



PLANNING SERVICES

The Zoning Board of Adjustment will conduct a public hearing on **Wednesday, February 19, 2020, at 3:00 P.M. in the Hagler-Mason Conference Room, Second Floor, Pensacola City Hall, 222 West Main Street**, Pensacola, Florida, to consider the request(s) listed below. The applicant(s), or authorized agent, must be present for the public hearing in order for the Board to act upon the request(s).

- 1) Quorum/Call to Order
- 2) Meeting Minutes from January 15, 2020.
- 3) **ZBA 2020-001** **2909 E. Gonzalez Street** **R-1AA**
Margarita Reynolds is requesting a Variance to reduce the west side building setback from 6 feet to 5.1 feet to accommodate a 14' x 14' addition.
- 4) Adjournment

ADDITIONAL INFORMATION:

SUBSEQUENT APPLICATION(S): If denied a variance by the Board, that request for a variance cannot be heard again for a period of one (1) year.

JUDICIAL REVIEW OF DECISION OF BOARD OF ADJUSTMENT: Per section 12-12-2 (D) of the City of Pensacola Land Development Code, any person or persons, jointly or severally, aggrieved by any decision of the board, or the city, upon approval by the city council, may apply to the circuit court of the First Judicial Circuit of Florida within thirty (30) days after rendition of the decision by the board. Review in the circuit court shall be by petition for writ of certiorari or such other procedure as may be authorized by law.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based.

If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Official that they have ten (10) days to remove or correct the violation.

ADA Statement: The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Zoning Board of Adjustment

MINUTES OF THE ZONING BOARD OF ADJUSTMENT

January 15, 2020

MEMBERS PRESENT: Vice Chairperson White, Board Member Del Gallo, Board Member Lonergan, Board Member Shelley, Board Member Stepherson, Board Member Wiggins, Board Member Williams

MEMBERS ABSENT: Chairperson Taylor, Board Member Sebold

STAFF PRESENT: Senior Planner Statler, Planning Technician Hargett, Assistant City Attorney Lindsay

OTHERS PRESENT: Calvin Wilson

1) CALL TO ORDER/QUORUM PRESENT

The Zoning Board of Adjustment (ZBA) was called to order at 3:00 p.m. by Vice Chairperson White with a quorum present. He then read the ZBA rules and instructions to the audience.

2) APPROVAL OF MINUTES November 20 and December 18, 2019

Senior Planner Statler revised the December 18, 2019 minutes zoning designation on ZBA 2019-11 to R-2 and page 3 "Chairperson Lonergan" changed to "Board Member Lonergan." Board Member Lonergan made a motion to approve with those changes, seconded by Board Member Del Gallo, and it carried unanimously.

3) ZBA 2019-11 4339 Private Pointe Drive R-2

This item was TABLED at the December 18, 2019 ZBA meeting.

Mohammed Rahman is requesting a Variance to reduce the rear setback for an accessory structure from 3.0 feet to 2.0 feet to accommodate a pool enclosure.

Mr. Kahn, a structural engineer, presented to the Board. He presented their plan showing the existing and proposed structure which would collect the debris, since the neighbor was concerned with debris flowing onto her property. He advised there would be a constructed opening where they could clean out the system.

Mr. Wilson, the neighbor to the rear, addressed the Board and stated this was not a debris issue but a setback violation which began two years ago. He advised he had worked with Mr. Weekley and Mr. Bilby with City Inspections. He suggested this might be one of those occasions where one would ask for forgiveness rather than

permission; permits were not obtained for this job initially or secondarily. He explained this was not about 1' but more than 1' of variation, with the least being 14.5" and it was actually 16.5" that was being requested. He stated the real issue was the protection constructed to keep debris out of the pool area while still being able to keep the water feature. He pointed to item 5 of the Variance Criteria concerning the minimum necessary, and this was a 56' long birdcage. He indicated his entire lot was 50' and you would not need to attach to the wall to allow the water feature to exist. He pointed out the original structure was designed to come straight down to the pool deck, whereas the new design was connecting to the top of the wall. He suggested bringing it straight down and attaching to the water feature at the corner which would eliminate the debris problem. He explained the setback was what they needed to buffer the large screening on such a small lot. He was also concerned with his property value, and there was a more minimalistic solution than what was being presented which would be to come down and across. He pointed out the wall was not all the same height, with the columns having different tops and bottoms. There was also an arch at the water feature and asked were they coming down 1' from the lowest or highest portion of the wall. He stated after the last Board meeting, eight attachments were removed, leaving two. He emphasized the remaining braces needed to come down lower, but the drawing measurements were not accurate, with the wall itself not being 24" but 13" wide. He also provided a drawing illustrating his measurements which would allow for the water feature without the wall attachments and stressed he had never seen a birdcage which attached to a wall. He explained at the last Board meeting, the conversation centered around the debris problem, but the original complaints made to Mr. Weekley and later to Mr. Bilby were both about setbacks; if the setback was honored, the debris was no issue. By giving access to the wall, the debris becomes an issue. If they come down the frame and come across, from his property, it would look as if it did not attach to the wall.

Senior Planner Statler advised the required rear setback was 3'. Board Member Del Gallo indicated the column of the wall was 2' thick but according to the survey, the largest part of the wall was 1/10th of a foot off the property line. According to Mr. Bilby, once the braces were removed, the birdcage or pool enclosure would be in compliance with the setbacks, so there was no need for a variance for the structure to remain where it is; the problem would be the angular braces; they were just bridging from the wall to the pool enclosure with some type of structure. Vice Chairperson White explained there was definitely a 1' variance to the wall for the proposed compromise to catch the debris. Staff stated what Mr. Wilson was offering actually reduced the request further, so it really only covered the area of the water feature; the only area in question would be the water feature area. When the Board was granting a variance, it was not reducing the entire setback length of the property line but reducing it for that particular encroachment. Mr. Wilson explained this would be a permanent structure and a part of the house; it was clarified that this was an accessory structure, with the wall allowed to be in the setback. Mr. Wilson pointed out with the birdcage connected all the way around, it became a part of the home. With no additional questions for Mr. Wilson, Mr. Kahn again pointed to the drawings and the ability to catch the debris.

Board Member Del Gallo made a motion to approve the applicant's request that as he brings the screen down on his columns to a level that is 12" below the top of the walls, makes his connections back to the wall, comes up to the water feature, stops and starts again on the other side of the water feature so there is a gap at the water feature, was his motion. Board Member Lonergan seconded the motion. Board Member Shelley agreed it was a way to accommodate the people who live in this community, since every property and situation was different. He believed the applicant's engineer had considered the Board's comments and had redrawn the submittal for a compromise, and he believed it was really close to what Mr. Wilson was describing. Not only would you not see it, but it would capture the debris on their side of the fence. Board Member Wiggins also supported the request since the tubing was connected and prevented debris from falling into the Wilsons' yard and should be more visually appealing as well. Board Member Lonergan stated there was due diligence to find a compromise visually, and to otherwise dictate what happens on the other side of the wall; it doesn't affect passage of light or air and was a much better solution than what the Board observed last week which disrupted multiple properties. The motion then carried unanimously. Board Member Del Gallo addressed the two remaining angle braces which were in violation and wanted to make sure Mr. Bilby would have those removed.

4) Election of Chairman and Vice-Chairman

Board Member Del Gallo nominated Vice Chairperson White as Chairperson, and Board Member Shelley nominated Board Member Del Gallo as Vice Chairperson and both nominations carried unanimously.

DISCUSSION – None

ADJOURNMENT -

There being no further business, the meeting adjourned at 3:41 p.m.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Lester" or "Lester Statler".

Senior Planner Statler
Secretary to the Board



PLANNING SERVICES

Zoning Board of Adjustment

MEMORANDUM

TO: Members, Zoning Board of Adjustment

FROM: Leslie Statler, Senior Planner *LS*

DATE: February 12, 2020

SUBJECT: ZBA 2020-001
2909 E. Gonzalez Street
R-1AA

BACKGROUND

Margarita Reynolds is requesting a Variance to reduce the west side setback from 6.0 feet to 5.1 feet to accommodate a 14 x14 addition. The applicant is proposing to construct an addition to the southwest area of the existing residence. The existing residence is located 5.1 feet from the property line. The request would allow the proposed addition to align with the west side of the structure.

Attached you will find all materials as submitted attached for your review and consideration.

2909 E. Gonzalez Street



- ☒ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Sec 12-2-4(E)/Table 12-2.2 Zoning R-1AA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 2909 E. Gonzalez Street, Pensacola FL 32503
 Current use of property: Single Family Residential

1. Describe the requested variance(s): Construct a 14 foot by 14 foot addition on west side of the home that will come within 4 feet of the property line instead of the 5 foot setback. This addition will follow the home's current setback from the west property line.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:
The home was built in the 1930's under different building codes and setbacks.

Actual Request
 ↓
 Reduce from 6.0' to 5.1'

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The extra 1 foot will allow for better distribution of indoor living and sleeping space, also additional indoor closet storage.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The addition, continuing the home's line front to back, will be continuous adding aesthetic congruity, appearing to be part of the original 1930's building. Besides the "curb appeal", this will increase the value of surrounding properties.

5. Explain what other condition(s) may justify the proposed variance(s):

Without the variance I will indent the exterior wall by 1 foot. This will detract the building cohesiveness Neighborhood aesthetics.

Application Date: 01-29-2020

Applicant: Margarita M. Reynolds

Applicant's Address: 425 Jefferson Avenue, Westfield NJ 07090


Email: reynolds.marga@gmail.com Phone: 908-247-0743

Applicant's Signature: 

Property Owner: Margarita M. and Philip E. Reynolds

Property Owner's Address: 425 Jefferson Avenue, Westfield NJ 07090

Email: reynolds.marga@gmail.com Phone: 908-247-0743

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



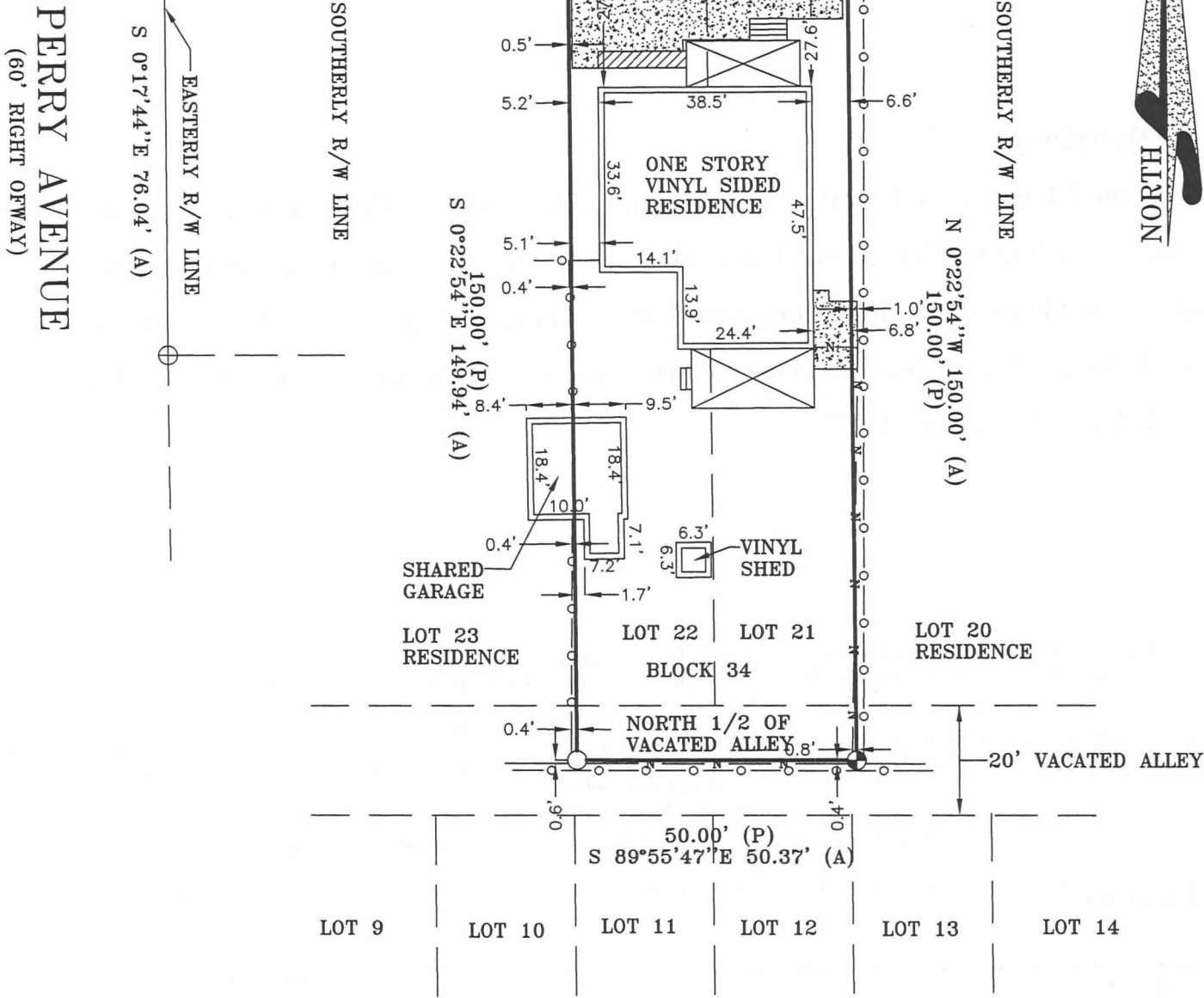
8192 SIX PENCE DRIVE
PENSACOLA, FLORIDA, 32514



(850) 433-8545
FAX (850) 433-8282
LANDSENDSURVEYING.COM

Field Date: 12-4-2019	Survey Type: BOUNDARY & IMPROVEMENTS	Survey Number: 1248-2019
Field Book/Page: 355/75	Revisions:	Scale: 1" = 30'

2909 E. GONZALEZ STREET
(60' RIGHT OF WAY)



PAGE 1 OF 2

DRAWN BY CHIP EVANS

THE SETBACK LINES AND/OR EASEMENTS SHOWN HEREON, IF ANY, ARE PER INFORMATION FOUND IN THE RECORDED PLAT OF SAID SUBDIVISION OR ARE AS PROVIDED BY THE CLIENT, DESIGNER, BUILDER, TITLE COMPANY, COUNTY OR S.R.I.A. AND SHOULD BE VERIFIED WITH APPROPRIATE ENTITIES.

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NOTE: This map is not complete or valid without report on page 2 of 2

Bearing Reference: HELD THE SOUTHERLY R/W LINE OF GONZALEZ STREET AS S 90°00'00"W		Source of Information: FIELD EVIDENCE & RECORDED PLAT	
Closure Information:			
NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. SEE PAGE 2 FOR SIGNATURE AND EMBOSSED SEAL LARRY E. STEGALL P.L.S., FLA #4747 LB # 6832	LEGEND ° Degree ' Feet or Minutes ' Inches or Seconds N North, E East S South, W West PCP Permanent Control Point PRC Point of Reverse Curve PCC Point of Compound Curve PC Point of Curvature PT Point of Tangency PI Point of Intersection POC Point of Commencement POB Point of Beginning R/W Right of Way PRM Permanent Reference Monument	R Radius RP Radius Point BENCHMARK (SEE NOTES) <0.0> Existing Spot Elevation BSL Building Setback Line (D) Deed (P) Plat (A) Actual Field Measurement (CALC) Calculated Measurement ⊙ Existing Hole in Concrete ⊙ Existing "X" Cut, ⊙ Set "X" Cut ⊙ 1/2" Metal Rod-Found ⊕ Existing 1/2" Capped Metal Rod #7174 ⊕ Existing 1/2" Capped Metal Rod #5791 ⊕ Existing 1/2" Capped Metal Rod #5863 ⊕ Existing 1/2" Capped Metal Rod #3774 ⊙ 1" Metal Pipe-Found ⊕ Set 1/2" Capped Metal Rod #6832	▲ Nail & disk found ▲ Nail Only ⊙ Nail & disk set Lb.6832 ⊕ Existing Concrete Monument ⊕ Set Wooden Hub/Tall Stake ⊙ Utility Pole ⊕ Meter E-E-E Utility wires overhead N-N-N Chain link fence ⊙-⊙-⊙ Wooden fence X-X-X Metal Fence □-□-□ Plastic Fence Concrete or Pavement Wood Deck or Dock Covered area (porch, carport, etc.) Pavers or Brick

GENERAL NOTES & SPECIFICATIONS

DESIGN CRITERIA

FLORIDA BUILDING CODE 2017 RESIDENTIAL
2018 NFPA 101
2017 NATIONAL ELECTRICAL CODE
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318
BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES ACI 531
AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION

DESIGN LIVE LOADS

ROOF 20 PSF
FLOORS 40 PSF
LATERAL WIND FORCES 150 MPH ASCE 7-10 EXPOSURE B

1ST STORY DESIGN WIND PRESSURE 43 PSF -47 PSF
2ND STORY DESIGN WIND PRESSURE 52 PSF -60 PSF

WINDOWS WITHIN 6'-0" OF CORNERS DESIGN WIND PRESSURE -44 PSF

GARAGE DESIGN WIND PRESSURE +30.00 PSF, 33.50 PSF

DESIGNED FOR ENCLOSED BUILDING

STRUCTURAL CATEGORY II

IMPORTANCE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT +0.18 to -0.18

COMPONENTS & CLADDING SHALL BE DESIGNED AND INSTALLED (BY OTHERS) TO COMPLY WITH THE FLORIDA BLDG CODE 2017 RESIDENTIAL

APPROVED SHUTTERS OR IMPACT RESISTANT GLAZING REQUIRED
IMPACT RESISTANT GLAZING REQUIRED ABOVE 2 STORIES

CONCRETE NOTES

- ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- CONCRETE OPERATIONS SHALL COMPLY WITH A.C.I. STANDARDS.
- CONCRETE COMPRESSIVE STRENGTH 3000 PSI MINIMUM AT 28 DAYS.
- REINFORCING BARS: ASTM A615 GRADE 60 FOR TWO AND THREE STORY GRADE 40 FOR ONE STORY.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM #66.
- REINFORCING BARS PLACING ACCESSORIES IN ACCORDANCE WITH CRSI SPECIFICATIONS.
- CONCRETE COVERAGE FOR REINFORCEMENT SHALL BE AS FOLLOWS: (PER SECTION 7.7 ACI 318 LATEST EDITION)
ALL CONCRETE FORMED AGAINST GROUND 3"
SIDES AND BOTTOMS OF GRADE BEAMS 3"
WALLS AND SIDES OF BEAMS ABV GRADE 1.5"
EARTH SUPPORTED SLAB 4" THICK REINFORCED WITH 6x6xW14xW14 W.W.T. THE SLAB SHALL BE PLACED OVER POLYETHYLENE VAPOR BARRIER OF NOT LESS THAN 0.06 INCH NOMINAL THICKNESS. IN LIEU OF WELDED WIRE FABRIC CONCRETE SLAB CAN BE TREATED WITH SYNTHETIC REINFORCING FIBERS AS MANUFACTURED BY FIBERMESH CO. AND IN ACCORDANCE W/ ASTM STANDARD SPECS FOR FIBER REINFORCED CONCRETE AND SHOTCRETE C1111. THE DOSAGE RATE SHALL BE ONE AND ONE HALF (1 1/2) LBS OF FIBERS PER CUBIC YARD OF CONCRETE.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A306 AND SHALL BE 3/8" DIAM W/ MIN 7" EMBEDMENT DEPTH IN CONCRETE AND CMU BLOCKS AND SHALL BE AT A MAXIMUM SPACING OF 32" O.C.
- DETAIL REINFORCING IN ACCORDANCE TO A.C.I. 318. REINFORCING SHALL NOT BE WELDED EXCEPT AS SHOWN WHERE ASTM A708 BARS ARE USED.

MASONRY NOTES

- HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON THE NET AREA AND 1000 PSI ON THE GROSS AREA (FM = 150 PSI).
- ALL MORTAR FOR MASONRY SHALL CONFORM TO ASTM C270 TYPE "M" OR "S". ALL GROUT FOR USE IN MASONRY SHALL CONFORM TO ASTM C476 MINIMUM 2500 PSI AT 28 DAYS.
- ALL VERTICAL REINFORCEMENT IN MASONRY SHALL HAVE L.S.S.C. TENSION LAPS.
- REINFORCING IN MASONRY WALL FOOTINGS SHALL BE CONTINUOUS.

GENERAL CONSTRUCTION

- DO NOT SCALE DRAWINGS.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF CONCRETE BLOCK OR WOOD STUDS (UNLESS NOTED).
- PROVIDE TEMPORARY SETTLING BASINS, HAYBALES AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF EACH DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- LANDSCAPING TO BE PROVIDED BY OTHERS.
- CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, ETC. W/ PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPETS, PANELING, FLOOR FINES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE AND PAINT THEIR COLORS, PATTERNS AND TEXTURES ARE TO BE SELECTED BY OTHERS (UNLESS NOTED).
- PVC SCHEDULE 40 IS PERMITTED FOR USE IN SOIL WASTE VENTING AND WATER SUPPLY FOR PIPE SIZES UP TO 4" DIAM. FITTINGS SHALL BE THE SAME SCHEDULE AS THE LINES.
- DOMESTIC WATER LINES SHALL BE 1/2" COPPER WITH SOLDER JOINTS INSTALLED WITHIN IMPERVIOUS SLEEVE WHEN PLACED IN SOIL.
- ALL WATER LINES IN UNHEATED OPEN AREAS SHALL BE INSULATED.
- ALL WATER PIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY SECURED IN OR ON WALL OF PIPE CHASE BEHIND FIXTURES.
- OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY OBSTRUCTIONS. ALL ROOF PENETRATIONS WHERE PRACTICAL TO BE ON BACKSIDE OF RIDGE AWAY FROM THE FRONT.
- PROVIDE 110 VOL APPROVED SMOKE DETECTORS IN ACCORDANCE WITH APPLICABLE CODES.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE AND OR CABLE TV.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN TO BE PROVIDED BY OTHERS AND SHALL MEET OR EXCEED ALL APPLICABLE BUILDING CODES.
- WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT SHALL NOT EXCEED A MAX OF 44" ABV FINISHED FLOOR.

TIMBER NOTES

- STRUCTURAL TIMBER SHALL BE #2 SOUTHERN YELLOW PINE (M.C. 19%) LODGE POLE OR APPROVED (BY STRUCTURAL ENGINEER) EQUAL UNLESS OTHERWISE NOTED ON DRAWINGS WITH ALLOWABLE STRESSES AS FOLLOWS:
BENDING STRESS 1,200 PSI 1,050 PSI
SHEAR STRESS 90 PSI 70 PSI
COMPRESSION STRESS PARALLEL TO GRAIN 1,000 PSI 700 PSI LODGE POLE
MODULUS OF ELASTICITY 1,600,000 PSI 1,200,000 PSI

- STRUCTURAL GLUE LAMINATED TIMBER SHALL BE VISUALLY GRADED SOUTHERN PINE WITH THE FOLLOWING MIN ALLOWABLE STRESSES:
BENDING STRESS 2,400 PSI
SHEAR STRESS 200 PSI
MODULUS OF ELASTICITY 1,800,000 PSI

- STRUCTURAL PARALLAM BEAMS ALL SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
BENDING STRESS 2,900 PSI
SHEAR STRESS 290 PSI
MODULUS OF ELASTICITY 2,000,000 PSI

- PLYWOOD SHEATHING
A. EACH CONSTRUCTION AND INDUSTRIAL PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE AMERICAN PLYWOOD ASSOC. AND SHALL MEET THE REQUIREMENTS OF THE LARGEST EDITION OF U.S. PRODUCT STANDARDS PS-1 OR APA PRF-180 PERFORMANCE STANDARDS. ALL PANELS WHICH HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.

- PANEL ROOF, WALL AND FLOOR SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING.
EXP 2 (UNLESS OTHERWISE NOTED ON PLANS) SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.
C. NAIL WALL SHEATHING WITH 80 COMMON NAILS AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND AT 4" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED ON PLAN.

- ALL BEARING STUD WALLS SHALL HAVE SOLID BLOCKING AT MID-HEIGHT OR AS OTHERWISE NOTED ON BUILDING SECTIONS.

- PREFABRICATED WOOD STRUCTURAL MEMBERS INCLUDING TRUSSES SHALL BE DESIGNED SPECIALLY FOR THIS PROJECT FOR A 150 MPH LATERAL LOAD (AWASCE 7-10 LATERAL LOAD AND SEALED BY A FLORIDA REGISTERED ENGINEER).

- REVIEW ALL DRAWINGS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, ETC. TO ASCERTAIN LOADS FROM EQUIPMENT OPENINGS FOR DUCTS ETC. AND PROVIDE MODIFICATION TO TRUSSES IF REQUIRED TO SUPPORT SAME.

- TRUSS LAYOUT AS SHOWN ON PLANS IS SCHEMATIC AND MAY BE MODIFIED WITH APPROVAL OF ENGINEER.

- ALTHOUGH WEB LAYOUT MAY BE SHOWN ON PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO ACCEPT, APPROVE OR MODIFY AS REQUIRED FOR THE DESIGN PURPOSE.

- WOOD TO WOOD FRAMED CONNECTIONS ARE TO BE MADE WITH BOLTS AND/OR JOIST HANGERS AS SHOWN. TOE-NAILING IS NOT PERMITTED.

- MAX SPANS OF DIMENSIONAL LUMBER USED FOR JACK RAFTERS AT HIPPED ROOF SECTIONS SHALL BE IN ACCORDANCE WITH SPAN TABLES FOR JOINTS AND RAFTERS AS PUBLISHED BY THE NATIONAL WOOD PRODUCTS ASSOC.

- HIP RAFTERS SHALL BE 2 INCHES DEEPER THAN JACK RAFTERS.

- ALL TRUSSES AND RAFTERS SHALL BE STRAPPED OR HURRICANE CLIPPED TO SUPPORTING MEMBERS AT ALL BEARING POINTS.

- SECURE EACH ROOF TRUSS, RAFTER TO TOP PLATE WITH SIMPSON HURRICANE CLIPS (OR EQUAL) AS INDICATED ON PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF TRUSSES TO ENGINEER TO VERIFY / MODIFY UP-LIFT CONNECTORS.

- ALL EXTERIOR WALL FRAMING SHALL BE 2x4 OR 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. 7/16" OSB SHEATHING OR 1/2" CDX PLYWOOD PANELS SHOULD EXTEND TO THE TOP PLATE AND TO THE BOTTOM OF EXTERIOR GIRDERS OR SILL PLATE. NAIL PLYWOOD AT 3" O.C. AT ALL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED PER PLAN.

- USE SIMPSON ST16 (OR EQUAL) RIDGE / RIDGE CONNECTORS OR SIMPSON RR STRAPS AT ALL RAFTER / RIDGE BEAMS OR AS INDICATED PER PLANS.

- USE SIMPSON SP1 AND SP2 (OR EQUAL) TO SECURE STUDS TO BOTTOM AND TOP PLATES OR AS INDICATED PER PLAN.

- USE TWO (2) SIMPSON LSTA21 (OR EQUAL) TO SECURE EACH BEAM HEADER BEARING END TO EACH SUPPORT OR AS INDICATED PER PLAN.

- USE SIMPSON LSTA21 STRAP TIES (OR EQUAL) OR SIMPSON SP4 (OR EQUAL) AT TOP OF EACH EXTERIOR WINDOW AND DOOR FRAME OPENING OR AS INDICATED PER PLANS.

- CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, ETC. SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017 RESIDENTIAL.

- RIDGE BOARDS WHERE INDICATED ON FRAMING PLANS SHALL NOT BE LESS THAN 1" IN THICKNESS AND NOT LESS IN DEPTH THAN CUT END OF RAFTERS. RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AND NAILED TO RIDGE BOARD.

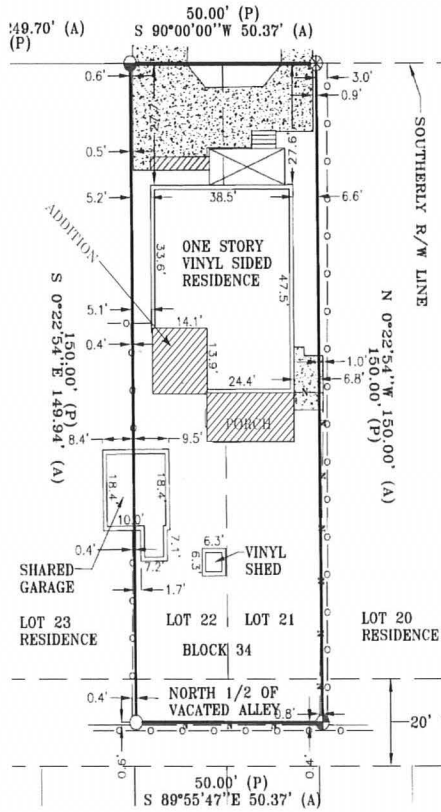
- ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATES ETC. TO BE CONNECTED AS PER FLORIDA BUILDING CODE 2017 RESIDENTIAL.

- AT OPENING IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS NOTED ON CHARTS ON STRUCTURAL S-2.

- WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MINIMUM DBL OR TRIPLE STUDS DEPENDING ON BEAM WIDTH AND LOADS UNDER FOUNDATION.

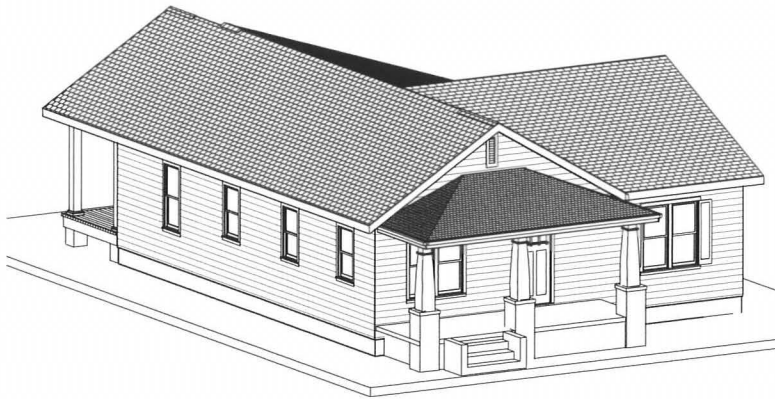
- AT AREAS WHERE TRUSSES REQUIRE HEADERS TO ADJACENT TRUSSES, PROVIDE HEADERS AS DETERMINED BY ACCEPTABLE ENGINEERING DESIGNS.

2909 E. GONZALEZ STREET
(60' RIGHT OF WAY)



SITE PLAN

SCALE: 1" = 20'



SCOPE OF PROJECT

WHOLE HOUSE RENOVATION.
ROOM ADDITION
REDO BACK PORCH

LIST OF DRAWINGS

- COVER SHEET
- FOUNDATION
- FLOOR PLAN
- SCHEDULES
- ELEVATIONS
- BLDG SECTION
- ROOF PLAN
- ELECTRICAL

NUMBER	DATE	REVISION	DESCRIPTION

Reynolds House
2928 E. Gonzalez Street
reynolds.marga@gmail.com 908 247 0743

Keystone Design LLC
5804 Gulf Rd Milton, FL 32583
404-488-3564 tmark2000@gmail.com
FL Arch # 98510, Arch Auth # 26003637

1/23/2020

SCALE: 1/4"
unless noted

TML

A.1

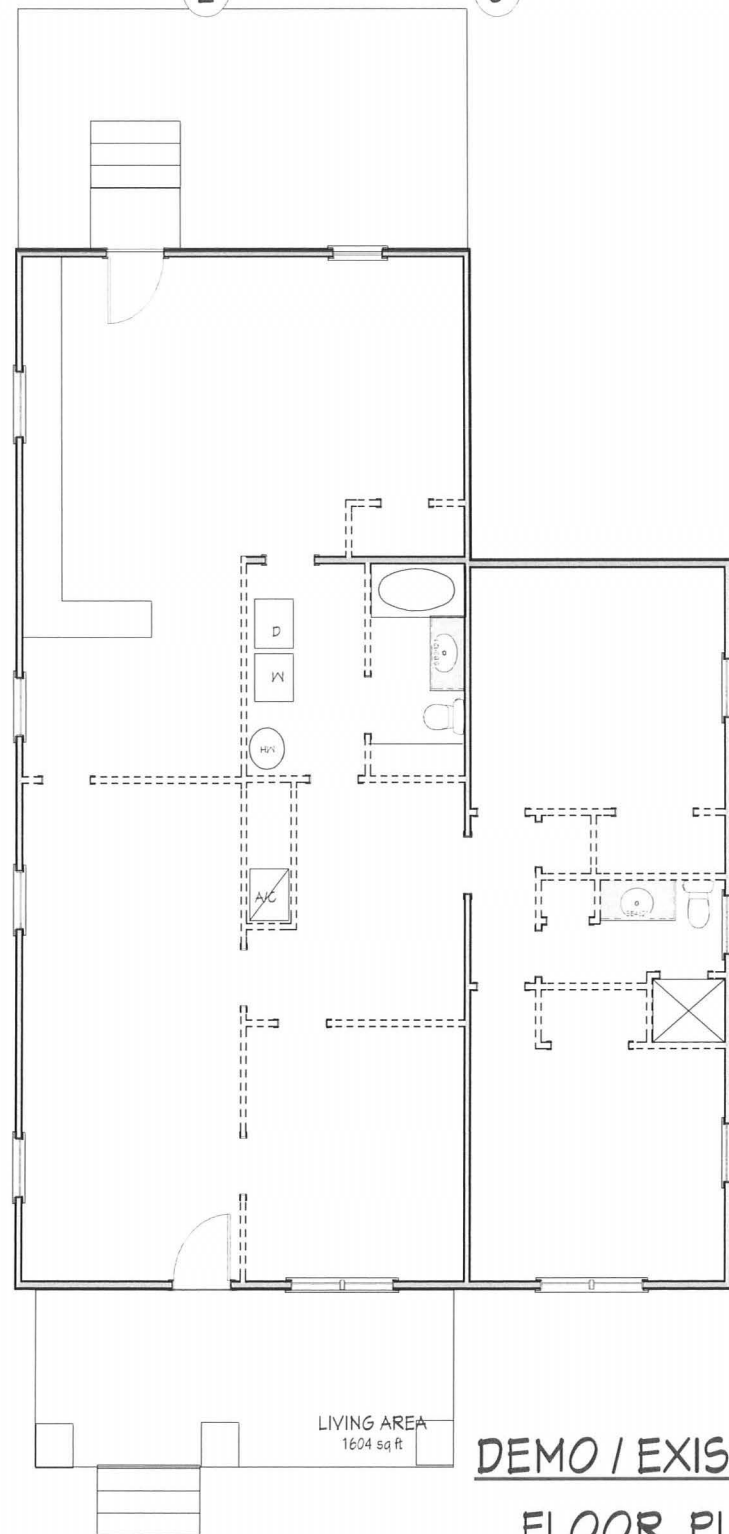


1 FRONT

2 FRONT/RIGHT

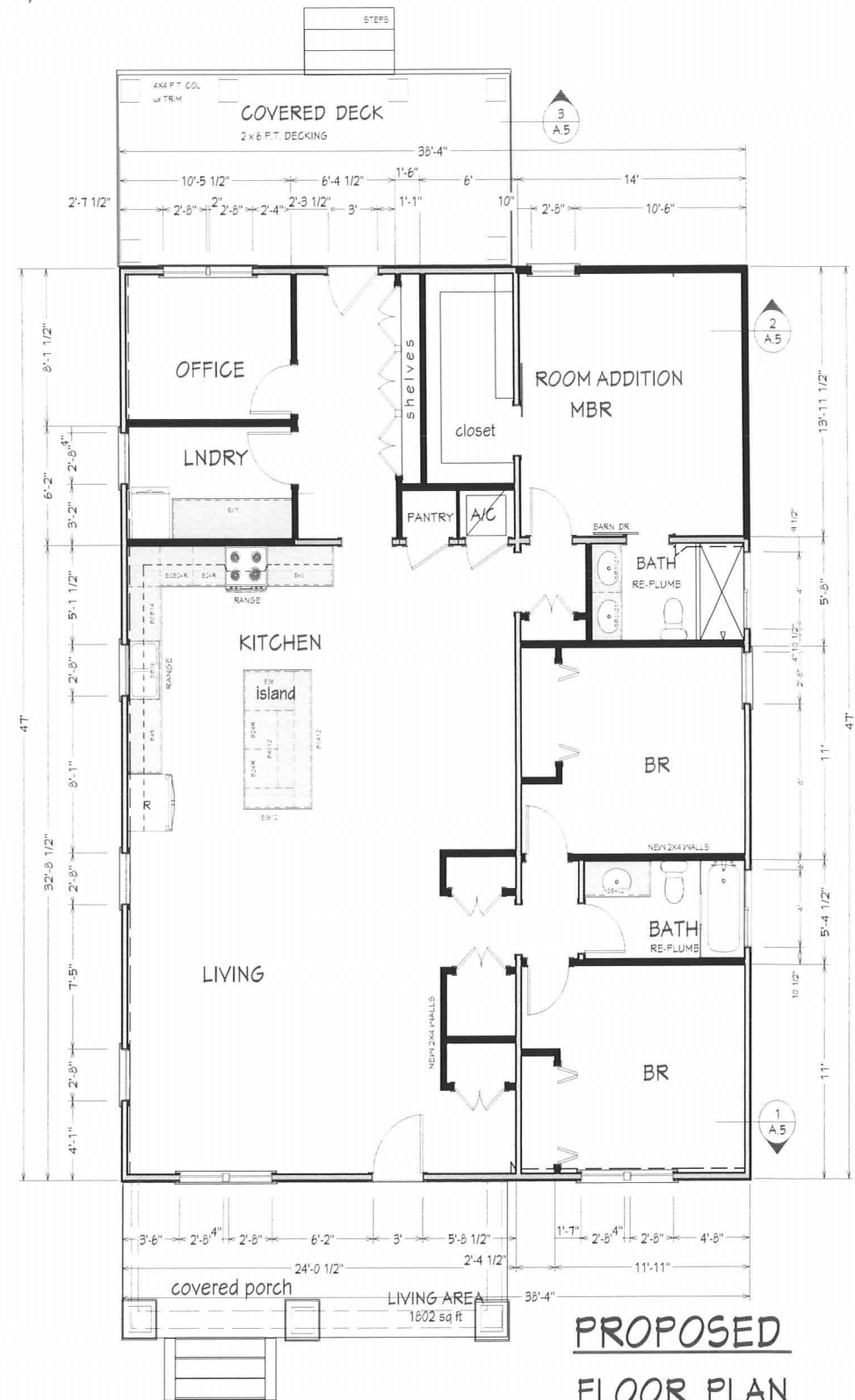
3 REAR

4 REAR/LEFT
BEDROOM INFILL



DEMO / EXISTING
FLOOR PLAN

SCALE: 1'-0" = 1/4"



PROPOSED
FLOOR PLAN

SCALE: 1'-0" = 1/4"

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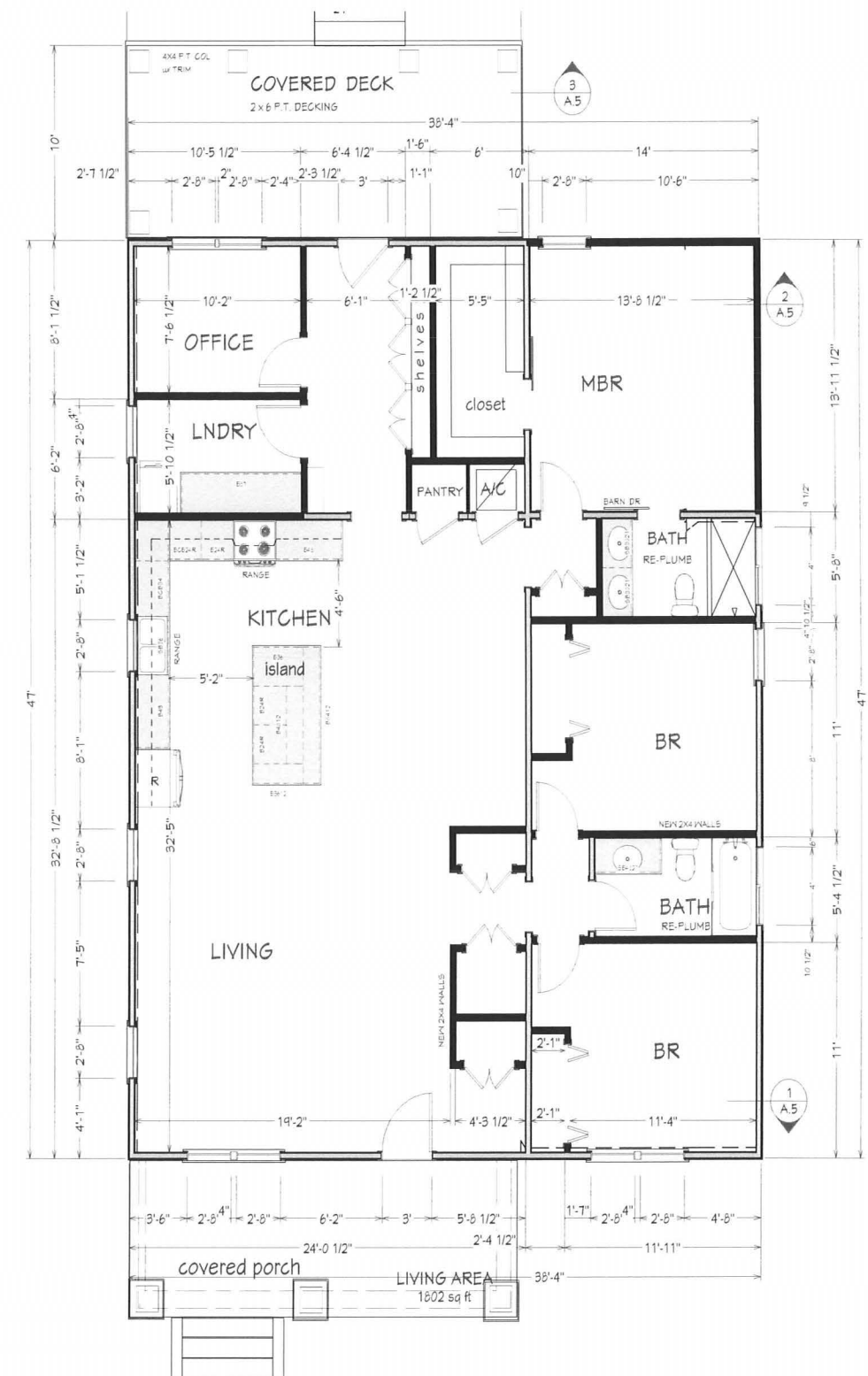
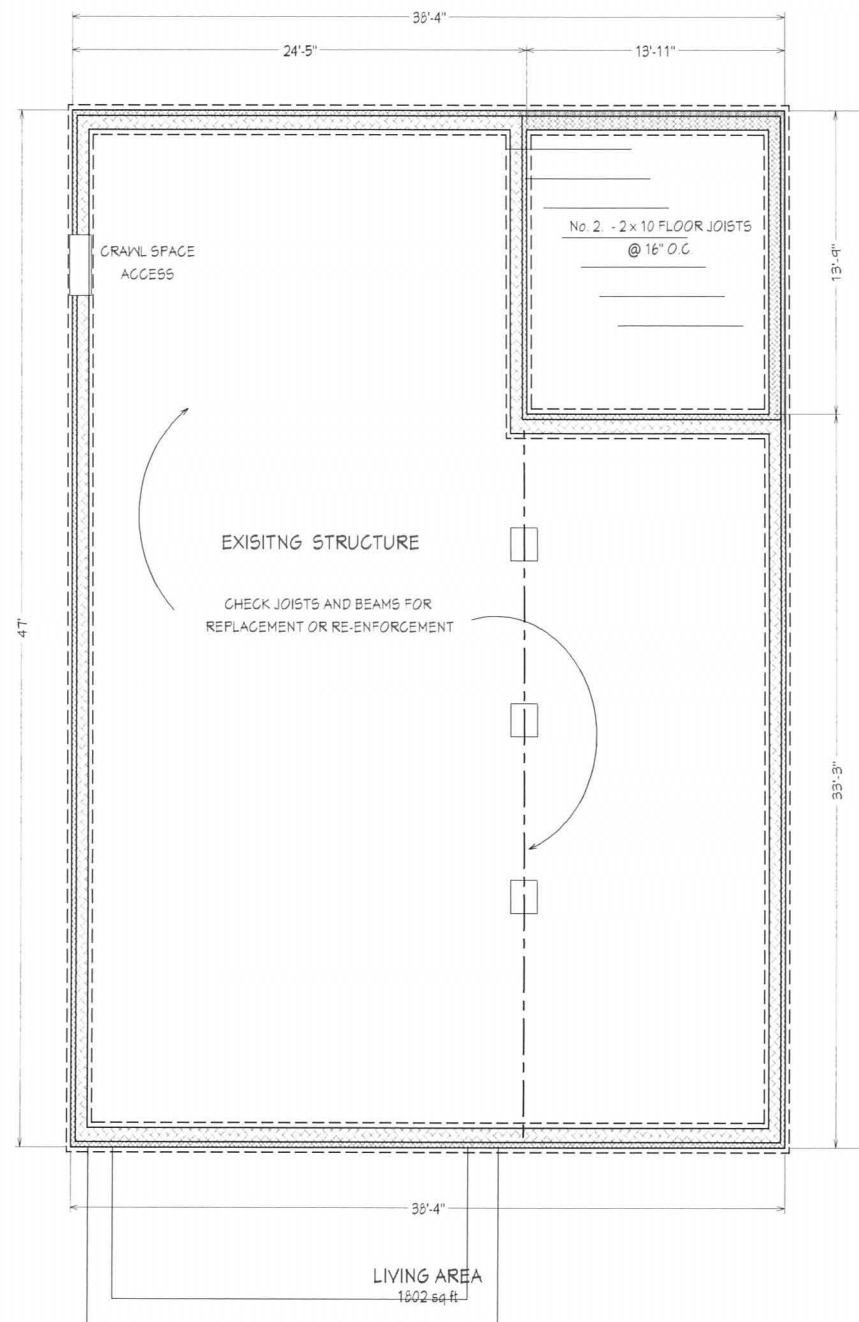
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A.2

[illegible]

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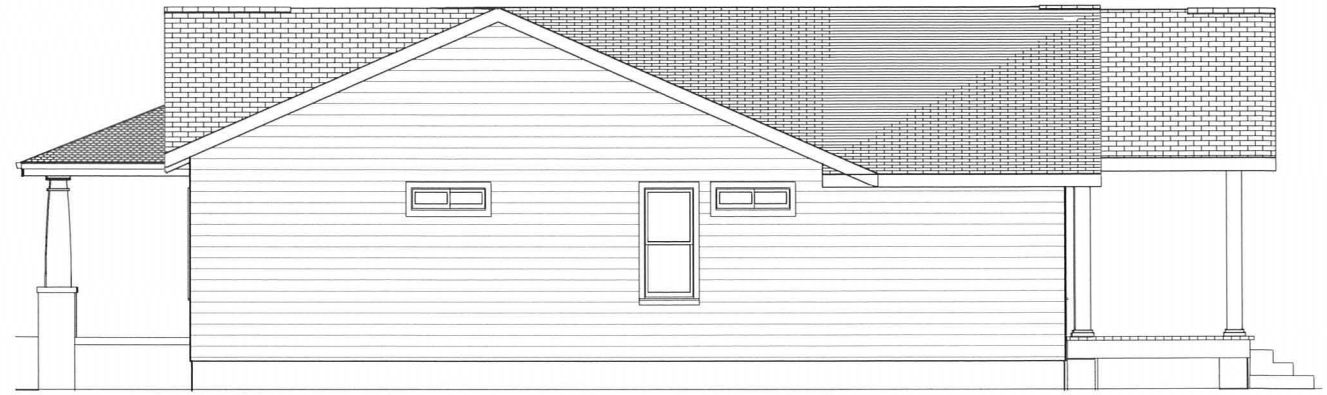
A.3

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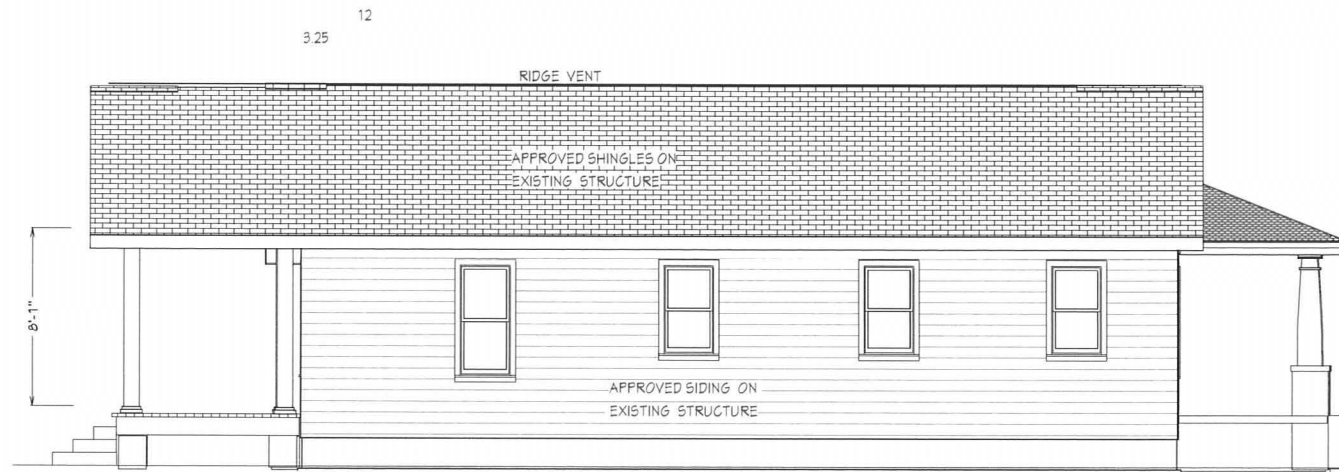
REAR

SCALE 1'-0" = 1/4"



RIGHT

SCALE 1'-0" = 1/4"



LEFT

SCALE 1'-0" = 1/4"



FRONT

SCALE 1'-0" = 3/8"

ELEVATIONS

SCALE 1'-0" = 1/4"

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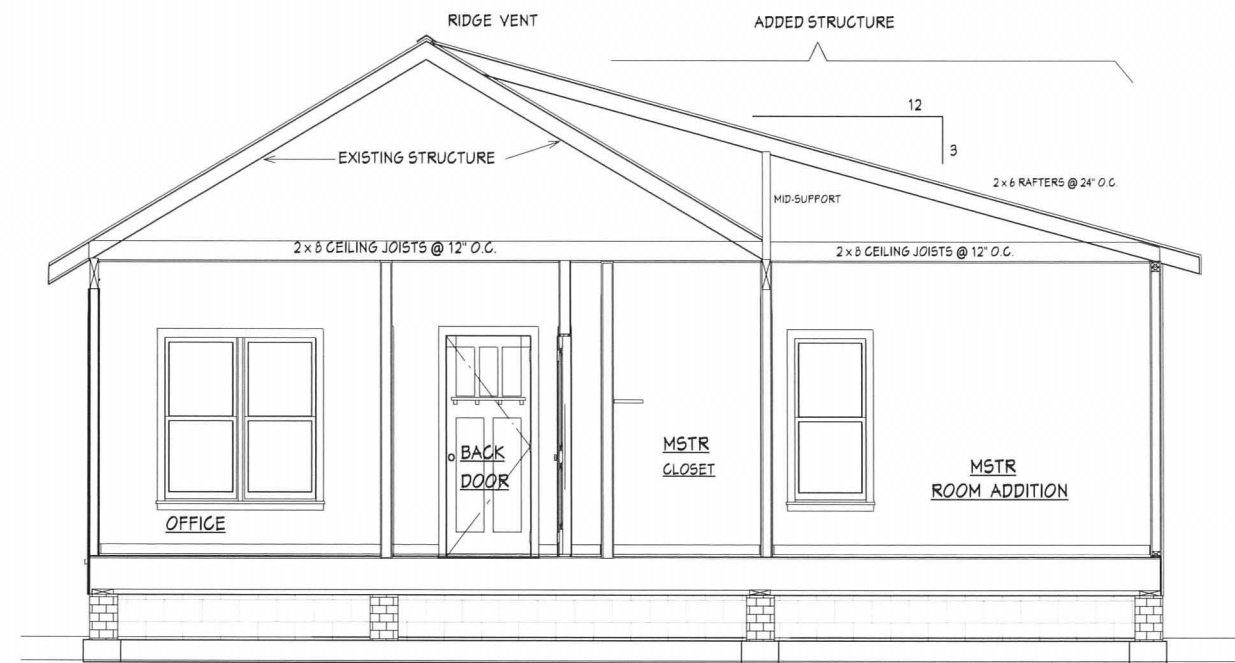
Keystone Design LLC
5804 Gulf Rd Milton, FL 32583
404-488-3564 tmark2000@gmail.com
FL Arch # 98510 Arch Auth # 26003637

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SCALE: 1/4"
unless noted

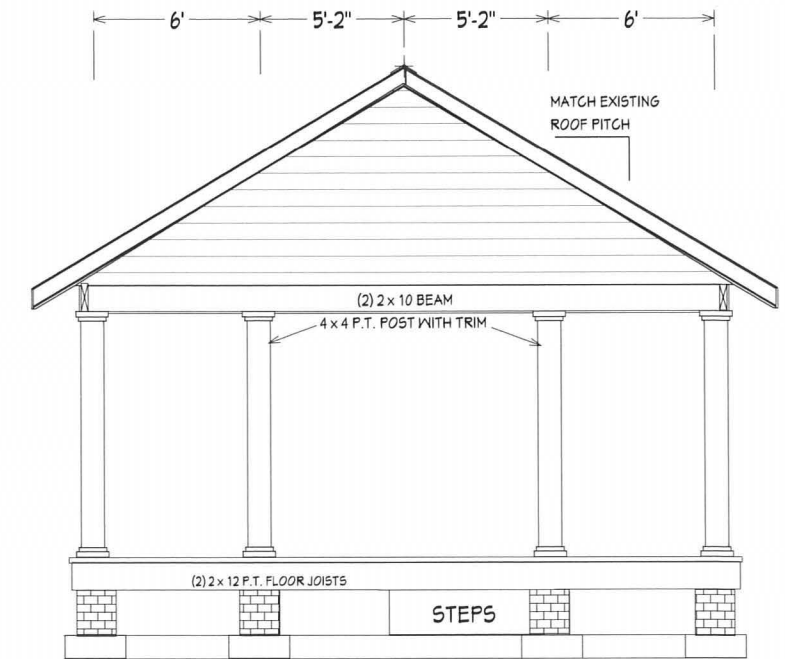
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A.4



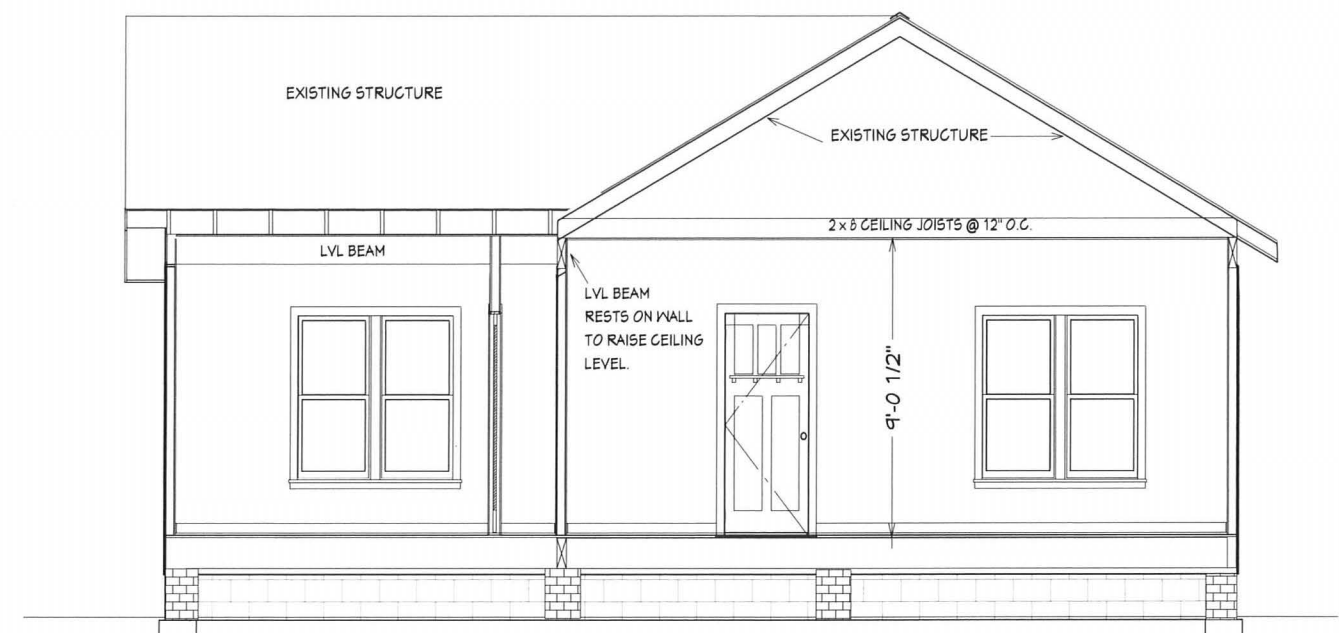
ROOM ADDITION SECTION

SCALE 1'-0" = 3/8"



BACK PORCH SECTION

SCALE 1'-0" = 3/8"



BLDG SECTION @ FRONT WALL

SCALE 1'-0" = 3/8"

NUMBER	DATE	REVISION TABLE	REVISED BY	DESCRIPTION

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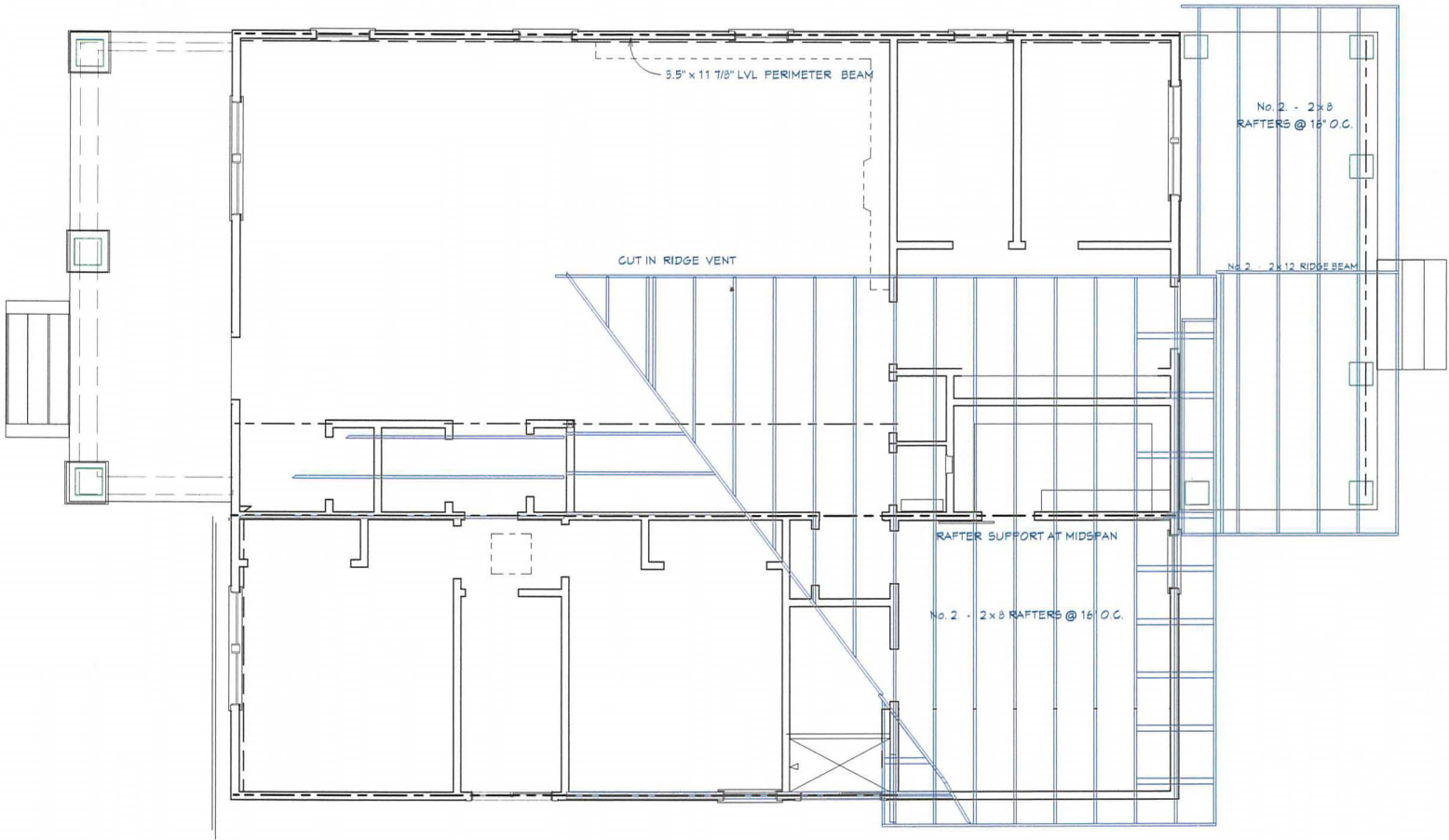
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SCALE: 1/4"
unless noted

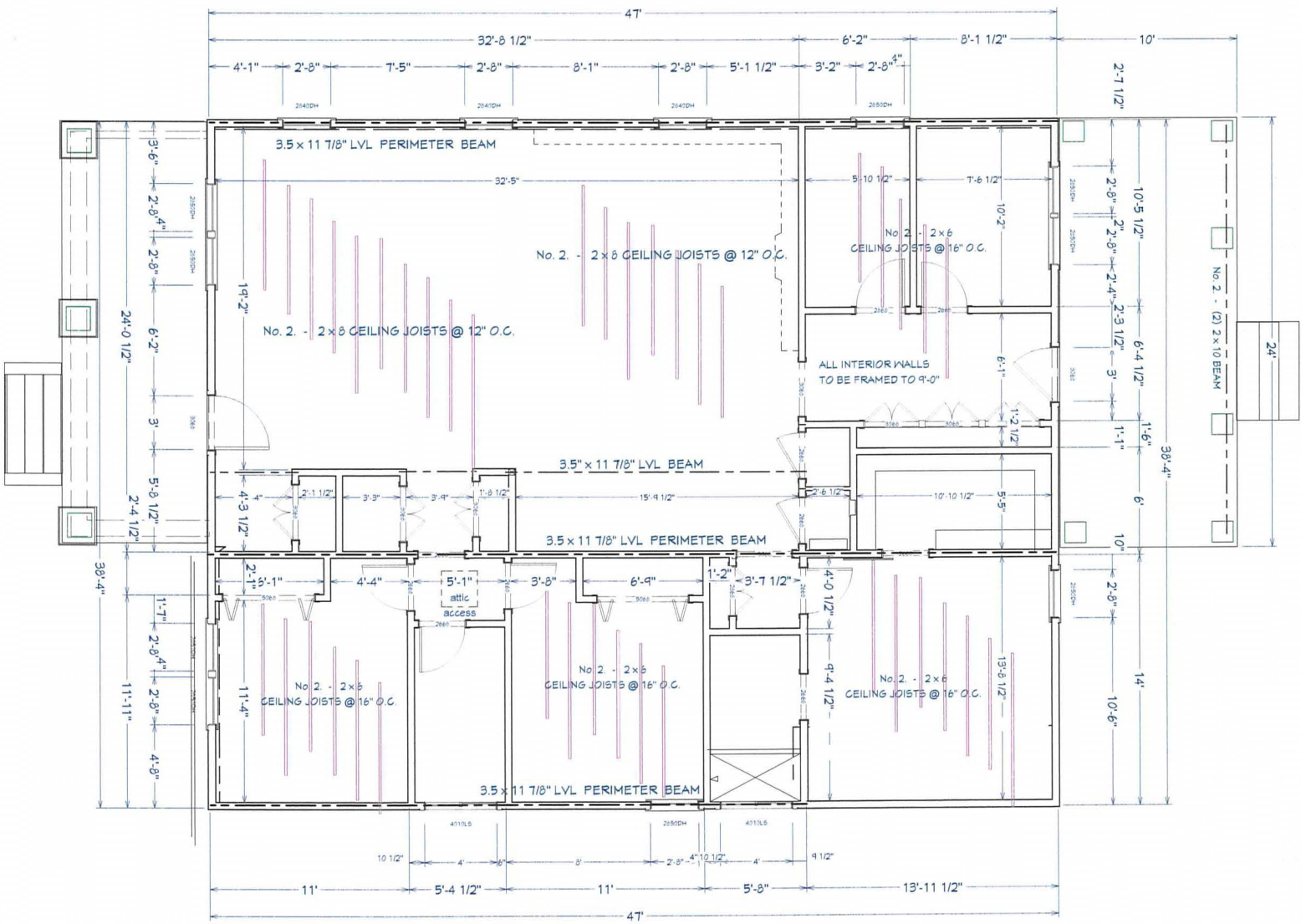
TML

A.5



ROOF FRAMING

SCALE 1'-0" = 1/4"



CEILING JOIST FRAMING

SCALE 1'-0" = 1/4"

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A.7

TML

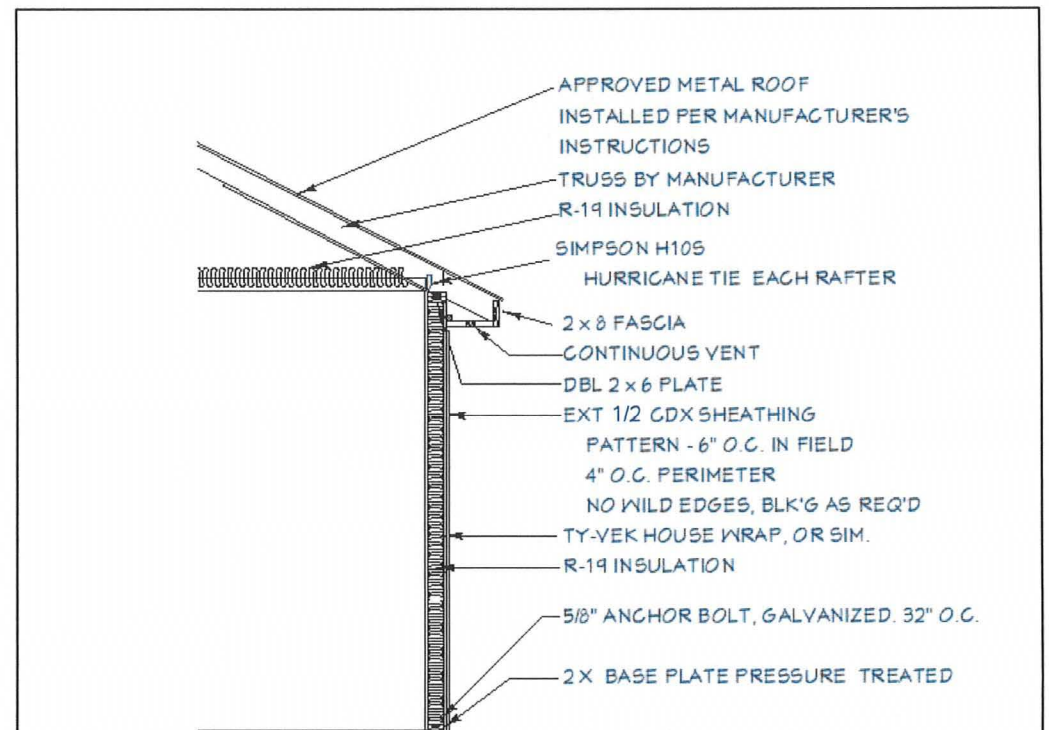
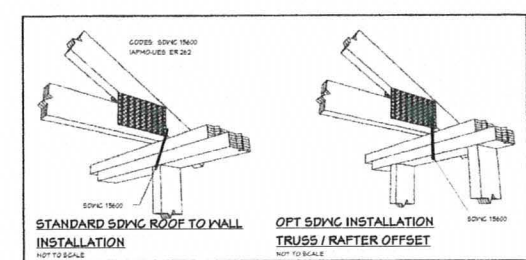
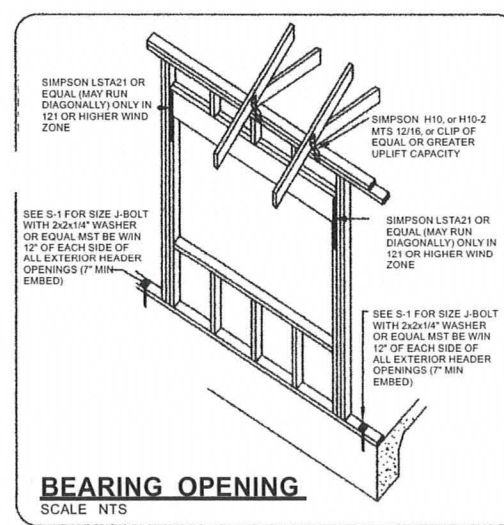
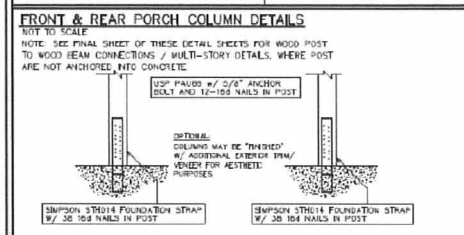
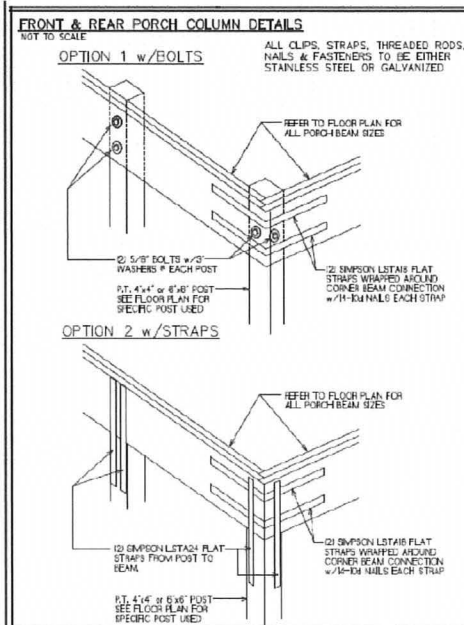
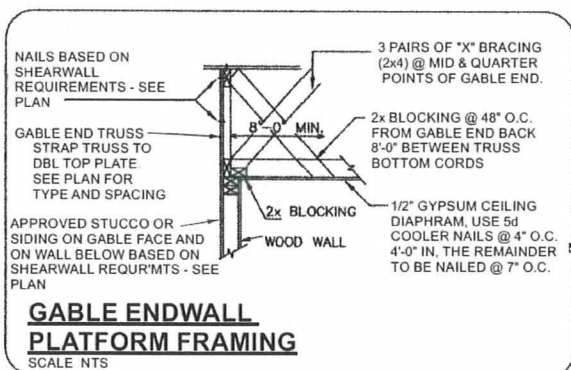
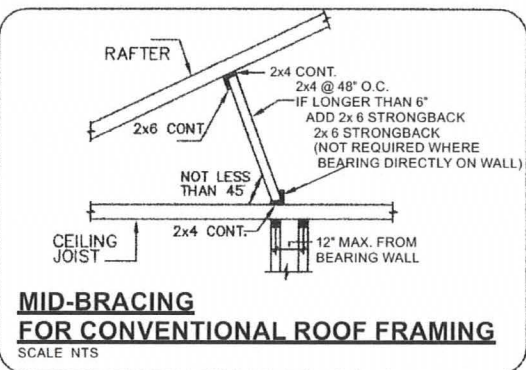
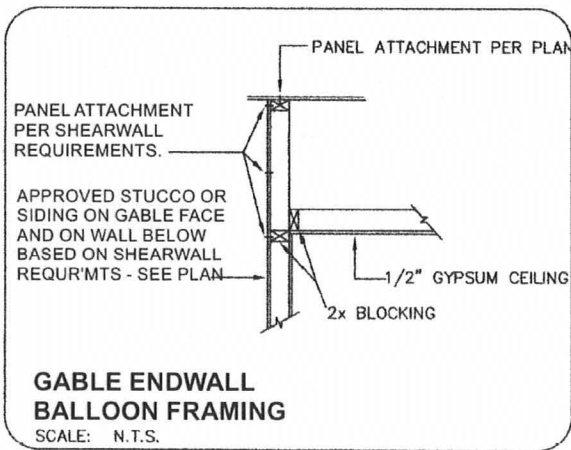
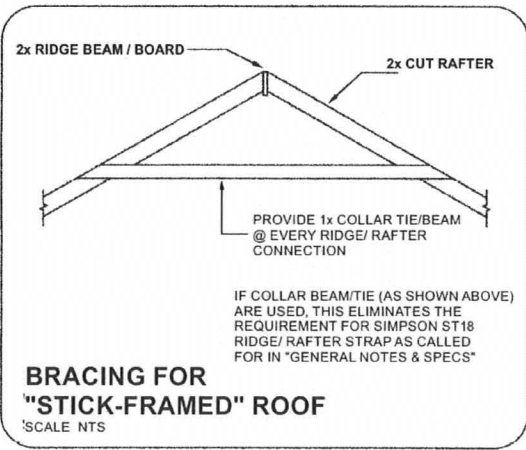
SCALE: 1/4"
UNLESS NOTED

1/25/2020

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404-488-3564 tmark2000@gmail.com
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reynolds.marga@gmail.com 908 247 0743

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION



ALL CLIPS, STRAPS, THREADED RODS, NAILS & FASTENERS TO BE EITHER STAINLESS STEEL OR GALVANIZED

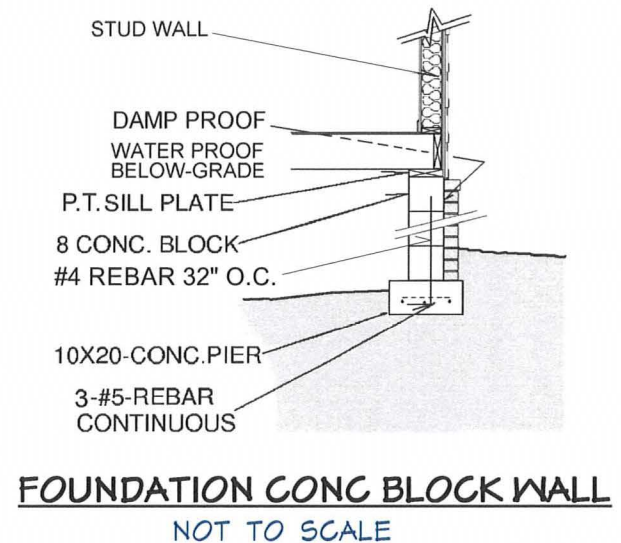
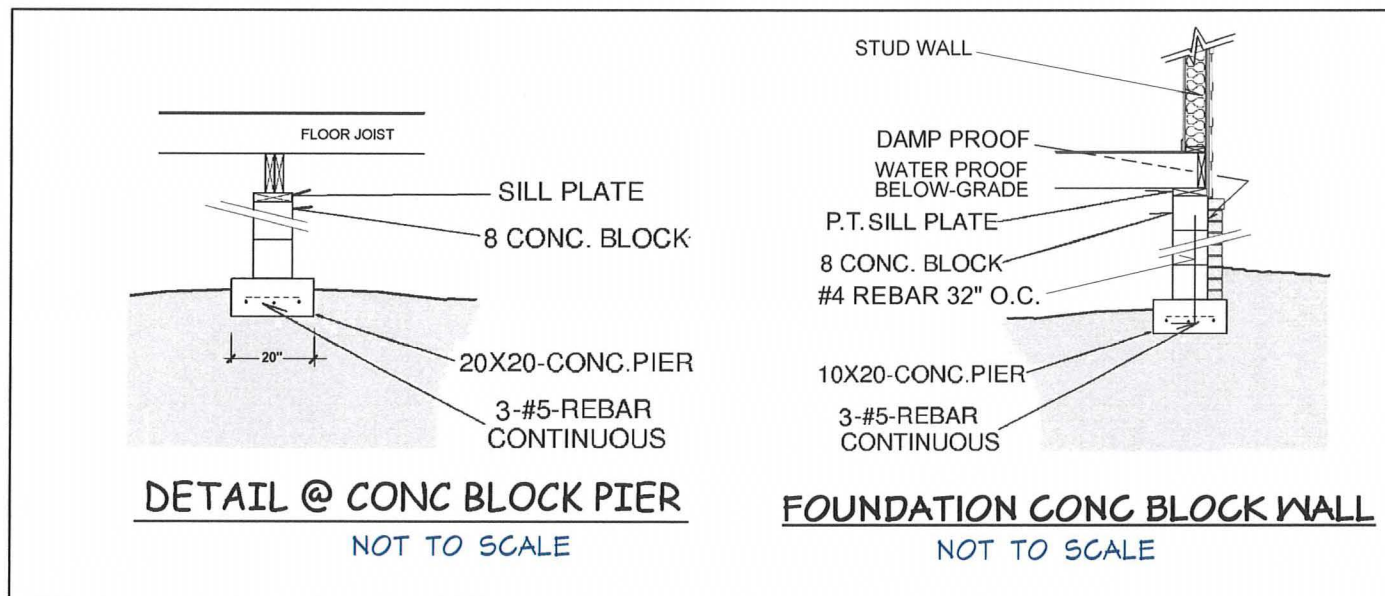
NOTE: 150 MPH ULTIMATE SPEED 116 MPH NOMINAL SPEED EXPOSURE "B"

APPROVED CONNECTORS			
THESE DETAIL SHEETS SPECIFY USP AND SIMPSON CONNECTORS THE FLORIDA BUILDING CODE PRODUCT APPROVAL NUMBER FOR EACH SPECIFIED CONNECTOR IS LISTED AS FOLLOWS:			
USP CONNECTORS	FBC APPROVAL NO	SIMPSON CONNECTORS	FBC APPROVAL NO
WT420	FL1820	UT520	FL10456
SPT14	FL1821	SP4	FL10456
SPT6	FL1821	SP6	FL10456
RT7	FL1821	H2.5A	FL10456
RT3	FL1821	H2.5A	FL10456
RT3	FL1821	H2.5A	FL10456
USTA30	FL13285	H3	FL10456
USTA24	FL13285	ABU44	FL10849
PAU44	FL1821	ABU46	FL10849
PAU66	FL1821	ABU66	FL10849
LSTA36	FL13285	ABU88	FL10849
SPT44/6	FL1821	SP2	FL10456
WT416	FL1820	H1	FL10456
UST237	FL1822	H5	FL10456
UST416	FL1822	HTT16/22	FL11496
RS150	FL1822	UT530	FL10456
RS174	FL1821	HCT-1	FL10866
CMSTC16	FL1817	USTA18	FL10852
HGA10	FL1818	HCT-2	FL10866
		STD10/14	FL14571
		ST22	FL10852
		CMST4	FL10852
		LOT2	FL114070
		TRENCH ANCHOR SET EPOXY	FL11566
			FL1506

J-BOLT FOUNDATION ANCHOR ——— ASTM F1554 (36 KSI)
FOUNDATION ANCHOR NUT ——— ASTM A563
FOUNDATION ANCHOR WASHER ——— ASTM F436

THREADED RODS, NUTS, WASHERS & COUPLERS SHALL HAVE MINIMUM ASTM A36 A307 GRADE C MATERIAL PRODUCED FROM 1006-1010 STEEL AND SHALL BE EITHER ZINC OR GALVANIZED (ASTM A153 OR ASTM A153 CLASS C RESPECTIVELY)

ALL CONNECTORS (SIMPSON OR USP) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS FOR MAXIMUM RESISTANCE.



REVISION	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

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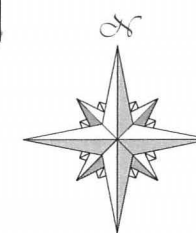
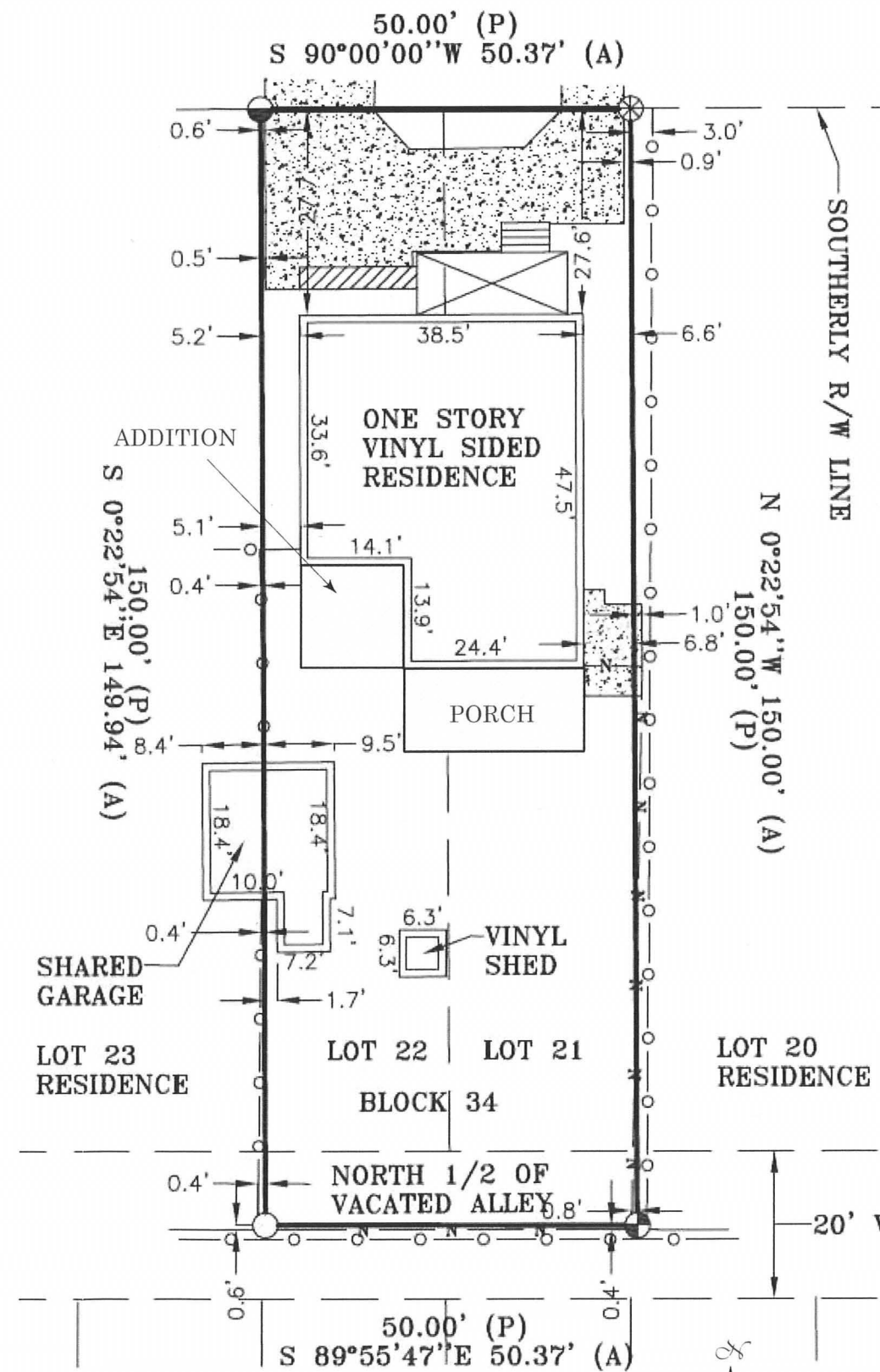
1/25/2020

SCALE: 1/4" unless noted

TML

A.8

2909 E. GONZALEZ STREET
(60' RIGHT OF WAY)



SITE PLAN

SCALE: 1" = 10'

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SCALE: 1/4"
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TML

A.9