





permission; permits were not obtained for this job initially or secondarily. He explained this was not about 1' but more than 1' of variation, with the least being 14.5" and it was actually 16.5" that was being requested. He stated the real issue was the protection constructed to keep debris out of the pool area while still being able to keep the water feature. He pointed to item 5 of the Variance Criteria concerning the minimum necessary, and this was a 56' long birdcage. He indicated his entire lot was 50' and you would not need to attach to the wall to allow the water feature to exist. He pointed out the original structure was designed to come straight down to the pool deck, whereas the new design was connecting to the top of the wall. He suggested bringing it straight down and attaching to the water feature at the corner which would eliminate the debris problem. He explained the setback was what they needed to buffer the large screening on such a small lot. He was also concerned with his property value, and there was a more minimalistic solution than what was being presented which would be to come down and across. He pointed out the wall was not all the same height, with the columns having different tops and bottoms. There was also an arch at the water feature and asked were they coming down 1' from the lowest or highest portion of the wall. He stated after the last Board meeting, eight attachments were removed, leaving two. He emphasized the remaining braces needed to come down lower, but the drawing measurements were not accurate, with the wall itself not being 24" but 13" wide. He also provided a drawing illustrating his measurements which would allow for the water feature without the wall attachments and stressed he had never seen a birdcage which attached to a wall. He explained at the last Board meeting, the conversation centered around the debris problem, but the original complaints made to Mr. Weekley and later to Mr. Bilby were both about setbacks; if the setback was honored, the debris was no issue. By giving access to the wall, the debris becomes an issue. If they come down the frame and come across, from his property, it would look as if it did not attach to the wall.

Senior Planner Statler advised the required rear setback was 3'. Board Member Del Gallo indicated the column of the wall was 2' thick but according to the survey, the largest part of the wall was 1/10th of a foot off the property line. According to Mr. Bilby, once the braces were removed, the birdcage or pool enclosure would be in compliance with the setbacks, so there was no need for a variance for the structure to remain where it is; the problem would be the angular braces; they were just bridging from the wall to the pool enclosure with some type of structure. Vice Chairperson White explained there was definitely a 1' variance to the wall for the proposed compromise to catch the debris. Staff stated what Mr. Wilson was offering actually reduced the request further, so it really only covered the area of the water feature; the only area in question would be the water feature area. When the Board was granting a variance, it was not reducing the entire setback length of the property line but reducing it for that particular encroachment. Mr. Wilson explained this would be a permanent structure and a part of the house; it was clarified that this was an accessory structure, with the wall allowed to be in the setback. Mr. Wilson pointed out with the birdcage connected all the way around, it became a part of the home. With no additional questions for Mr. Wilson, Mr. Kahn again pointed to the drawings and the ability to catch the debris.

Board Member Del Gallo made a motion to approve the applicant's request that as he brings the screen down on his columns to a level that is 12" below the top of the walls, makes his connections back to the wall, comes up to the water feature, stops and starts again on the other side of the water feature so there is a gap at the water feature, was his motion. Board Member Lonergan seconded the motion. Board Member Shelley agreed it was a way to accommodate the people who live in this community, since every property and situation was different. He believed the applicant's engineer had considered the Board's comments and had redrawn the submittal for a compromise, and he believed it was really close to what Mr. Wilson was describing. Not only would you not see it, but it would capture the debris on their side of the fence. Board Member Wiggins also supported the request since the tubing was connected and prevented debris from falling into the Wilsons' yard and should be more visually appealing as well. Board Member Lonergan stated there was due diligence to find a compromise visually, and to otherwise dictate what happens on the other side of the wall; it doesn't affect passage of light or air and was a much better solution than what the Board observed last week which disrupted multiple properties. The motion then carried unanimously. Board Member Del Gallo addressed the two remaining angle braces which were in violation and wanted to make sure Mr. Bilby would have those removed.

**4) Election of Chairman and Vice-Chairman**

Board Member Del Gallo nominated Vice Chairperson White as Chairperson, and Board Member Shelley nominated Board Member Del Gallo as Vice Chairperson and both nominations carried unanimously.

**DISCUSSION** – None

**ADJOURNMENT** -

There being no further business, the meeting adjourned at 3:41 p.m.

Respectfully Submitted,



Senior Planner Statler  
Secretary to the Board

PLANNING SERVICES

***Zoning Board of Adjustment***

**MEMORANDUM**

**TO:** Members, Zoning Board of Adjustment

**FROM:** Leslie Statler, Senior Planner *LSM*

**DATE:** February 12, 2020

**SUBJECT:** ZBA 2020-001  
2909 E. Gonzalez Street  
R-1AA

**BACKGROUND**

Margarita Reynolds is requesting a Variance to reduce the west side setback from 6.0 feet to 5.1 feet to accommodate a 14 x14 addition. The applicant is proposing to construct an addition to the southwest area of the existing residence. The existing residence is located 5.1 feet from the property line. The request would allow the proposed addition to align with the west side of the structure.

Attached you will find all materials as submitted attached for your review and consideration.

2909 E. Gonzalez Street





- Zoning Board of Adjustment**
- Architectural Review Board**
- Planning Board**
- Gateway Review Board**

## VARIANCE APPLICATION

### A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
  - 1. Abutting street(s)
  - 2. Lot dimensions and yard requirements (setbacks)
  - 3. Location and dimensions of all existing structures
  - 4. Location and dimensions of all proposed structures and/or additions
  - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).\*
- D. A non-refundable application fee of **\$500.00**.

*\* The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.  
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

#### (To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Sec 12-2-4(E)/Table 12-2.2 Zoning R-1AA

#### (To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 2909 E. Gonzalez Street, Pensacola FL 32503  
 Current use of property: Single Family Residential

1. Describe the requested variance(s): Construct a 14 foot by 14 foot addition on west side of the home that will come within 4 feet of the property line instead of the 5 foot setback. This addition will follow the home's current setback from the west property line.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:  
The home was built in the 1930's under different building codes and setbacks.

*Actual Request  
↓  
Reduce from 6.0' to 5.1'*

**3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:**

The extra 1 foot will allow for better distribution of indoor living and sleeping space, also additional indoor closet storage.

**4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:**

The addition, continuing the home's line front to back, will be continuous adding aesthetic congruity, appearing to be part of the original 1930's building. Besides the "curb appeal", this will increase the value of surrounding properties.

**5. Explain what other condition(s) may justify the proposed variance(s):**

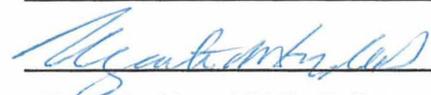
Without the variance I will indent the exterior wall by 1 foot. This will detract the building cohesiveness Neighborhood aesthetics.

Application Date: 01-29-2020

Applicant: Margarita M. Reynolds

Applicant's Address: 425 Jefferson Avenue, Westfield NJ 07090

Email: reynolds.marga@gmail.com Phone: 908-247-0743

Applicant's Signature: 

Property Owner: Margarita M. and Philip E. Reynolds

Property Owner's Address: 425 Jefferson Avenue, Westfield NJ 07090

Email: reynolds.marga@gmail.com Phone: 908-247-0743

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



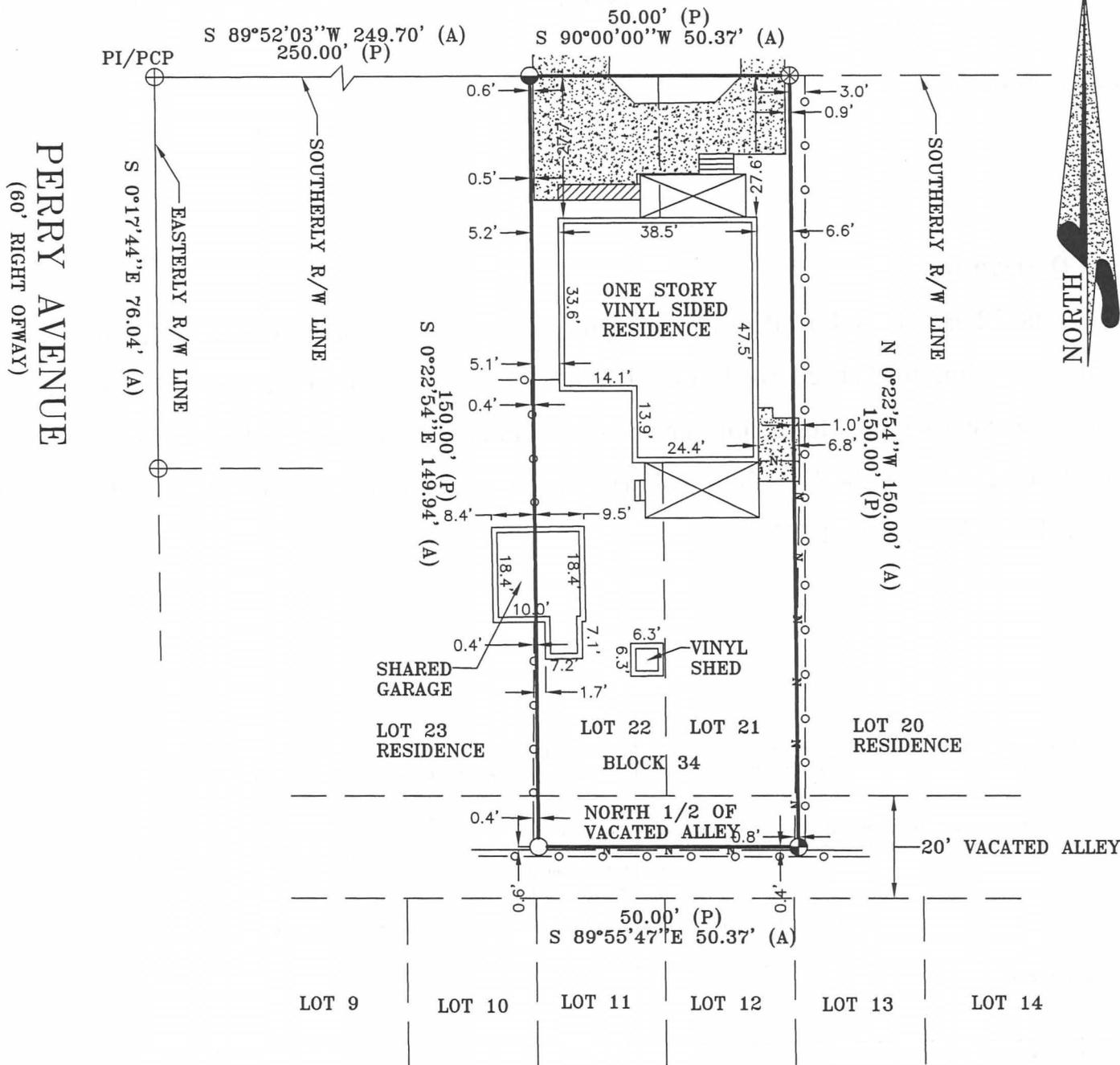
8192 SIX PENCE DRIVE  
PENSACOLA, FLORIDA, 32514



(850) 433-8545  
FAX (850) 433-8282  
LANDSENDSURVEYING.COM

Field Date: 12-4-2019	Survey Type: BOUNDARY & IMPROVEMENTS	Survey Number: 1248-2019
Field Book/Page: 355/75	Revisions:	Scale: 1" = 30'

## 2909 E. GONZALEZ STREET (60' RIGHT OF WAY)



PAGE 1 OF 2

DRAWN BY CHIP EVANS

THE SETBACK LINES AND/OR EASEMENTS SHOWN HEREON, IF ANY, ARE PER INFORMATION FOUND IN THE RECORDED PLAT OF SAID SUBDIVISION OR ARE AS PROVIDED BY THE CLIENT, DESIGNER, BUILDER, TITLE COMPANY, COUNTY OR S.R.L.A. AND SHOULD BE VERIFIED WITH APPROPRIATE ENTITIES.

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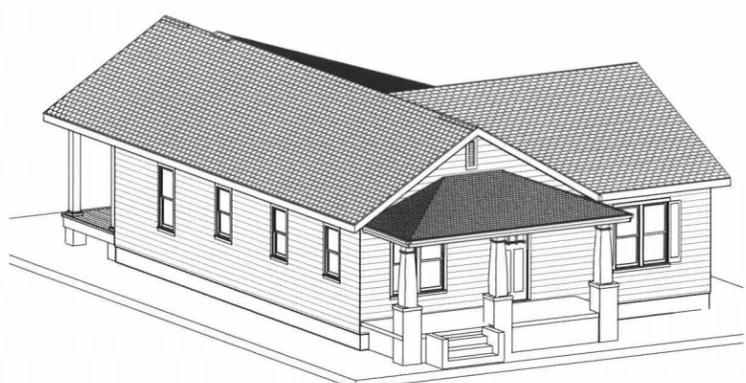
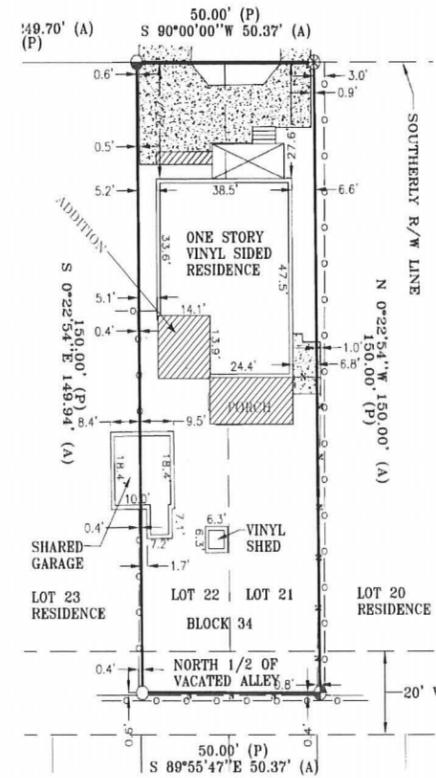
THIS MAP IS INTENDED TO BE PRINTED ON A PAPER SIZE OF 8.5"x14" TO FIT THE SCALE INDICATED HEREON. ANY OTHER SIZE PRINTED RENDERS THIS MAP INVALID.

FENCES ALONG BOUNDARIES ARE SHOWN EXAGGERATED TO SHOW CLARITY OF LOCATION RELATIVE TO BOUNDARIES.

NOTE: This map is not complete or valid without report on page 2 of 2

Bearing Reference: HELD THE SOUTHERLY R/W LINE OF GONZALEZ STREET AS S 90°00'00"W		Source of Information: FIELD EVIDENCE & RECORDED PLAT	
Closure Information:			
<p>NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.</p> <p>SEE PAGE 2 FOR SIGNATURE AND EMBOSSED SEAL</p> <p>LARRY E. STEGALL P.L.S., FLA #4747 LB # 6632</p>	<p><b>LEGEND</b></p> <p>° Degree ' Feet or Minutes '') Inches or Seconds N North, E East S South, W West PCP Permanent Control Point PRC Point of Reverse Curve PCC Point of Compound Curve PC Point of Curvature PT Point of Tangency PI Point of Intersection POC Point of Commencement POB Point of Beginning R/W Right of Way PRM Permanent Reference Monument</p>	<p>R Radius RP Radius Point BENCHMARK (SEE NOTES) &lt;0.0&gt; Existing Spot Elevation BSL Building Setback Line (D) Deed (P) Plat (A) Actual Field Measurement (CALC) Calculated Measurement ⊙ Existing Hole in Concrete ⊙ Existing "X" Cut, ⊙ Set "X" Cut ⊙ 1/2" Metal Rod-Found ⊙ Existing 1/2" Capped Metal Rod #7174 ⊙ Existing 1/2" Capped Metal Rod #5791 ⊙ Existing 1/2" Capped Metal Rod #5883 ⊙ Existing 1/2" Capped Metal Rod #3774 ⊙ 1" Metal Pipe-Found ⊙ Set 1/2" Capped Metal Rod #6832</p>	<p>▲ Nail &amp; disk found ▲ Nail Only ⊙ Nail &amp; disk set Lb.6832 ■ Existing Concrete Monument ⊙ Set Wooden Hub/Tall Stake ⊙ Utility Pole ⊙ Meter E-E-E Utility wires overhead N-N-N Chain link fence ○-○-○ Wooden fence X-X-X Metal Fence □-□-□ Plastic Fence ▨ Concrete or Pavement ▨ Wood Deck or Dock ▨ Covered area (porch, carport, etc.) ▨ Pavers or Brick</p>

2909 E. GONZALEZ STREET  
(60' RIGHT OF WAY)



**SCOPE OF PROJECT**  
WHOLE HOUSE RENOVATION.  
ROOM ADDITION  
REDO BACK PORCH

**LIST OF DRAWINGS**  
1. COVER SHEET  
2. FOUNDATION  
3. FLOOR PLAN  
SCHEDULES  
4. ELEVATIONS  
5. BLDG SECTION  
6. ROOF PLAN  
7. ELECTRICAL

**GENERAL NOTES & SPECIFICATIONS**

**DESIGN CRITERIA**

FLORIDA BUILDING CODE 2017 RESIDENTIAL  
2018 NFPA 101  
2017 NATIONAL ELECTRICAL CODE  
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION  
BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318  
BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES ACI 531  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION

**DESIGN LIVE LOADS**

ROOF 20 PSF  
FLOORS 40 PSF  
LATERAL WIND FORCES 150 MPH ASCE 7-10 EXPOSURE B

1ST STORY DESIGN WIND PRESSURE 43 PSF -47 PSF  
2ND STORY DESIGN WIND PRESSURE 52 PSF -60 PSF

WINDOWS WITH IN 6'-0" OF CORNERS DESIGN WIND PRESSURE -44 PSF

GARAGE DESIGN WIND PRESSURE +30.00 PSF, 33.50 PSF

DESIGNED FOR ENCLOSED BUILDING

STRUCTURAL CATEGORY II

IMPORTANCE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT +0.15 to -0.18

COMPONENTS & CLADDING SHALL BE DESIGNED AND INSTALLED (BY OTHERS) TO COMPLY WITH THE FLORIDA BLDG CODE 2017 RESIDENTIAL

APPROVED SHUTTERS OR IMPACT RESISTANT GLAZING REQUIRED  
IMPACT RESISTANT GLAZING REQUIRED ABOVE 2 STORIES

**CONCRETE NOTES**

- ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- CONCRETE OPERATIONS SHALL COMPLY WITH A.C.I. STANDARDS.
- CONCRETE COMPRESSIVE STRENGTH 3000 PSI MINIMUM AT 28 DAYS.
- REINFORCING BARS ASTM A615 GRADE 60 FOR TWO AND THREE STORY GRADE 40 FOR ONE STORY.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM #6.
- REINFORCING BARS PLACING ACCESSORIES IN ACCORDANCE WITH CRSI SPECIFICATIONS.
- CONCRETE COVERAGE FOR REINFORCEMENT SHALL BE AS FOLLOWS (PER SECTION 7.7 ACI 318 LATEST EDITION):  
ALL CONCRETE FORMED AGAINST GROUND 3"  
SIDES AND BOTTOMS OF GRADE BEAMS 3"  
WALLS AND SIDES OF BEAMS ABV GRADE 1.5"  
EARTH SUPPORTED SLAB 4" THICK REINFORCED WITH 6x6xW14xW14 W/W/T THE SLAB SHALL BE PLACED OVER POLYETHYLENE VAPOR BARRIER OF NOT LESS THAN 0.06 INCH NOMINAL THICKNESS. IN LIEU OF WELDED WIRE FABRIC CONCRETE SLAB CAN BE TREATED WITH SYNTHETIC REINFORCING FIBERS AS MANUFACTURED BY FIBERMESH CO. AND IN ACCORDANCE W/ ASTM STANDARD SPECS FOR FIBER REINFORCED CONCRETE AND SHOTCRETE C11E. THE DOSAGE RATE SHALL BE ONE AND ONE HALF (1 1/2) LBS OF FIBERS PER CUBIC YARD OF CONCRETE.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A36 AND SHALL BE 3/8" DIAM W/ MIN 7" EMBEDMENT DEPTH IN CONCRETE AND CMU BLOCKS AND SHALL BE AT A MAXIMUM SPACING OF 32" O.C.
- DETAIL REINFORCING IN ACCORDANCE TO A.C.I. 318. REINFORCING SHALL NOT BE WELDED EXCEPT AS SHOWN WHERE ASTM A708 BARS ARE USED.

**MASONRY NOTES**

- HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON THE NET AREA AND 1000 PSI ON THE GROSS AREA (FM 159 PSI).
- ALL MORTAR FOR MASONRY SHALL CONFORM TO ASTM C270 TYPE "M" OR "S". ALL GROUT FOR USE IN MASONRY SHALL CONFORM TO ASTM C78 MINIMUM 2500 PSI AT 28 DAYS.
- ALL VERTICAL REINFORCEMENT IN MASONRY SHALL HAVE LESS THAN TENSION LAP.  
4. REINFORCING IN MASONRY WALL FOOTINGS SHALL BE CONTINUOUS.

**GENERAL CONSTRUCTION**

- DO NOT SCALE DRAWINGS
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF CONCRETE BLOCK OR WOOD STUDS (UNLESS NOTED)
- PROVIDE TEMPORARY SETTLING BASINS, HAYBALES AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF EACH DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- LANDSCAPING TO BE PROVIDED BY OTHERS.
- CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, ETC. W/ PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPETS, PANELING, FLOOR FINES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE AND PAINT THEIR COLORS, PATTERNS AND TEXTURES ARE TO BE SELECTED BY OTHERS (UNLESS NOTED).
- PVC SCHEDULE 40 IS PERMITTED FOR USE IN SOIL WASTE VENTING AND WATER SUPPLY FOR PIPE SIZES UP TO 4" DIAM. FITTINGS SHALL BE THE SAME SCHEDULE AS THE LINES.
- DOMESTIC WATER LINES SHALL BE 1/2" COPPER WITH SOLDER JOINTS INSTALLED WITHIN IMPERVIOUS SLEEVE WHEN PLACED IN SOIL.
- ALL WATER LINES IN UNHEATED OPEN AREAS SHALL BE INSULATED.
- ALL WATER PIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY SECURED IN OR ON WALL OR PIPE CHASE BEHIND FIXTURES.
- OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY OBSTRUCTIONS. ALL ROOF PENETRATIONS WHERE PRACTICAL TO BE ON BACKSIDE OF RIDGE AWAY FROM THE FRONT.
- PROVIDE 110 VUL APPROVED SMOKE DETECTORS IN ACCORDANCE WITH APPLICABLE CODES.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE AND OR CABLE TV.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN TO BE PROVIDED BY OTHERS AND SHALL MEET OR EXCEED ALL APPLICABLE BUILDING CODES.
- WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT SHALL NOT EXCEED A MAX OF 4" ABV FINISHED FLOOR.

**TIMBER NOTES**

1. STRUCTURAL TIMBER SHALL BE #2 SOUTHERN YELLOW PINE (M.C. 19%) LODGE POLE OR APPROVED (BY STRUCTURAL ENGINEER), EQUAL UNLESS OTHERWISE NOTED ON DRAWINGS WITH ALLOWABLE STRESSES AS FOLLOWS:  
BENDING STRESS 1,200 PSI 1,050 PSI  
SHEAR STRESS 90 PSI 70 PSI  
COMPRESSION STRESS PARALLEL TO GRAIN 1,600 PSI 700 PSI LODGE POLE  
MODULUS OF ELASTICITY 1,600,000 PSI 1,200,000 PSI

2. STRUCTURAL GLUE LAMINATED TIMBER SHALL BE VISUALLY GRADED SOUTHERN PINE WITH THE FOLLOWING MIN ALLOWABLE STRESSES:  
BENDING STRESS 2,400 PSI  
SHEAR STRESS 200 PSI  
MODULUS OF ELASTICITY 1,800,000 PSI

3. STRUCTURAL PARALLEL BEAMS ALL SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:  
BENDING STRESS 2,900 PSI  
SHEAR STRESS 290 PSI  
MODULUS OF ELASTICITY 2,000,000 PSI

**PLYWOOD SHEATHING**

- EACH CONSTRUCTION AND INDUSTRIAL PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE AMERICAN PLYWOOD ASSOC AND SHALL MEET THE REQUIREMENTS OF THE LARGEST EDITION OF U.S. PRODUCT STANDARDS PS-1 OR APA PRF-180 PERFORMANCE STANDARDS. ALL PANELS WHICH HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.
- PANEL ROOF, WALL AND FLOOR SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING. EXP 2 UNLESS OTHERWISE NOTED ON PLANS. SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.
- NAIL WALL SHEATHING WITH 4" COMMON NAILS AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND AT 4" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED ON PLAN.

5. ALL BEARING STUD WALLS SHALL HAVE SOLID BLOCKING AT MID-HEIGHT OR AS OTHERWISE NOTED ON BUILDING SECTIONS.

6. PREFABRICATED WOOD STRUCTURAL MEMBERS INCLUDING TRUSSES SHALL BE DESIGNED SPECIALLY FOR THIS PROJECT FOR A 150 MPH LATERAL LOAD (AWASCE 7-10 LATERAL LOAD AND SEALED BY A FLORIDA REGISTERED ENGINEER).

7. REVIEW ALL DRAWINGS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, ETC. TO ASCERTAIN LOADS FROM EQUIPMENT OPENINGS FOR DUCTS ETC. AND PROVIDE MODIFICATION TO TRUSSES IF REQUIRED TO SUPPORT SAME.

8. TRUSS LAYOUT AS SHOWN ON PLANS IS SCHEMATIC AND MAY BE MODIFIED WITH APPROVAL OF ENGINEER.

9. ALTHOUGH WEB LAYOUT MAY BE SHOWN ON PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO ACCEPT, APPROVE OR MODIFY AS REQUIRED FOR THE DESIGN PURPOSE.

10. WOOD TO WOOD FRAMED CONNECTIONS ARE TO BE MADE WITH BOLTS AND/OR JOIST HANGERS AS SHOWN. TOE-HAILING IS NOT PERMITTED.

11. MAX SPANS OF DIMENSIONAL LUMBER USED FOR JOCK RAFTERS AT HIPPED ROOF SECTIONS SHALL BE IN ACCORDANCE WITH SPAN TABLES FOR JOISTS AND RAFTERS AS PUBLISHED BY THE NATIONAL WOOD PRODUCTS ASSOC.

12. HIP RAFTERS SHALL BE 2 INCHES DEEPER THAN JACK RAFTERS.

13. ALL TRUSSES AND RAFTERS SHALL BE STRAPPED OR HURRICANE CLIPPED TO SUPPORTING MEMBERS AT ALL BEARING POINTS.

14. SECURE EACH ROOF TRUSS RAFTER TO TOP PLATE WITH SIMPSON HURRICANE CLIPS (OR EQUAL) AS INDICATED ON PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF TRUSSES TO ENGINEER TO VERIFY / MODIFY UP-LIFT CONNECTORS.

15. ALL EXTERIOR WALL FRAMING SHALL BE 2x4 OR 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. 7/16" OSB SHEATHING OR 1/2" CDX PLYWOOD PANELS SHOULD EXTEND TO THE TOP PLATE AND TO THE BOTTOM OF EXTERIOR GIRDERS OR SILL PLATE. NAIL PLYWOOD AT 3" O.C. AT ALL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED PER PLAN.

16. USE SIMPSON ST16 (OR EQUAL) RIDGE / RIDGE CONNECTORS OR SIMPSON RR STRAPS AT ALL RAFTER / RIDGE BEAMS OR AS INDICATED PER PLANS.

17. USE SIMPSON SP1 AND SP2 (OR EQUAL) TO SECURE STUDS TO BOTTOM AND TOP PLATES OR AS INDICATED PER PLAN.

18. USE TWO (2) SIMPSON LSTA21 (OR EQUAL) TO SECURE EACH BEAM HEADER BEARING END TO EACH SUPPORT OR AS INDICATED PER PLAN.

19. USE SIMPSON LSTA1 STRAP TIES (OR EQUAL) OR SIMPSON SP4 (OR EQUAL) AT TOP OF EACH EXTERIOR WINDOW AND DOOR FRAME OPENING OR AS INDICATED PER PLANS.

20. CUTTING NOTCHING BORED HOLES IN STUD WALLS, RAFTERS, ETC. SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017 RESIDENTIAL.

21. RIDGE BOARDS WHERE INDICATED ON FRAMING PLANS SHALL NOT BE LESS THAN 1" IN THICKNESS AND NOT LESS IN DEPTH THAN CUT END OF RAFTERS. RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AND NAILED TO RIDGE BOARD.

22. ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATES ETC. TO BE CONNECTED AS PER FLORIDA BUILDING CODE 2017 RESIDENTIAL.

23. AT OPENING IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS NOTED ON CHARTS ON STRUCTURAL S-2.

24. WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MINIMUM DBL OR TRIPLE STUDS DEPENDING ON BEAM WIDTH AND LOADS UNDER FOUNDATION.

25. AT AREAS WHERE TRUSSES REQUIRE HEADERS TO ADJACENT TRUSSES, PROVIDE HEADERS AS DETERMINED BY ACCEPTABLE ENGINEERING DESIGNS.

NUMBER	DATE	REVISION / DESCRIPTION

**Reynolds House**  
2928 E. Gonzalez Street  
reynolds.marga@gmail.com 908 247 0743

**Keystone Design LLC**  
5804 Gulf Rd Milton, FL 32583  
404-488-3564 tmark2000@gmail.com  
FL Arch # 98510, Arch Auth # 26003637

1/23/2020

SCALE: 1/4" unless noted

TML

**A.1**

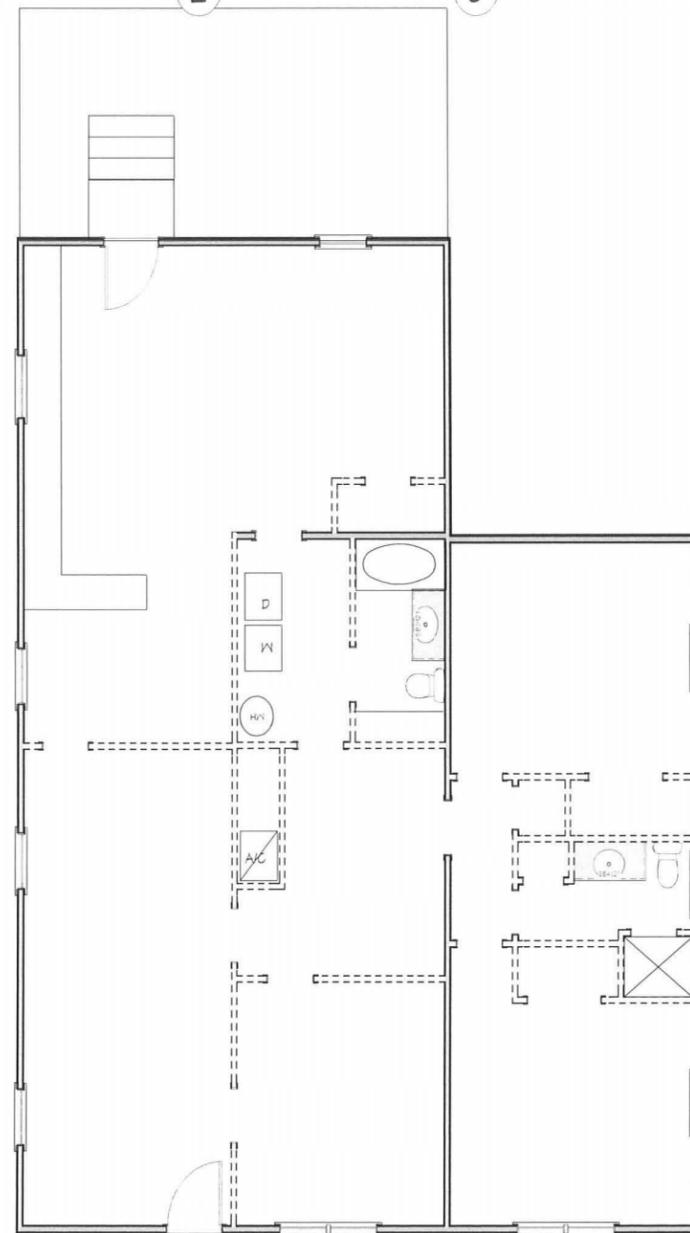


1 FRONT

2 FRONT/RIGHT

3 REAR

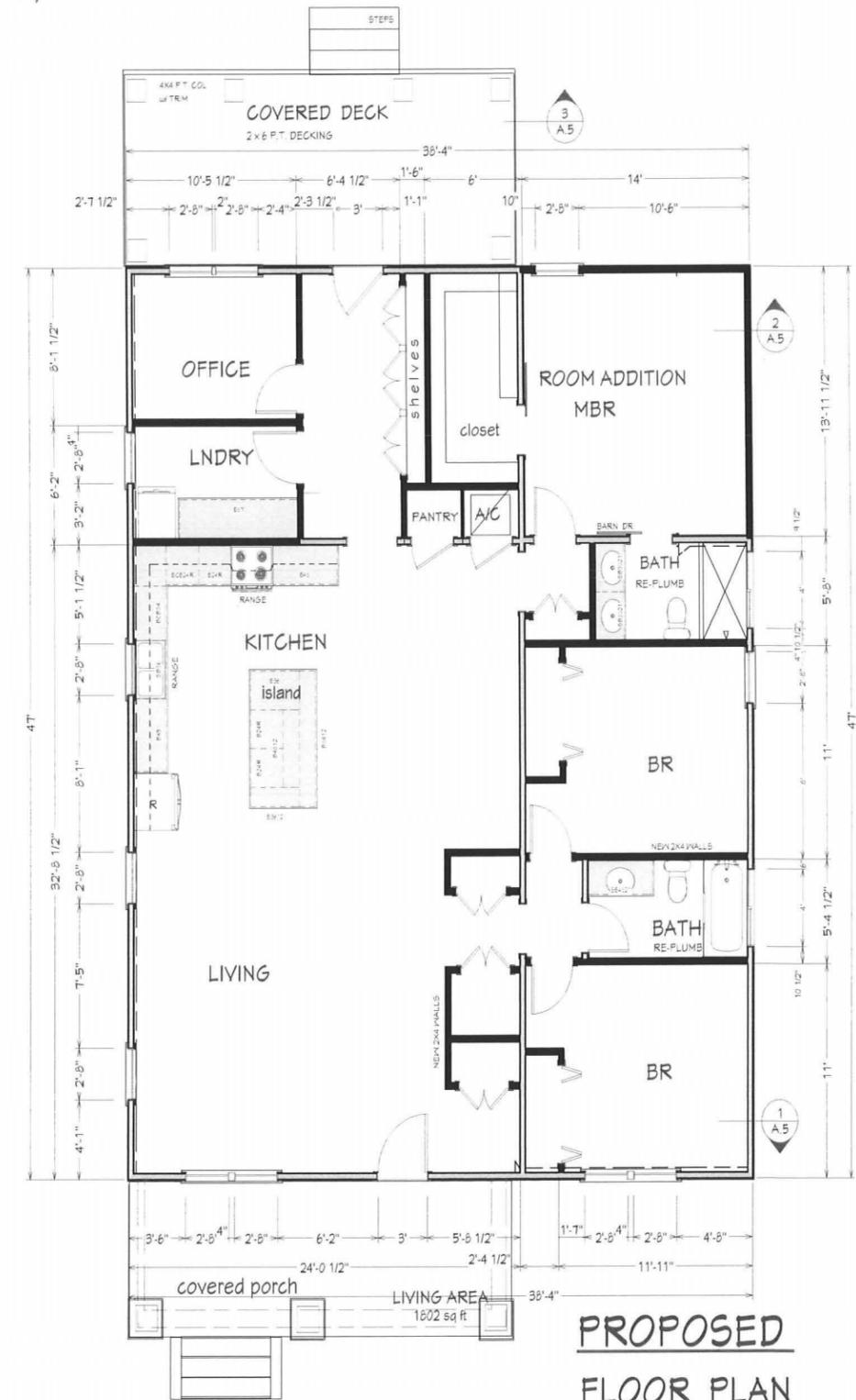
4 REAR/LEFT  
BEDROOM INFILL



LIVING AREA  
1604 sq ft

**DEMO / EXISTING  
FLOOR PLAN**

SCALE: 1'-0" = 1/4"



LIVING AREA  
1602 sq ft

**PROPOSED  
FLOOR PLAN**

SCALE: 1'-0" = 1/4"

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	DESCRIPTION

**Reynolds House**  
2928 E. Gonzalez Street  
reynolds.marga@gmail.com 908 247 0743

**Keystone Design LLC**  
5804 Gulf Rd Milton, FL 32583  
404-488-3504 tmark2000@gmail.com  
FL Arch # 98510 Arch Auth # 26003637

1/23/2020

SCALE: 1/4"  
unless noted

TML

**A.2**





**REAR**

SCALE 1'-0" = 1/4"



**RIGHT**

SCALE 1'-0" = 1/4"



**LEFT**

SCALE 1'-0" = 1/4"



**FRONT**

SCALE 1'-0" = 3/8"

**ELEVATIONS**

SCALE 1'-0" = 1/4"

NUMBER	DATE	REVISION TABLE	DESCRIPTION

**Reynolds House**  
 2928 E. Gonzalez Street  
 reynolds.marga@gmail.com 908 247 0743

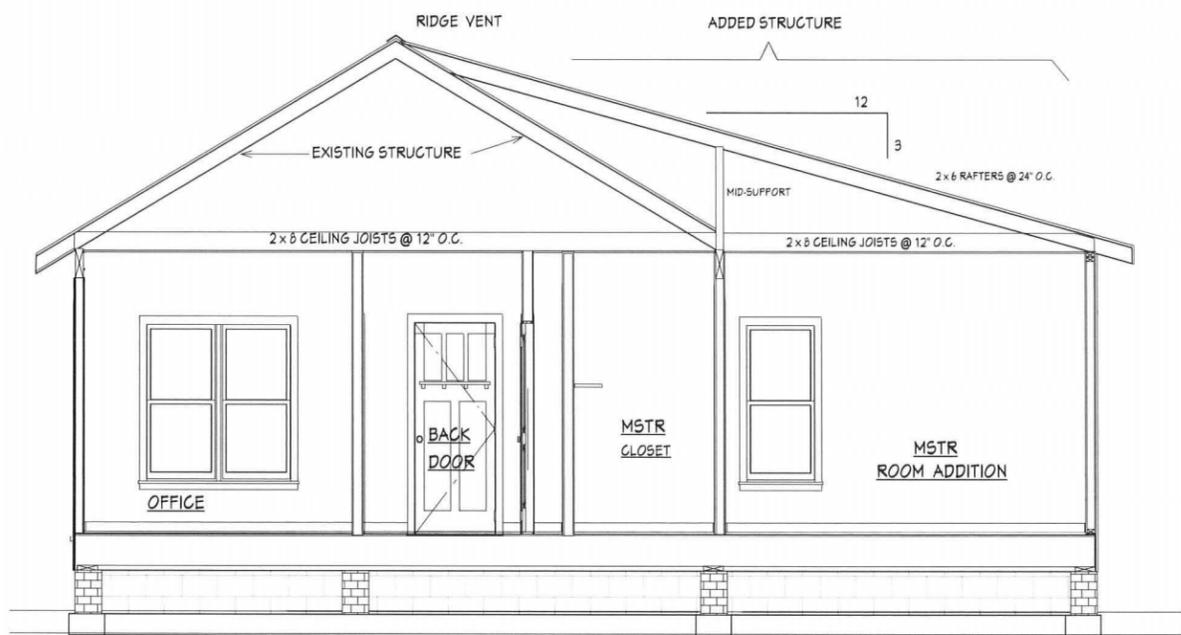
**Keystone Design LLC**  
 5804 Gulf Rd Milton, FL 32583  
 404-488-3564 tmark2000@gmail.com  
 FL Arch # 98510 Arch Auth # 26003637

1/23/2020

SCALE: 1/4"  
 unless noted

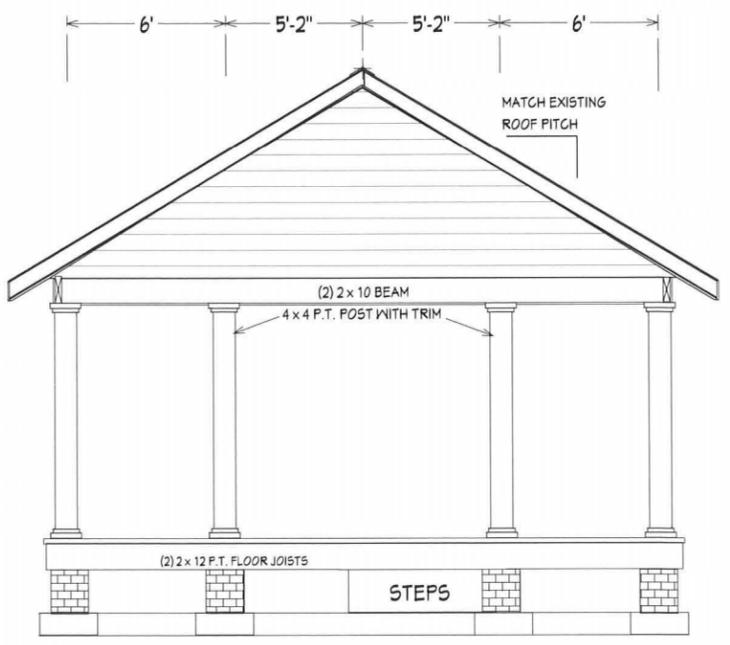
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**A.4**



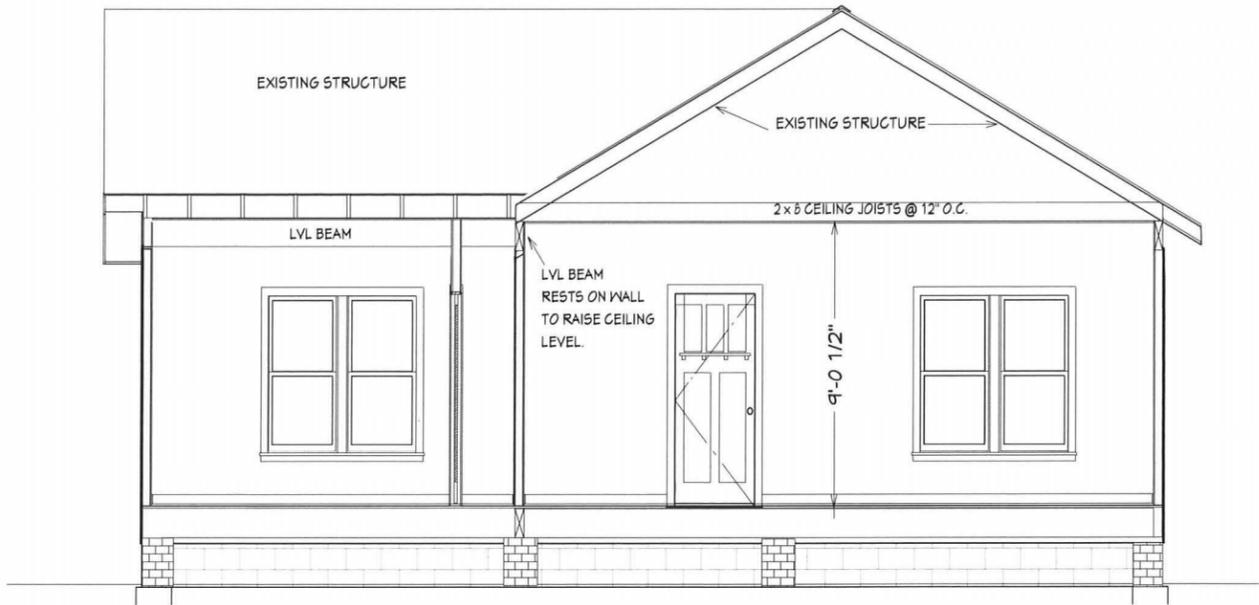
**ROOM ADDITION SECTION**

SCALE 1'-0" = 3/8"



**BACK PORCH SECTION**

SCALE 1'-0" = 3/8"



**BLDG SECTION @ FRONT WALL**

SCALE 1'-0" = 3/8"

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

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 reynolds.marga@gmail.com 908 247 0743

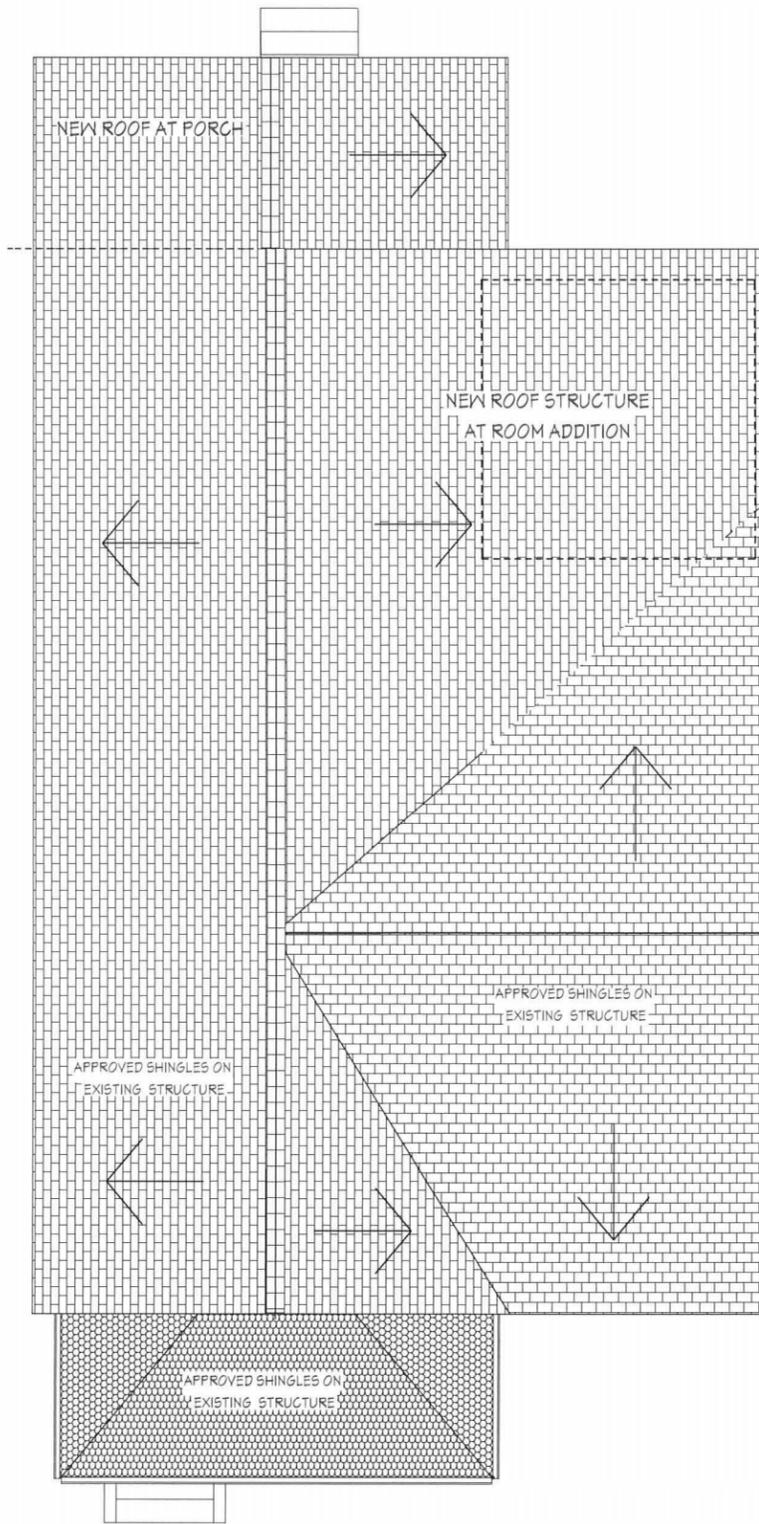
**Keystone Design LLC**  
 5804 Gulf Rd Milton, FL 32583  
 404-488-3564 tmark2000@gmail.com  
 FL Arch # 98510, Arch Auth # 26003637

1/23/2020

SCALE: 1/4" unless noted

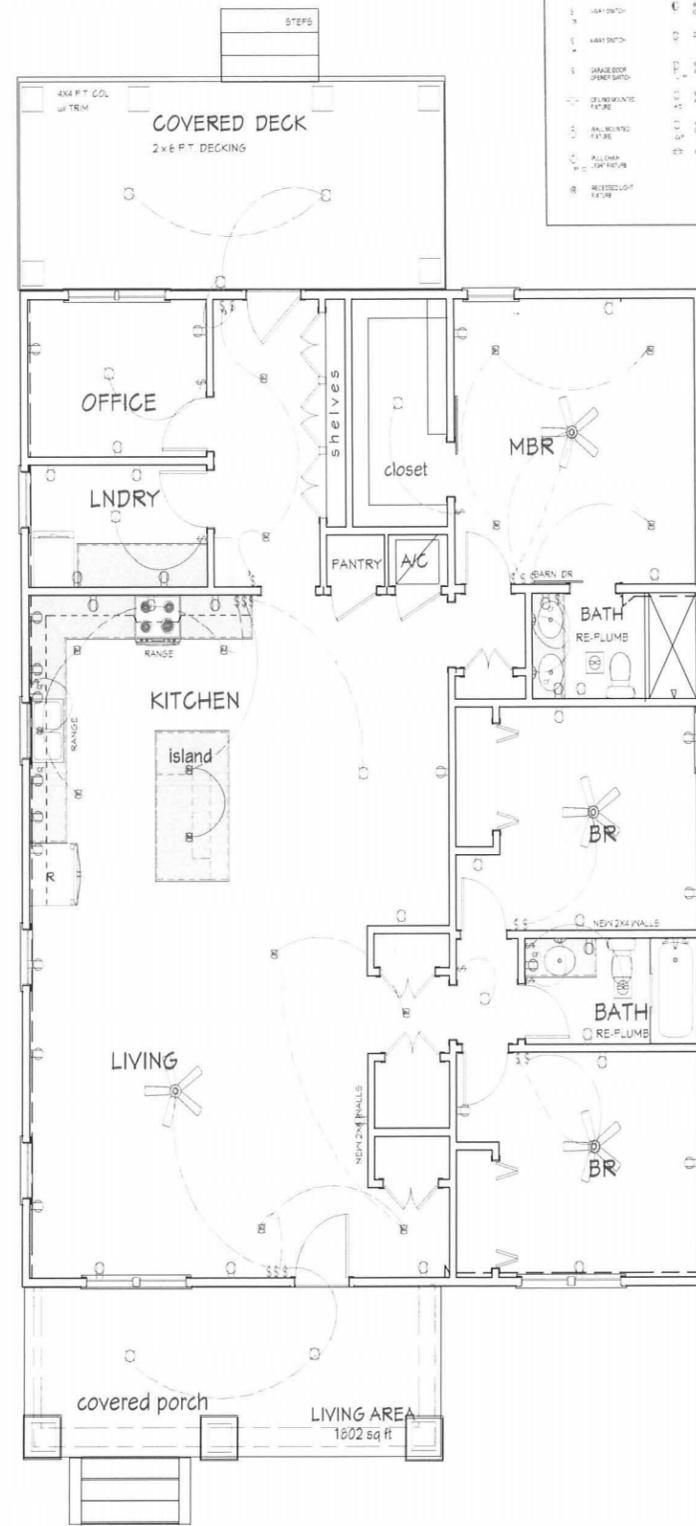
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**A.5**



**ROOF PLAN**

SCALE 1'-0" = 1/4"



**SYMBOL LEGEND**

1 SWITCH	2 HALL LIGHT	3 TOILET LIGHT/FAN
4 LIGHT SWITCH	5 HALL LIGHT SWITCH	6 REVERSE SWITCH
7 LIGHT SWITCH	8 DOWN LIGHT	9 HOLE BR
10 DIMMER SWITCH	11 DOWN LIGHT	12 LIGHT
13 DIMMER SWITCH	14 DOWN LIGHT	15 DOWN LIGHT
16 DOWN LIGHT	17 DOWN LIGHT	18 DOWN LIGHT
19 DOWN LIGHT	20 DOWN LIGHT	21 DOWN LIGHT
22 DOWN LIGHT	23 DOWN LIGHT	24 DOWN LIGHT
25 DOWN LIGHT	26 DOWN LIGHT	27 DOWN LIGHT
28 DOWN LIGHT	29 DOWN LIGHT	30 DOWN LIGHT
31 DOWN LIGHT	32 DOWN LIGHT	33 DOWN LIGHT
34 DOWN LIGHT	35 DOWN LIGHT	36 DOWN LIGHT
37 DOWN LIGHT	38 DOWN LIGHT	39 DOWN LIGHT
40 DOWN LIGHT	41 DOWN LIGHT	42 DOWN LIGHT
43 DOWN LIGHT	44 DOWN LIGHT	45 DOWN LIGHT
46 DOWN LIGHT	47 DOWN LIGHT	48 DOWN LIGHT
49 DOWN LIGHT	50 DOWN LIGHT	51 DOWN LIGHT
52 DOWN LIGHT	53 DOWN LIGHT	54 DOWN LIGHT
55 DOWN LIGHT	56 DOWN LIGHT	57 DOWN LIGHT
58 DOWN LIGHT	59 DOWN LIGHT	60 DOWN LIGHT
61 DOWN LIGHT	62 DOWN LIGHT	63 DOWN LIGHT
64 DOWN LIGHT	65 DOWN LIGHT	66 DOWN LIGHT
67 DOWN LIGHT	68 DOWN LIGHT	69 DOWN LIGHT
70 DOWN LIGHT	71 DOWN LIGHT	72 DOWN LIGHT
73 DOWN LIGHT	74 DOWN LIGHT	75 DOWN LIGHT
76 DOWN LIGHT	77 DOWN LIGHT	78 DOWN LIGHT
79 DOWN LIGHT	80 DOWN LIGHT	81 DOWN LIGHT
82 DOWN LIGHT	83 DOWN LIGHT	84 DOWN LIGHT
85 DOWN LIGHT	86 DOWN LIGHT	87 DOWN LIGHT
88 DOWN LIGHT	89 DOWN LIGHT	90 DOWN LIGHT
91 DOWN LIGHT	92 DOWN LIGHT	93 DOWN LIGHT
94 DOWN LIGHT	95 DOWN LIGHT	96 DOWN LIGHT
97 DOWN LIGHT	98 DOWN LIGHT	99 DOWN LIGHT
100 DOWN LIGHT	101 DOWN LIGHT	102 DOWN LIGHT

**ELECTRICAL**

SCALE 1'-0" = 1/4"

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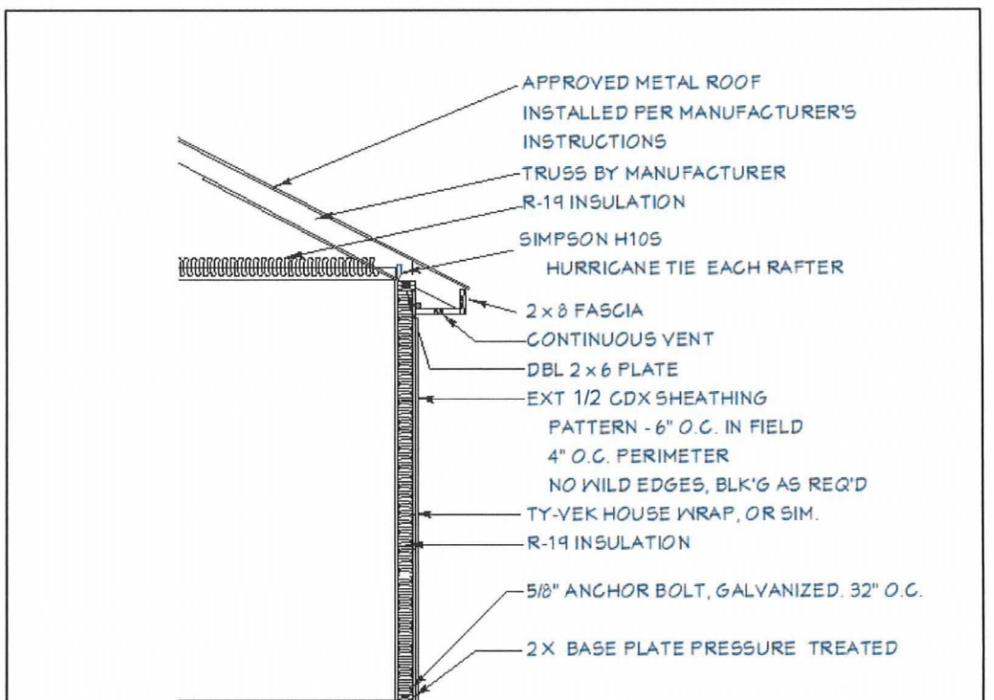
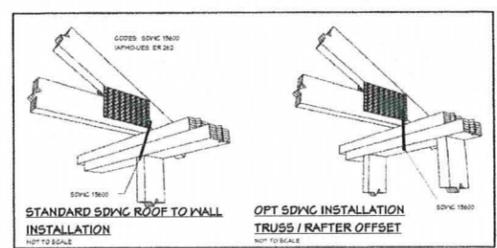
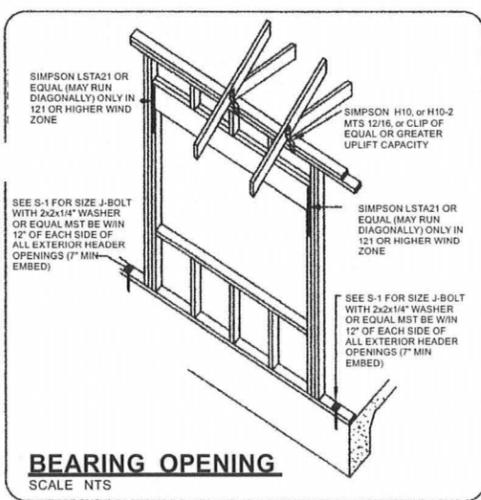
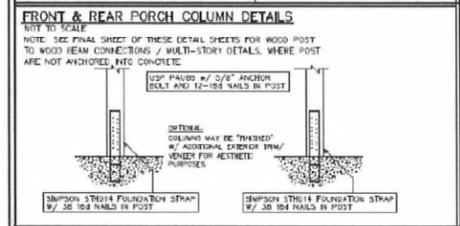
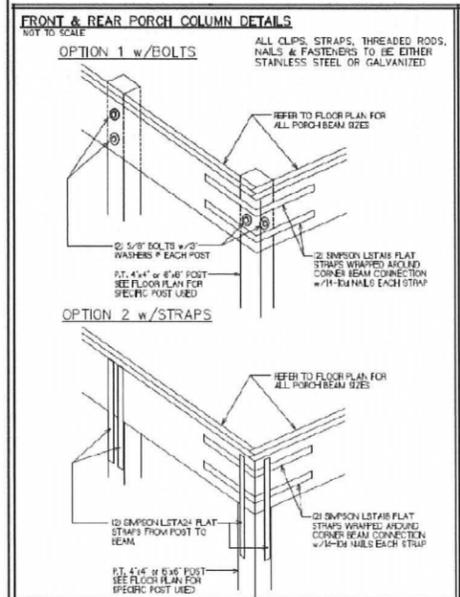
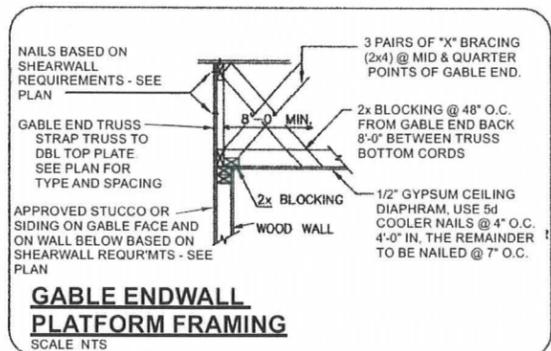
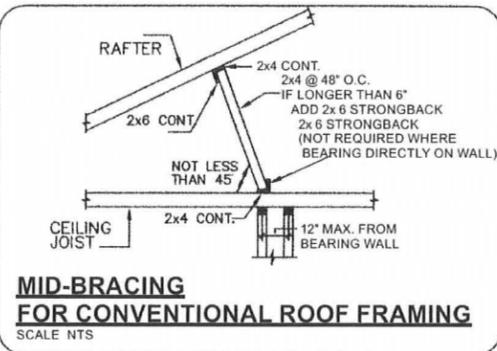
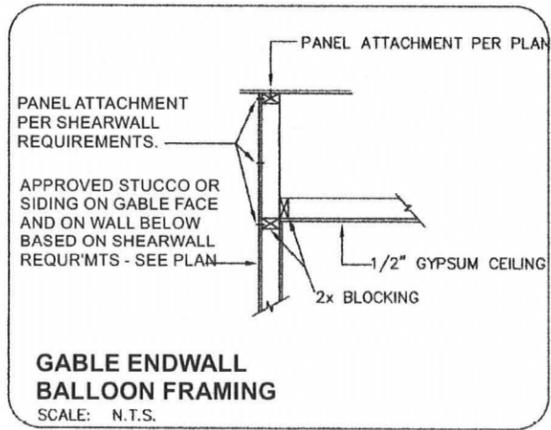
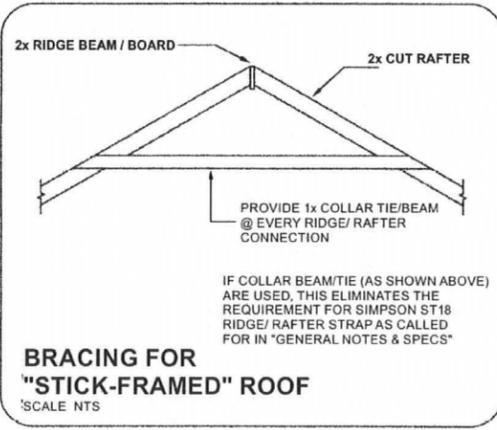
1/23/2020

SCALE: 1/4" unless noted

TML

**A.6**





ALL CLIPS, STRAPS, THREADED RODS, NAILS & FASTENERS TO BE EITHER STAINLESS STEEL OR GALVANIZED.

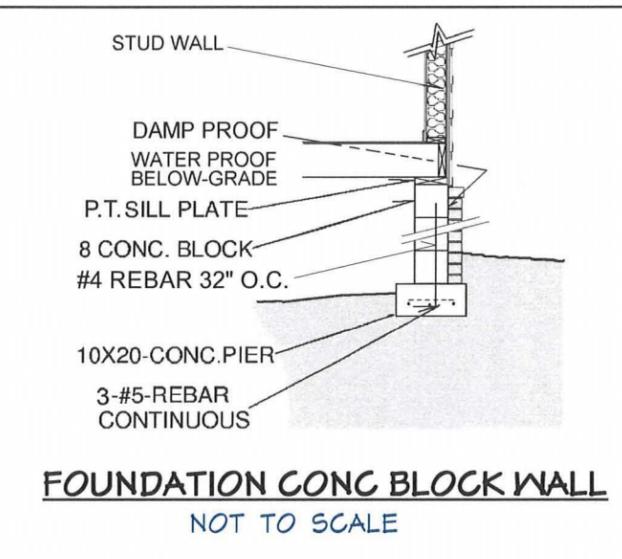
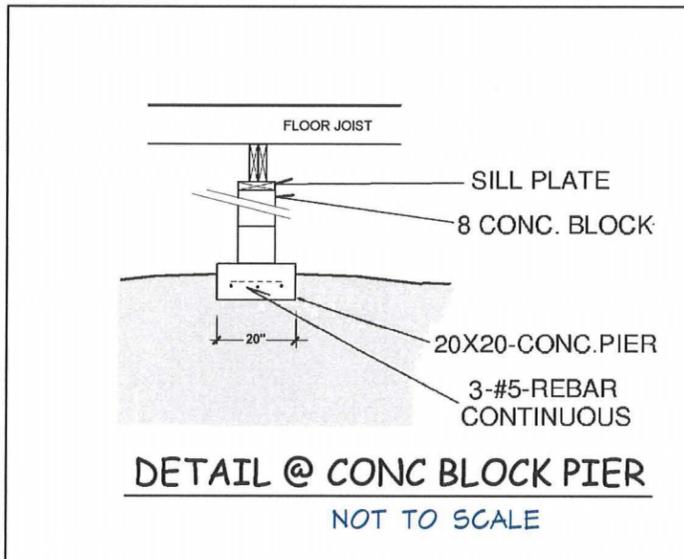
NOTE: 150 MPH ULTIMATE SPEED 116 MPH NOMINAL SPEED EXPOSURE "B"

APPROVED CONNECTORS			
THESE DETAIL SHEETS SPECIFY USP AND SIMPSON CONNECTORS THE FLORIDA BUILDING CODE PRODUCT APPROVAL NUMBER FOR EACH SPECIFIED CONNECTOR IS LISTED AS FOLLOWS:			
USP CONNECTORS	FBC APPROVAL NO.	SIMPSON CONNECTORS	FBC APPROVAL NO.
WTN20	FL820	WT520	FL10456
SPT14	FL821	SP4	FL10456
SPT8	FL821	SP6	FL10456
RT1	FL565	H2.54	FL10456
RT5	FL565	H10A	FL10456
USTA30	FL13285	H5	FL10456
USTA24	FL13285	ABU44	FL10849
PAU44	FL821	ABU46	FL10849
PAU66	FL821	ABU66	FL10849
LSTA36	FL13285	ABU88	FL10849
SPT44/76	FL821	SP2	FL10456
WTB16	FL820	H	FL10456
WST237	FL822	H5	FL10456
MS18	FL13285	HT520	FL10456
RS150	FL822	HTT16/22	FL11496
RS174	FL821	WTS30	FL10456
CMSTC16	FL817	MS174	FL10866
HGA10	FL818	HCT-1	FL10852
		HCT-2	FL10866
		STD10/14	FL14571
		ST22	FL10852
		CMST14	FL10852
		LOT2	FL14070
		TREN HD ANCHOR	FL11566
		SET EPDXY	FL11566

J-BOLT FOUNDATION ANCHOR — ASTM F1554 (36 KS)  
FOUNDATION ANCHOR NUT — ASTM A563  
FOUNDATION ANCHOR WASHER — ASTM F436

THREADED RODS, NUTS, WASHERS & COUPLERS SHALL HAVE MINIMUM ASTM A36 A307 GRADE C MATERIAL PRODUCED FROM 1008-1010 STEEL AND SHALL BE EITHER ZINC OR GALVANIZED (AW ASTM B633 OR ASTM A153 CLASS C RESPECTIVELY)

ALL CONNECTORS (SIMPSON OR USP) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS FOR MAXIMUM RESISTANCE.



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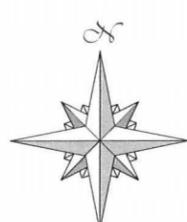
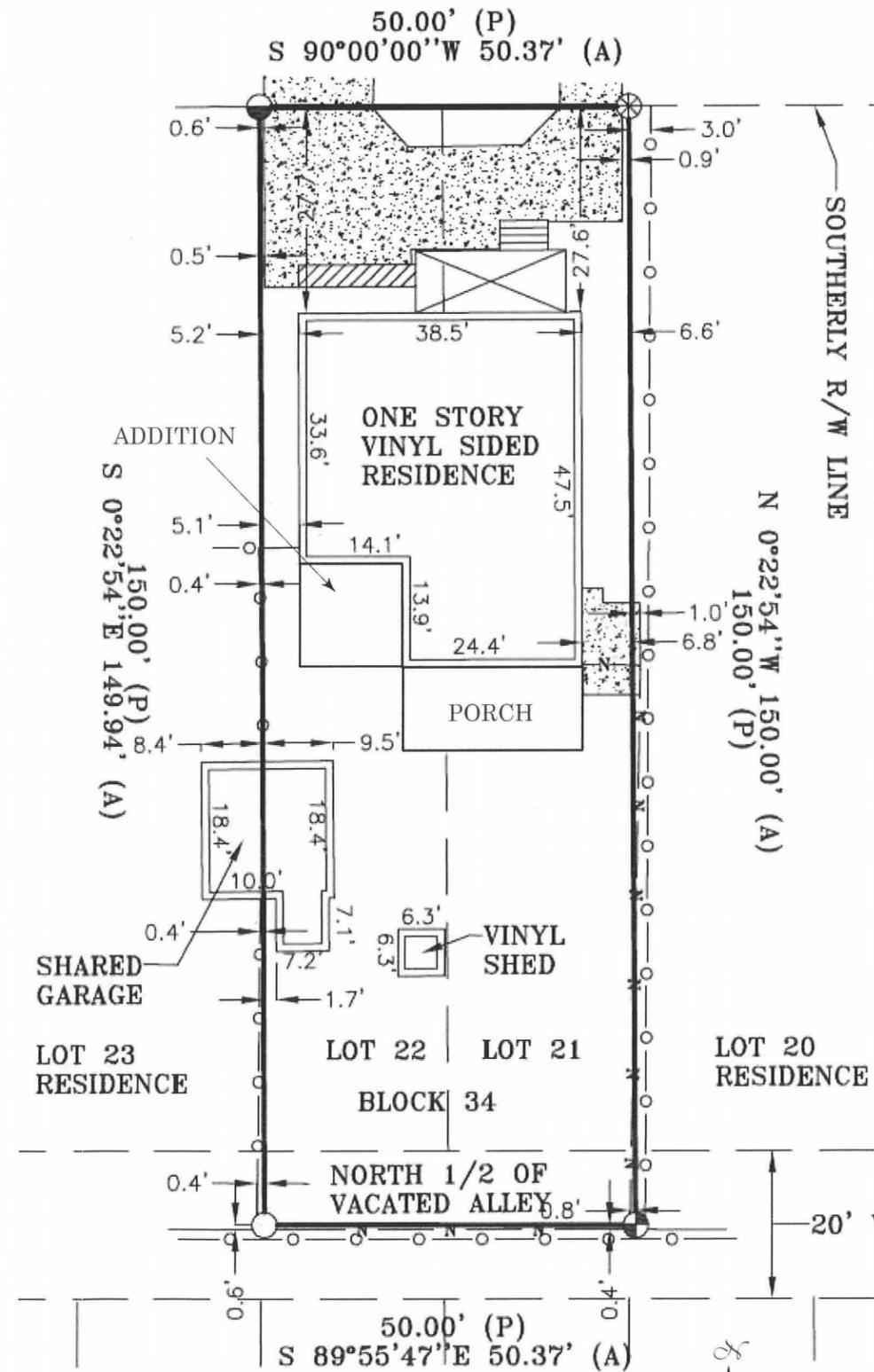
1/25/2020

SCALE: 1/4" unless noted

TML

A.8

# 2909 E. GONZALEZ STREET (60' RIGHT OF WAY)



## SITE PLAN

SCALE: 1" = 10'

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1/29/2020

SCALE: 1/4"  
unless noted

TML

A.9