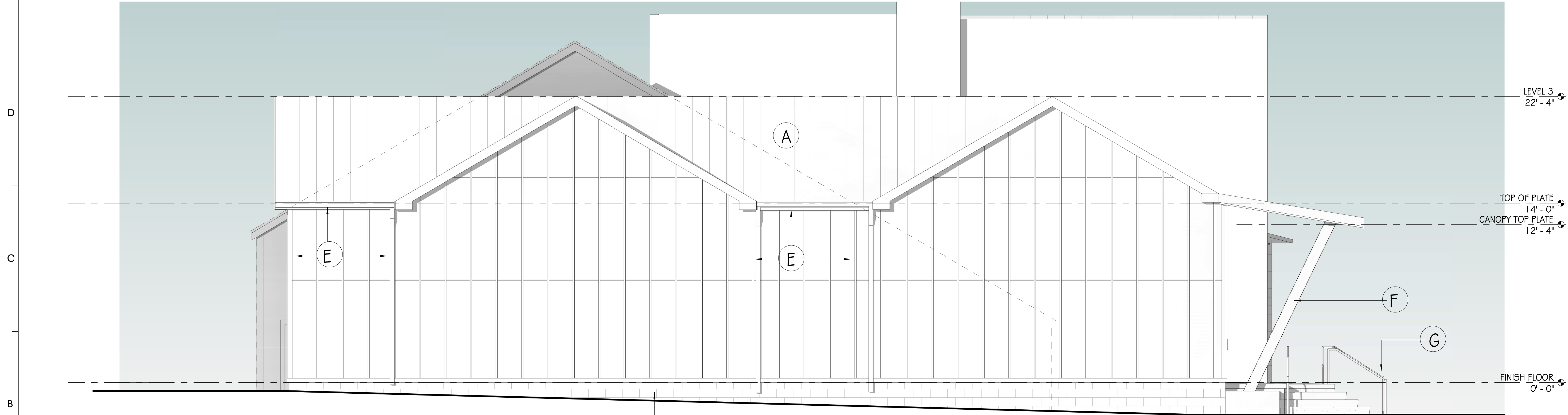
GMC # APEN2000003

A3

EXTERIOR ELEVATIONS



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



MATERIAL LEGEND

- | | | | |
|-----|---|-----|----------------------------------|
| (A) | METAL ROOFING - GAVALUME | (E) | METAL GUTTER & DOWNSPOUT PAINTED |
| (B) | BOARD AND BATTEN SIDING - PAINTED | (F) | STEEL COLUMN WRAPPED |
| (C) | CONCRETE CMU FOUNDATION | (G) | MILL FINISHED ALUMINUM HANDRAIL |
| (D) | ALUMINUM STOREFRONT - CLEAR ANODIZED ALUMINUM | | |

EXTERIOR
ELEVATIONS

DUH, BUILDING 6
804 EAST WRIGHT STREET
PENSACOLA FL, 32501

ISSUE

ARB 2

DATE

5-12-20

DRAWN BY:

Author

CHECKED BY:

Checker

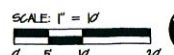
GMC # APEN200003

A4

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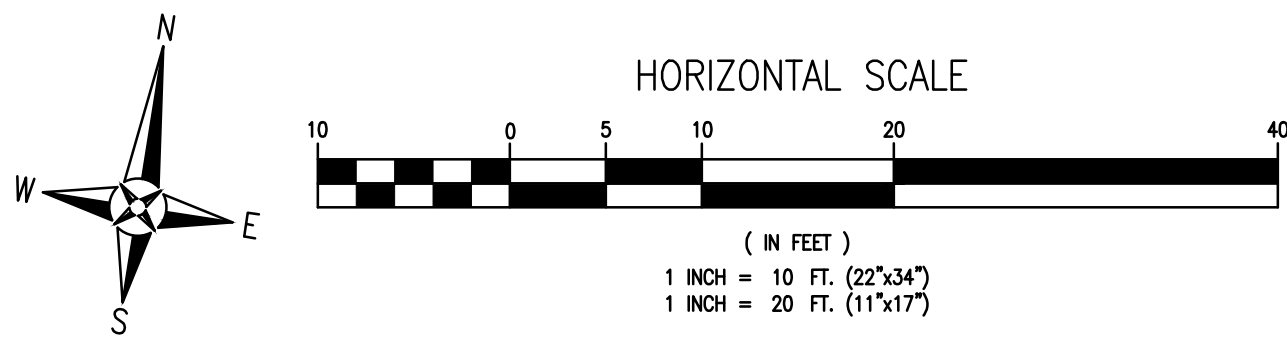
GMC





EXISTING LANDSCAPE PLAN - FOR INFORMATION ONLY





LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	DEMOLITION
	DEMOLITION LINE
	EXISTING CHAIN LINK FENCE
	EXISTING WOODEN FENCE
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	WATER LINE
	SEWER LINE (GRAVITY)
	FORCE MAIN
	OVERHEAD UTILITIES
	BURIED TELEPHONE LINE
	GAS LINE
	BURIED ELECTRIC LINE
	BURIED FIBER OPTIC CABLE
	BURIED TV LINE
	EXISTING CONTOUR
	STRAW BALE
	SILT FENCE
	UTILITY POLE
	LIGHT POLE
	TELEPHONE BOX
	GAS VALVE
	MAILBOX
	POST
	STREET SIGN
	SIGN
	BENCHMARK
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	CLEANOUT
	SEWER MANHOLE
	STORMWATER MANHOLE
	GUY ANCHOR

PROJECT NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH FDOT STANDARD INDEX 600 (LATEST EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND IN ACCORDANCE WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK, IN ACCORDANCE WITH APPLICABLE MUTCD INDEX.
- ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED. REFER TO LANDSCAPE PLANS FOR PLANTING MATERIALS.
- THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
- NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT CITY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.

DEWATERING NOTE:

THE CONTRACTOR SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS THEIR PROPOSED DEWATERING METHOD AND NPDES PERMIT PRIOR TO COMMENCING ANY PUMPING OPERATIONS. TURBIDITY READINGS WILL BE COLLECTED BY PUBLIC WORKS IMMEDIATELY UPON INITIATING DEWATERING OPERATIONS TO VERIFY NPDES COMPLIANCE.

DEMOLITION NOTES:

- ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
- THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
- NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. THE EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
- AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG THE BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
- THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NPDES PERMITTING.

CITY OF PENSACOLA NOTES:

- ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM BOTH THE PROJECT ENGINEER AND THE CITY OF PENSACOLA
- NO SITING ACTIVITIES SHALL TAKE PLACE WITHOUT THE CITY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE INSPECTION IS REQUIRED.
- ANY DAMAGED SIDEWALKS AND/OR CURB AND GUTTER, WHETHER DAMAGED BY THE CONTRACTOR OR CURRENTLY IN A DAMAGED CONDITION, ON THE NORTH RIGHT OF WAY OF WRIGHT STREET OR THE WEST RIGHT OF WAY OF DEVILLIERS STREET SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR.

TREE CHART OF PROTECTED TREES

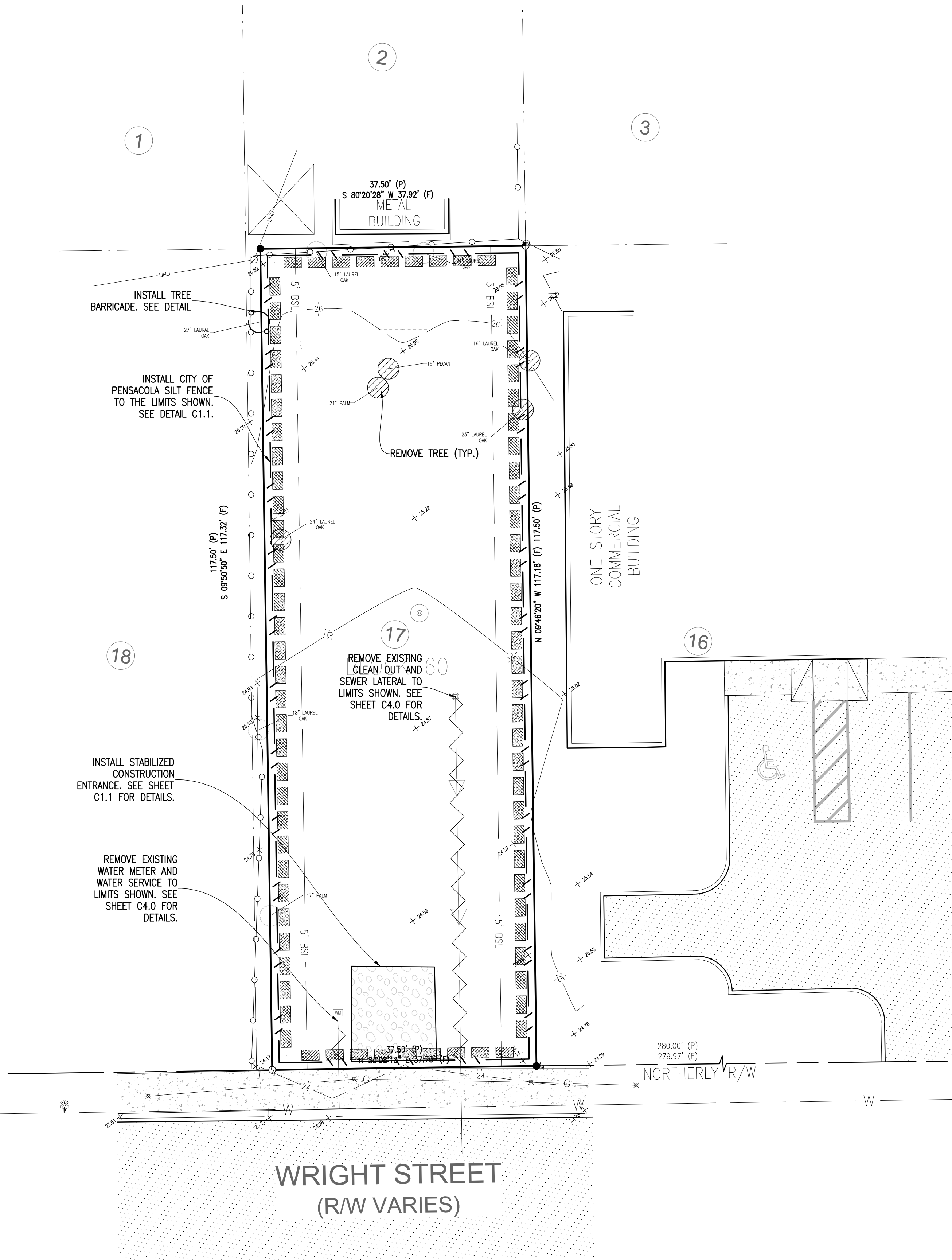
TREE #	SIZE & TYPE	REMOVE/PROTECT
T-1	15" LAUREL OAK	PROTECT
T-2	24" LAUREL OAK	PROTECT
T-3	16" PECAN	REMOVE
T-4	16" LAUREL OAK	REMOVE
T-5	23" LAUREL OAK	REMOVE
T-6	24" LAUREL OAK	REMOVE

TREE MITIGATION TABLE

SIZE OF TREE REMOVED	NUMBER OF TREES REMOVED	MITIGATION REQUIREMENT PER TREE REMOVED	REQUIRED MITIGATION
4"-11"	0	2 - 3" TREES	0 - 3" TREES / 0"
12"-19"	2	3 - 3" TREES	6 - 3" TREES / 18"
20"-29"	2	5 - 3" TREES	10 - 3" TREES / 30"
30"-35"	0	8 - 3" TREES	0 - 3" TREES / 0"
36"-43"	0	10 - 3" TREES	0 - 3" TREES / 0"
44"+	0	11 - 3" TREES	0 - 3" TREES / 0"
TOTAL	4		16- 3" TREES / 48"

TOTAL INCHES OF PROTECTED SPECIES = 118"
10% PROTECTION REQUIREMENT = 12"
TOTAL INCHES OF PROTECTED TREES TO BE REMOVED = 79"
TOTAL INCHES OF PROTECTED TREES TO REMAIN = 39"
MITIGATION CREDIT = 39"-12" = 27"
TOTAL MITIGATION REQUIRED = 21"

TREE MITIGATION NOTE:
THE FEE DUE FOR EACH REPLACEMENT TREE NOT REPLANTED IS \$400.00/EA.



BENCHMARK 20-01/24A

ELEVATION = 23.59'
SET NAIL IN ASPHALT ±41'
S AND ±18' W OF SUBJECT
PROPERTY.

BENCHMARK 20-01/24B

ELEVATION = 25.00'
BOLT AND DISK IN
POWER POLE ±47' S
AND ±33' E OF
SUBJECT PROPERTY.

REVISION	
No.	DATE

SEAL	
PERMIT SET	
Mark E. Robertson II, P.E. No. 83341	

Dr. By: MER
Ck By: JRR
Job No.: 2020.011
Date: 04-13-2020
DRAWING No.
C1.0
SHEET 2 OF 8

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

- * WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:
1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

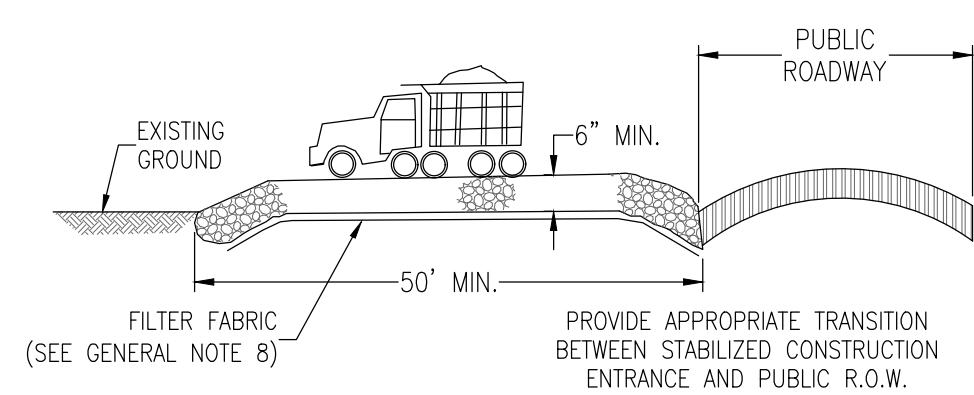
TREE PROTECTION:
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

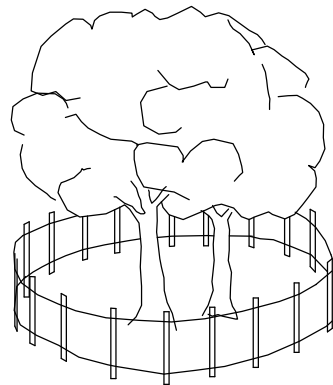
PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



STABILIZED CONSTRUCTION
ENTRANCE DETAIL

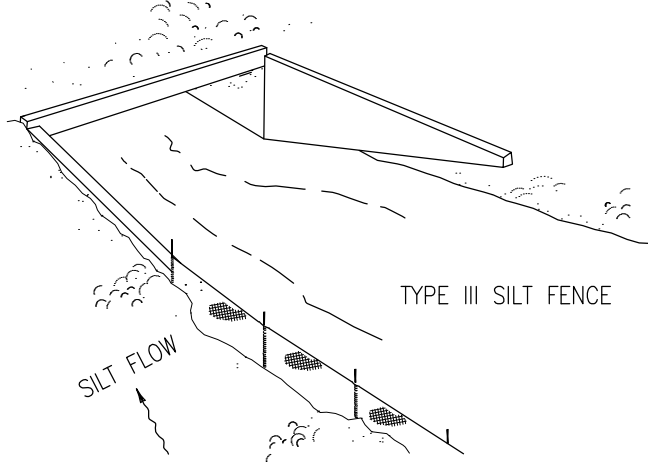
N.T.S.



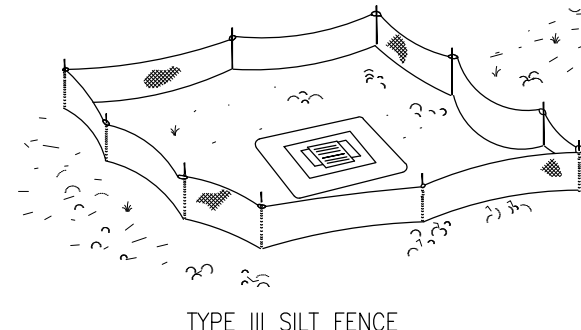
NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

TREE BARRICADE DETAIL

N.T.S.



TYPE III SILT FENCE



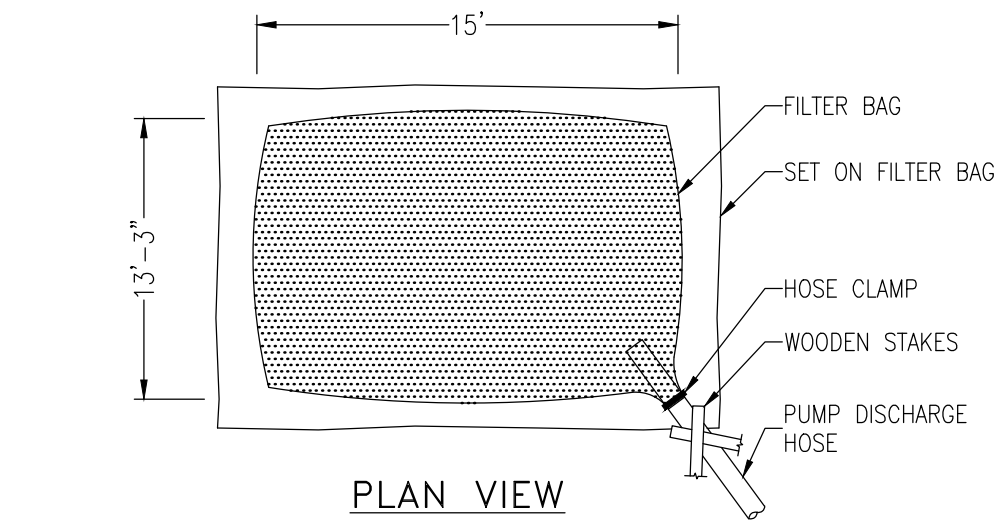
TYPE III SILT FENCE

PROTECTION
AROUND DITCH BOTTOM INLETS.

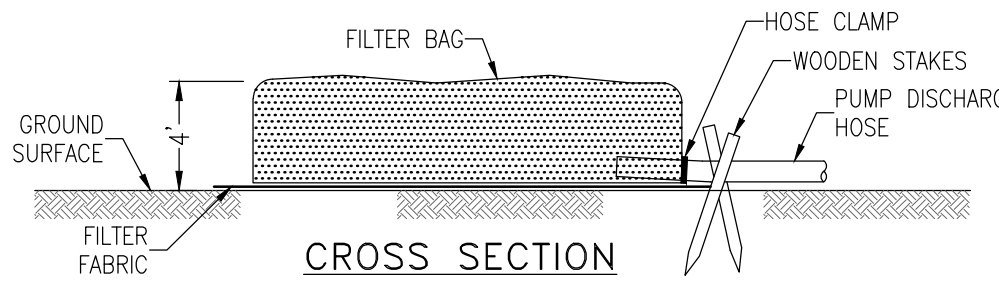
SILT FENCE APPLICATIONS

N.T.S.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



PLAN VIEW



CROSS SECTION

FILTER BAG DETAIL FOR
TRENCH DEWATERING OPERATIONS

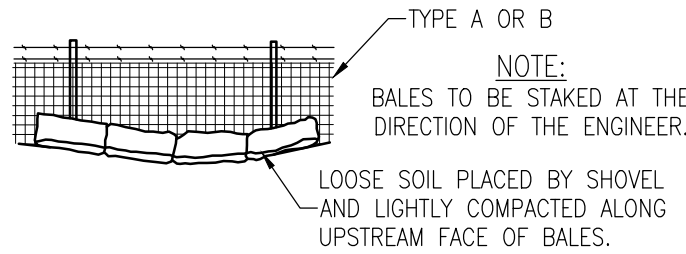
N.T.S.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

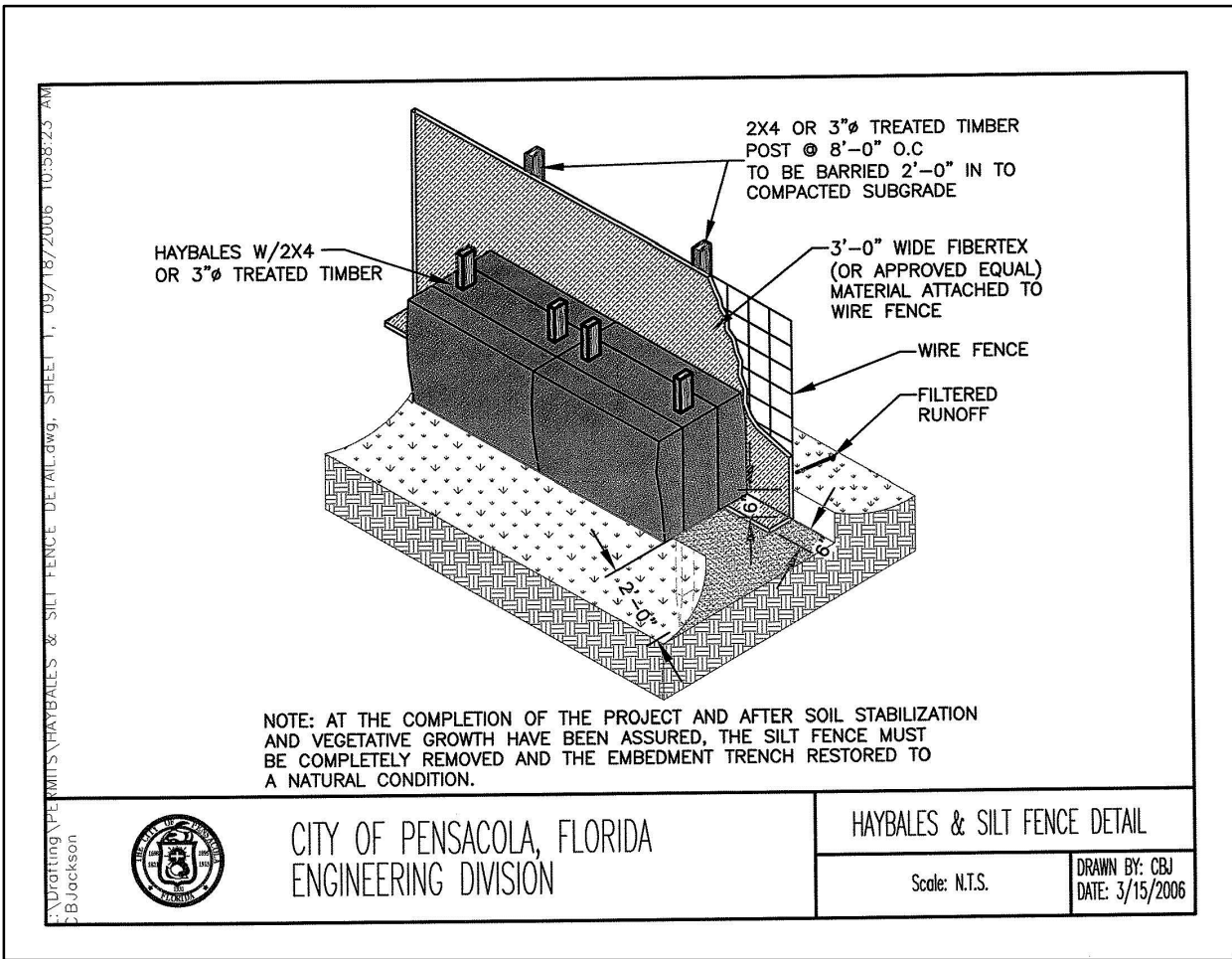
MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENDOICLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.



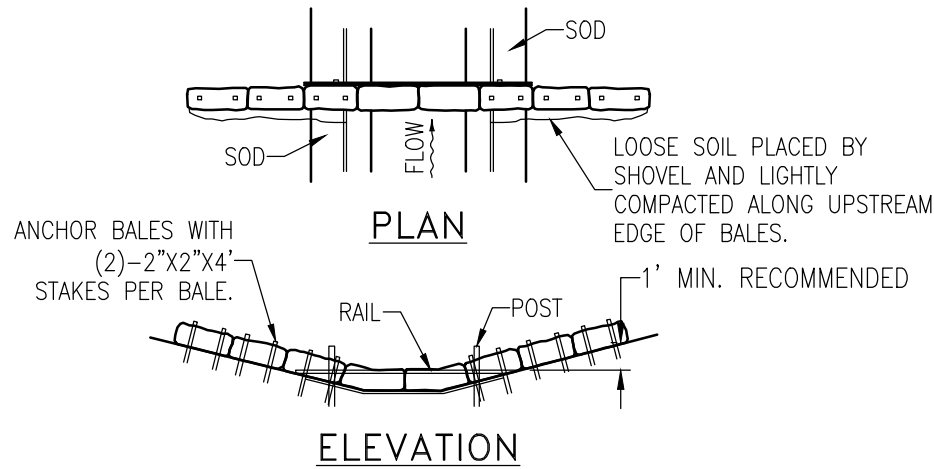
STRAW BALES BACKED BY FENCE

N.T.S.



HAYBALE & SILT FENCE DETAIL

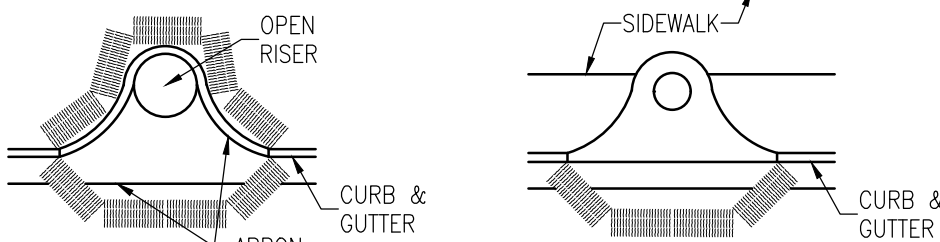
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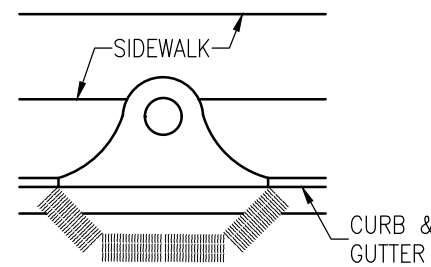
ELEVATION

BARRIER FOR PAVED DITCH

N.T.S.

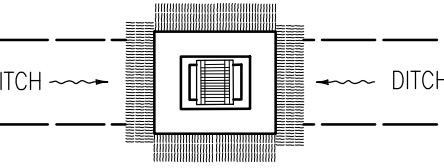


PARTIAL INLET



COMPLETED INLET

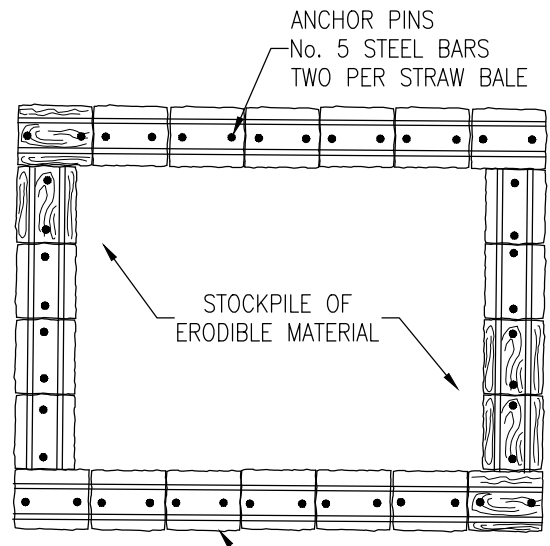
ANCHOR BALES WITH (2)-2"x2"x4" STAKES PER BALE.



DITCH BOTTOM INLET

MATERIAL STOCKPILE DETAIL

N.T.S.



EROSION CONTROL
DETAILS

DUH WAREHOUSE
804 E. WRIGHT STREET
PENSACOLA, FLORIDA

REVISION			
No.	DATE		

SEAL	
PERMIT SET	
Mark E. Robertson II, P.E. No. 83341	
Dr. By: MER	Ck By: JRR
Job No.: 2020.011	Date: 04-13-2020
DRAWING No.	
C1.1	
SHEET 3 OF 8	

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 INTRODUCTION:

THE REFERENCED SUPPORT DOCUMENTATION FOR THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA) STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES SUMMARY GUIDANCE (EPA 833-R-92-001) AND STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES (EPA 832-R-92-005). THIS SWPPP IS DESIGNED TO PROTECT ONSITE AND ADJACENT NATURAL RESOURCES, INCLUDING BUT NOT LIMITED TO, WETLANDS, MARSHES, BAYOUS AND BAYS, WHILE PRESERVING WILDLIFE AND ARCHEOLOGICAL RESOURCES.

AN ENVIRONMENTAL RESOURCE PERMIT APPLICATION HAS BEEN SUBMITTED TO THE NWFWM D N/A

1.2 NOTICE OF INTENT (NOI):

RULE 62-621.300(4), FAC REQUIRES THE CONSTRUCTION OPERATOR OF A SITE THAT DISTURBS ONE OR MORE ACRES TO OBTAIN COVERAGE FROM THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(B)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE FOLLOWING ADDRESS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. PLEASE NOTE THAT THE CURRENT APPLICATION FEE IS \$300; HOWEVER, THIS FEE IS SUBJECT TO CHANGE WITHOUT NOTICE. ALWAYS REFER TO THE MOST CURRENT VERSION OF RULE 62-4.050(4)(D), FAC TO CONFIRM THE AMOUNT BEFORE SUBMITTING PAYMENT. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.3 STORMWATER POLLUTION PREVENTION PLAN (SWPPP):

THE CONTRACTOR IS REQUIRED TO CERTIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BELOW PRIOR TO SUBMITTING THE NOI. THIS SWPPP IS NOT REQUIRED TO BE SUBMITTED WITH THE NOI, BUT IS REQUIRED TO BE KEPT ON SITE DURING ALL PHASES OF CONSTRUCTION. BECAUSE EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION METHODS VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR, THE CONTRACTOR CAN PROPOSE ALTERNATIVE METHODS TO THIS SWPPP THAT ARE EQUAL OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. AT A MINIMUM, THE CONTRACTOR MUST FOLLOW THE EROSION CONTROL PLAN SPECIFIED IN THE CONSTRUCTION PLANS AND DOCUMENTS. ANY MODIFICATIONS TO THIS SWPPP MUST BE DOCUMENTED AND KEPT WITH THE PLAN AS PART OF THE RECORDS KEEPING PROCESS TO BE IN FULL COMPLIANCE WITH THE CGP.

1.4 CONTRACTOR'S / SUBCONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
_____	_____
_____	_____

NAME & TITLE (PRINT)

SIGNATURE _____ DATE _____

1.5 RESPONSIBLE AUTHORITY CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
_____	_____
NAME & TITLE (PRINT)	_____
_____	_____

SIGNATURE _____ DATE _____

1.6 NOTICE OF TERMINATION (NOT):

THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION OF GENERIC PERMIT COVERAGE (FDEP FORM 62-621.300(6)) UPON CONSTRUCTION COMPLETION TO DISCONTINUE PERMIT COVERAGE. THE NOT IS TO BE SUBMITTED TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. THE NOT CAN NOT BE SUBMITTED UNTIL ALL DISTURBED SOILS AT THE CONSTRUCTION SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.7 APPLICATION INFORMATION:

PROJECT ADDRESS: 804 E. WRIGHT STREET
PENSACOLA, FL 32501

LATITUDE: N 30°25'6.67"
LONGITUDE: W 87°12'25.75"

WATER MANAGEMENT DISTRICT: NORTHWEST FLORIDA (NWFWM D)

MS4 OPERATOR NAME: CITY OF PENSACOLA

RECEIVING WATER NAME: N/A. ZERO OUTFALL

2.0 SITE DESCRIPTION:

2.1 NATURE OF CONSTRUCTION ACTIVITIES:

THIS PROJECT INVOLVES THE CONSTRUCTION OF A 2,209 SF. WAREHOUSE BUILDING. CONSTRUCTION INCLUDES UTILITIES AND STORMWATER COLLECTION SYSTEM.

2.2 SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

- CLEAR, GRUB AND PERFORM ALL DEMOLITION WORK.
- COMPLETE ROUGH GRADING OF THE POND AND DIRECT ALL STORMWATER RUNOFF TO THE POND(S).
- CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEM.
- CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS, AND LANDSCAPING).
- COMPLETE STORMWATER PONDS.

2.3 AREA ESTIMATES:

ONSITE AREA: 0.101 ACRES
OFFSITE AREA: 0.017 ACRES
TOTAL AREA: 0.118 ACRES
AREA TO BE DISTURBED: 0.101 ACRES

2.4 RUNOFF DATA:

RUNOFF COEFFICIENTS (C):

BEFORE: TOTAL COMPOSITE C = 0.20 AND 0.95

DURING: VARIES BETWEEN = 0.20 AND 0.95

AFTER: VARIES BETWEEN = 0.20 AND 0.95

TOTAL COMPOSITE C = 0.55

SOILS DATA:
THE SOILS LOCATED AT THE SITE ARE PREDOMINATELY VERY LOOSE TO LOOSE SLIGHTLY SILTY SANDS. GROUNDWATER WAS NOT ENCOUNTERED IN THE 15 FT TO 20 FT DEEP TEST BORING. FOR MORE DETAILED SOILS INFORMATION, REFER TO THE GEOTECHNICAL SERVICES REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES.

DRAINAGE AREAS FOR EACH OUTFALL:

OUTFALL LOCATION	TOTAL AREA FLOWING TO POND	'C' COEFFICIENT
EXISTING CONVEYANCE	0.118	0.55
N/A. NO OUTFALL		

2.5 SITE MAP:

THE CONSTRUCTION PLANS ARE TO BE USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE IDENTIFIED ON THE KEY SHEET OF THE CONSTRUCTION PLANS.

- DRAINAGE PATTERNS: ALL DRAINAGE PATTERNS ARE SHOWN ON THE GRADING & DRAINAGE PLANS.

- APPROXIMATE SLOPES: APPROXIMATE SLOPES ARE SHOWN ON THE GRADING & DRAINAGE POND SIDE SLOPES ARE SHOWN ON THE POND CROSS-SECTIONS.

- AREAS OF SOIL DISTURBANCE: ALL DEMOLITION IS SHOWN ON THE EXISTING SITE CONDITIONS AND DEMOLITION AND EROSION CONTROL PLAN SHEET. ALL PROPOSED CONSTRUCTION IS SHOWN ON THE REMAINING PLANS. ANY AREAS WHERE DEMOLITION WORK OR PERMANENT FEATURES ARE SHOWN ABOVE OR BELOW GROUND WILL BE DISTURBED.

- AREAS NOT TO BE DISTURBED: ANY AREAS NOT SHOWING DEMOLITION WORK OR PERMANENT FEATURES ARE ASSUMED NOT TO BE DISTURBED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS ANY OF THESE AREAS THAT DO GET DISTURBED AS WELL AS ANY AREAS USED FOR STAGING AND MATERIALS STORAGE.

- LOCATIONS OF CONTROLS: ALL PROPOSED TEMPORARY CONTROLS AND EXISTING PERMANENT CONTROLS ARE SHOWN ON THE EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN. ALL PROPOSED PERMANENT CONTROLS ARE SHOWN ON THE REMAINING PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION OF ANY OTHER CONTROLS ON THE PLANS THAT ARE USED DURING CONSTRUCTION.

- PERMANENT STABILIZATION IS SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION ON THE PLANS OF ALL TEMPORARY STABILIZATION PRACTICES USED DURING CONSTRUCTION.

- SURFACE WATERS: N/A

- DISCHARGE POINTS: N/A

2.6 RECEIVING WATERS:

N/A. NO OUTFALL

3.0 CONTROLS:

3.1 EROSION AND SEDIMENT CONTROLS:

ALL EROSION AND SEDIMENT CONTROLS SPECIFIED ON THE DEMOLITION AND EROSION CONTROL PLAN SHEETS, AND THE EROSION CONTROL DETAILS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION. SILT FENCING AND STAKED HAY BALES SHALL BE INSTALLED ALONG DOWN-GRADIENT LIMITS.

TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED AFTER 14-DAY INTERVALS OF CEASED DISTURBANCE ACTIVITIES THAT WILL EXCEED 20-DAY PERIODS. GRADED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING, MULCHING, AND FERTILIZING, OR SODDING WITHIN FIVE DAYS OF FINAL GRADING. LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR. PROPOSED DISTURBED AREAS WILL NOT EXCEED 8 ACRES IN ANY DRAINAGE AREA.

3.2 STORMWATER MANAGEMENT:

PROPOSED STORMWATER MANAGEMENT FACILITIES FOR THIS SITE INCLUDE: TWO DRY RETENTION PONDS FOR THE ENTIRE PROPERTY.

THE PROPOSED STORMWATER MANAGEMENT FACILITIES MEET ALL STORMWATER TREATMENT REQUIREMENTS AND ALL RATE CONTROL REQUIREMENTS SET FORTH BY THE LOCAL AND STATE REGULATORY AGENCIES.

3.3 OTHER CONTROLS:

WASTE DISPOSAL: THE CONTRACTOR IS RESPONSIBLE FOR ALL WASTE DISPOSAL FROM THE SITE. THE CONTRACTOR SHALL EMPLOY WASTE DISPOSAL PRACTICES THAT MEET ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND PREVENT DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

OFFSITE VEHICLE TRACKING: IF OFF SITE TRACKING OF SEDIMENTS BY CONSTRUCTION VEHICLES OCCURS, THE CONTRACTOR IS REQUIRED TO INSTALL A SOIL TRACKING PREVENTION DEVICE (STPD) AS PER FDOT STANDARD INDEX 106 AT ALL EXITS TO THE SITE WHERE SEDIMENT TRACKING IS OCCURRING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

HAZARDOUS MATERIALS: ALL POLLUTANTS AND HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO FERTILIZERS, HERBICIDES, PESTICIDES, SOLVENTS, OILS AND OIL FILTERS, PETROLEUM PRODUCTS, PAINT, AND EQUIPMENT MAINTENANCE FLUIDS, SHALL BE STORED INDOORS OR UNDER COVER IN AREAS WITH SECONDARY CONTAINMENT. SECONDARY CONTAINMENT PREVENTS A SPILL FROM SPREADING ACROSS THE SITE AND INCLUDES DIKES, BERMS, CURBING, OR OTHER CONTAINMENT METHODS. HAZARDOUS MATERIAL STORAGE AREAS SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. STORAGE AREAS SHALL BE KEPT CLEAN, WELL ORGANIZED, AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES/SPILL KITS AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION SHALL BE MAINTAINED ON-SITE. ALL PERSONNEL SHALL RECEIVE INSTRUCTION REGARDING PROPER PROCEDURES FOR HAZARDOUS MATERIAL HANDLING AND DISPOSAL. HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS; HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REGULATIONS. VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS SHALL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.

APPLICATION OF FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE DELIVERED TO THE SITE IN ORIGINAL, UNOPENED CONTAINERS BEARING MANUFACTURER'S CHEMICAL ANALYSIS, NAME, TRADE NAME, TRADEMARK, AND INDICATION OF CONFORMANCE TO STATE AND FEDERAL LAWS. FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED RATE.

5.0 INSPECTIONS:

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS, BUT NOT LIMITED TO, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.25 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROLS.
- STORMWATER MANAGEMENT SYSTEMS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

6.0 NON-STORMWATER DISCHARGES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY HAZARDOUS SUBSTANCE SPILLS THAT MAY EQUAL OR EXCEED A REPORTABLE QUANTITY (RQ). REFER TO EPA'S LIST OF HAZARDOUS SUBSTANCES AND REPORTABLE QUANTITIES (EPA 40 CFR 302.4 & 117). V THIS LIST CAN BE OBTAINED FROM EPA'S WEBSITE (WWW.EPA.GOV) OR BY CONTACTING EPA. IF AN RQ RELEASE DOES OCCUR THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURES:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT 800-424-8802.
- PROVIDE WRITTEN DESCRIPTION OF THE RELEASE WITHIN 14 DAYS PROVIDING DATES, CAUSE AND PREVENTION METHODS TO THE REGIONAL EPA OFFICE.
- MODIFY THE SWPPP AS NECESSARY TO ADDRESS ADDED PREVENTION METHODS.

7.0 IMPLEMENTATION CHECKLIST:

7.1 RECORDS:

THE CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
- DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY CEASE ON A PORTION OF THE SITE.
- DATES WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE ON A PORTION OF THE SITE.
- DATES WHEN STABILIZATION MEASURES ARE INITIATED ON THE SITE.

7.2 INSPECTION REPORTS:

THE CONTRACTOR SHALL PREPARE INSPECTION REPORTS SUMMARIZING THE FOLLOWING, BUT NOT LIMITED TO:

- NAME OF INSPECTOR.
- QUALIFICATIONS OF INSPECTOR.
- MEASURES/AREAS INSPECTED.
- OBSERVED CONDITIONS.
- CHANGES NECESSARY TO THE SWPPP.

7.3 RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS:

THE CONTRACTOR SHALL REPORT ANY RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS IF THEY OCCUR AS PER THE MEASURES OUTLINED IN SECTION 6.0 OF THE SWPPP.

7.4 SWPPP MODIFICATION:

THE CONTRACTOR SHALL MODIFY THE SWPPP AS NECESSARY TO:

- COMPLY WITH MINIMUM PERMIT REQUIREMENTS WHEN NOTIFIED BY FDEP THAT THE PLAN DOES NOT COMPLY.
- ADDRESS ANY CHANGES IN DESIGN, CONSTRUCTION OPERATIONS OR MAINTENANCE, WHICH HAS AN EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PREVENT REOCCURRENCE OF REPORTABLE QUANTITY RELEASES OF HAZARDOUS MATERIAL OR OIL.

8.0 TERMINATION CHECKLIST:

THE FOLLOWING ITEMS SHALL BE COMPLETE BEFORE SUBMITTING THE NOT:

- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME.
- ALL AREAS OF THE CONSTRUCTION SITE NOT OTHERWISE COVERED BY PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR EQUIVALENT MEASURES HAVE BEEN EMPLOYED.

RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB7916

NPDES - STORMWATER
POLLUTION PREVENTION
PLAN

DUH WAREHOUSE
804 E. WRIGHT STREET
PENSACOLA, FLORIDA

No.	REVISION				
	DATE				

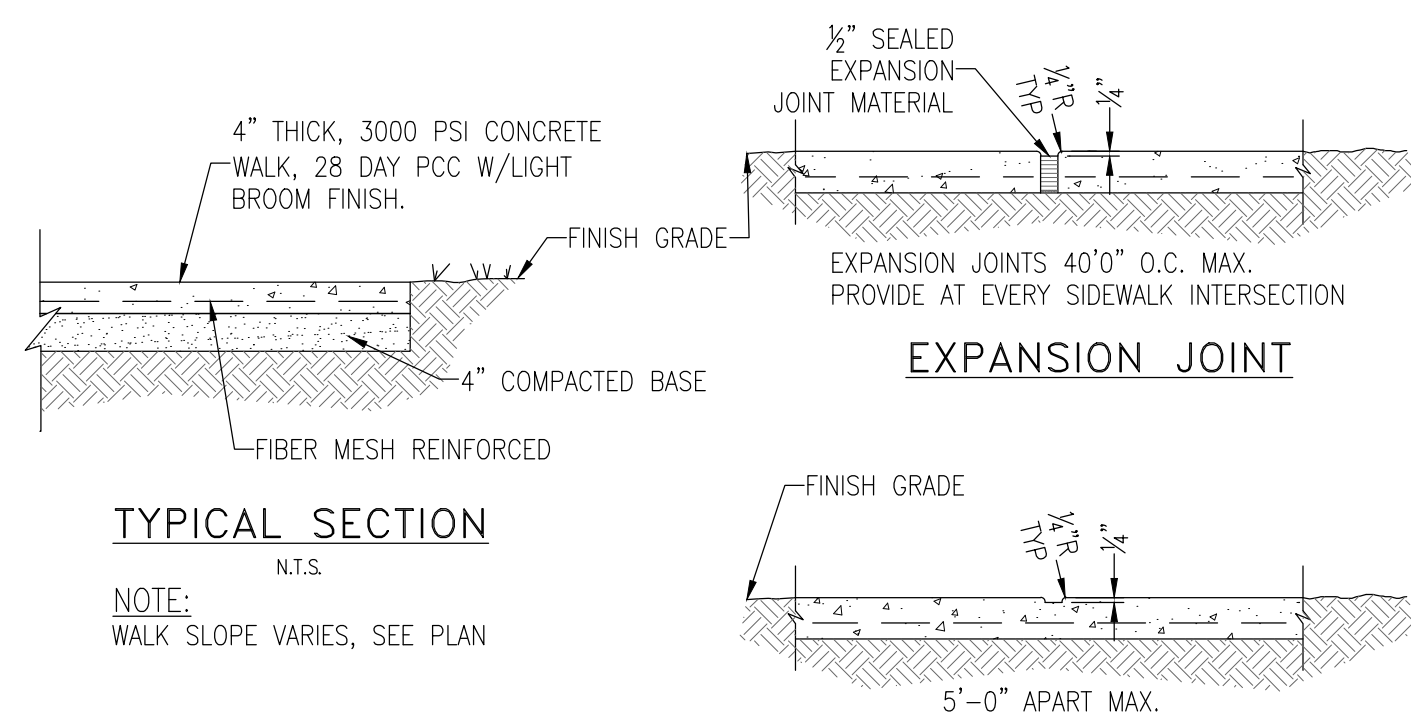
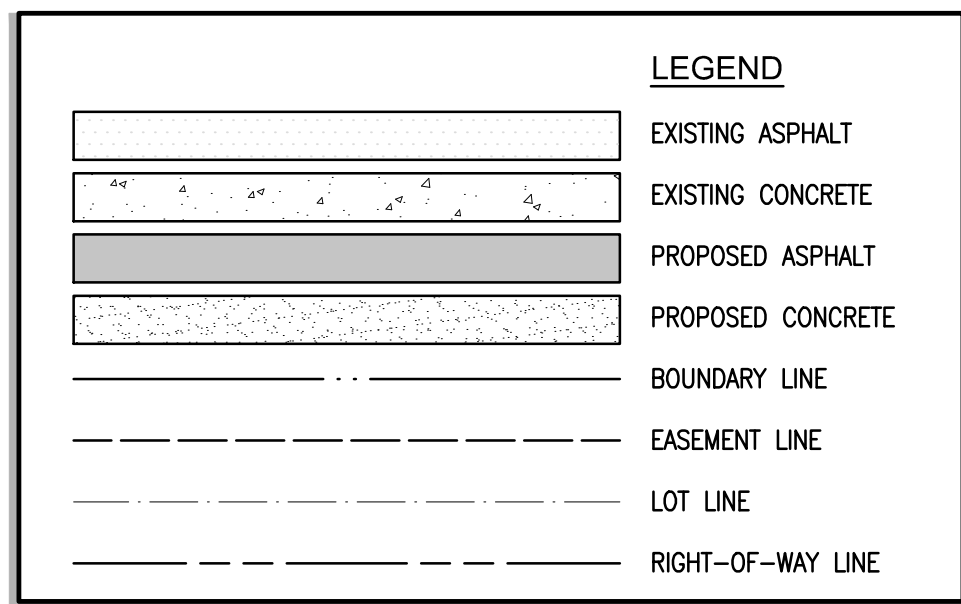
SEAL
PERMIT SET

Mark E. Robertson II, P.E.
No. 83341

Dr. By: MER
Ck By: JRR
Job No.: 2020.011
Date: 04-13-2020

DRAWING No.
C1.2
SHEET 4 OF 8

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DUMMY GROVE

N.T.S.

GENERAL NOTES:

2. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF PENSACOLA & FDOT SPECIFICATIONS, 2014 OR LATEST EDITION.

3. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER FDOT STANDARD INDEX 105, 2014 OR LATEST EDITION.

4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD INDEX 17346, 2014 OR LATEST EDITION.

5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

6. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865, 2014 OR LATEST EDITION, WIND ZONE No.:1.

7. ALL CURB AND GUTTER, SIDEWALKS, AND HANDICAP RAMPS SHALL BE A MINIMUM OF 3,000PSI CONCRETE AT 28 DAYS WITH FIBERMESH REINFORCEMENT.

AREA CALCULATIONS:

EXISTING CONDITIONS:

TOTAL EXISTING BUILDING AREA = 0 SF
TOTAL EXISTING IMPERVIOUS AREA = 0 SF
TOTAL EXISTING PERVIOUS AREA = 4,418 SF
TOTAL PROJECT AREA = 0.101 AC OR 4,418 SF

PROPOSED CONDITIONS:

TOTAL PROPOSED BUILDING AREA (FOOT PRINT)= 2,209 SF
TOTAL PROPOSED IMPERVIOUS AREA = 2,432 SF
TOTAL PROPOSED PERVIOUS AREA = 1,986 SF
TOTAL SITE AREA = 0.101 AC OR 4,418 SF

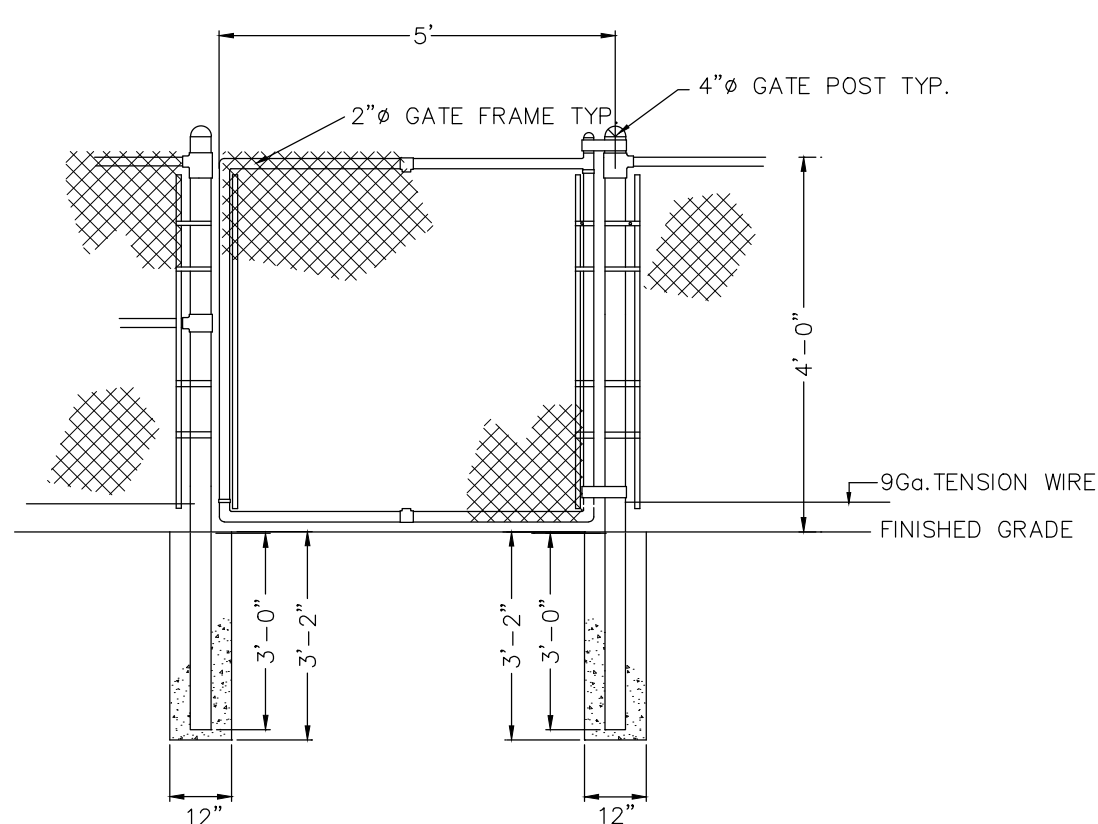
PROJECT NOTE:

TRASH PICK-UP WILL BE PROVIDED BY ON-SITE
CONTAINERS AT ADJACENT FACILITY

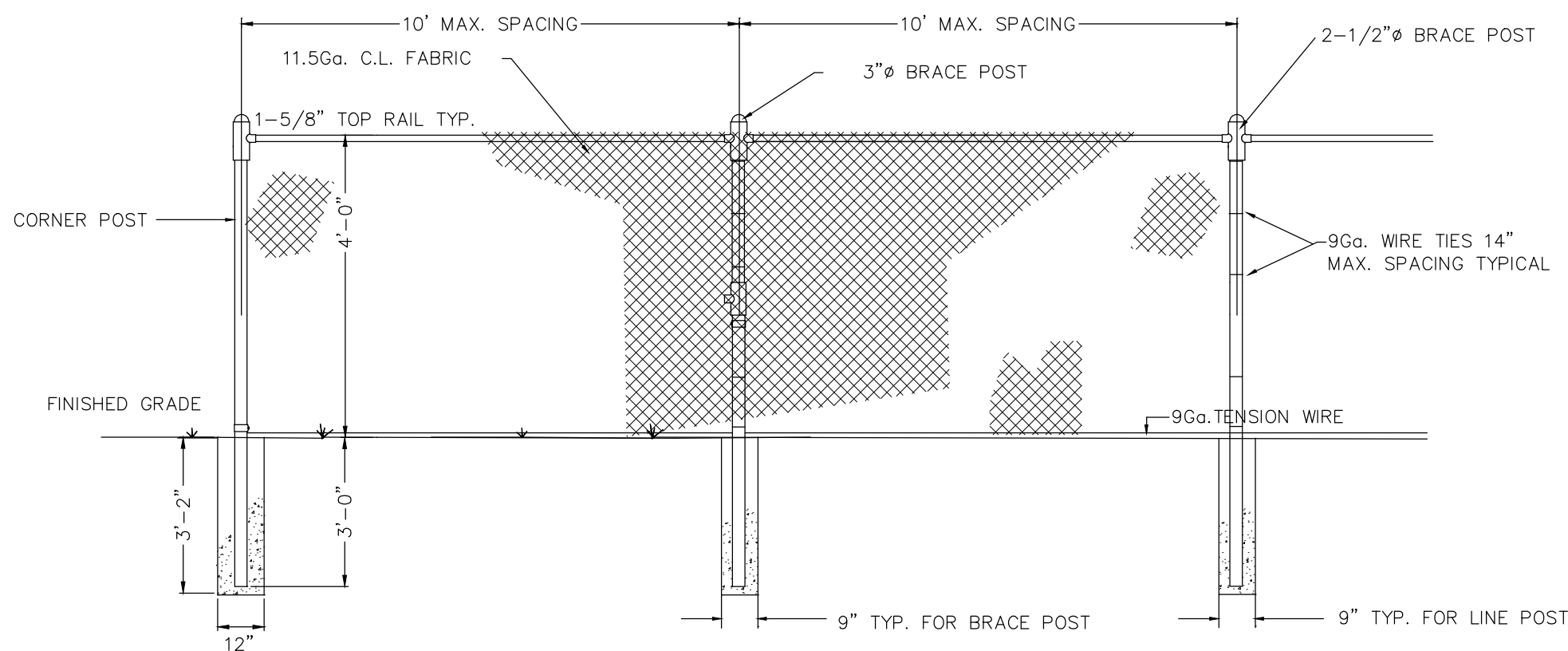
PARKING REQUIREMENTS:

TOTAL REQUIRED PARKING SPACES PER SECTION 12-3 OF THE
PENSACOLA LAND DEVELOPMENT CODE:
WAREHOUSING

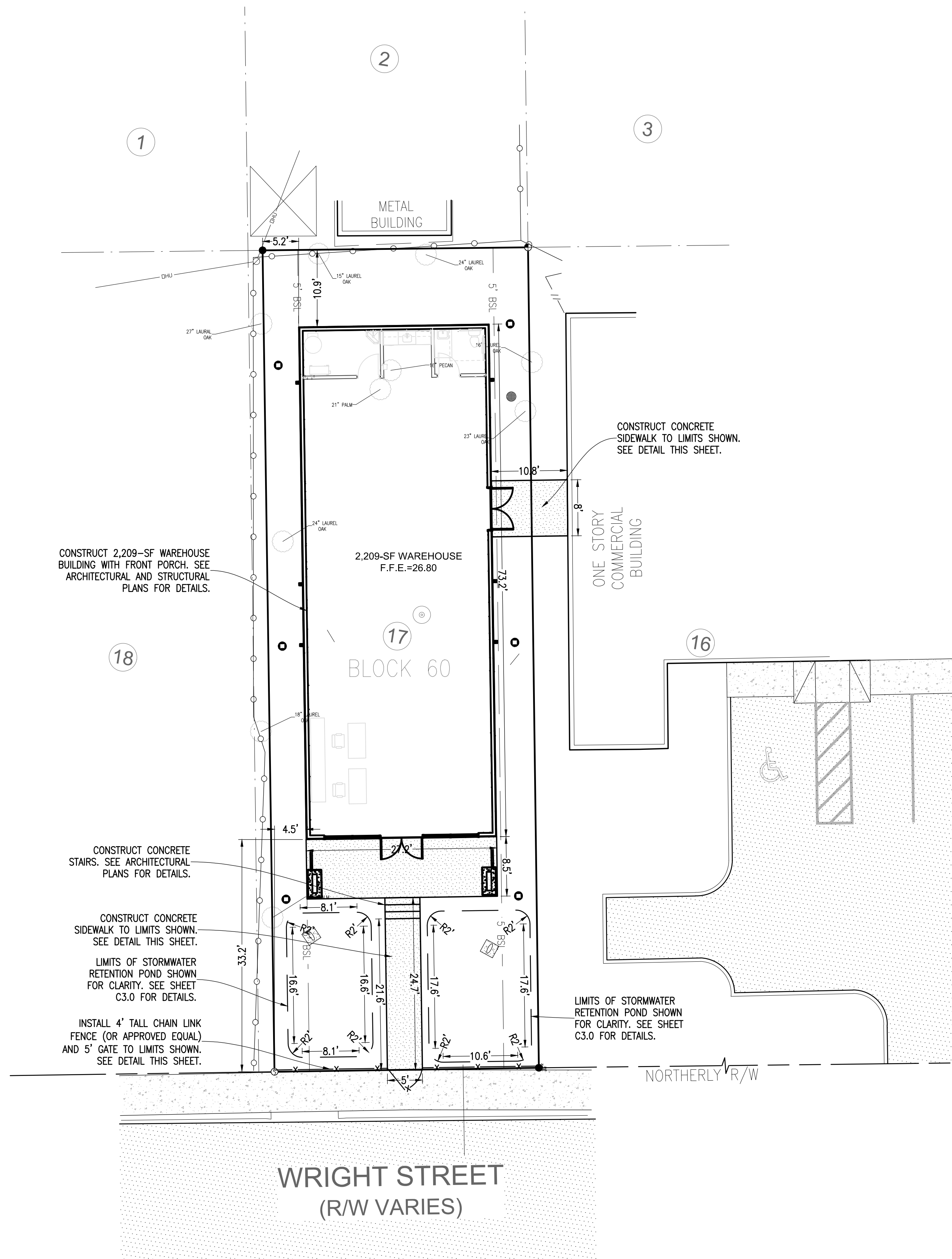
FENCE POST SCHEDULE	
TYPE	SIZE
LINE POST	2-1/2" ϕ
BRACE POST**	
CORNER POST	3" ϕ
GATE POST	4" ϕ
** EVERY 100'	



GATE DETAIL



FENCE DETAIL



CONSTRUCT 2,209-SF WAREHOUSE
BUILDING WITH FRONT PORCH. SEE
ARCHITECTURAL AND STRUCTURAL
PLANS FOR DETAILS.

CONSTRUCT CONCRETE STAIRS. SEE ARCHITECTURAL-PLANS FOR DETAILS.

CONSTRUCT CONCRETE
SIDEWALK TO LIMITS SHOWN.
SEE DETAIL THIS SHEET.

LIMITS OF STORMWATER
RETENTION POND SHOWN
FOR CLARITY. SEE SHEET
C3.0 FOR DETAILS.

INSTALL 4' TALL CHAIN LINK
FENCE (OR APPROVED EQUAL)
AND 5' GATE TO LIMITS SHOWN
SEE DETAIL THIS SHEET

CONSTRUCT CONCRETE
SIDEWALK TO LIMITS SHOWN.
SEE DETAIL THIS SHEET.

LIMITS OF STORMWATER
RETENTION POND SHOWN
FOR CLARITY. SEE SHEET
C3.0 FOR DETAILS.

NORTHERLY R/W

BENCHMARK 20-01/24A

ELEVATION = 23.59'
SET NAIL IN ASPHALT $\pm 41'$
S AND $\pm 18'$ W OF SUBJECT
PROPERTY.

BENCHMARK 20-01/24B

ELEVATION = 25.00'
BOLT AND DISK IN
POWER POLE ±47' S
AND ±33' E OF
SUBJECT PROPERTY.

SITE LAYOUT & DIMENSION PLAN

DUH WAREHOUSE
804 E. WRIGHT STREET
PENSACOLA, FLORIDA

No.	DATE	REVISION

SEAL

PERMIT SET

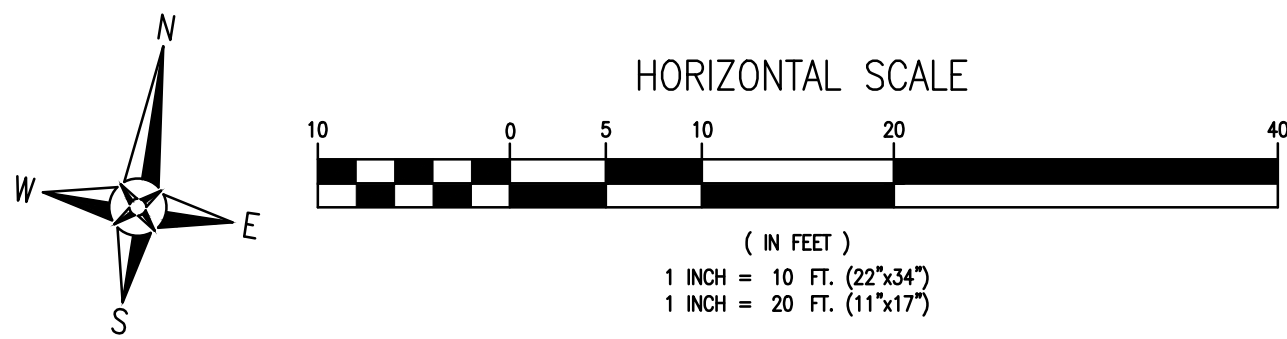
Mark E. Robertson II, P.E.
No. 83341

Dr. By: MER
Ck By: JRR
Job No.: 2020.011
Date: 04-13-2020

DRAWING No.

C2.0

SHEET 5 OF 8

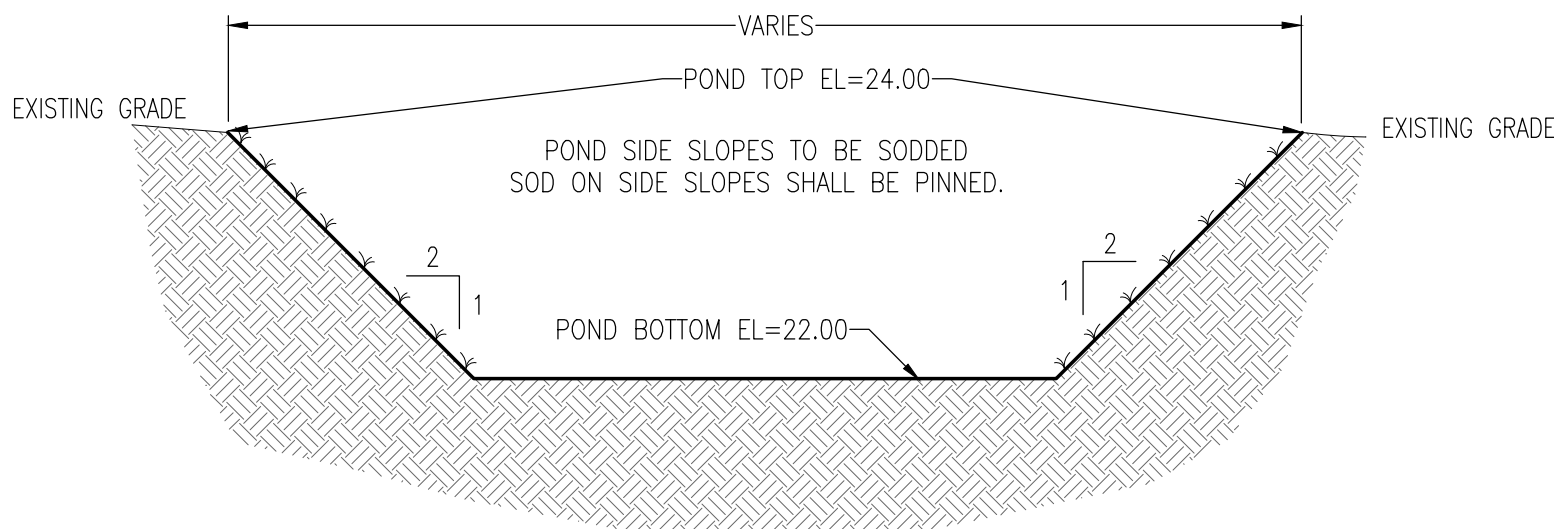


LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED GRAVEL
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR

	UTILITY POLE		BENCHMARK
	LIGHT POLE		GUY ANCHOR
	TELEPHONE BOX		FLOW ARROW
	100.00 (BACK OF CURB)		EXISTING SPOT ELEVATION
	99.50 (EDGE OF PAVEMENT)		PROPOSED SPOT ELEVATION
	100.00 M.E.		PROPOSED SPOT ELEVATION MEET EXISTING

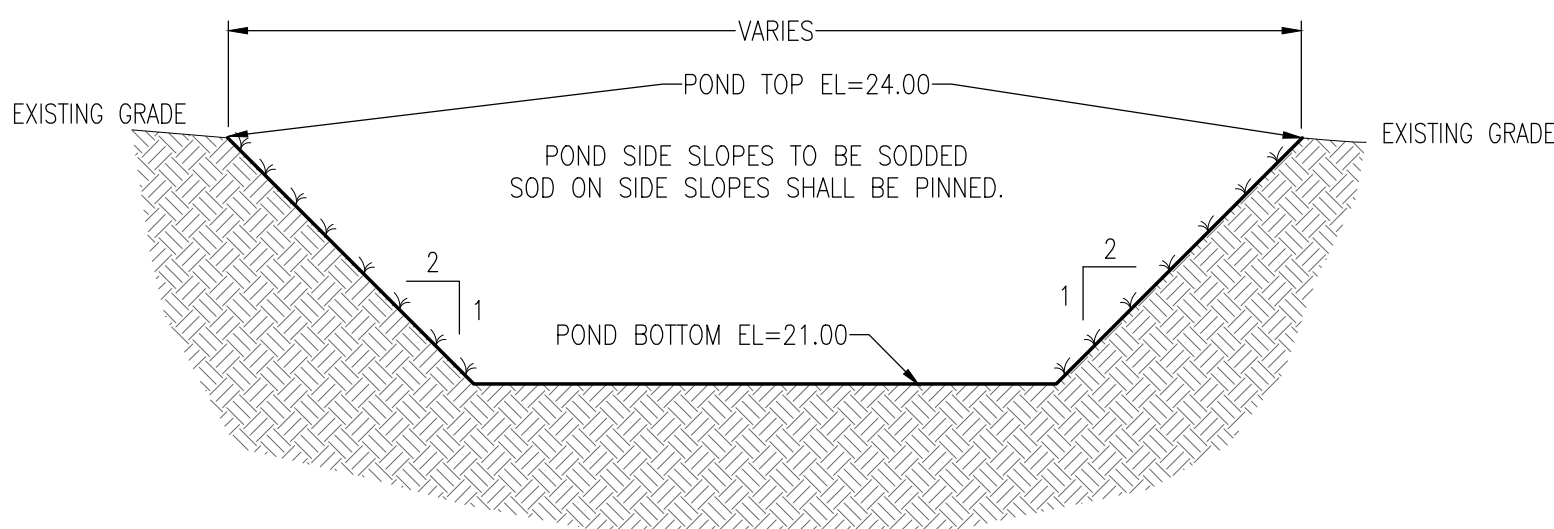
- GENERAL NOTES:
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 4. DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDED, MULCHED & FERTILIZED.
 5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS. NEWLY PLACED SEED OR SOD IN THE RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATION COVER IS REESTABLISHED.
 6. ALL RIP-RAP SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 7. THE PROJECT ENGINEER SHALL PROVIDE TO THE CITY OF PENSACOLA AS-BUILT CERTIFICATION AND/OR DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY.
 8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF PENSACOLA. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 9. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
 10. THE DETENTION AREA SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
 12. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
 13. ALL SITE RUNOFF OR ROOF DRAINAGE SHALL BE ROUTED TO THE PROPOSED STORMWATER TREATMENT SYSTEM.



- NOTE:
1. THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.
 2. POND BOTTOM TO BE GRAVEL.

RETENTION POND CROSS SECTION A-A

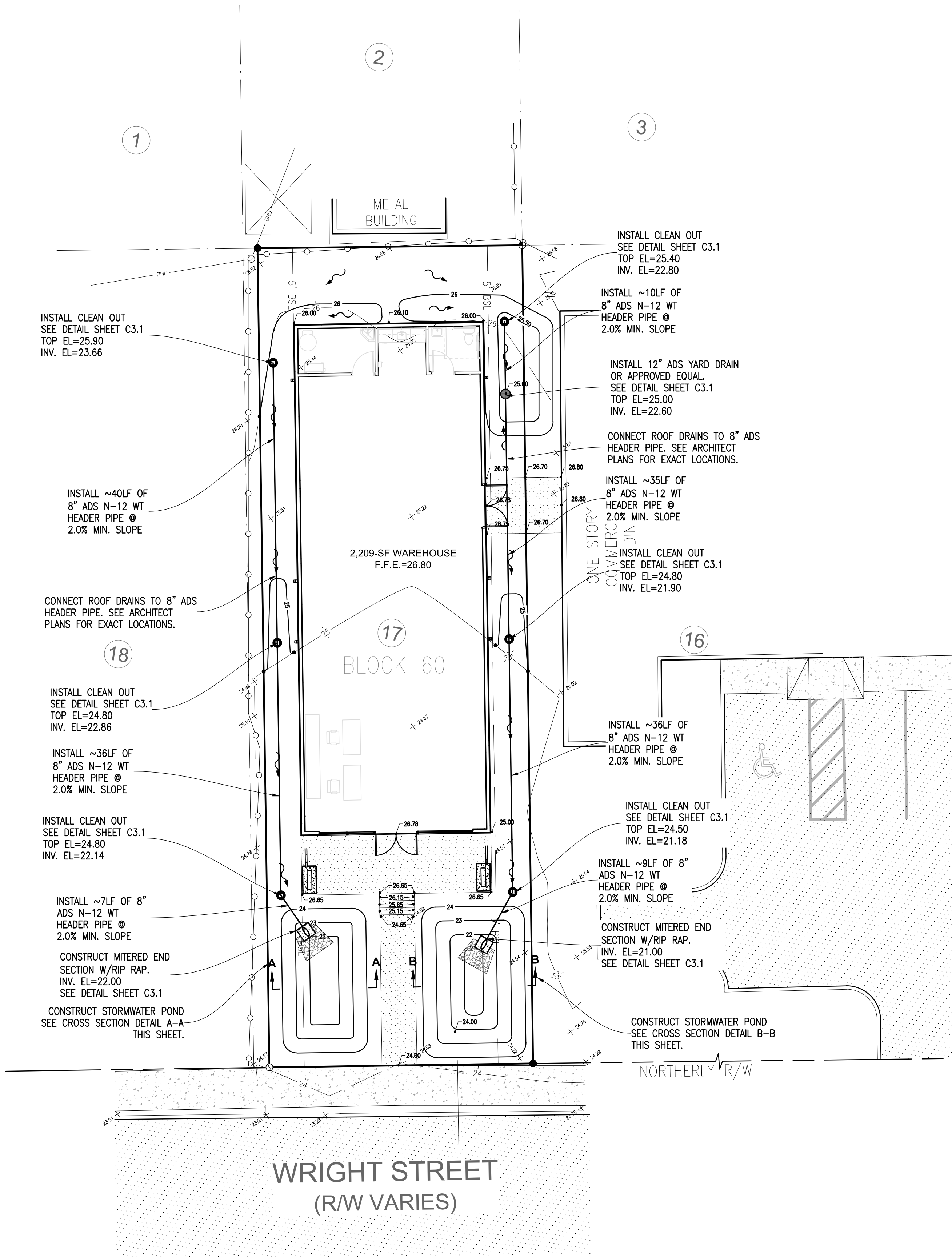
N.T.S.



- NOTE:
1. THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.
 2. POND BOTTOM TO BE GRAVEL.

RETENTION POND CROSS SECTION A-A

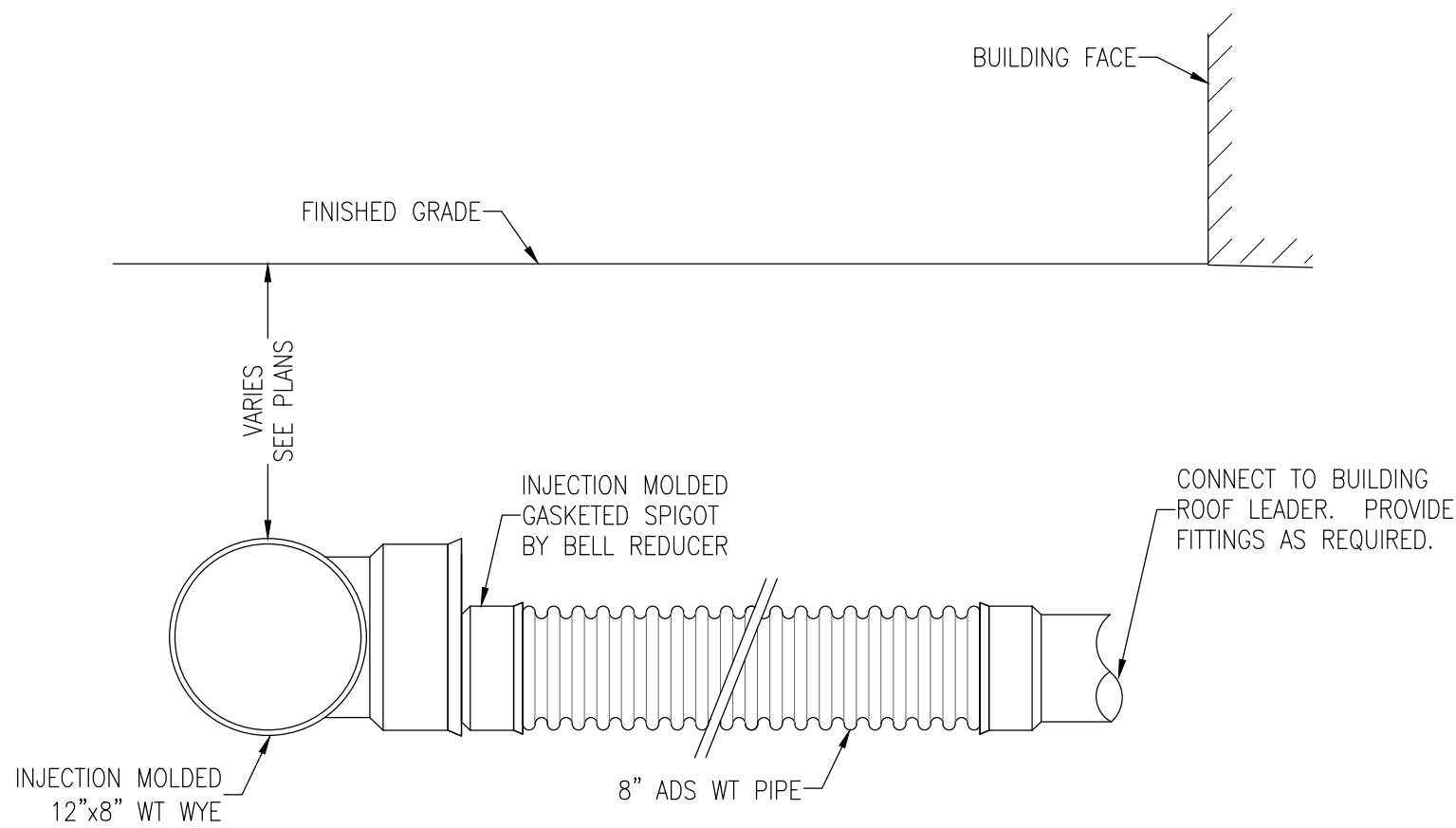
N.T.S.



BENCHMARK 20-01/24A
ELEVATION = 23.59'
SET NAIL IN ASPHALT ±41'
S AND ±18' W OF SUBJECT
PROPERTY.

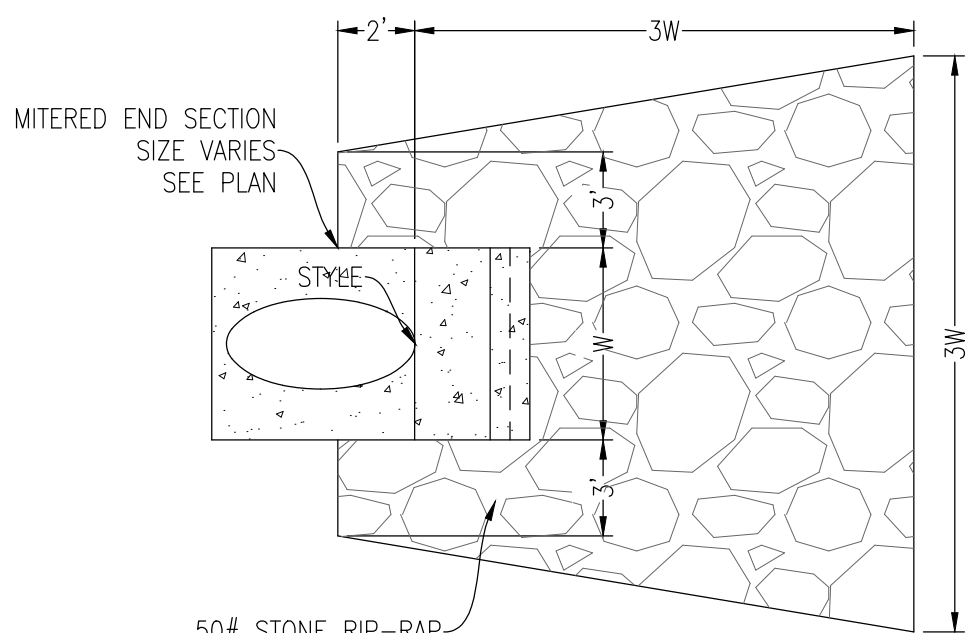
BENCHMARK 20-01/24B
ELEVATION = 25.00'
BOLT AND DISK IN
POWER POLE ±47' S
AND ±33' E OF
SUBJECT PROPERTY.

REVISION	DATE	No.



ROOF DRAIN CONNECTION DETAIL

N.T.S.

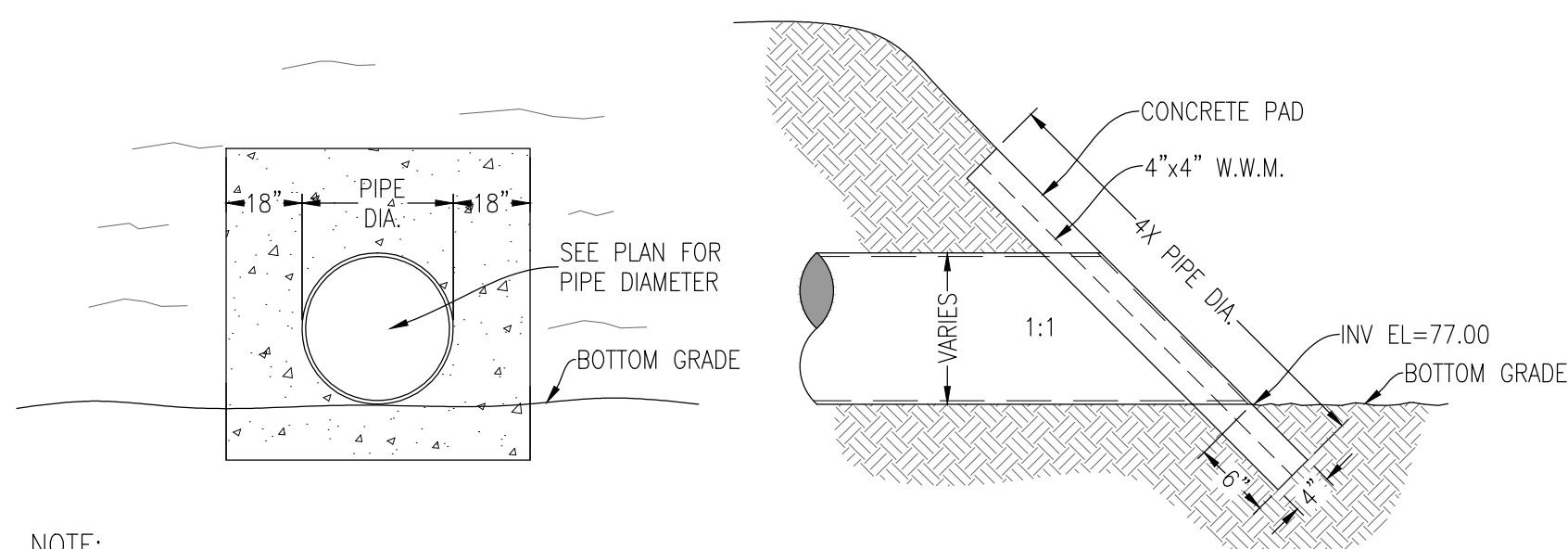


RIP-RAP DETAIL

N.T.S.



SECTION

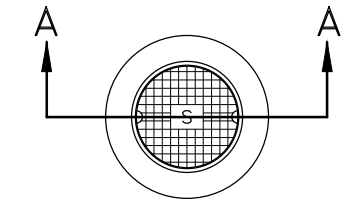
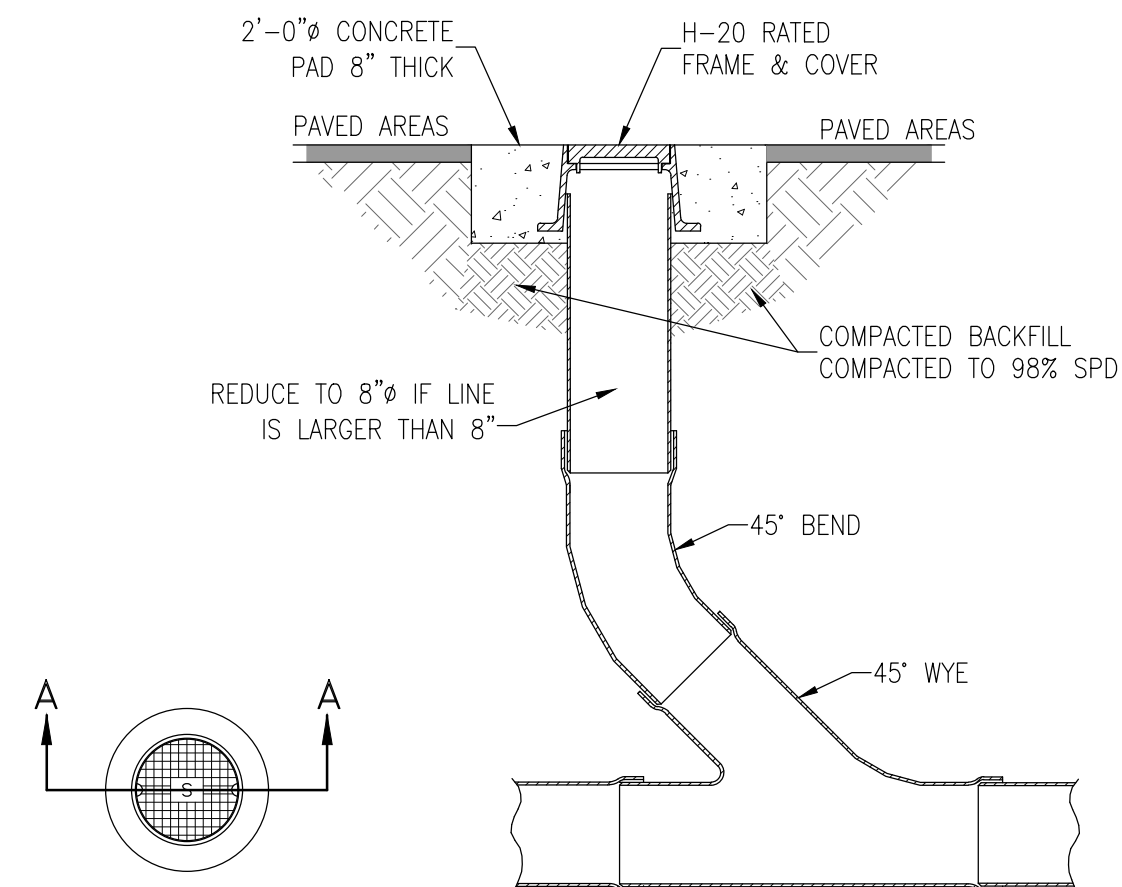


NOTE:
CUT DRAIN PIPE ENDS TO MITERED SECTIONS. COMPACT SOIL ADJACENT TO ENDS AND SOD ACCORDINGLY. ALSO, COMPACT SOIL LIFT COVERING DRAIN PIPES AND SOD ACCORDINGLY.

TYPICAL SECTION

MITERED END SECTION

N.T.S.

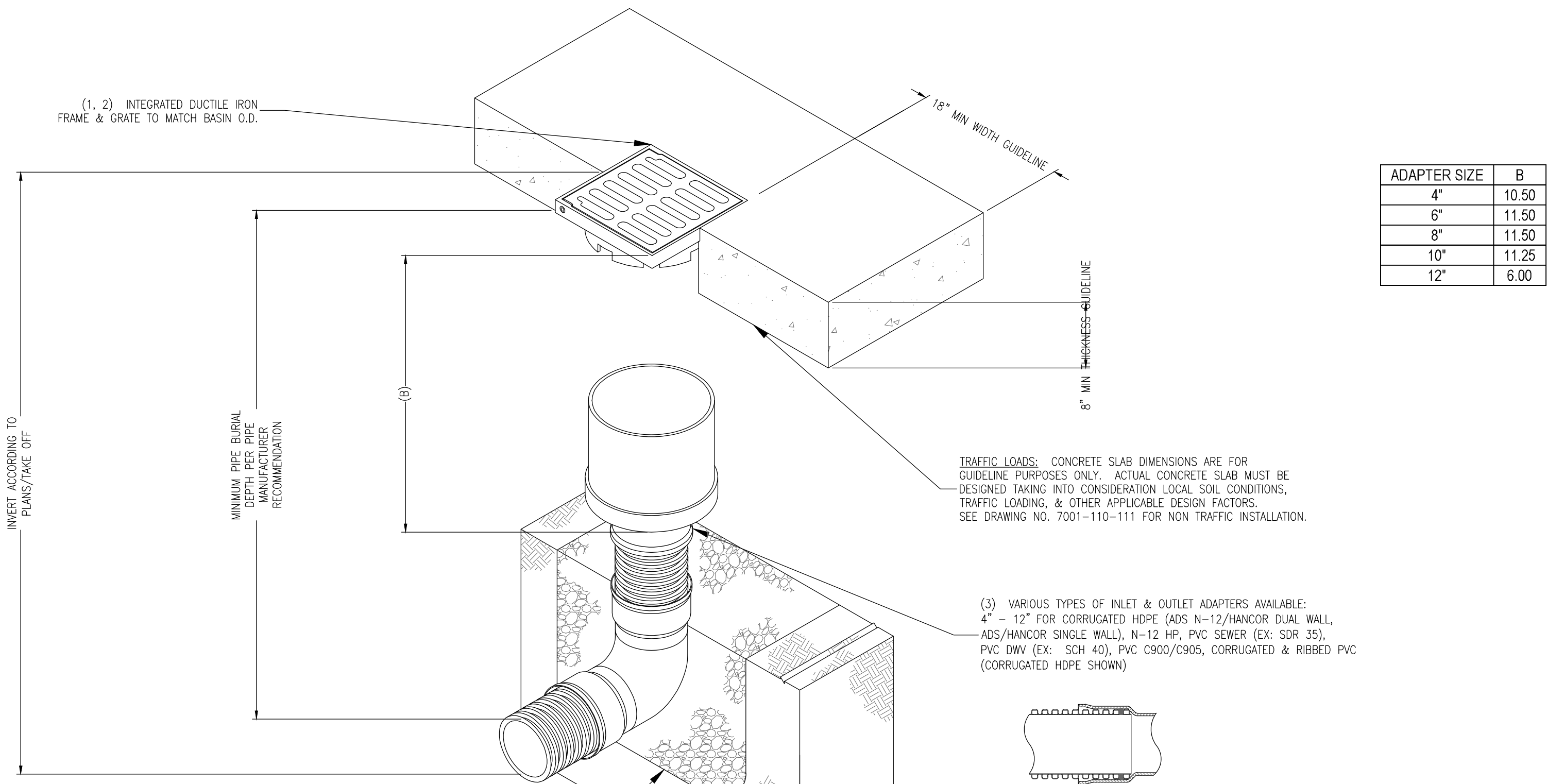


SOLID LID	A	B	C	E	F
R-1792-AL	10 3"	1 2"	8 2"	14 2"	4"
R-1792-BL	13 3"	1 2"	11 2"	17 2"	4"

STORMWATER CLEANOUT DETAIL (TRAFFIC RATED)

N.T.S.

NYLOPLAST 12" INLINE DRAIN: 2712AG __ X



ADAPTER SIZE	B
4"	10.50
6"	11.50
8"	11.50
10"	11.25
12"	6.00

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- 4 - DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
- 5 - DIMENSIONS ARE IN INCHES
- 6 - SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION & DRAWING NO. 7001-110-364 FOR N-12 HP BELL INFORMATION.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY	EBC	MATERIAL	
DATE	04-03-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-15-16		
DWG SIZE	A	SCALE	1:20
		SHEET	1 OF 1

 Nyloplast [®]	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com		
<hr/>			
TITLE			
12 IN INLINE DRAIN QUICK SPEC INSTALLATION DETAIL			
DWG NO.	7003-110-025	REV	E

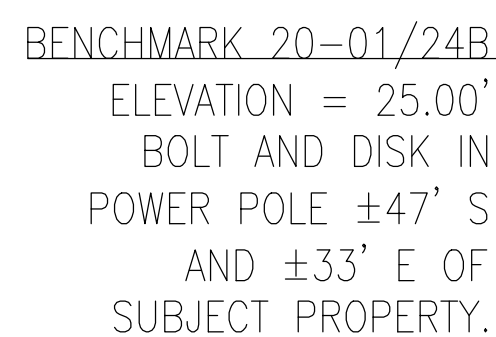
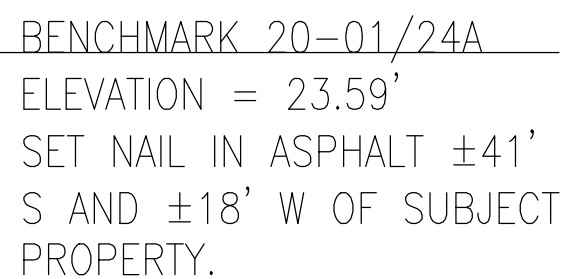
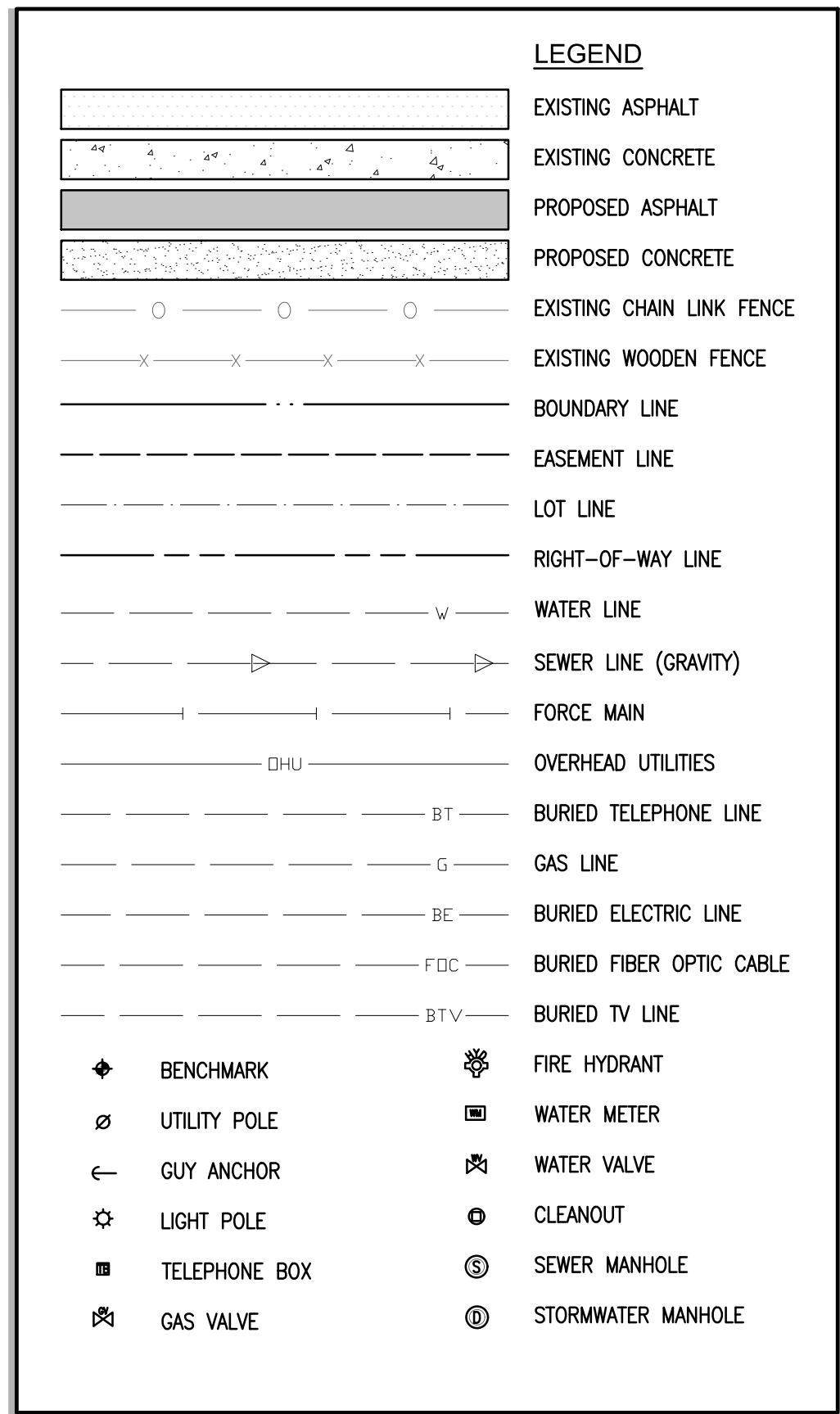
GRADING AND DRAINAGE
DETAILS

DUH WAREHOUSE
804 E. WRIGHT STREET
PENSACOLA, FLORIDA

REVISION	DATE	No.

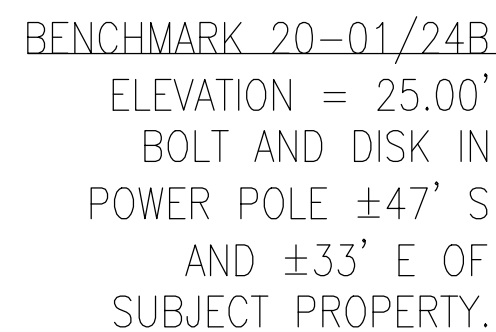
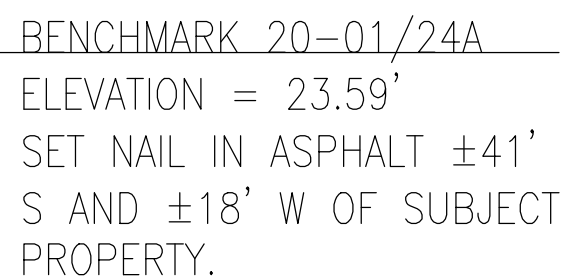
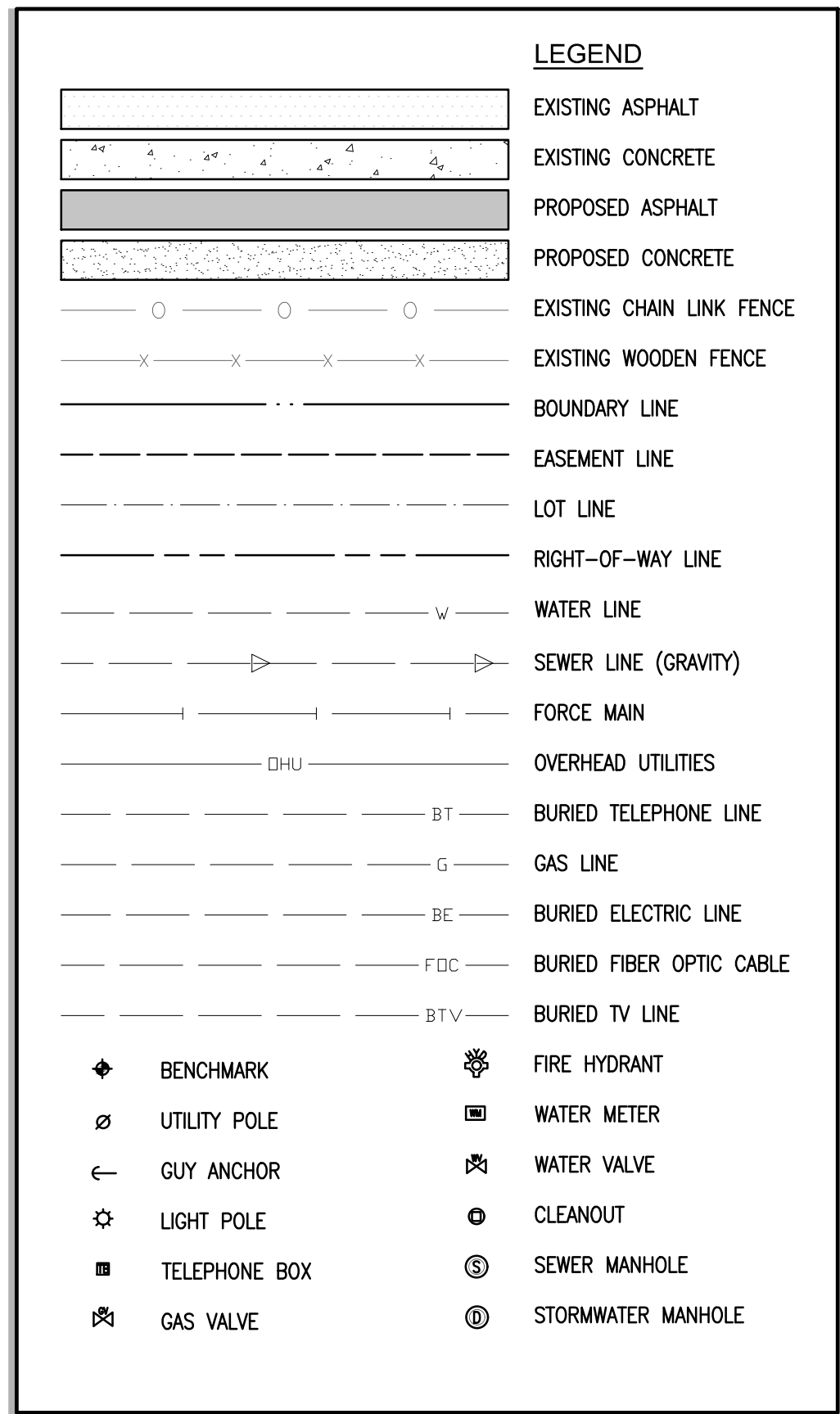
SEAL
PERMIT SET
Mark E. Robertson II, P.E. No. 83341
Dr. By: MER Ck By: JRR Job No.: 2020.011 Date: 04-13-2020
DRAWING No.
C3.1
SHEET 7 OF 8

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- UTILITY NOTES:**
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 2. THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 3. ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 4. ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 5. MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 6. THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 7. ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 8. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 9. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 10. ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 11. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH CITY OF PENSACOLA AND THE ECUA GUIDELINES.
 12. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 13. ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
 15. ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
 16. CONTRACTORS SHALL SUPPLY THE MOT PLAN AND DATES AND TIMES OF ROAD CLOSURES/DETOURS TO THE CITY. MOT PLAN SHALL BE APPROVED BY THE CITY PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE RIGHT OF WAY.

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EB 00009657 LB7916

UTILITY PLAN

DUH WAREHOUSE
804 E. WRIGHT STREET
PENSACOLA, FLORIDA

No.	DATE	REVISION

SEAL
PERMIT SET

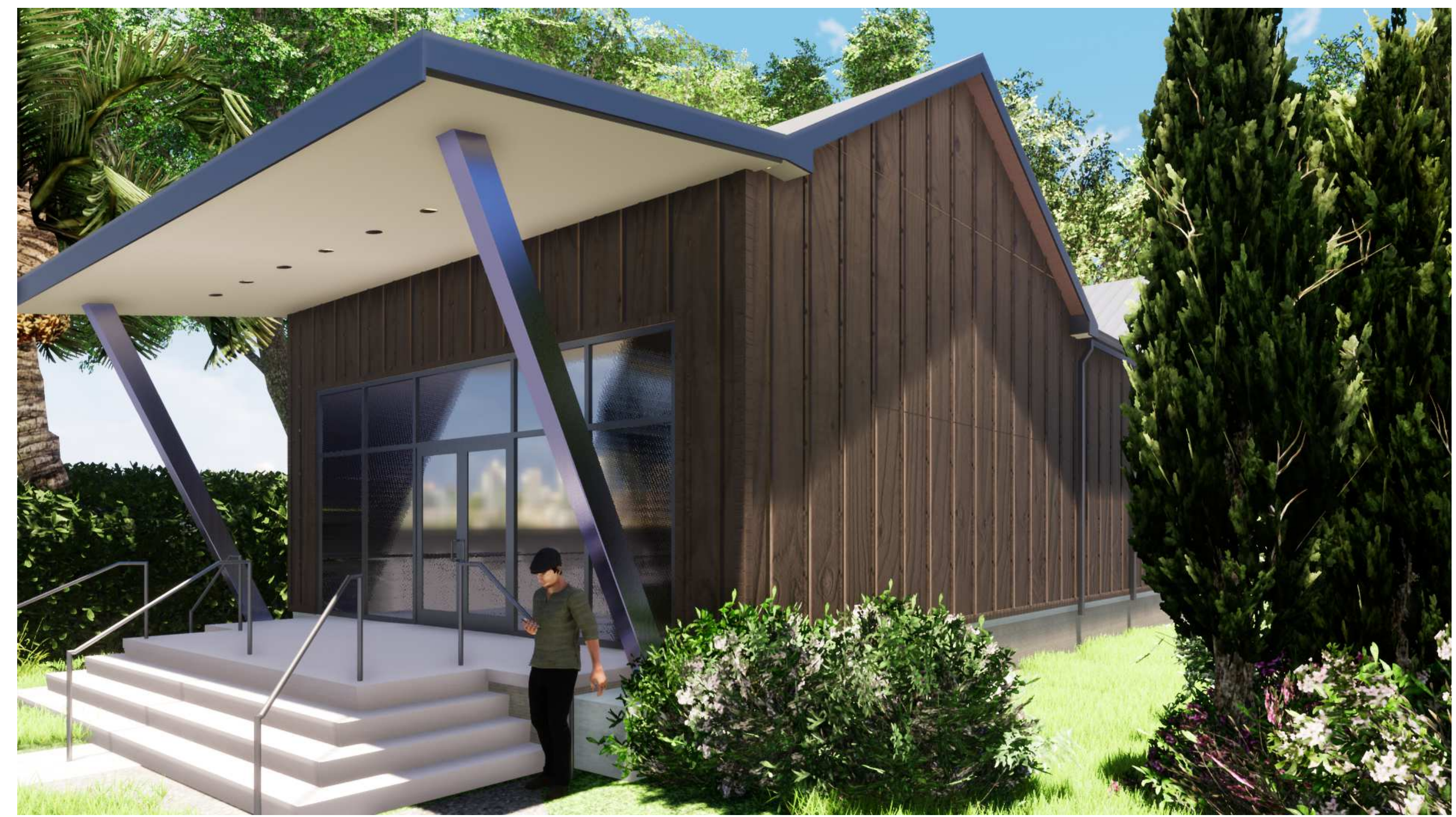
Mark E. Robertson II, P.E.
No. 83341

Dr. By: MER
Ck By: JRR
Job No.: 2020.011
Date: 04-13-2020

DRAWING No.

C4.0

SHEET 8 OF 8





outdoor space is a vital element of the DUH experience



outdoor space is a vital element of the DUH experience



outdoor space is a vital element of the DUH experience

proposed new building location

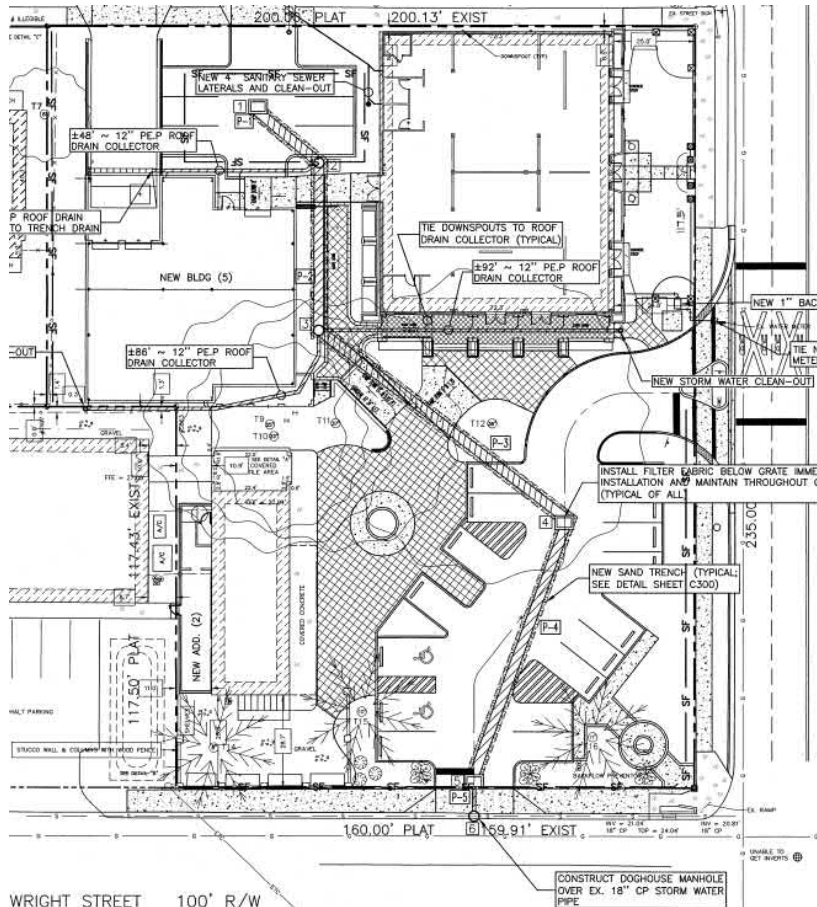
GMC



continuation of existing crushed stone pedestrian path will link the building to existing campus

outdoor space is a vital element of the DUH experience

duh



stormwater management is a criteria of the City - DUH appreciates sub-surface retention when needed



stormwater management is a criteria of the City - DUH appreciates sub-surface retention when needed



stormwater management is a criteria of the City - DUH appreciates sub-surface retention when needed



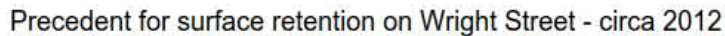
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Precedent for surface retention on Wright Street - circa 2012



Precedent for surface retention on Wright Street - circa 2012



Precedent for surface retention on Wright Street - circa 2013



Precedent for surface retention on Wright Street - circa 2013

existing surface retention



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day



Precedent for surface retention on Wright Street - present day