



City of Pensacola

Planning Board

Agenda

Tuesday, October 13, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Quorum / Call to Order

Approval of Meeting Minutes

1. [20-00497](#) PLANNING BOARD MINUTES AUGUST 11, 2020

Attachments: [Planning Board Minutes 08-11-2020](#)

Requests

2. [20-00500](#) VARIANCE REQUEST TO SECTION 12-4-4, SIGNS AND SECTION 12-2-12 (C)(4)(A) - 151 W. MAIN STREET IN THE WATERFRONT REDEVELOPMENT DISTRICT.

Attachments: [Carver Darden Variance Application](#)

3. [20-00499](#) REQUEST FOR AESTHETIC REVIEW - ADMIRAL'S ROW, 801 S. AND 807 S. PALAFOX STREET

Attachments: [Admiral's Row Aesthetic Review Application](#)

4. [20-00502](#) REQUEST FOR AESTHETIC REVIEW - WAFFLE HOUSE, 401 E. GREGORY STREET

Attachments: [Waffle House Aesthetic Review Application](#)

5. [20-00599](#) REQUEST FOR AESTHETIC REVIEW - MAILBOX PAVILION IN ARAGON

Attachments: [Aragon Mailbox Pavilion Application](#)

6. [20-00498](#) REQUEST FOR ZONING MAP AND FUTURE LAND USE MAP AMENDMENT FOR 4406 N. DAVIS HWY

Attachments: [Rezoning Application 4406 N Davis Hwy](#)

7. [20-00601](#) REQUEST FOR COMBINED PRELIMINARY/FINAL PLAT APPROVAL - LANIER PLACE SUBDIVISION

Attachments: [Lanier Place Subdivision Application](#)

8. [20-00503](#) PROPOSED LDC AMENDMENTS TO SECTION 12-6-4. - LANDSCAPE AND TREE PROTECTION PLAN

Attachments: [Proposed Tree Ordinance Amendment 12-6-4](#)

9. [20-00595](#) PROPOSED LDC AMENDMENTS TO SECTION 12.6. TREE/LANDSCAPE REGULATIONS

Attachments: [CHAPTER 12.6. TREE LANDSCAPE REGULATIONS](#)

Open Forum

Discussion

- [20-00327](#) DISCUSSION ON PROPOSED AMENDMENTS TO THE TREE ORDINANCE

Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00497

Planning Board

10/13/2020

SUBJECT:

Planning Board Minutes August 11, 2020



MINUTES OF THE PLANNING BOARD

August 11, 2020

MEMBERS PRESENT: Chairperson Paul Ritz, Board Member Grundhoefer

MEMBERS VIRTUAL: Vice Chairperson Larson, Board Member Murphy, Board Member Powell, Board Member Sampson

MEMBERS ABSENT: Board Member Wiggins

STAFF PRESENT: Assistant Planning Director Cannon, Senior Planner Statler, Assistant City Attorney Lindsay (virtual), Historic Preservation Planner Harding, City Surveyor Odom, City Engineer Hinote, Councilwoman Myers, Network Engineer Johnston, Digital Media Coordinator Rose

OTHERS VIRTUAL: Mitchell Hubbell, Shadia Jaramillo

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from July 14, 2020.
- **New Business:**
 1. **657 Aragon St – Gateway Review District – New Two Story S/F Residence**
 2. **671 Centros St – Gateway Review District – New Two Story S/F Residence**
 3. **PROPOSED LDC AMENDMENTS - SEC. 12-2-27 (D)(2). - BAYOU TEXAR SHORELINE PROTECTION DISTRICT. SEC. 12-2-27 (F). - BAYOU TEXAR SHORELINE PROTECTION DISTRICT. SEC. 12-3-3 (G). - PARKING LOTS. SEC. 12-9-4. - EXEMPTIONS. SEC. 12-9-6 (E). - DESIGN STANDARDS FOR STORMWATER MANAGEMENT SYSTEM.**
- Open Forum
- Discussion on the Proposed Amendment to the Tree Ordinance
- Adjournment

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:00 pm with a quorum present and explained the procedures of the virtual Board meeting.

222 West Main Street Pensacola, Florida 32502

www.cityofpensacola.com

Approval of Meeting Minutes

Board Member Larson made a motion to approve the July 14, 2020 minutes, seconded by Board Member Powell, and it carried unanimously.

New Business

657 ARAGON ST – GATEWAY REVIEW DISTRICT – NEW TWO STORY RESIDENCE

Chairperson Ritz stated he had no problem with the designs submitted by Mr. Sallis and had no input except to say he appreciated the design effort.

Mr. Sallis presented to the Board and stated his client was moving here from Mississippi, and they had received approval from the Aragon committee. They hoped to begin construction in the fall of 2020. Chairperson Ritz explained this project would fill in an empty spot along this roadway, and Board Member Grundhoefer advised it looked very attractive. He explained this Board depends on the Aragon ARB for their knowledge, and this project had received their preliminary approval.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.

671 CENTROS ST – GATEWAY REVIEW DISTRICT – NEW TWO STORY RESIDENCE

Mr. Sallis presented to the Board and explained this project had been before the Aragon ARB and received preliminary approval. Chairperson Ritz again appreciated the design which played off the existing structures already in Aragon.

Board Member Larson made a motion to approve, seconded by Board Member Powell, and it carried unanimously. Mr. Sallis was excited to see new faces on the Board and thanked them for their service.

PROPOSED LDC AMENDMENTS

Proposed LDC Amendments - Sec. 12-2-27 (D) (2). - Bayou Texar shoreline protection district. Sec. 12-2-27 (F). - Bayou Texar shoreline protection district. Sec. 12-3-3 (G). – Parking lots. Sec. 12-9-4. – Exemptions. Sec. 12-9-6 (E). - Design standards for stormwater management system. Sec. 12-8-2. – Prohibition. Sec. 12-8-3. – Procedure for subdivision approval. Sec. 12-8-8. Preliminary plat. Sec. 12-8-9. Final plat. Sec. 12-8-10. Final approval. Appendix A Design Standards.

Chairperson Ritz appreciated the amendments bringing the Code in line with the neighboring jurisdictions and saw it as a housekeeping effort to codify several items so that developers coming before the City had a better series of rules with which to operate. Assistant Planning Director Cannon stated normally changes were indicated in a strike-through underline format, but in this case, nothing was struck through.

In Sec. 12-2-27 (F) (d), Board Member Murphy asked the meaning of the “greatest extent possible.” City Engineer Hinote stated the intent of the language was ultimately to collect and retain fertilizers from the adjacent yards; the intent was to allow alternatives to retain nutrients before discharging into the bay. Board Member Murphy asked if there was a technology-based standard for the City. Mr. Hinote advised that sediments were collected on site and (e) addressed the size of the pond required which was a technology-based standard. He also noted these standards applied only to the Bayou Texar District – shoreline waterfront property. Board Member Murphy referenced a section outside of this district and wanted to know if this language could be a protection standard. Chairperson Ritz advised the Board could not go to a parcel specific addition since this was not advertised, but it could be a future agenda item.

Board Member Powell addressed Sec. 12-2-27 (D) (2) (c) “meeting City standards” and asked if applicants would go through the permitting process. Mr. Hinote stated if you install 1500 sq. ft. or less, they would not have to hire a civil engineer for a pond, but they would still need erosion control, and a building permit would be required.

Board Member Grundhoefer stated in 12-2-4 (B), the 1500 sq. ft. looked like this was an exemption. Mr. Hinote advised this was intended to be a cumulative calculation. Staff advised any amendments were always brought to Legal before presentation to the Board. Chairperson Ritz explained the language could be revised, and Board Member Grundhoefer suggested sending it back to staff to clarify that language.

Board Member Grundhoefer addressed 12-3-3 (G) parking lots. Mr. Hinote stated most of the time, the intent of gutter pan was to allow flow of water. Parking cars in it would not allow flow as it was intended. Board Member Grundhoefer addressed the sod at the pond bottom, noting the City did not want sod but the County did. Mr. Hinote explained with sod, you end up with a thick clay layer at the bottom of the pond which will not allow water to percolate. Chairperson Ritz clarified that sod could bring in other elements which would not allow water percolation. Regarding the 1500 sq. ft. language, Board Member Grundhoefer explained Engineering would probably like some leeway, but did not believe they should be able to “waive” the requirement. Chairperson Ritz stated other Board members seemed to prefer to strike the word “waive.” **Board Member Murphy made a motion to change the language and return the document at the September meeting. The motion was seconded by Board Member Larson. Staff confirmed the changes to include “cumulative not to exceed 1500 sq. ft.,” which would be filtered through Legal; also, to omit the word “waive” to state “that the City Engineer may increase this requirement as warranted.”**

Board Member Powell addressed 12-2-27 (D) (2) with the “1500 sq. ft. which are not part of a larger development” for clarification. She thought it might be a loophole for someone to say it was 1500 sq. ft. but not a part of the larger project. Board Member Murphy addressed 12-9-4 (B) “Projects that include the addition of 1500 sq. ft.” Board Member Grundhoefer stated this referred to additional square footage after the already permitted project development. Mr. Hinote wanted to clearly distinguish that 12-9 is specific to commercial development and what would allow them to become exempt (parking lots, hospitals, etc.) For example, to add two additional parking spaces would not require a civil engineer. Exemption was to allow additional impervious surfaces without having to add a retention pond. He stressed a single home residence has no requirement for stormwater treatment or attenuation. He explained the City’s stormwater attenuation requirements are more stringent (requiring 100 year attenuation) than the Northwest Florida Water Management District.

Chairperson Ritz clarified that the 1500 sq. ft. involved the Bayou Texar shoreline protection district, and parking lots with the 1500 sq. ft. exemption. Senior Planner Statler advised Mr. Hinote used the parking lot as an example; currently, they would have to hire a civil engineer to add two parking spaces, and the intent was to allow them to have an exemption. Mr. Hinote advised modifying that language of 1500 sq. ft. could be done. Chairperson Ritz explained modifying it to 2000 would be too much 1500 was more reasonable. Board Member Grundhoefer asked if language could be revised to state that with the impervious area being added, the runoff would be directed toward the existing pond. Mr. Hinote explained that was already noted in a different section of the LDC and could be cited. Board Member Powell advised the language to indicate where the water must go could possibly be in 12-2-27 (D).

The motion then carried unanimously. Chairperson Ritz explained the proposed amendments would be sent back to Engineering staff for further clarification and brought back at a later Planning Board meeting.

Open Forum – None

Discussion on the Proposed Amendment to the Tree Ordinance

Board Member Murphy advised they were working on ways to conduct public meetings versus zoom meetings requiring computer technology. Possible amendment modifications would be coming to the Board in September. Staff explained the public could still participate in meetings virtually; however due to Covid they would not be permitted to attend in person. Chairperson Ritz explained Board Member comments or suggestions would be furnished to staff for dissemination.

Adjournment – With no further business, Chairperson Ritz thanked the Board for its patience with the change in methods of physical and virtual participation and adjourned the meeting at 3:20 pm.

Respectfully Submitted,

Cynthia Cannon, AICP
Assistant Planning Director
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00500

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Variance Request to Section 12-4-4, Signs and Section 12-2-12 (C)(4)(a) - 151 W. Main Street in the Waterfront Redevelopment District.

BACKGROUND:

Carver Darden submitted a Variance application to the maximum signage allowance requirements for the building located at 151 W. Main Street, which is in the Waterfront Redevelopment District (WRD). Per Section 12-4-4, Signs and Section 12-2-12 (C) (4) (a), Redevelopment Land Use District, of the Land Development Code, the following regulations apply in the WRD:

- "Size: Ten (10) percent of the building elevation square footage (wall area) which fronts on a public street, not to exceed fifty (50) square feet. Buildings exceeding five (5) stories in height; one attached wall sign or combination of wall signs not to exceed two hundred (200) square feet and mounted on the fifth floor or above."

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.

- ☐ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

* The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
 Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) _____ Zoning _____

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 151 Main Street, Suite 200, Pensacola, Florida 32502

Current use of property: Law Office

1. Describe the requested variance(s): We would like to install a sign with the firm name and logo on the Northwest front of the building. The design and dimensions of the sign are enclosed.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The property is unique in that the building really only has one side of the building with visibility, that

being the north side of the building fronting Main Street. The east and west sides of the building are
small, and provide no real visibility. The southern side of the building faces the water.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The building was designed for 6 tenants (5 on the 1st floor/ 1 on the second floor). It was intent when the building was designed and built for all tenants to have signage but the 1st floor tenants have consumed the allowed signage. Thus, Carver Darden as 2nd floor tenant has no signage on the building currently. Accordingly, Carver Darden should have signage as the second floor tenant.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The variance is not detrimental to the general welfare or property rights of others in the vicinity because we are asking for the minimum signage in the district and will stay in line with the general intent of the district. There will be no further request for additional signage.

5. Explain what other condition(s) may justify the proposed variance(s):


We occupancy the entire second floor of the building but have no way to identify our space on the building.

Application Date: 8/7/2020

Applicant: Carver Darden c/o Robert Rushing

Applicant's Address: 151 West Main Street, Suite 200, Pensacola, Florida 32502

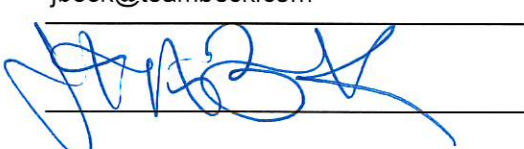
Email: rushing@carverdarden.com Phone: 850.266.2303

Applicant's Signature: 

Property Owner: Maritime One, LLC

Property Owner's Address: 125 West Romana Street, Suite 800, Pensacola, Florida 32502

Email: jbeck@teambeck.com Phone: 850.477.7044

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.



SIGNS • LOGOS • CREATIVE SOLUTIONS

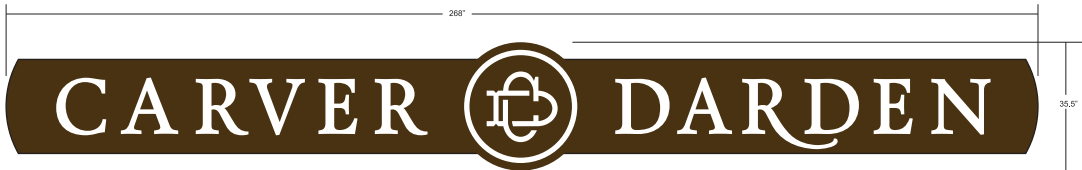
614 West Intendencia Street Pensacola, FL 32502 (O)850.332.6211 (C) 850.293.0970

Project: Carver Darden illuminated wall sign

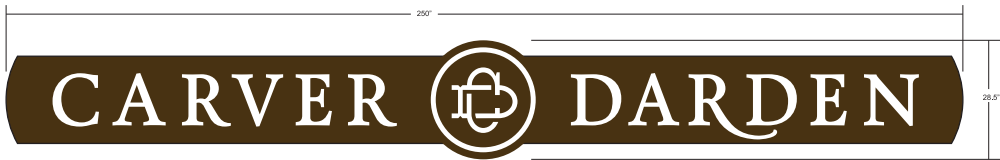
Location: 151 Main st Pensacola

Description: Illuminated sign cabinet 28.5" x 250" with rout through push through letters attached to brick facade. Letters and logo are lit and back ground is opaque.

Original size 66 sqft.



New smaller sign 50 sqft.



Building 1st floor street front elevation is 15' x 125' or 1875 sqft.

maximum sqft allowed is 187 for 2 faces as building is a corner lot wit 2 frontages

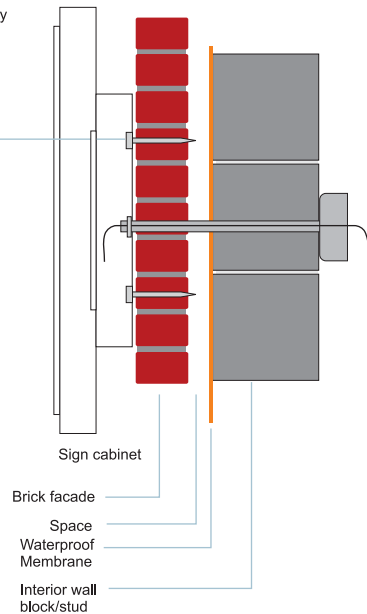
Sign size is 28.5" x 250" or 50 sqft.

Existing signs on building (3) 2 - 18" x 96" & 1 - 18" x 144" total 42 sqft.

Cabinet bolted to the brick wall with 3/8" stainless lags with epoxy

Flat 3" thick background with reverse channel RGBW Halo lit. Logo RTPT 3" cabinet on top of back cab.

3" 3"



3" RTPT cabinet RGBW

White acrylic

3" logo RTPT cabinet RGBW

White acrylic



30'

**Planning Board Application
Abbreviated Review**

Application Date: 7/24/20

Project Address: 151 W. Main St.

Applicant: Brix Design Inc.

Applicant's Address: PO Box 17881 Pensacola, FL 32522

Email: aaron@brixdesigninc.com **Phone:** 850-332-6211

Property Owner: City of Pensacola

(If different from Applicant)

Redevelopment District: ☒ Waterfront ☐ Gateway ☐ South Palafox Business ☐ North 9th Avenue

There is a \$25 Application Fee for the following project types:

☐ Change of Paint Color(s) **Body:** Aluminum
Trim: Aluminum
Accent: _____

☐ New/Replacement Sign(s) **Sign Type:** Wall sign rout thru push thru
Dimensions: 28.5"x250" =50SqFt
Colors: Classice Brown, White
Description: Rout thru push thru letteringsign cabinet
Mounted to wall

☐ Minor Deviation to an Approved Project
☐ Change of Roofing Material
☐ Fence

(Office Use Below This Line)

This request was reviewed and meets the criteria for an Abbreviated Review.

PB Secretary Signature

Date

This request is:

- ☐ Approved
☒ Denied
☐ Referred to the Full Board

Paul [Signature]
PB Chairman Signature

Comments: I BELIEVE THE
TOTAL SIGNAGE AREA FOR
MAIN STREET EXCEEDS THE
CODE.

7/27/2020

Date



SIGNS • LOGOS • CREATIVE SOLUTIONS

614 West Intendencia Street Pensacola, FL 32502 (O) 850.332.6211 (C) 850.293.0970

Project: Carver Darden illuminated wall sign

Location: 151 Main st Pensacola

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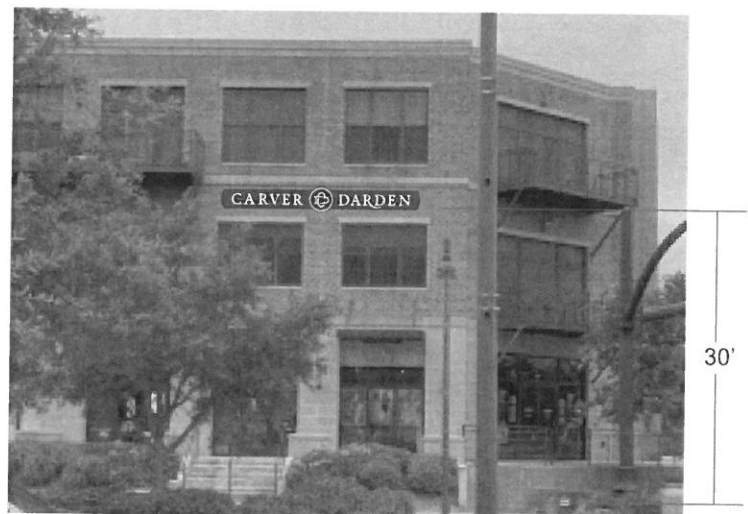
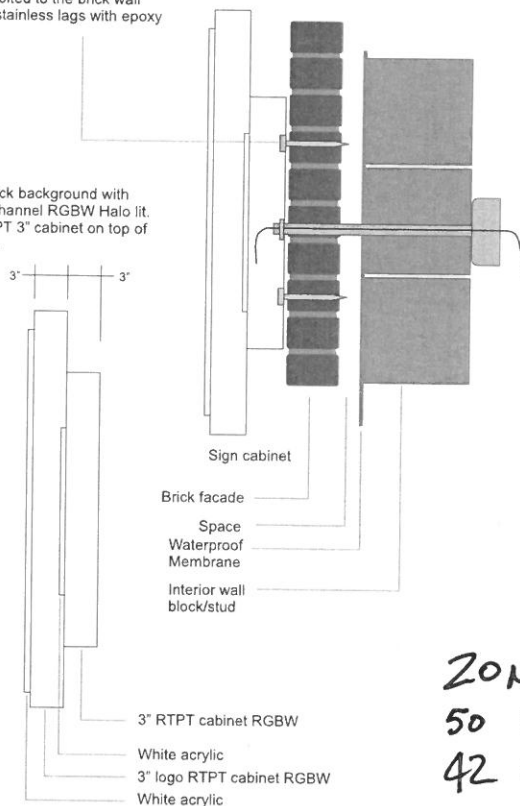
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Flat 3" thick background with reverse channel RGBW Halo lit. Logo RTPT 3" cabinet on top of back cab.



MAIN STREET FACE

ZONING PER GIS - WRD
50 SF MAX FOR TOTAL SIGNAGE
42 EXISTING LEAVES 8 SF FOR SIGN
PER LDC 12-2-12 C (4) REGULATIONS

From Pensacola Land Development Code

(C)

WRD, waterfront redevelopment district.

(1)

Purpose of district. The waterfront redevelopment district is established to promote redevelopment of the city's downtown waterfront with a compatible mixture of water-dependent and water-related uses which preserve the unique shoreline vista and scenic opportunities, provide public access, create a cultural meeting place for the public, preserve the working waterfront activities historically located in the waterfront area, and encourage a high quality of site planning and architectural design. Site specific analysis of each development proposal within the district is intended to ensure that the scenic vistas and marine-oriented image of the district are maintained, that the development character of the waterfront is upgraded and that the boundaries of the adjacent special districts are positively reinforced.

(c)

Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the planning board secretary and the chairman of the board. This provision is made in an effort to save the applicant and the board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the board secretary and chairman, then the matter will be referred to the board for a decision.

(4)

Regulations.

(a)

Signs. The following provisions shall be applicable to signs in the district.

1.

Number of signs. Each parcel shall be limited to one (1) sign per street frontage; provided, however, if there exists more than one establishment on the parcel, there may be one attached sign per establishment.

2.

Signs extending over public property. Signs extending over public property shall maintain a clear height of nine (9) feet above the sidewalk and no part of such signs shall be closer than eighteen (18) inches to the vertical plane of the curb line or edge of the pavement.

3.

Sign size and height limitations.

a.

Attached signs:

Size: Ten (10) percent of the building elevation square footage (wall area) which fronts on a public street, not to exceed fifty (50) square feet. Buildings exceeding five (5) stories in height; one attached wall sign or combination of wall signs not to exceed two hundred (200) square feet and mounted on the fifth floor or above.

Height: No sign may extend above the roof line of the building to which it is attached. For the purposes of this section roof surfaces constructed at an angle of sixty-five (65) degrees or more from horizontal shall be regarded as walls.

Department:	Comments:
FIRE	No objections.
PW/E	No objections.
InspSvcs	No objections.
ESP	No objections.
ECUA	No objections.
GPW	No objections.
ATT	No objections.

Cynthia Cannon

From: Annie Bloxson
Sent: Tuesday, August 11, 2020 8:04 AM
To: Cynthia Cannon
Subject: RE: Variance Application Sign Request - 151 W. Main St

Good Morning,

I do not oppose the sign request for 151 W. Main Street.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Monday, August 10, 2020 1:35 PM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris

Cynthia Cannon

From: Derrik Owens
Sent: Monday, August 10, 2020 3:08 PM
To: Cynthia Cannon
Subject: RE: Variance Application Sign Request - 151 W. Main St

No objections....

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, August 10, 2020 1:35 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Variance Application Sign Request - 151 W. Main St

Good Afternoon All,

Please review and comment on the attached request to go before the Planning board for a sign variance located at 151 W. Main Street in the Waterfront Redevelopment District (WRD).

All comments must be received by close of business on **Friday, August 21, 2020.**

As always, please call with any questions.

Thank you,

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



Cynthia Cannon

From: Diane Moore
Sent: Tuesday, August 11, 2020 7:54 AM
To: Cynthia Cannon
Subject: RE: Variance Application Sign Request - 151 W. Main St

No comments from Pensacola Energy.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, August 10, 2020 1:35 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Variance Application Sign Request - 151 W. Main St

Good Afternoon All,

Please review and comment on the attached request to go before the Planning board for a sign variance located at 151 W. Main Street in the Waterfront Redevelopment District (WRD).

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, August 11, 2020 8:27 AM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Variance Application Sign Request - 151 W. Main St

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

ECUA has no comment on the variance request for the sign placement. The request does not impact the utility connection.

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, August 10, 2020 1:35 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Variance Application Sign Request - 151 W. Main St

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Afternoon All,

Please review and comment on the attached request to go before the Planning board for a sign variance located at 151 W. Main Street in the Waterfront Redevelopment District (WRD).

All comments must be received by close of business on **Friday, August 21, 2020**.

As always, please call with any questions.

Thank you,

Cynthia Cannon, AICP
Assistant Planning Director



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00499

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Request for Aesthetic Review - Admiral's Row, 801 S. and 807 S. Palafox Street

BACKGROUND:

Admirals Row, LLC, is requesting an aesthetic review for minor revisions to their previously submitted plans for a new multi-family development, "Admiral's Row", located in the SPBD, South Palafox Business District. New developments in the SPBD are subject to Sections 12-2-81 (C), approval procedure, and 12-2-82 (D), design standards and guidelines, aesthetic review provisions, as well as the additional provisions in Section 12-2-13 (E).

Final approval for the following revisions:

- Multi-family residential - 1.47 Acres
- Building "B" is revised to provide one condominium unit on the 4th floor and to add a 5th floor with two condominium units.
- Building "C" is revised to delete 3rd and 4th floors and their respective condominium units.
- The domestic and fire service are relocated from the north side of the entrance drive to the south side.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



APPLICATION FOR SITE PLAN APPROVAL

Revised "minor: esthetic review"

Please Check Application Type and Required Fees:

Site Plan "A"	
<input type="checkbox"/>	Conditional Use
<input type="checkbox"/>	Special Planned Development
<input type="checkbox"/>	Major Revisions to SSD's
<input type="checkbox"/>	Exception to the 4,000 sq. ft. maximum area for a commercial use in an R-NC district
Site Plan "A" Fees:	
<input type="checkbox"/>	Preliminary <i>Fee: \$1,500.00</i>
<input type="checkbox"/>	Final <i>Fee: \$1,500.00</i>
<input type="checkbox"/>	Preliminary & Final <i>Fee: \$2,000.00</i>
<input type="checkbox"/>	Review Board Rehearing/Rescheduling <i>Fee: \$250.00</i>
<input type="checkbox"/>	City Council Rehearing/Rescheduling <i>Fee: \$750.00</i>

Site Plan "C"	
<input type="checkbox"/>	Non-residential Parking in a Residential Zone
Site Plan "C" Fees:	
<input type="checkbox"/>	Application <i>Fee: \$1,500.00</i>
<input type="checkbox"/>	Appeal to City Council <i>Fee: \$250.00</i>

Site Plan "B"	
<input type="checkbox"/>	Conservation district (CO)
<input type="checkbox"/>	Airport district – all private, non-aviation related development in the ARZ zone and all developments except single-family in an approved subdivision in the ATZ-1 and AZT-2 zones
<input type="checkbox"/>	Waterfront Redevelopment district (WRD)
<input type="checkbox"/>	South Palafox Business district (SPBD)
<input type="checkbox"/>	Interstate Corridor district (IC)
<input type="checkbox"/>	Multi-family developments over 35' high within the R-2A district
<input type="checkbox"/>	Buildings over 45' high in the R-2, R-NC and C-1 districts
Site Plan "B" Fees:	
<input type="checkbox"/>	Preliminary <i>Fee: \$1,500.00</i>
<input type="checkbox"/>	Final <i>Fee: \$1,500.00</i>
<input type="checkbox"/>	Preliminary & Final <i>Fee: \$2,000.00</i>
<input type="checkbox"/>	Review Board Rehearing/Rescheduling <i>Fee: \$250.00</i>
<input type="checkbox"/>	City Council Rehearing/Rescheduling <i>Fee: \$750.00</i>

APPLICATION DEADLINE IS 30 CALENDAR DAYS PRIOR TO THE PLANNING BOARD MEETING

Applicant Information:

Name: SMP Architecture Date: 8/10/20

Address: 40 S. Palafox Street

Phone: 850-432-7772 Fax: _____ Email: Philip@smp-arch.com

Property Information:

Owner Name: Admirals Row, LLC Phone: 850-434-5574

Location/Address: 801 S. and 807 S. Palafox Street

Parcel ID: 00 - 0S - 00 - 9100 - 0011 - 044 Square Feet/Acres: 1.47

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of site plan approval: Final approval for the following revisions to the project:

1. Building "B" is revised to provide one condo unit on the 4th floor and to add a 5th floor with two condo units.
2. Building "C" is revised to delete floors 2 and 3 and their respective condo units. The first floor will remain covered parking.
3. The domestic and fire service are relocated from the north side of the entrance drive to the south side.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this site plan and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant
(Owner of Property or Official Representative of Owner)

Date



Listen. Interpret. Translate.

ADMIRAL'S
ROW
Building "B"

L. DRAWINGS AND WRITTEN MATERIAL
REIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
FORM WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

VISIONS :

AWN BY : RM

ECKED BY : RM

OBJECT NO. 1814

TE : 8/20/19

ARCHITECTURAL
SITE PLAN

EET NO. :

A-001

018 SMP ARCHITECTURE



1
A-001

OVERALL SITE PLAN

SCALE: $1/16" = 1'-0"$

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S
ROW
Building "B"

301 South Palafox Street
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIALS
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED
WORK OF THE ARCHITECT AND MAY NOT BE
DUPLICATED IN ANY PART WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

EXCLUSIONS :

AUGUST 14, 2020

RAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

ATE : 8/20/19

SHEET TITLE :

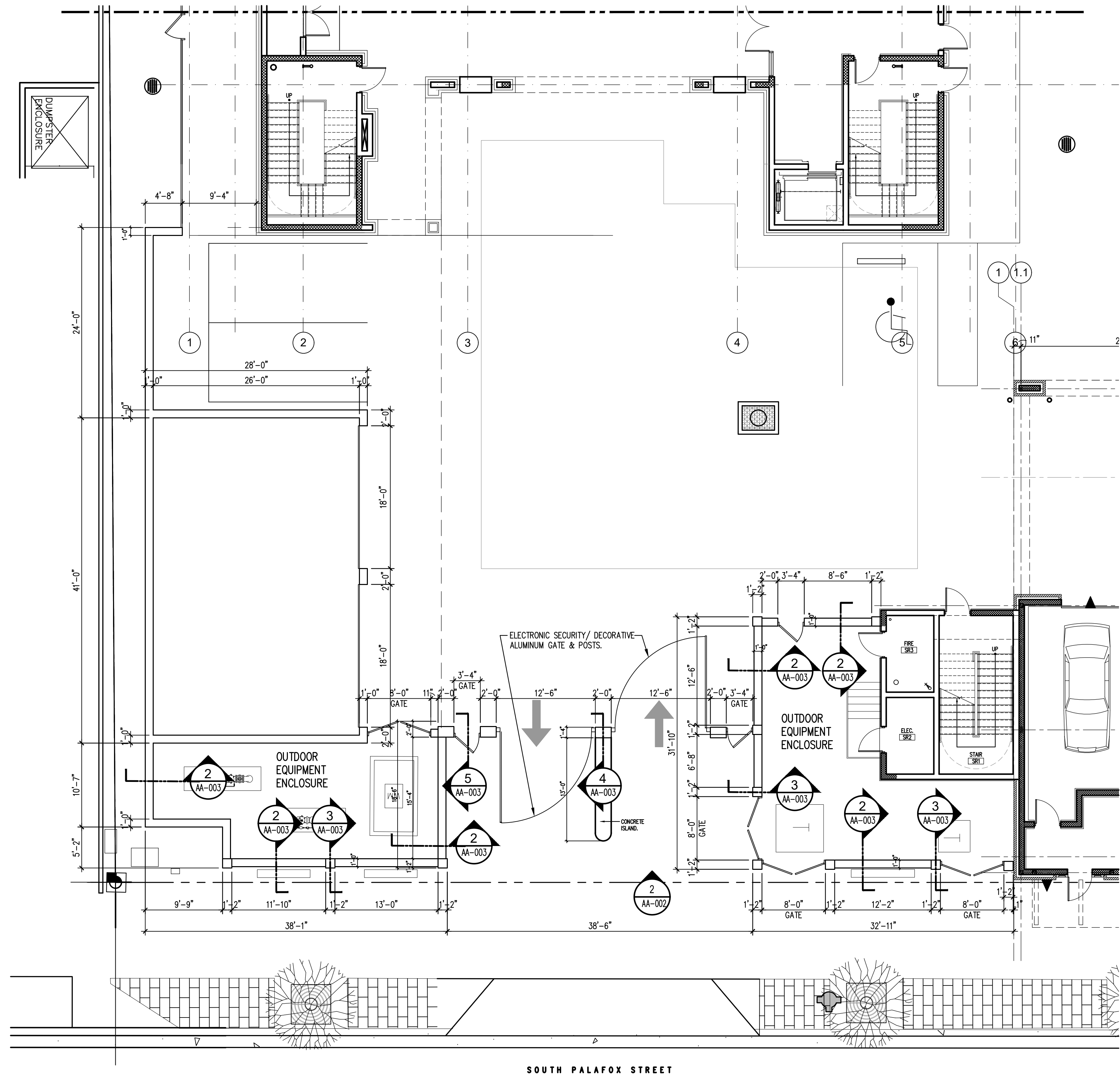
ENTRY GATE ELEVATIONS & SECTIONS

SHEET NO. :

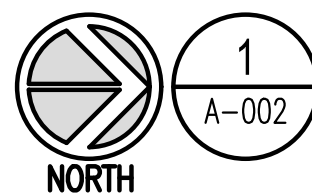
A-002

2018 SMP ARCHITECTURE

REFER TO SHEET AB-101 FOR CONTINUATION OF BUILDING - B



SOUTH PALAFOX STREET



1
A-002

ENLARGED ENTRY GATE

SCALE: 1/4" = 1'-0"

1 South Palafox Street
Pensacola, Florida

L. DRAWINGS AND WRITTEN MATERIAL
REIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
MANNER WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

VISIONS :

AUGUST 14, 2020

AWN BY : RM

ECKED BY : RM

OBJECT NO. 1814

TE : 8/20/19

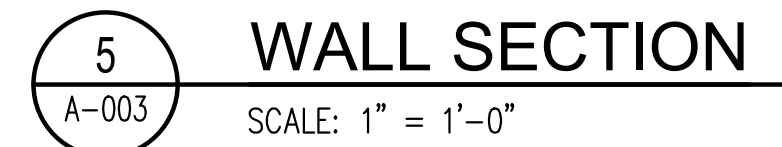
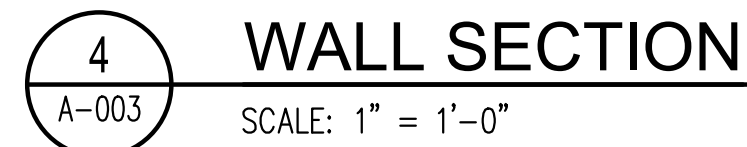
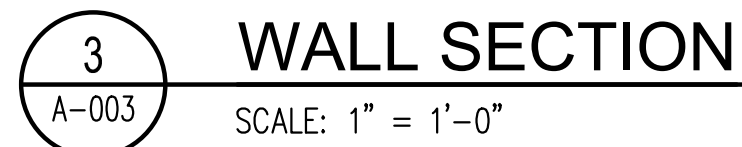
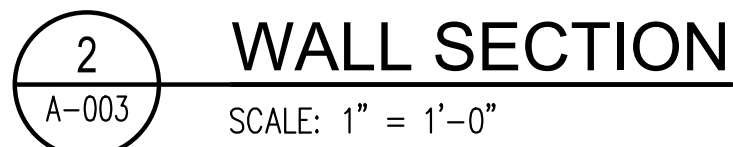
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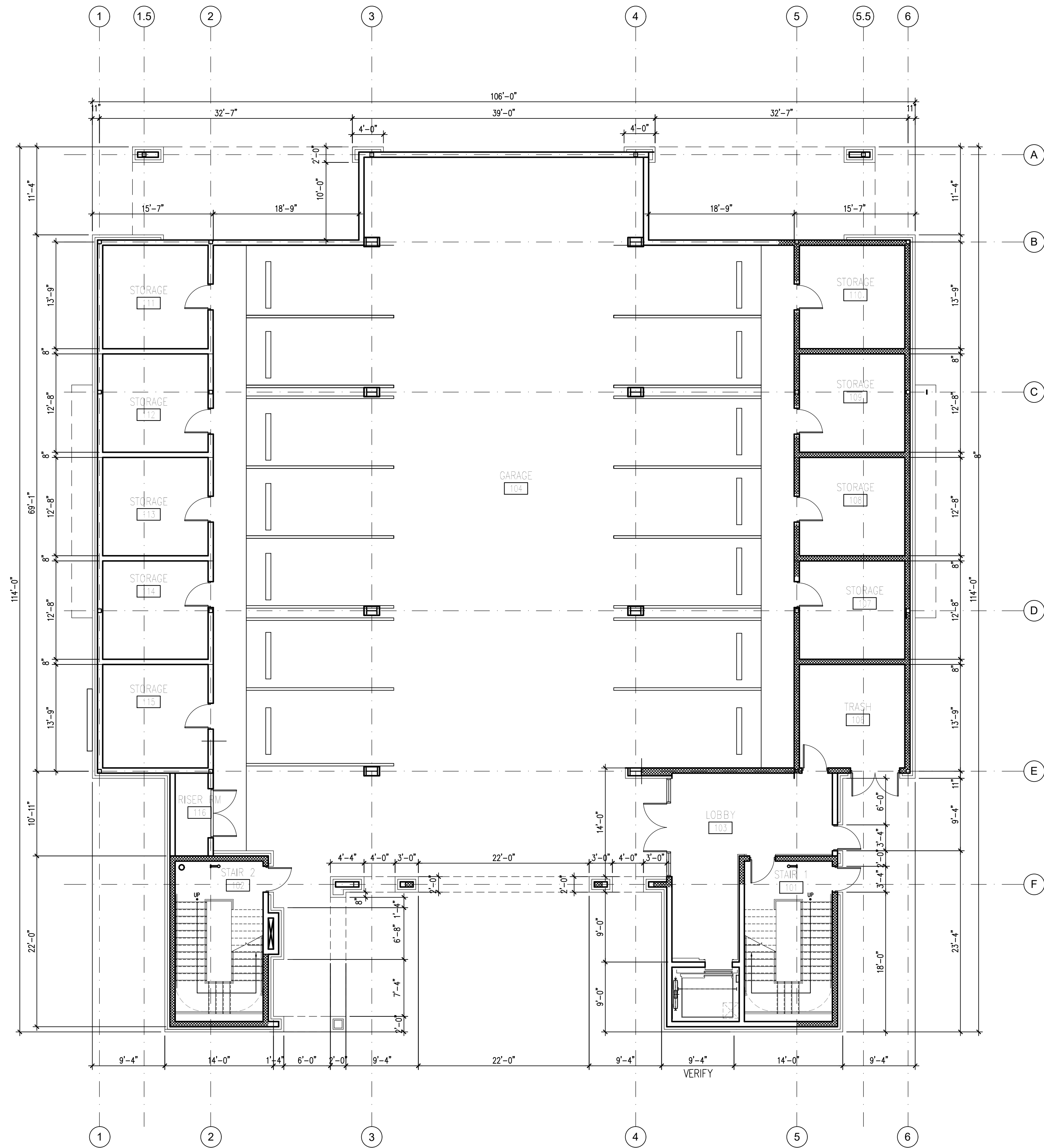
MECHANICAL ELEVATIONS & SECTIONS

EET NO. :

A-003

018 SMP ARCHITECTURE





1
AB-101

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

smp.

SMP Architecture, P.A.
40 S. PALAFOX STREET • SUITE 202
PENSACOLA, FLORIDA 32502 • P 850.432.7772
www.smp-arch.com • AAC001628

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S ROW Building "B"

801 South Palafox Street
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

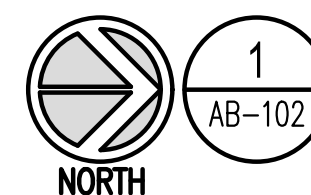
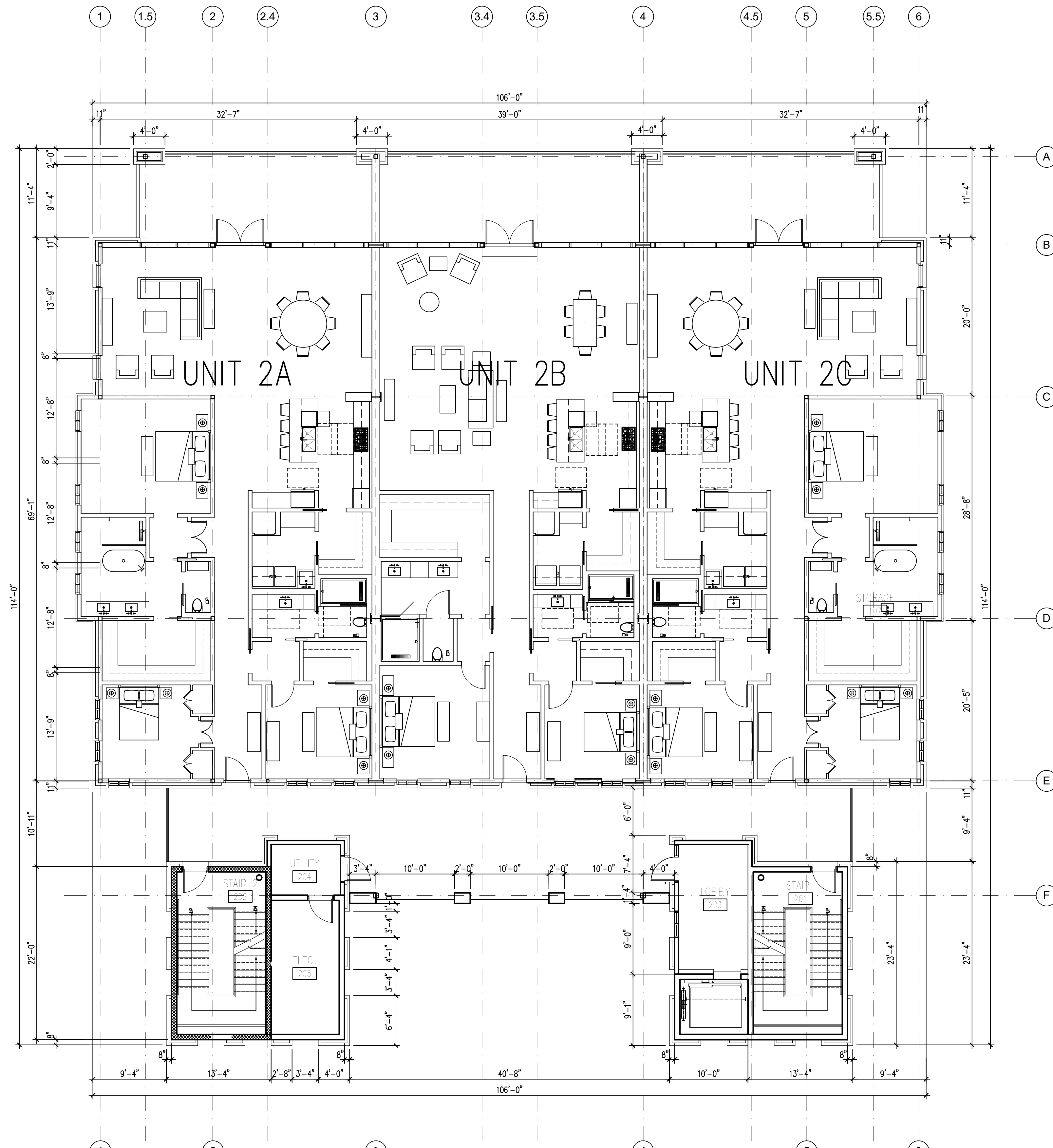
SHEET TITLE :

1ST FLOOR
PLAN

SHEET NO. :

AB-101

©2018 SMP ARCHITECTURE



1
AB-102

2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

smp.

SMP Architecture, P.A.
40 S. PALAFOX STREET • SUITE 202
PENSACOLA, FLORIDA 32502 • P 850.432.7772
www.smp-arch.com • AAC001628

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ADMIRAL'S ROW Building "B"

801 South Palafox Street
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REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

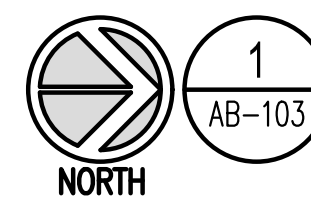
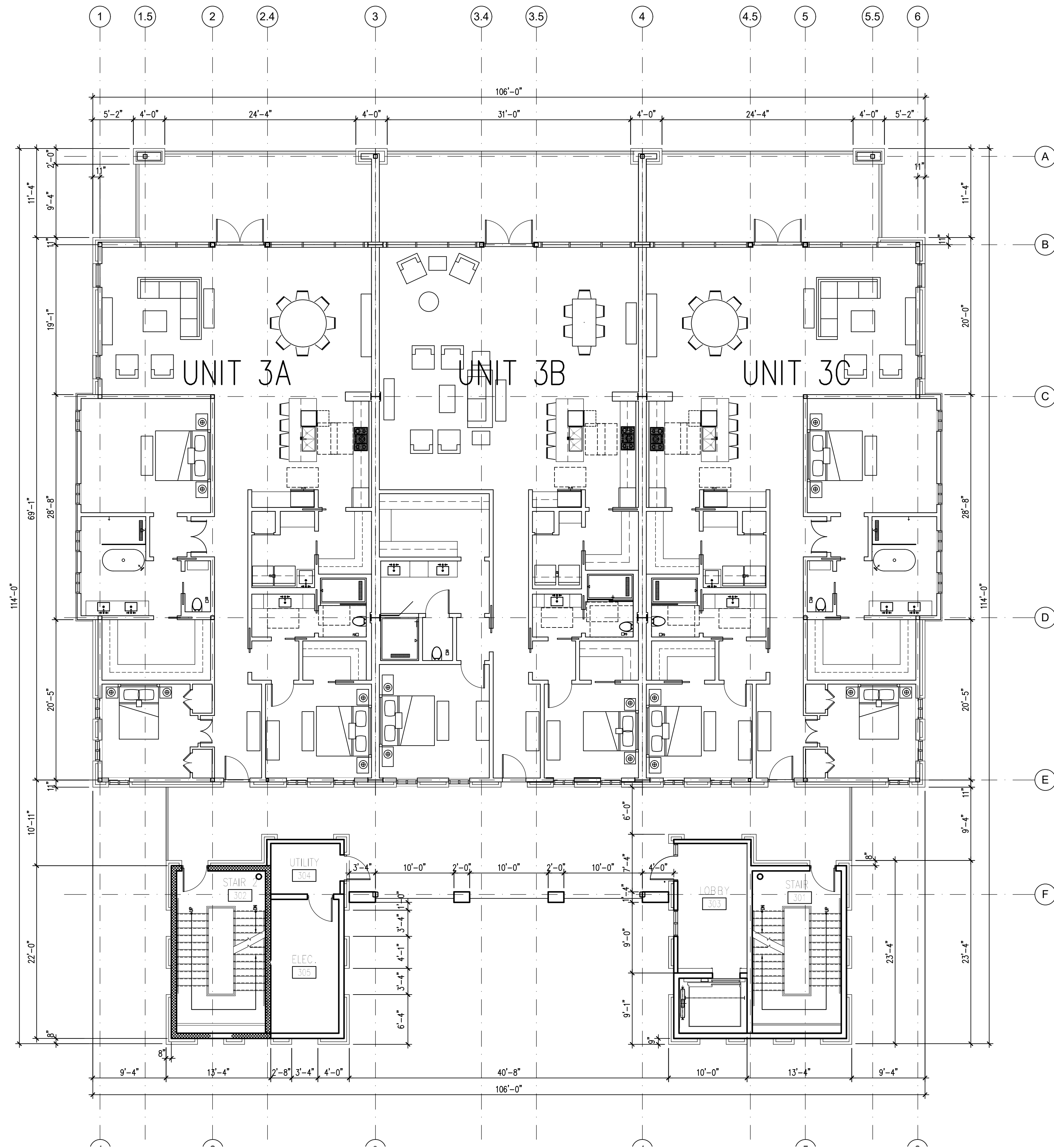
SHEET TITLE :

2ND FLOOR
PLAN

SHEET NO. :

AB-102

©2018 SMP ARCHITECTURE



3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"

smp.

SMP Architecture, P.A.
40 S. PALAFOX STREET • SUITE 202
PENSACOLA, FLORIDA 32502 • P 850.432.7772
www.smp-arch.com • AAC001628

Listen. Interpret. Translate.

CERTIFICATION :

**ADMIRAL'S
ROW
Building "B"**

801 South Palafox Street
Pensacola, Florida

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PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

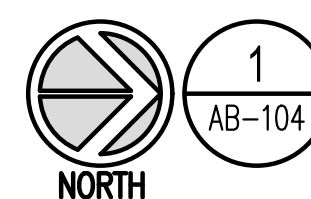
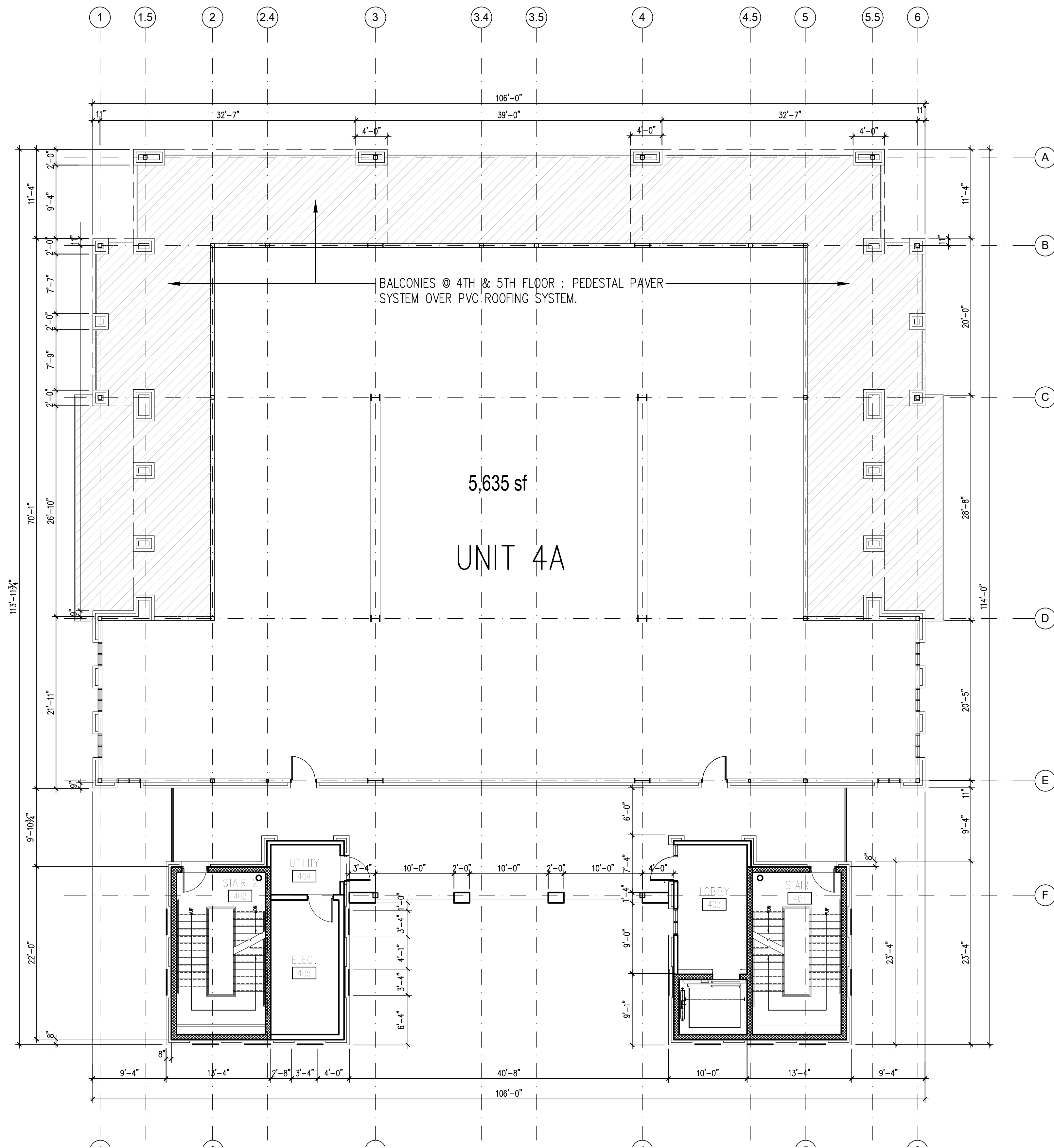
SHEET TITLE :

**3RD FLOOR
PLAN**

SHEET NO. :

AB-103

©2018 SMP ARCHITECTURE



4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S
ROW
Building "B"

801 South Palafox Street
Pensacola, Florida

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OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

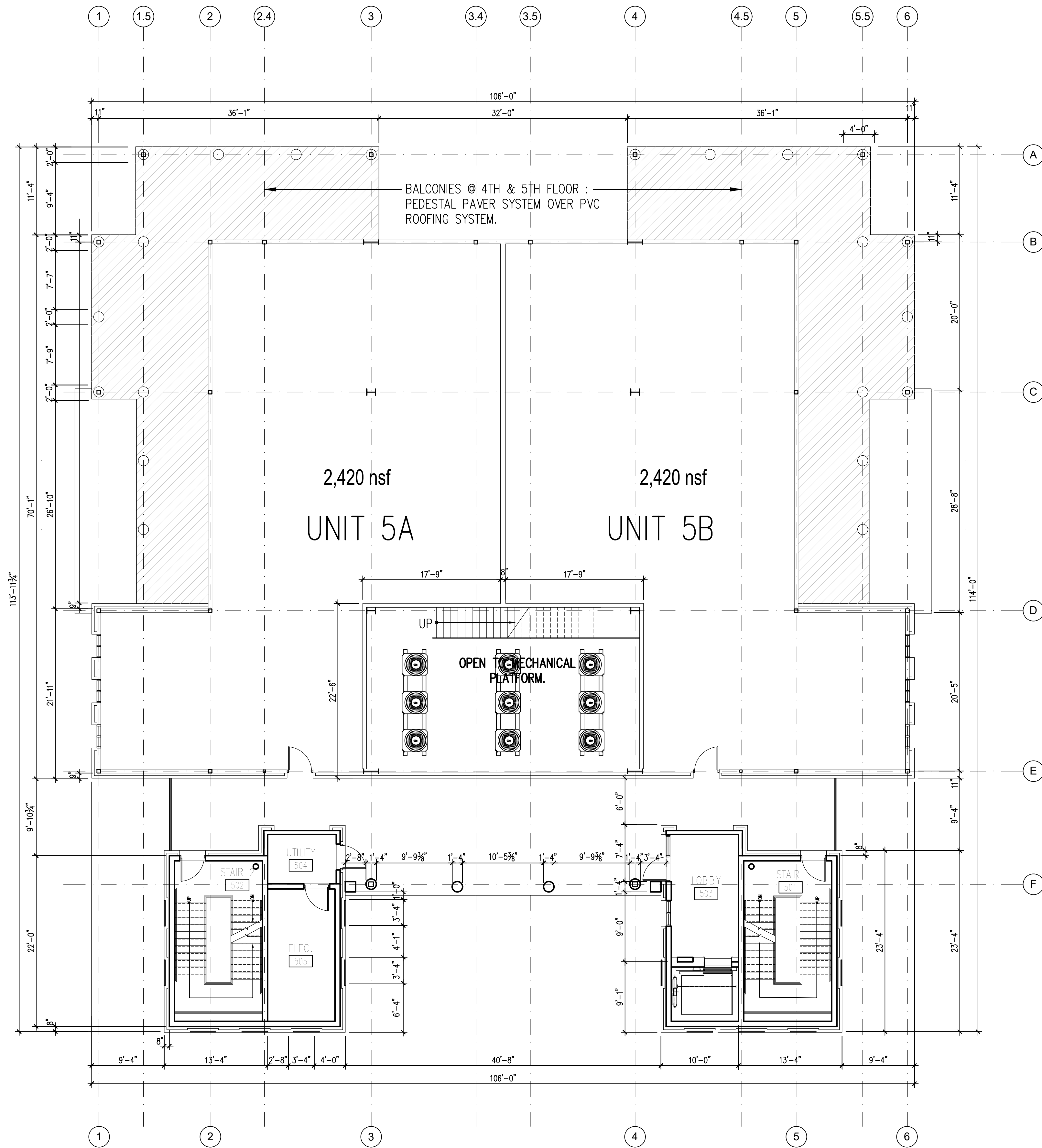
PROJECT NO. 1814

DATE : 8/20/19

SHEET TITLE :
4TH FLOOR
PLAN

SHEET NO. :

AB-104



1
AB-105

5TH FLOOR PLAN

SCALE: 1/8" = 1'-0"

smp.

SMP Architecture, P.A.
40 S. PALAFOX STREET • SUITE 202
PENSACOLA, FLORIDA 32502 • P 850.432.7772
www.smp-arch.com • AAC001628

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S ROW Building "B"

801 South Palafox Street
Pensacola, Florida

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OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

SHEET TITLE :

5TH FLOOR
PLAN

SHEET NO. :

AB-105

©2018 SMP ARCHITECTURE

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S
ROW
Building "B"

301 South Palafox Street
Pensacola, Florida

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HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

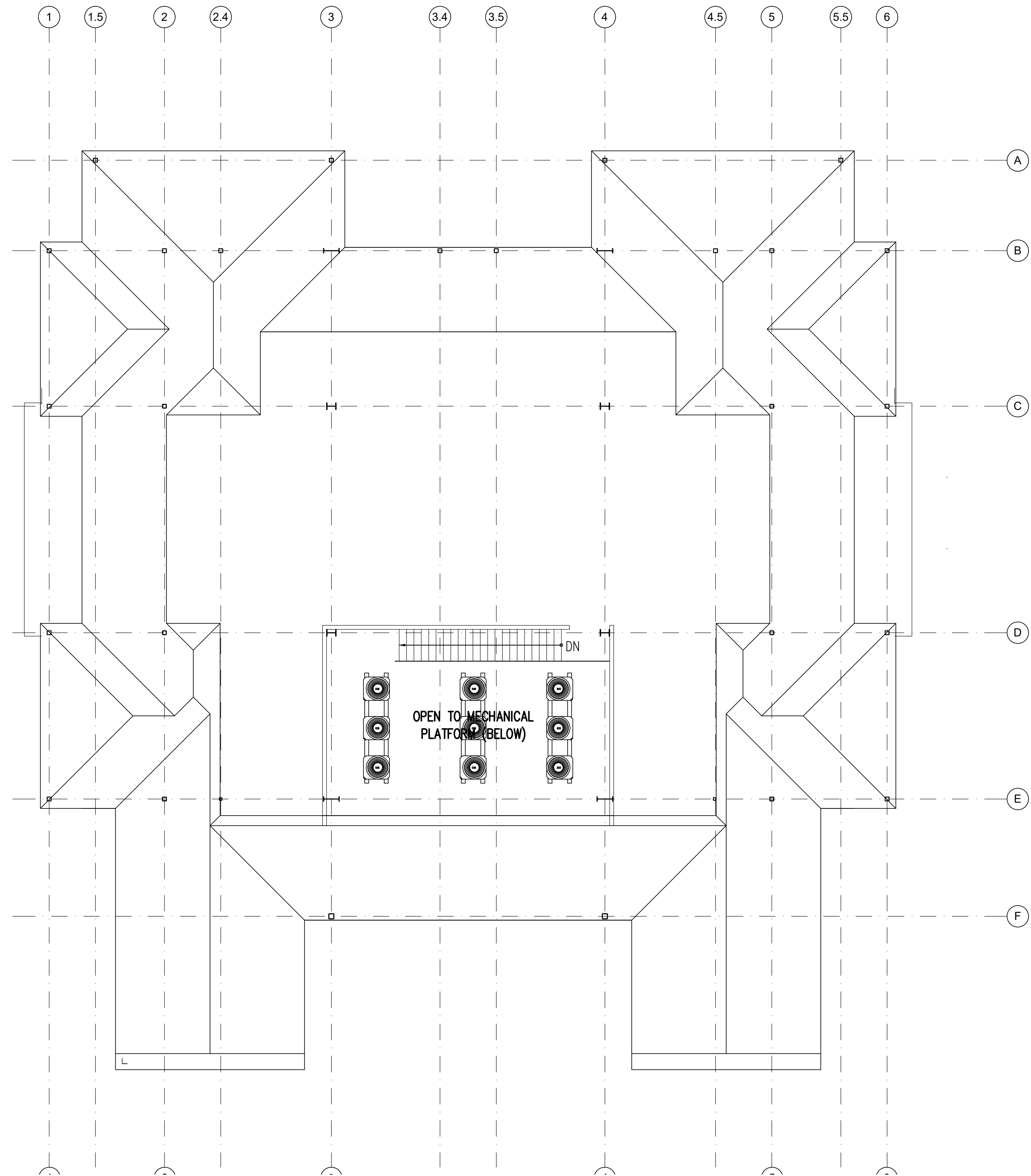
SHEET TITLE :

ROOF PLAN
PLAN

SHEET NO. :

AB-106

©2018 SMP ARCHITECTURE



1
AB-106

6TH ROOF PLAN

SCALE: 1/8" = 1'-0"

OPEN TO MECHANICAL
PLATFORM (BELOW)



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION
AB-202 SCALE: 3/32" = 1'-0"



2 WEST ELEVATIONS
AB-202 SCALE: 3/32" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S
ROW
Building "B"

801 South Palafox Street
Pensacola, Florida

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PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

AUGUST 14, 2020

DRAWN BY : RM

CHECKED BY : RM

PROJECT NO. 1814

DATE : 8/20/19

SHEET TITLE :

EXTERIOR
ELEVATIONS

SHEET NO. :

AB-202

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	No comments.
ESP	No comments.
ECUA	ECUA has no comment on the aesthetic review of the building, however, the plans state that the domestic and fire services are to be relocated. This project has already applied with ECUA Engineering, but please have the developer contact their ECUA reviewer with any changes that may need to be made to the water connections plans, if necessary.
GPW	No comments.
ATT	No comments.
City Surveyor	See attached.

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Thursday, August 13, 2020 10:26 AM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Request for Aesthetic Review - Admiral's Row - 801 & 807 S. Palafox St.

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

ECUA has no comment on the aesthetic review of the building, however, the plans state that the domestic and fire services are to be relocated. This project has already applied with ECUA Engineering, but please have the developer contact their ECUA reviewer with any changes that may need to be made to the water connections plans, if necessary.

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, August 10, 2020 3:26 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Request for Aesthetic Review - Admiral's Row - 801 & 807 S. Palafox St.

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Afternoon All,

Please review and comment on the attached Aesthetic Review request before the Planning board to make minor revisions to the Admiral's Row development at 801 & 807 S. Palafox St. located in the South Palafox Business District (SPBD).

All comments must be received by close of business on **Friday, August 21, 2020.**

As always, please call with any questions.

Thank you,

Cynthia Cannon

From: Annie Bloxson
Sent: Tuesday, September 1, 2020 2:44 PM
To: Cynthia Cannon
Subject: RE: Request for Aesthetic Review - Admiral's Row - 801 & 807 S. Palafox St.

Good Afternoon,

I do not oppose the Aesthetic Review request.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Friday, August 21, 2020 4:09 PM
To: Annie Bloxson <ABloxson@cityofpensacola.com>
Subject: FW: Request for Aesthetic Review - Admiral's Row - 801 & 807 S. Palafox St.

Annie,

Did you see this application? I may have misplaced your comments.

Thank you!

Cynthia Cannon, AICP
Assistant Planning Director



APPLICATION FOR SITE PLAN APPROVAL

Please Check Application Type and Required Fees:

REVISED "Minor" aesthetic review

Site Plan "A"	
<input type="checkbox"/>	Conditional Use
<input type="checkbox"/>	Special Planned Development
<input type="checkbox"/>	Major Revisions to SSD's
<input type="checkbox"/>	Exception to the 4,000 sq. ft. maximum area for a commercial use in an R-NC district
Site Plan "A" Fees:	
<input type="checkbox"/>	Preliminary Fee: \$1,500.00
<input type="checkbox"/>	Final Fee: \$1,500.00
<input type="checkbox"/>	Preliminary & Final Fee: \$2,000.00
<input type="checkbox"/>	Review Board Rehearing/Rescheduling Fee: \$250.00
<input type="checkbox"/>	City Council Rehearing/Rescheduling Fee: \$750.00

Site Plan "C"	
<input type="checkbox"/>	Non-residential Parking in a Residential Zone
Site Plan "C" Fees:	
<input type="checkbox"/>	Application Fee: \$1,500.00
<input type="checkbox"/>	Appeal to City Council Fee: \$250.00

Site Plan "B"	
<input type="checkbox"/>	Conservation district (CO)
<input type="checkbox"/>	Airport district – all private, non-aviation related development in the ARZ zone and all developments except single-family in an approved subdivision in the ATZ-1 and AZT-2 zones
<input type="checkbox"/>	Waterfront Redevelopment district (WRD)
<input type="checkbox"/>	South Palafox Business district (SPBD)
<input type="checkbox"/>	Interstate Corridor district (IC)
<input type="checkbox"/>	Multi-family developments over 35' high within the R-2A district
<input type="checkbox"/>	Buildings over 45' high in the R-2, R-NC and C-1 districts
Site Plan "B" Fees:	
<input type="checkbox"/>	Preliminary Fee: \$1,500.00
<input type="checkbox"/>	Final Fee: \$1,500.00
<input type="checkbox"/>	Preliminary & Final Fee: \$2,000.00
<input type="checkbox"/>	Review Board Rehearing/Rescheduling Fee: \$250.00
<input type="checkbox"/>	City Council Rehearing/Rescheduling Fee: \$750.00

APPLICATION DEADLINE IS 30 CALENDAR DAYS PRIOR TO THE PLANNING BOARD MEETING

Applicant Information:

Name: SMP Architecture Date: 8/10/20
Address: 40 S. Palafox Street
Phone: 850-432-7772 Fax: _____ Email: Philip@smp-arch.com

Property Information:

Owner Name: Admirals Row, LLC Phone: 850-434-5574

Location/Address: 801 S. and 807 S. Palafox Street

Parcel ID: 00 - 0S - 00 - 9100 - 0011 - 044 Square Feet/Acres: 1.47

Legal Description: Please attach a full legal description (from deed or survey)

please review and revise as needed

Purpose of site plan approval: Final approval for the following revisions to the project:

1. Building "B" is revised to provide one condo unit on the 4th floor and to add a 4th floor with two condo units.
2. Building "C" is revised to delete 3rd and 4th floors and their respective condo units.
3. The domestic and fire service are relocated from the north side of the entrance drive to the south side.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this site plan and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant
(Owner of Property or Official Representative of Owner)

8/10/20
Date



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00502

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

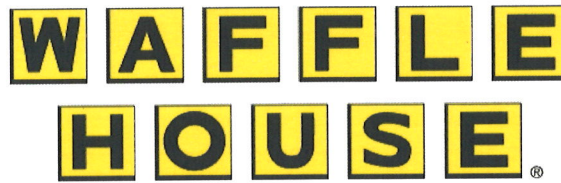
SUBJECT:

Request for Aesthetic Review - Waffle House, 401 E. Gregory Street

BACKGROUND:

Ken Williams, Vice President, Waffle House, Inc. is requesting aesthetic review for a remodel of the Waffle House located at 401 E. Gregory Street, which is located in the Gateway Redevelopment District (GRD). All existing exterior walls and roof will remain. No changes are being proposed to the parking lot; however, it will be repaved.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



"GOOD FOOD FAST"

P.O. BOX 6450 - NORCROSS, GEORGIA 30091-6450
5986 FINANCIAL DRIVE, NORCROSS, GEORGIA 30071
(770) 729-5700

August 3, 2020

City of Pensacola – Planning Services
222 W. Main Street
Pensacola, FL 32502

Re: Proposed Remodel of Waffle House restaurant #586 located at 401 East Gregory Street,
Pensacola, FL

Dear Planning Board Representative:

We are planning to perform a remodel of our existing Waffle House restaurant located at 401 East Gregory Street in Pensacola. The building location will not change however we understand that due to the Gateway Redevelopment District requirements we need to submit a copy of our plans for review prior to the issuance of a building permit for renovation work. Please find enclosed a copy of each of the following:

- Color Rendering of the Building
- Architectural Elevation Drawings
- Proposed Civil Drawing and parking lot redesign providing additional landscaped areas.

Let me know if you require any additional information in order for our submittal to proceed for approval of the plans. If you have any questions or need additional information, I can be reached on my direct phone line at our corporate offices (770) 729-5796, by cell at (404) 307-5825 by email at kenwilliams@wafflehouse.com or at the address on this letterhead. I look forward to hearing back from you.

Kind regards,

Kenneth L. Williams
V. P. Waffle House, Inc.

Enclosures



City of
Pensacola
America's First Settlement
And Most Historic City

**Planning Board Application
Request for Aesthetic Review**

Application Date: 7/28/2020

Project Address: 401 EAST GREGORY ST., PENSACOLA FL 32501-4958
Applicant: KEN WILLIAMS C/O WAFFLE HOUSE, INC.
Applicant's Address: 5986 FINANCIAL DR., NORCROSS GA 30071
Email: KENWILLIAMS@WAFFLEHOUSE.COM **Phone:** (404) 307-5825
Property Owner: WAFFLE HOUSE, INC.

**Redevelopment
District:**



Waterfront



Gateway



South Palafox
Business



North 9th
Avenue

* An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.

Project specifics/description:

WAFFLE HOUSE INC., WILL BE REMODELING THE
EXISTING RESTAURANT LOCATED AT 401 E. GREGORY ST.
IN PENSACOLA. ALL EXISTING EXTERIOR WALLS AND
ROOF WILL REMAIN. THE PARKING LOT WILL
NOT CHANGE BUT WILL BE REPAVED.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

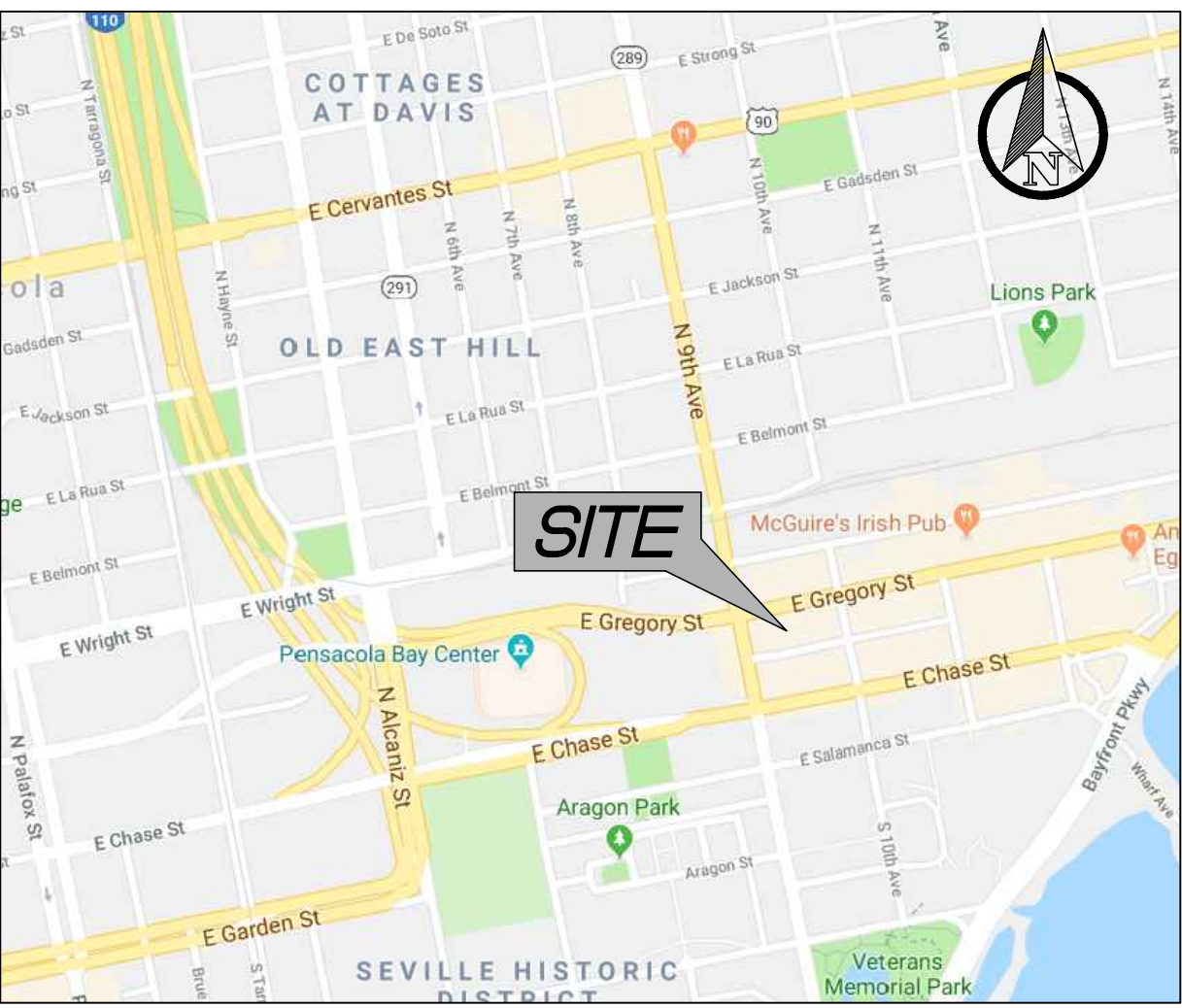
Kenneth Williams

Applicant Signature

July 28, 2020

Date

Planning Services
 222 W. Main Street * Pensacola, Florida 32502
 (850) 435-1670
 Mail to: P.O. Box 12910 * Pensacola, Florida 32521



VICINITY MAP
N.T.S.

SITE LEGEND

	PROPERTY LINE
	EASEMENT LINE
	SETBACK AND BUFFER LINE
	18" CURB & GUTTER LINE
	RETAINING WALL LINE
	ADA STRIPING
	STANDARD CONCRETE
	ADA/LOADING ZONE STRIPING
	ADA ACCESSIBLE PARKING SPACE
	9'X18' PARKING ROW COUNT
	TRAFFIC DIRECTION SYMBOL

SITE SUMMARY

JURISDICTION	CITY OF PENSACOLA
ZONING DISTRICT	GRD
PROPOSED USE	RESTAURANT
TOTAL SITE AREA	.55 AC
GREGORY ST BUILDING SETBACK	10'
9TH ST BUILDING SETBACK	10'
OTHER STREET BUILDING SETBACK	5'

PARKING SUMMARY

	EXISTING	PROPOSED	DELTA
STANDARD STALLS	45	32	-13
HANDICAPPED STALLS	2	2	0
	47	34	-13

LANDSCAPE SUMMARY

PER CITY OF PENSACOLA:
25% OF SQUARE FOOTAGE MUST BE LANDSCAPE AREA
25% * 24086 SQ FT = 6022 SQ FT
LANDSCAPE AREA PROVIDED: 6315.4 SQ FT

CONTINEO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
678.601.6046
www.fcg.engineer



#	DATE	REVISIONS	BY

"A UNIQUE AMERICAN PHENOMENON"
WAFLE HOUSE
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"

5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

WAFLE HOUSE UNIT
#586

REBUILD

LOCATION: 401 E GREGORY ST,
PENSACOLA, FL 32501

CHECKED BY:
BHR

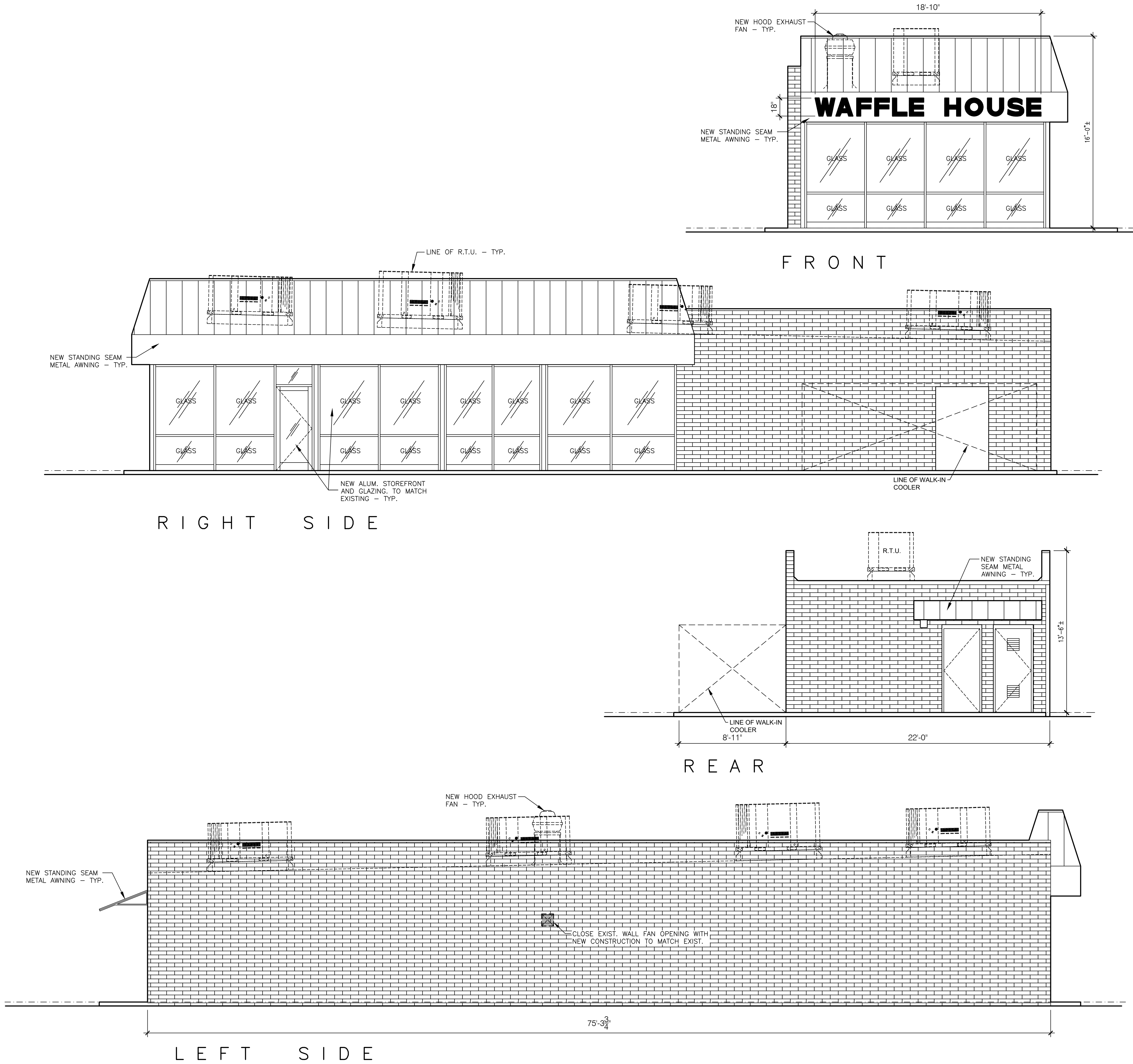
DRAWN BY:
CMR

CSP-1

JOB NO:
WH-586
DATE:
03/08/19

SHEET
1
OF 2
SHEETS

D:\Dropbox - Children's Design\WH Florida\Periscop\586 - GUT\586 Redo.dwg, 6/18/2020 11:16:37 AM, DWG To PDF.pc3



MARK D. PAVEY, AIA - ARCHITECT

P.O. BOX 1365
GULF SHORES, AL. 36547
(334)-546-3624 (206)-350-0593 (FAX)

These drawings and the design represented herein are the property of Mark D. Pavey, Architect. Reproduction or any use of these drawings other than for the project intended without the express written consent of Waffle House Inc. is prohibited. Any unauthorized use will be subject to legal action.

#	DATE	REVISIONS	BY

'A UNIQUE AMERICAN PHENOMENON'

WAFFLE HOUSE®

'AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK'

5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

EXTERIOR ELEVATIONS

40 SEAT / 19 STATION / RE-DO

CHECKED BY:
MDP

DRAWN BY:
BD/SKC

LOCATION: UNIT 586
401A EAST GREGORY STREET
PENSACOLA, FLORIDA

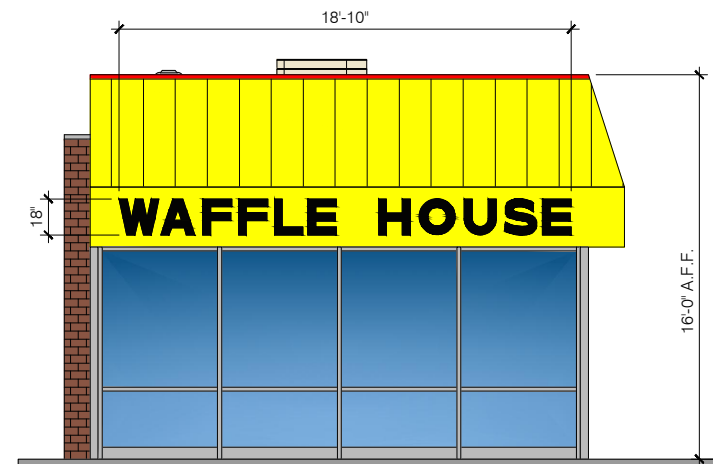
WAFFLE HOUSE MOD

JOB NO:
72413

DATE:
06/17/20

SHEET
A-3
OF
SHEETS

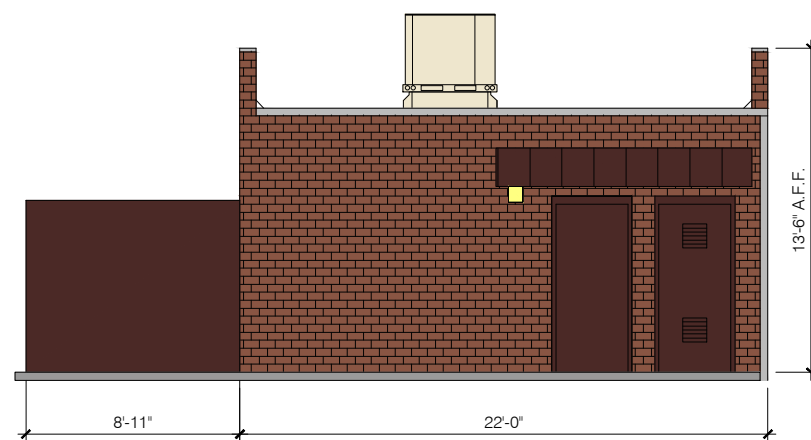
RE-DO



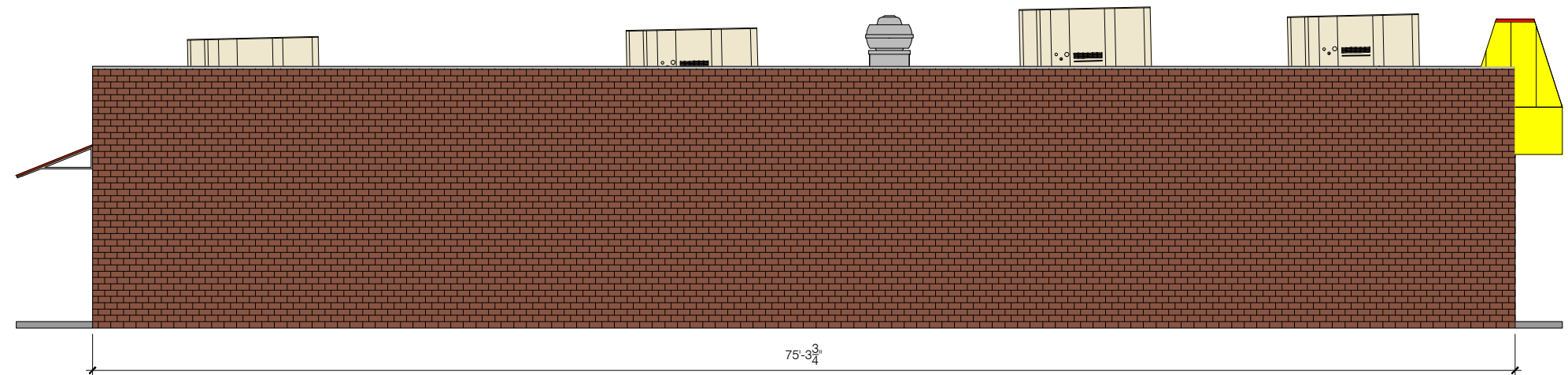
STRETCH END



LONG GLASS WALL



REAR



LONG BLOCK WALL

PROPOSED WAFFLE HOUSE

UNIT 586 PENSACOLA, FL

LEFT HAND, YELLOW STANDING SEAM METAL PARAPET & BRICK BUILDING
 RSCALE: 1/8"=1'-0"



FEBRUARY 25, 2020

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	No comments.
ESP	No comments.
ECUA	No comments.
GPW	No comments.
ATT	No comments.

Cynthia Cannon

From: Annie Bloxson
Sent: Wednesday, August 12, 2020 3:22 PM
To: Cynthia Cannon
Subject: RE: Aesthetic Review Application - 401 E Gregory - Waffle House

Good Evening,

I do not oppose the request for Aesthetic Review for the Waffle House @ 401 E. Gregory Street.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



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From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, August 11, 2020 5:09 PM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)

Cynthia Cannon

From: Diane Moore
Sent: Wednesday, August 12, 2020 3:01 PM
To: Cynthia Cannon
Subject: RE: Aesthetic Review Application - 401 E Gregory - Waffle House

Pensacola Energy has no comments.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

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Subject: Aesthetic Review Application - 401 E Gregory - Waffle House

Good Afternoon All,

Please see the attached request before the Planning Board for Aesthetic Review for the Waffle House located at 401 E Gregory St. Please provide comments **by close of business on Friday, August 21, 2020.**

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Wednesday, August 12, 2020 3:00 PM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Aesthetic Review Application - 401 E Gregory - Waffle House

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

ECUA has no comment on the aesthetic review of the building remodel. If the remodel of the building requires a new connection to ECUA's utility system or upgrade in water meter size, please have them contact ECUA Engineering for more information.

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, August 11, 2020 5:09 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Aesthetic Review Application - 401 E Gregory - Waffle House

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Good Afternoon All,

Please see the attached request before the Planning Board for Aesthetic Review for the Waffle House located at 401 E Gregory St. Please provide comments **by close of business on Friday, August 21, 2020.**

Thank you!

Cynthia Cannon, AICP
Assistant Planning Director
Visit us at <http://cityofpensacola.com>



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00599

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Request for Aesthetic Review - Mailbox Pavilion in Aragon

BACKGROUND:

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for a new one-story mailbox covering/pavilion behind the existing Aragon Community Garden shed. Building materials include painted composite siding and trim work and painted wood structure with metal roofing to match the existing shed roofing.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.



**Gateway Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential – \$50.00 hearing fee
- ☐ Commercial – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.

Applicant Signature

Date

***Gateway Review Board Application
Full Board Review***

Procedure for review of plans:

- Plan submission: All development plans, including demolition, must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**
- Review and approval. *All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13.* At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.
- Final development plan. *If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development.* For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.
- Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the Board. This provision is made in an effort to save the applicant and the Board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the Board secretary and chairman, then the matter will be referred to the board for a decision.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Gateway Review Board Application
Full Board Review

Submittal Instructions/Requirements Checklist:

- _____ One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;
- _____ Eleven (11) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".
- _____ One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.

Gateway Review Board Application
Full Board Review

- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.
- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

Date: Friday, September 11, 2020

Project: **ARAGON MAILBOX PAVILION**
Aragon Community Garden
Pensacola, FL 32502

Recipient: **Planning Review Board**

Existing Site Conditions



View of Existing Shed and garden from Aragon Street



Existing Mailboxes and gate



View of Existing Shed (to remain) and Gate

Renderings



View from Park



View from Shed Area Entrance



View from Mailbox Area Entrance



View from Aragon Street

Exterior Color Schedule

<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>COLOR</u>
EXTERIOR SIDING	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
EXTERIOR TRIM	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
ROOF (Match Existing)	N/A	N/A
EAVES AND SOFFITS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
ROOF STRUCTURE	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
FASCIAS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
COLUMN	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
COLUMN TRIM	SHERWIN-WILLIAMS	SW6440 "COURTYARD"
FLASHING	PRE-FINISHED ALUMINUM	CHARCOAL GRAY
PERGOLA STRUCTURE	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"

SW 7005
Pure White
Interior / Exterior
Locator Number: 255-C1



SW 6440
Courtyard
Interior / Exterior
Location Number: 156-C7



ROOF (MATCH EXISTING)

EXTERIOR LIGHT FIXTURE

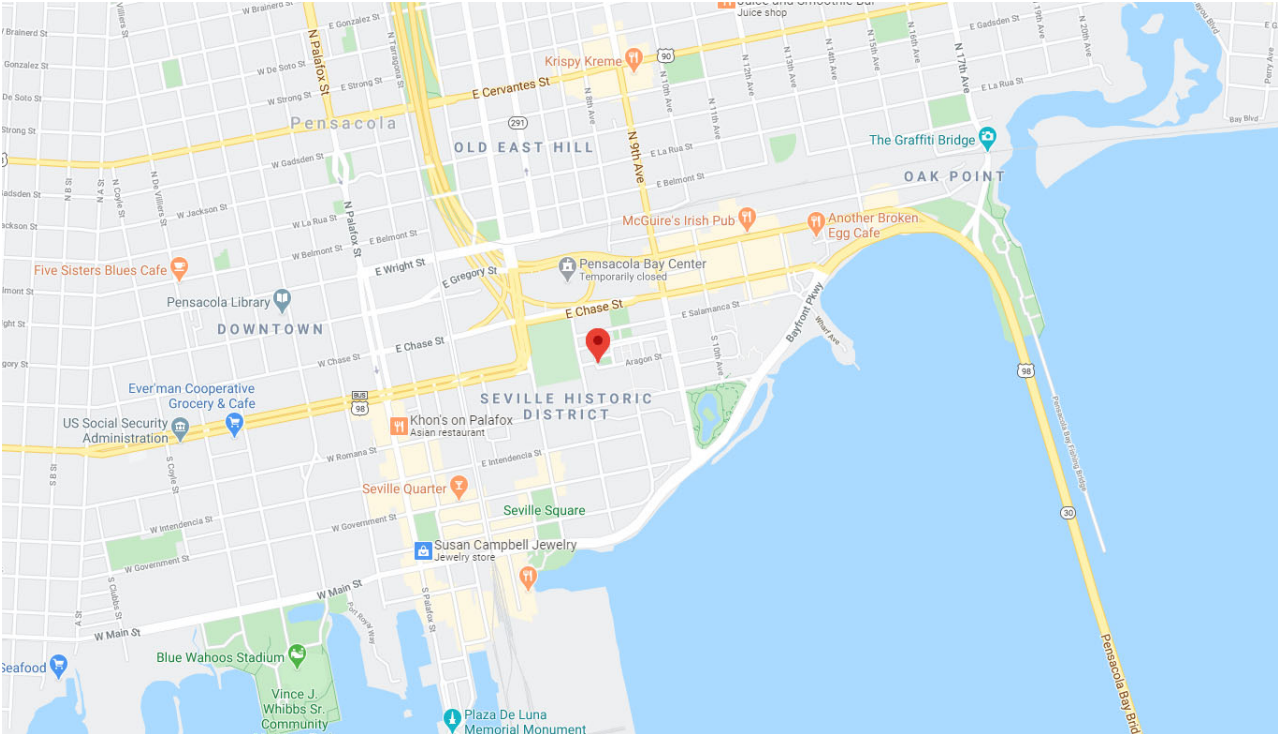
BEVOLO FRENCH QUARTER YOKE PENDANT



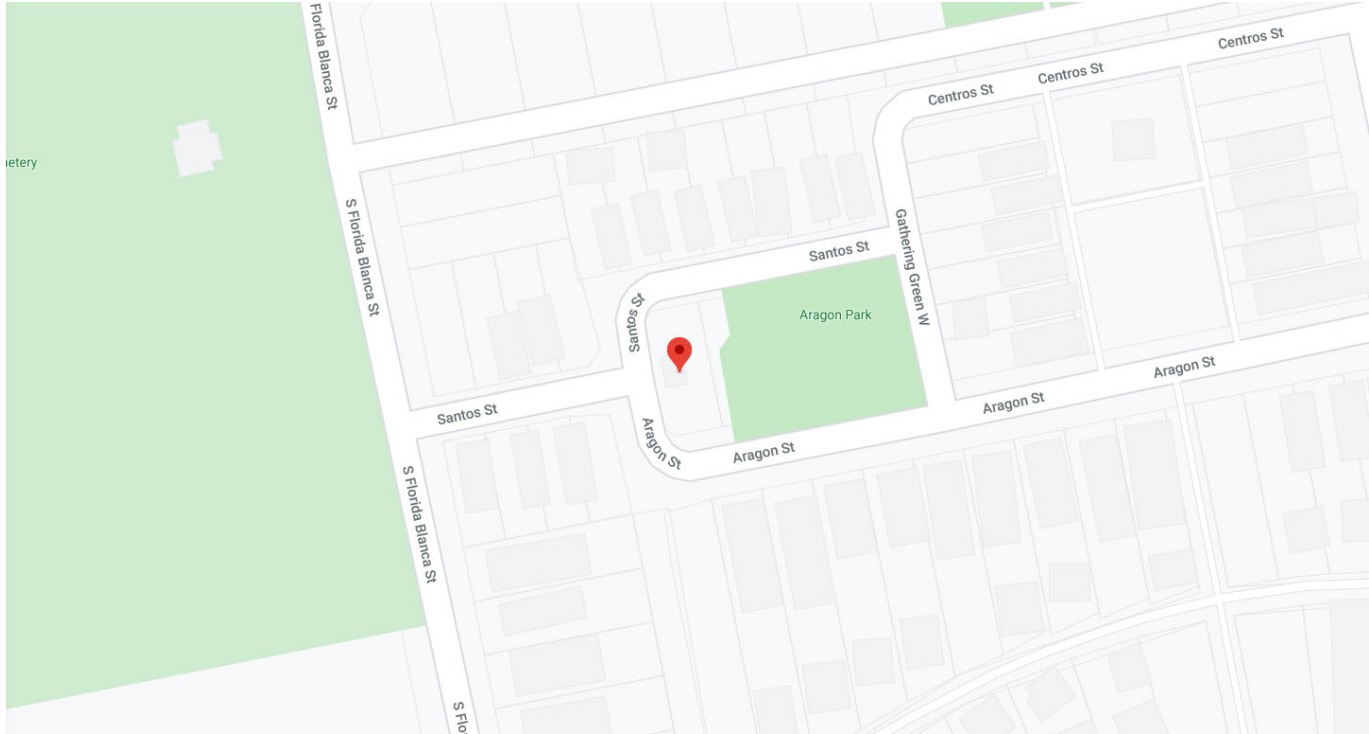
Aragon Mailbox Pavilion

Pavilion shelter for the existing mailbox area in the Aragon Community

Aragon Community Garden



VICINITY MAP



SITE MAP

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Structural		
S001	STRUCTURAL NOTES AND DIAGRAMS	
Architectural		
A101	DEMO, FRAMING & NEW WORK PLANS	
A201	ELEVATIONS, BUILDING & WALL SECTIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

BUILDING DATA

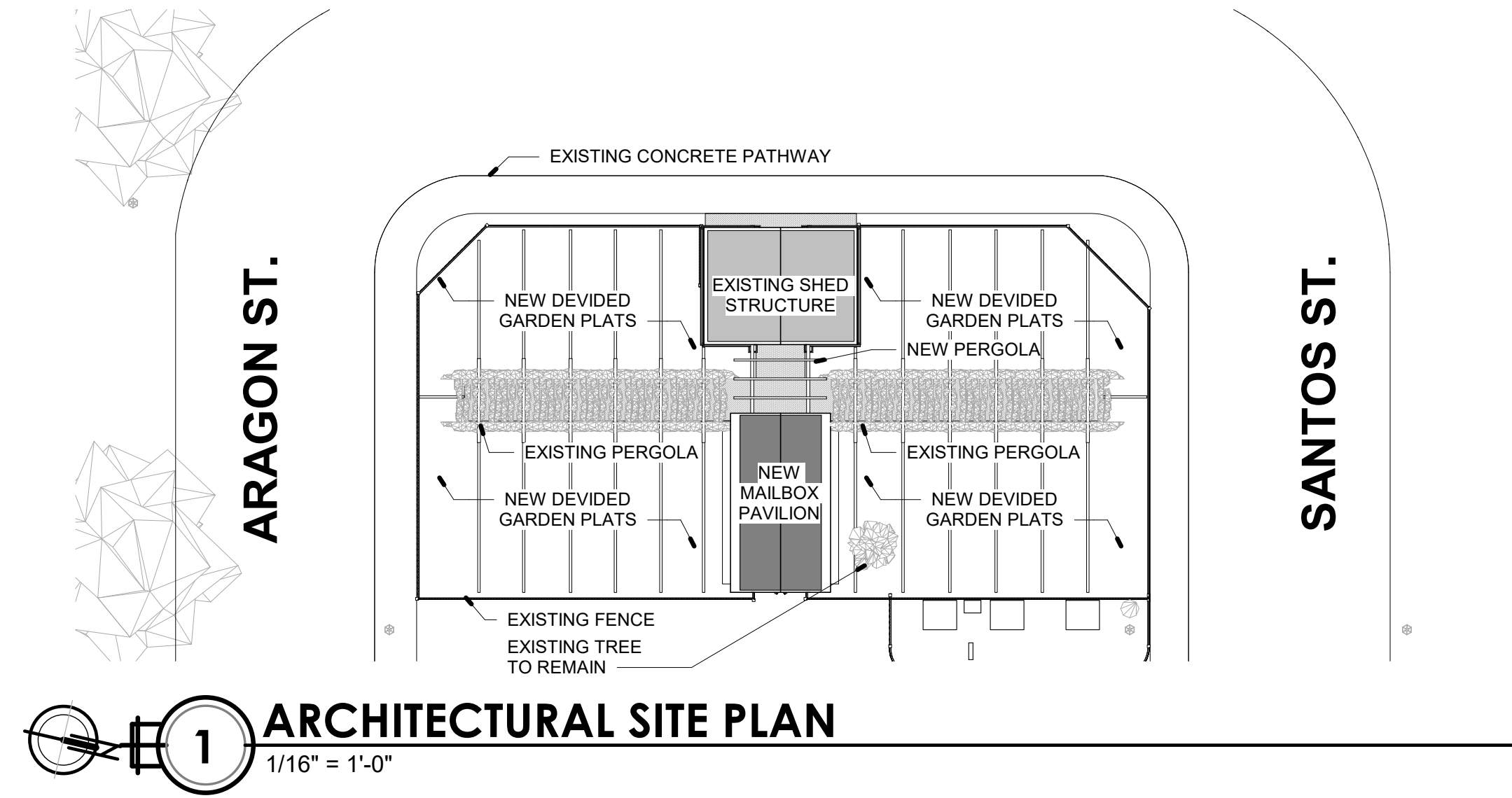
APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, COMMERCIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
COMMERCIAL (U)- UTILITY/MISCELLANEOUS

FLOOD ZONE: X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 12'-8"
NO. OF STORIES: 1

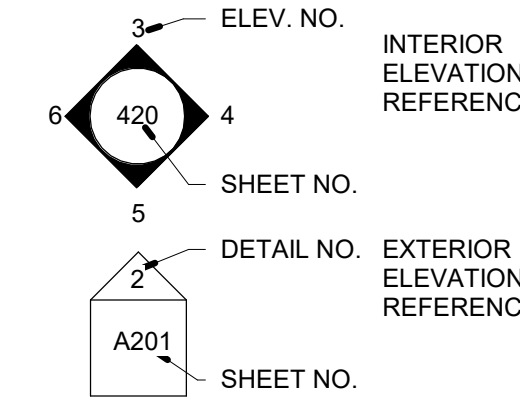


NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS

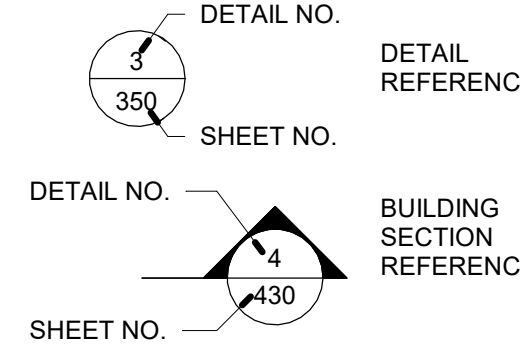
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

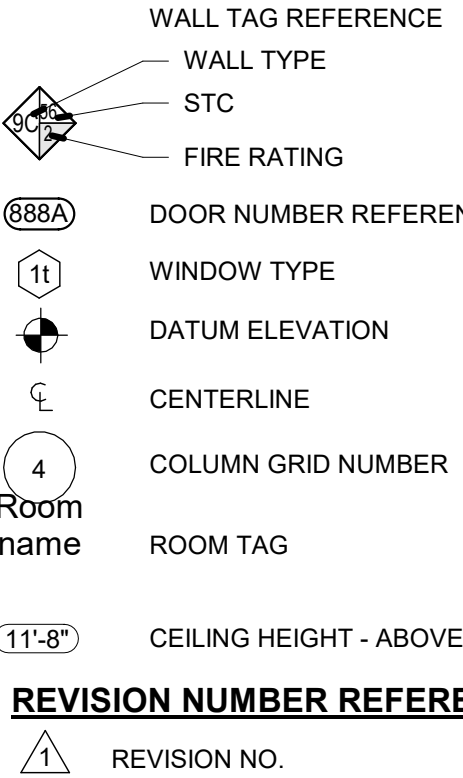
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



REVISION NUMBER REFERENCE





dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

Aragon Mailbox Pavilion

Aragon Community Garden

DRAWN BY: LBW
CHECKED BY: JSS

ISSUE DATE: 9/11/2020

REVISIONS: No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO: 20035



PROJECT LOCATION

Notes:

1. Values are minimal design 3-second gust wind speeds in miles per hour (mi/h) at 33 ft (10m) above ground for Exposure C category.
2. Linear interpolation between contours is permitted.
3. Islands and coastal areas outside the last contour shall use the last wind speed contour of the coastal area.
4. Mountainous terrain, gorges, ocean promontories, and special wind regions shall be examined for unusual wind conditions.
5. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (Annual Exceedance Probability = 0.005, MRF = 700 years).

Notes:

1. Values are nominal design 3-second gust wind speeds in miles per hour (m/s) at 33 ft (10m) above ground for Exposure C category.
2. Linear interpolation between contours is permitted.
3. Islands and coastal areas outside the last contour shall use the last wind speed contour of the coastal area.
4. Mountainous terrain, gorges, ocean promontories, and special wind regions shall be examined for unusual wind conditions.
5. Wind speeds correspond to approximately a 70% probability of exceedence in 10 years. (Annual Exceedance Probability = 0.00143, $NRI = 700$ years).

A 3D net of a cube is shown. The net consists of six squares arranged in a cross-like pattern. The top square is labeled (5). The middle row consists of three squares: (5) on the left, (4) in the center, and (5) on the right. The bottom square is labeled (4). The rightmost square of the middle row is labeled (5). The net is shown in a perspective view, with the top and bottom faces shaded gray.

(3)	(2)	(3)	(3)	(2)	(3)
(2)	(1)	(2)	(2)	(1)	(2)
(3)	(2)	(3)	(3)	(2)	(3)

Component and Cladding Ultimate Wind Pressures				
Roof		Surface Pressure (psf)		
	Area	10 sf	50 sf	500 sf
Negative Zone 1		-53.9	-49.0	-46.9
Negative Zone 2		-60.8	-56.0	-53.9
Negative Zone 3		-60.8	-56.0	-53.9
Positive All Zones		50.4	48.0	46.9
Overhang Zone 2		-69.5	-64.7	-62.6
Overhang Zone 3		-69.5	-64.7	-62.6
Wall		Surface Pressure (psf)		
	Area	10 sf	100 sf	500 sf
Negative Zone 4		-57.4	-51.2	-46.9
Negative Zone 5		-67.8	-55.5	-46.9
Positive Zone 4 & 5		53.9	47.7	43.4

ULTIMATE WIND PRESSURE TABLE NOTES:

LINEAR INTERPOLATION FOR INTERMEDIATE VALUES OF EFFECTIVE AREAS IS ACCEPTABLE. OTHERWISE, USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

ULTIMATE WIND LOAD PRESSURES ARE FOR USE IN LOAD COMBINATIONS LISTED IN FBC 2017 AND ASCE 7-16. THESE COMBINATIONS ARE LISTED IN FBC SECTION 1605 AND INCLUDE A WIND LOAD FACTOR OF 0.6 USING ALLOWABLE STRESS DESIGN. THEREFORE, ULTIMATE PRESSURES LISTED IN THE LOAD TABLE MAY BE REDUCED 40% WHEN USING ALLOWABLE STRESS DESIGN. REDUCED LOADS ARE THE "WORKING LOADS."

NOTE:
ALL EDGES OF WALL SHEATHING ARE BLOCKED. ALL EDGES
OF ROOF SHEATHING ARE BLOCKED IN ZONES 2 AND 3 ONLY
ORIENT WALL SHEATHING HORIZONTALLY. ROOF SHEATHING
SHALL BE FASTENED W/ RING SHANK NAILS.

SHEATHING NAILING REQUIREMENTS			
ZONE	NAIL SIZE	SPACING	LOCATION
1	8d	6"	PERIMETER
	8d	6"	FIELD
2	8d	4"	PERIMETER
	8d	8"	FIELD
3	8d	4"	FIELD & PERIMETER
	8d	6"	PERIMETER
4	8d	10"	FIELD
	8d	6"	PERIMETER
5	8d	6"	FIELD
	8d	4"	FIELD & PERIMETER
OVERHANG	8d	4"	FIELD & PERIMETER

1. TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
2. THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
3. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
4. REVISIONS ARE IDENTIFIED BY REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

DESIGN LOADS AND CRITERIA:

A.	ROOF LIVE LOAD	20 PSF
	ROOF DEAD LOAD	10 PSF
B.	WIND CRITERIA	FBC 2017 ASCE 7-10
	RISK CATEGORY:	II
	BASIC WIND SPEED	160 MPH ULTIMATE (3 SECOND GUST) 124 NOMINAL
	EXPOSURE CATEGORY	C
	STRUCTURE TYPE	OPEN BUILDING
	INTERNAL PRESSURE COEFF.	+/- 0.00

1. OSB IS NOT CONSIDERED AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD SHEATHING.
2. ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR EXPOSED TO EXTERIOR ELEMENTS AND LEFT UNFINISHED SHALL BE PRESSURE TREATED.
3. DO NOT PAINT PRESSURE TREATED WOOD WHEN MOISTURE CONTENT IS ABOVE 19%.
4. ALL STRUCTURAL GRADE LUMBER SHALL BE SOUTHERN YELLOW PINE, No. 2 GRADE OR BETTER.
5. NOTCHES ON THE END OF JOISTS SHOULD NOT EXCEED ONE FOURTH OF THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF THE JOIST SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
6. JOISTS SHALL BE SUPPORTED VERTICALLY AT THE 2" ON EACH END. EACH JOIST SHALL BE FULLY BLOCKED EXCEPT WHERE THE ENDS OF A JOIST ARE NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER MEANS. BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND THE FULL DEPTH OF THE JOIST.

CONNECTIONS:

- MAIN BEAM - 1910# UPLIFT
- SIDE BEAM - 637# UPLIFT

1. NOTCH AND BOLT (NOTCH LESS THAN 50%) (2) 3/4" A307 GALV THRU BOLTS - 1/4" STEEL PLATE W/BOLTS IF POST NOTCHED MORE THAN 50%
2. MISC COLUMN CAPS

RAFTER TO LOWER BEAM (#650 UPLIFT CONNECTION NEED) (.6DL +.6W):

1. SIMPSON H10A-2
2. (2) SIMPSON SDWC15600 (HIDDEN OPTION) (INSTALL PER MANUFACTURER -
DETAIL ATTACH SIMILAR)

RAFTER TO RIDGE BEAM CONNECTION (205# UPLIFT CONNECTION NEED) (.6DL+.6W)

1. SIMPSON HU46 SLOPED SEAT HANGER (BEAM FLUSH)
2. MISC ANGLE CONNECTIONS
3. IF BEAM DROPPED BELOW: SIMPSON H2.5a, H10A OR SIMPSON SDWC15600

FOUNDATION UNKNOWN; FIXED CONNECTION REQUIRED TO ADEQUATE
FOUNDATION FOR ALL MEMBER AND CONNECTIONS ABOVE TO BE ADEQUATE

1. LVL BEAMS SHALL BE MANUFACTURED BY APA MEMBER MANUFACTURER TO APA SPECS.
2. USE LVLS CONFORMING TO ASTM D 5456 AND ABLE TO WITHSTAND THE DESIGN LOAD INDICATED. REFER TO STRUCTURAL PLANS FOR SIZING. LENGTH AS REQUIRED FOR SPAN AND BEARING.
3. DO NOT STORE ENGINEERED WOOD PRODUCTS IN DIRECT CONTACT WITH THE GROUND. STACK FLATWISE.
4. MINIMUM BEARING LENGTH: 3", ENDS; 3", INTERMEDIATE.
5. LVL BEAMS SHALL HAVE MINIMUM ALLOWABLE STRESSES AS FOLLOWS:

ALLOWABLE BENDING STRESS:	$F_b = 2600$ PSI
COMPRESSION \perp TO GRAIN:	$F_c \perp = 700$ PSI
COMPRESSION \parallel TO GRAIN:	$F_c \parallel = 2400$ PSI
HORIZONTAL SHEAR:	$F_v = 285$ PSI
MODULUS OF ELASTICITY:	$E = 1,800,000$ PSI

1. ALL MASONRY WORK IS TO CONFORM TO ACI 530 AND 530.1.
2. USE CONCRETE MASONRY UNITS CONFORMING TO ASTM C90, PROVIDE f_m OF 1500 PSI (UNIT STRENGTH 1900 PSI). PERFORM f_m AND C90 COMPLIANCE BY UNIT TEST METHOD. USE ONLY MASONRY UNITS THAT ARE A MIN. OF 50% SOLID.
3. USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270. USE 3/8" FULL-BEDDED JOINTS FOR ALL MASONRY UNITS. REMOVE MORTAR PROTRUDING INTO CELL CAVITIES THAT ARE TO BE REINFORCED AND GROUTTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR TO CURE BEFORE PLACING GROUT.
4. USE ALL GROUT CONFORMING TO ASTM C-476 WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, TESTED IN ACCORDANCE WITH ASTM C119. AGGREGATE TO CONFORM TO ASTM C404 FOR COARSE GROUT AND SLUMP OF 8" TO 11".
5. USE REINFORCED MASONRY USE STANDARD (9 GAGE CROSS AND SIDE RODS) LADDER TYPE HORIZONTAL JOINT REINFORCING IN EVERY OTHER COURSE UNLESS NOTED OTHERWISE. USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISCONTINUOUS ENDS A MIN. OF 12". HORIZONTAL REINFORCING SHALL CONFORM TO ASTM A-82.
6. USE ASTM A-615 GRADE 40 REINFORCING STEEL.
7. USE PRESSURE-TREATED WOOD FOR ALL WOOD IN CONTACT WITH MASONRY.

1. FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF FOR FOOTINGS.
2. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
5. COMPACTED FILL UNDER SLABS, CONCRETE APRONS, PATIO PAVERS, AND OTHER NON-PERVIOUS SURFACES TO RECEIVE AN APPROVED TERMITE TREATMENT PER FBC 2304.12.

1. USE STRUCTURAL CONCRETE AND CONCRETE PRACTICES CONFORMING TO ACI-318 AND 301 AND PROPORTION CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MIN. ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
 - . FOOTING 3000 PSI
 - . GRADE BEAMS 3000 PSI
 - . POURED WALLS 5000 PSI ***
 - . COLUMNS 5000 PSI ***
 - . BEAMS & ELEVATED SLABS 5000 PSI ***
 - . ALL OTHER CONCRETE 5000 PSI ***
 - . *** UNLESS NOTED OTHERWISE
2. WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE, USE CONCRETE CONTAINING A SUPERPLASTICIZER (IN W.R.V. ADMIXTURE, ASTM C494 TYPE F SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7"±). IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 2 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP, UNLESS PRE-APPROVED BY ARCHITECT. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END.
4. USE ASTM A-615 GR. 40 REINFORCING STEEL IN ALL RESIDENTIAL WORK & GR. 60 REINFORCING STEEL IN ALL COMMERCIAL WORK, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND RIGIDLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPLICE FOR CONTINUOUS BARS, UNLESS NOTED OTHERWISE. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS NOTED OTHERWISE. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS: .

	<u>BOTTOM</u>	<u>TOP</u>	<u>SIDES</u>
FOOTING/PILECAP	3"	2"	3"
BEAMS (U.O.N.)	1 1/2"	1 1/2"	1 1/2"
COLUMNS	-	-	1 1/2"
SLABS ON GROUND	2"	1"	2"
SLABS (OTHER THAN ON GROUND)	1"	1"	1"
POURED WALLS RETAINING FILL	-	-	2"
POURED WALLS ABOVE GROUND	-	-	1 1/2"

5. USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES. SUBMIT ALL PIPES THROUGH THE SLAB INDIVIDUALLY. APPROVED BY ARCHITECT. WHERE PIPES OR DUCTS PENETRATE SLABS, A MAX. OF TWO BARS EACH WAY MAY BE CUT, PROVIDED SPLICE BARS ARE PLACED ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-BAR-DIA. LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDITIONS IN SLAB AND JOINTS. PROVIDE WITH ACI-318 CH. 6.3. PROVIDE 1#5 X 6" EACH WAY PLACED DIAGONALLY AT MID-DEPTH AROUND ALL OPENINGS LARGER THAN 12". U.O.N.

THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF SPECIFICATIONS.

REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.

IN ACCORDANCE WITH THE SPECIFICATIONS, SUBMIT A COPY OF THE SHOP DRAWING SUBMITTAL REGISTER TO THE STRUCTURAL ENGINEER, SHOWING DATES OF SUBMITTAL FOR EACH SPECIFIC STRUCTURAL SECTION OF THE WORK, CONSISTENT WITH THE FOLLOWING CRITERIA:

- A. ALL ADEQUATE TIME FOR REVIEW AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 WORKING DAYS OF RECEIPT BY THEM.
- B. SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
- C. SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.

ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL. DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.

SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED AND WILL BE RETURNED WITHOUT COMMENT.

RESPONSIBILITIES OF DETAILERS AND FABRICATORS:

- A. GENERAL: SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.
- B. CONCRETE REINFORCING DETAILER: PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BONDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
 - CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE CONTROL JOINTS, EXPANSION JOINTS, UNTELS.
 - CONCRETE BOARD BEAMS, AND OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, PLASTERS.
 - CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
 - CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST CLEARLY SHOW SECTIONS.
 - CLEARLY SHOW ELEVATION, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS.
 - CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
 - CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.

FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, SEE BELOW.

DEFINITION -

A. A FLORIDA REGISTERED PROFESSIONAL ENGINEER WHO SPECIALIZES AND WHO UNDERTAKES THE DESIGN OF STRUCTURAL COMPONENTS OR STRUCTURAL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT.

B. SHALL BE:

1. AN EMPLOYEE OR OFFICER OF A FABRICATOR.
2. AN EMPLOYEE OR OFFICER OF AN ENTITY SUPPLYING COMPONENTS TO A FABRICATOR.
3. AN INDEPENDENT CONSULTANT RETAINED BY THE FABRICATOR OR HIS SUPPLIER.

THE FOLLOWING SYSTEMS AND COMPONENTS AS A MINIMUM REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A SPECIALTY ENGINEER, PRE-ENGINEERED WOOD ROOF TRUSSES.

THE SUBMITTAL SHALL IDENTIFY THE SPECIALTY ENGINEER, DESIGN, PROVIDE, AND INSTALL THEIR COMPONENTS AND THE COMPONENT CONNECTIONS TO THE PRIMARY STRUCTURE PER THE WIND CRITERIA STATED IN THE GENERAL NOTES ON THIS SHEET OR THE CURRENT GOVERNING BUILDING CODES, WHICH EVER IS MORE STRINGENT.

THE SUBMITTAL SHALL CLEARLY IDENTIFY THE SPECIALTY PROJECT AND APPLICABLE CODES. LIST THE DESIGN CRITERIA, AND SHOW ALL DETAILS AND PLANS NECESSARY FOR PROPER FABRICATION AND INSTALLATION. CALCULATIONS AND SHOP DRAWINGS SHALL IDENTIFY SPECIFIC PRODUCT UTILIZED. GENERIC PRODUCTS WILL NOT BE ACCEPTED.

THE SUBMITTAL AND CALCULATIONS MUST BE PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE SPECIALTY ENGINEER. SHOP DRAWINGS AND CALCULATIONS REQUIRE THE EMBOSSED SEAL, DATE AND SIGNATURE OF THE SPECIALTY ENGINEER. COMPUTER PRINTOUTS ARE AN ACCEPTABLE SUBSTITUTE FOR MANUAL COMPUTATIONS PROVIDED THEY ARE ACCOMPANIED BY SUFFICIENT DESCRIPTIVE INFORMATION TO PERMIT THEIR SUPER EVALUATION. SUCH DESCRIPTIVE INFORMATION SHALL BEAR THE EMBOSSED SEAL AND SIGNATURE OF THE SPECIALTY ENGINEER AS AN INDICATION THAT HE HAS ACCEPTED RESPONSIBILITY FOR THE RESULTS. SEPIAS DO NOT REQUIRE SIGNATURE AND SEAL. THE ARCHITECT WILL RETAIN ONE SIGNED AND SEALED BLUELINE PRINT FOR RECORD.

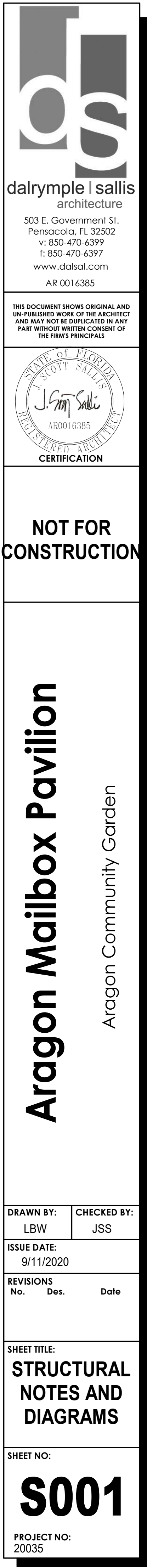
CATALOG INFORMATION ON STANDARD PRODUCTS DOES NOT REQUIRE THE SEAL OF A SPECIALTY ENGINEER.

REVIEW BY THE ARCHITECT OF SUBMITTALS IS LIMITED TO VERIFYING THE FOLLOWING:

- A. THAT THE SPECIFIED STRUCTURAL SUBMITTALS HAVE BEEN FURNISHED.
- B. THAT THE STRUCTURAL SUBMITTALS HAVE BEEN SIGNED AND SEALED BY THE SPECIALTY ENGINEER.
- C. THAT THE SPECIALTY ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND HAS USED THE SPECIFIED STRUCTURAL CRITERIA. (NO DETAILED CHECK OF CALCULATIONS WILL BE MADE.)
- D. THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)

A LIST SHALL BE PREPARED AND MAINTAINED BY THE CONTRACTOR FOR ALL SHOP DRAWINGS REQUIRING PARTICIPATION OF A SPECIALTY ENGINEER. THE LIST SHALL CONTAIN PROJECT NAME, NAME OF CONTRACTOR, NAME OF SUBCONTRACTOR, NAME OF SPECIALTY ENGINEER, DRAWING NUMBER, DRAWING TITLE AND THE LATEST REVISION NUMBER TO BE USED. FOR PARTIAL SUBMITTALS THE LIST SHALL CONTAIN ALL ANTICIPATED DRAWING NUMBERS AND TITLES REQUIRED TO COMPLETE THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE LATEST UPDATED LIST OF DRAWINGS WITH EACH SUBMITTAL.

SUBMITTALS NOT MEETING THE ABOVE CRITERIA WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.



1. CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

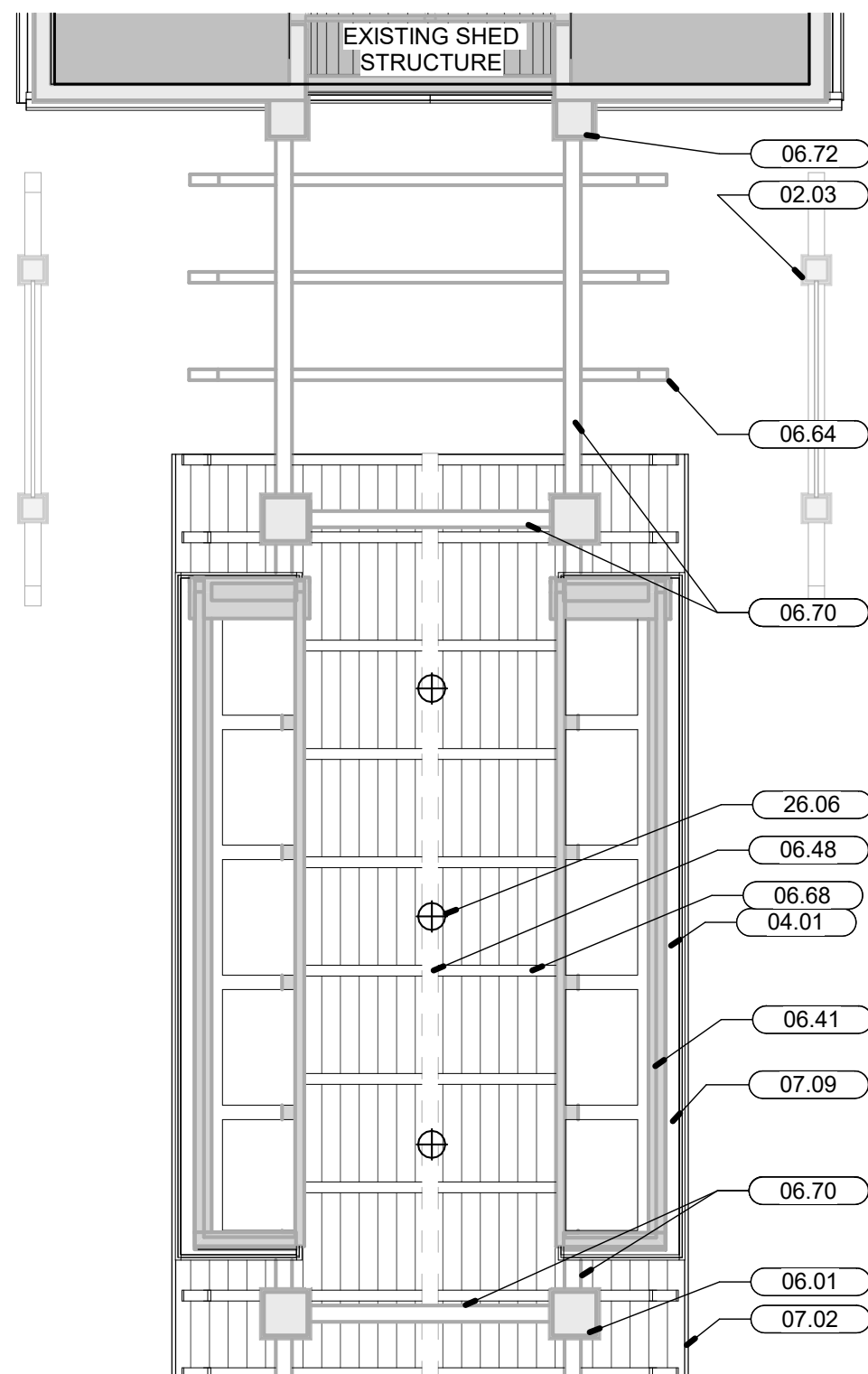
1. CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

1. FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT) IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS.
2. CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.
3. CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
4. CONDUIT MATERIAL SHALL BE AS FOLLOWS:
 - A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 - B) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 - C) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE.
 - D) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
 - E) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ROMEX.
 - F) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB - INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.

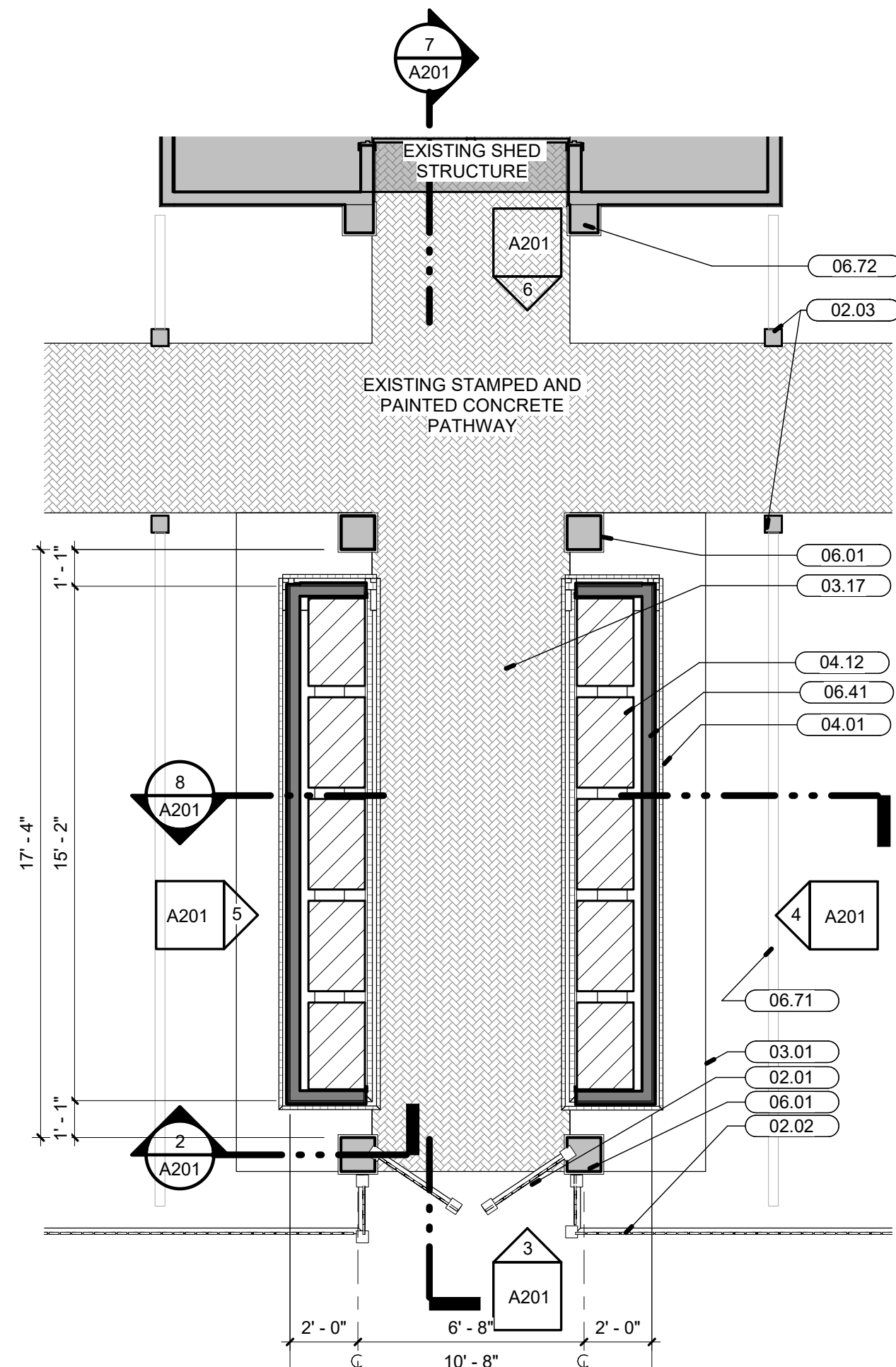
1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.
2. ELECTRICAL CONTRACTOR SHALL COORDINATE W/ GULF POWER, TO ENSURE THE OWNERS REQUIREMENTS ARE COMPLETE AND OPERABLE SERVICE.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.
4. THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE MANUFACTURERS LISTED VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
5. COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC., WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
6. VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SCHEDULING.
7. WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.

1. **ALL LOW VOLTAGE WIRING AND BOXES BY INTEGRATED SURROUNDINGS.**
2. ROUTE LIGHT FIXTURE SWITCH LEGS TIE TO DIGITAL KEY PADS AS HOME RUNS TO CLOSET SHOWER AT SOUTH WEST CORNER OF GROUND FLOOR.
3. TWO SWITCHES ARE SHOWN, PROVIDE SINGLE POLE COMBINATION DECORATOR LIGHT SWITCH - WHITE
4. ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE CENTER OF THE BOX.
5. VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PROVIDED SCHEDULE.
6. RECEPTACLES, SWITCHES AND COVER PLATES SHALL BE DECORATOR STYLE. COLOR SHALL BE WHITE.
7. WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.
8. RECEPTACLE SPACING MUST BE PER NEC.
9. ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.
10. SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

\$ SWITCH
 \$3 3-WAY SWITCH
 PENDANT LIGHT FIXTURE

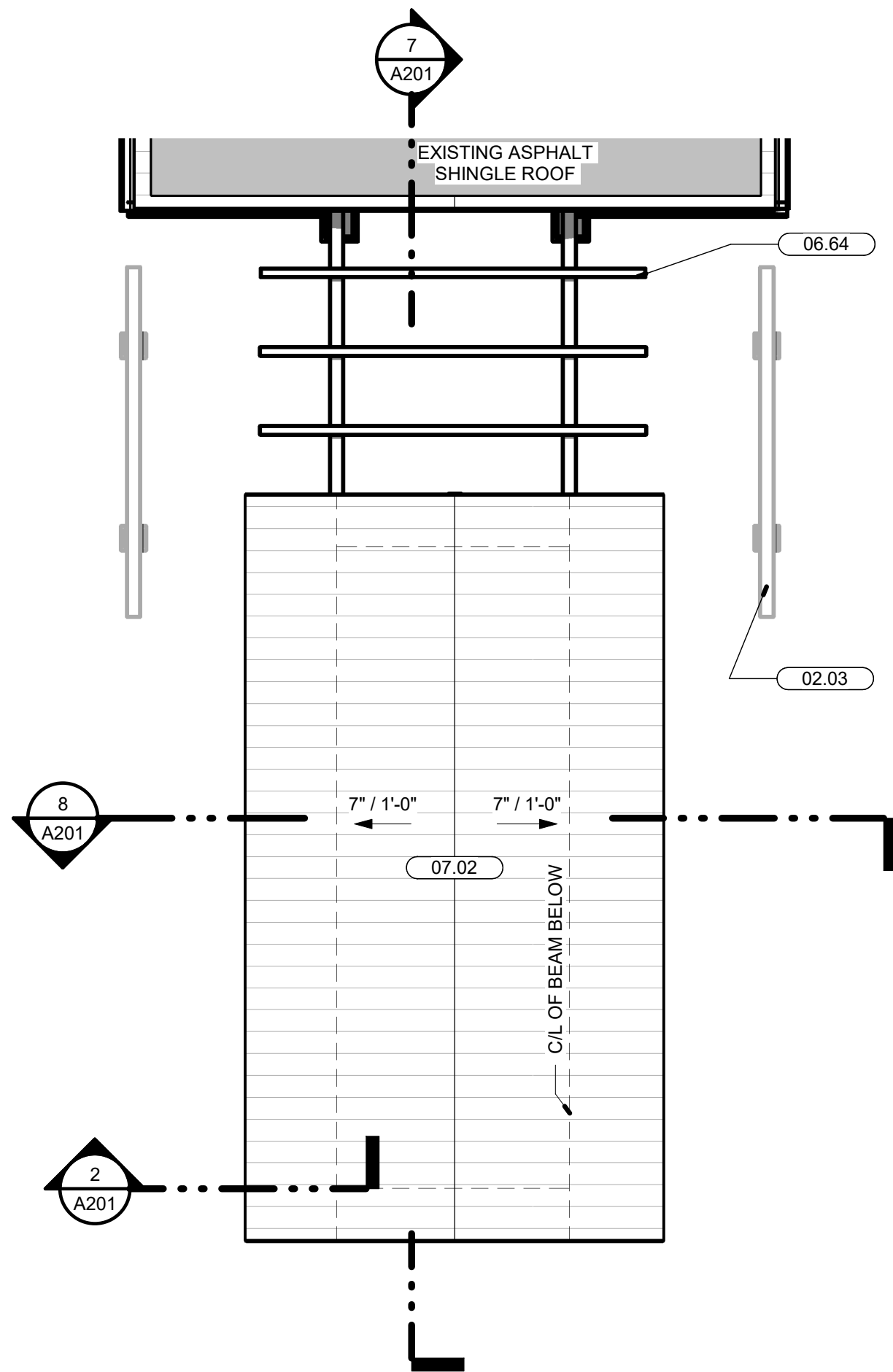


5 REFLECTED CEILING PLAN
1/4" = 1'-0"

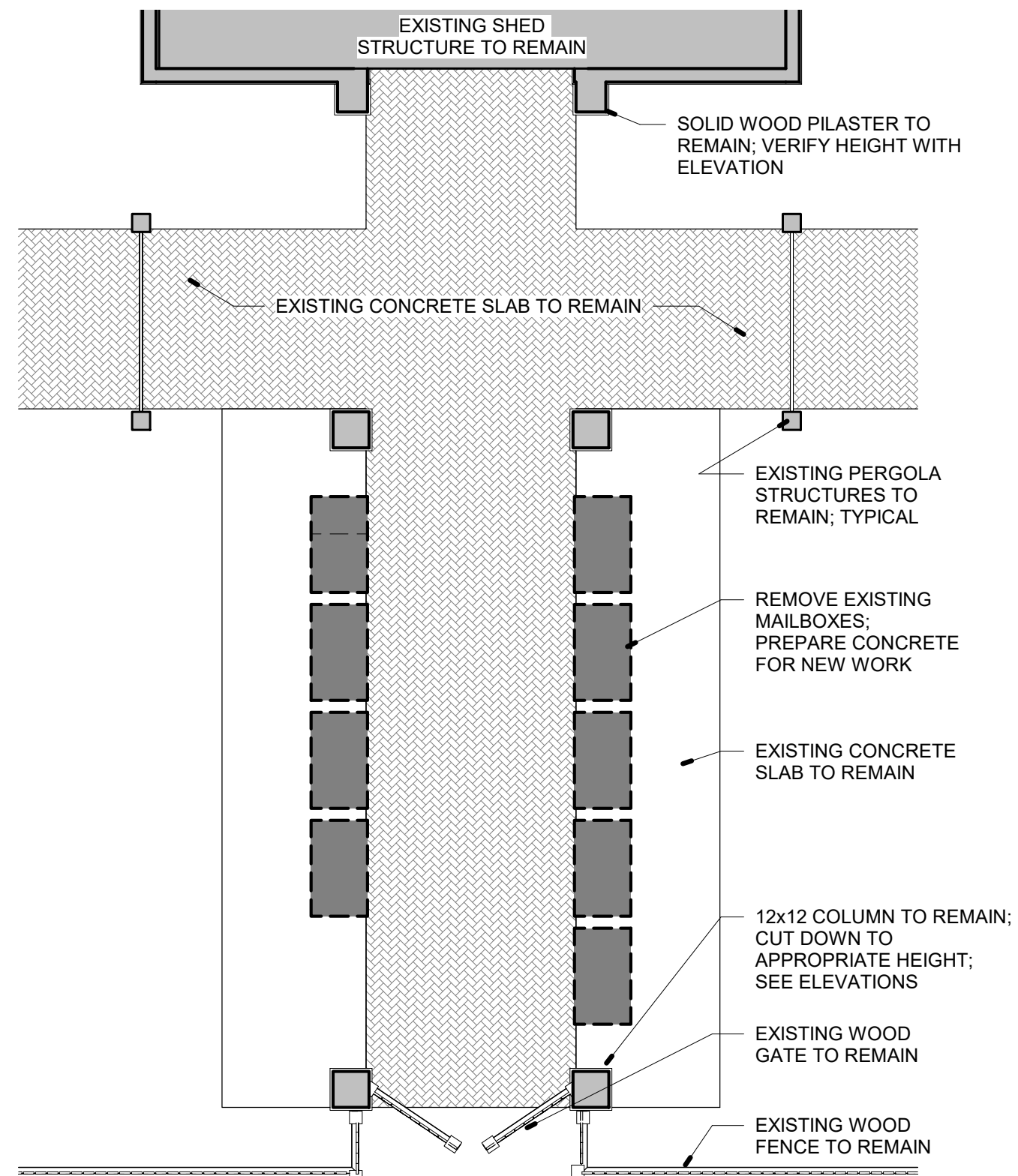


2 NEW WORK FLOOR PLAN

1. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT
2. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.

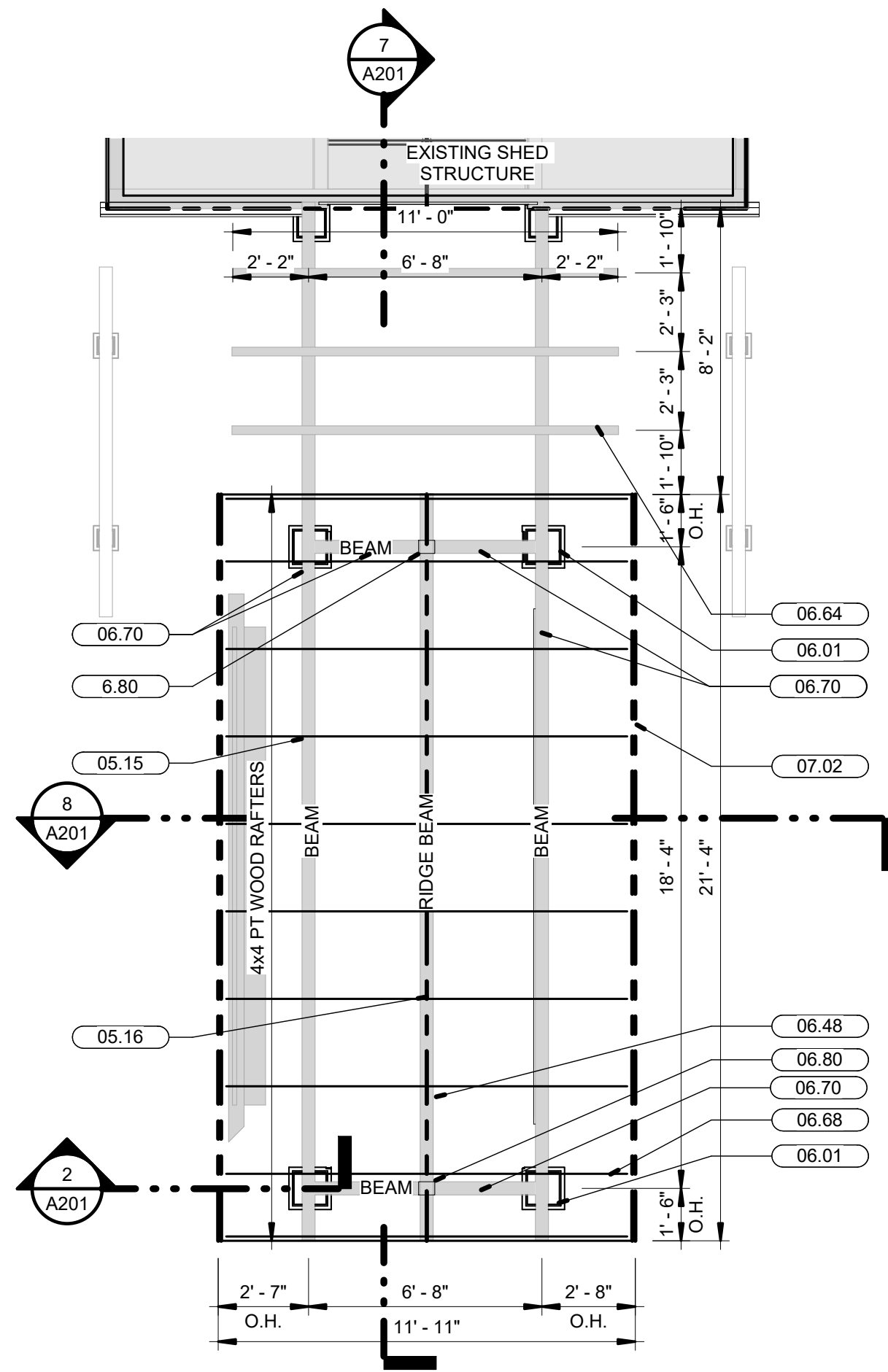


4 ROOF PLAN



1 DEMOLITION PLAN

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.



3 ROOF FRAMING PLAN

NUMBER	TEXT
02.01	EXISTING WOOD GATE/O REMAIN
02.02	EXISTING WOOD FENCE TO REMAIN
02.03	EXISTING WOOD PERGOLA STRUCTURE
03.01	EXISTING 4" THICK TYPICAL CONCRETE SLAB.
03.17	EXISTING STAMPED AND PAINTED CONCRETE PATIO WALKWAY
04.01	8" NORMAL WEIGHT CMU WALL WITH BRICK VENEER WITH 1" AIR GAP; PROVIDE MASONRY ANCHORS AT 16"o.c. EACH WAY; WITH BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.12	8" NORMAL WEIGHT CMU WALL WITH FULLY GROUTED CELLS; TYPICAL
05.15	SIMPSON H10A-2 TYPICAL @ALL RAFTER/BEAM CONNECTIONS
05.16	SIMPSON HU46 SLOPED SEAT HANGER (BEAM FLUSH); TYPICAL @ALL RAFTER TO RIDGE BEAM CONNECTIONS
06.01	EXISTING 12"x12" SOLID WOOD COLUMNS CUT DOWN TO NEW HEIGHT (SEE ELEVATION); PAINT AND TRIM TO MATCH EXISTING; TYPICAL
06.41	PT 2x4 WOOD STUD WALL WITH PAINTED VERTICAL 1x4 SIDING TO MATCH EXISTING SHED STRUCTURE; VERIFY COLOR WITH OWNER
06.48	(3) 2x12 SYP P.T. RIDGE BEAM
06.64	(2) SISTERED PT 2x8 WOOD PERGOLA; PAINT WITH SOLID-BODY STAIN
06.68	4x4 SYP P.T. RAFTERS; SPACING 30" O/C; PAINT WITH SOLID BODY STAIN
06.70	(3) 2x12 SYP P.T. BEAM; PAINT WITH SOLID BODY STAIN
06.71	PT WOOD GARDEN DIVIDERS PLACED IN GARDEN BEDS
06.72	EXISTING 12x12 SOLID WOOD COLUMN; VERIFY HEIGHT IS CONSISTENT WITH ELEVATION
6.80	
06.80	VERTICAL 6x6 SYP P.T. POST CUT DOWN TO 5x6; PAINT WITH SOLID BODY STAIN
07.02	3" BEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT ON 2x4 FRAMING SLOPED @1/4"1/4"; TYPICAL
07.09	PAINTED COMPOSITE SOFFIT; TYPICAL
26.06	EXTERIOR PENDANT; SEE RCP

1. OSB IS NOT AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD.

DASHED LINE REPRESENTS
ROOF PERIMETER AND
ROOF RIDGES, HIPs, AND
VALLEYS

PRE-ENGINEERED WOOD TRUSSES
@ 24" O.C. UNLESS NOTED
OTHERWISE

LOAD BEARING WALLS BELOW

BEAM

LOCATE STUD PACKS
DIRECTLY BELOW BEAM
BEARINGS UNLESS NOTED
OTHERWISE

LOCATE STUD PACK
DIRECTLY UNDER GIRDER
TRUSS BEARINGS UNLESS
NOTED OTHERWISE

GIRDER TRUSS

HEADER OR BOX BEAM
WITH STUD PACK SUPPORT
EACH SIDE UNLESS NOTED
OTHERWISE. SEE DETAIL
FOR TYPICAL
CONNECTION

KEYNOTE LEGEND	
NUMBER	TEXT
02.01	EXISTING WOOD GATE TO REMAIN
02.02	EXISTING WOOD FENCE TO REMAIN
02.03	EXISTING WOOD PERGOLA STRUCTURE
02.04	EXISTING STRUCTURE BEYOND
03.01	EXISTING 4" THICK TYPICAL CONCRETE SLAB
03.17	EXISTING STAMPED AND PAINTED CONCRETE PATHWAY
04.01	8" NORMAL WEIGHT CMU WALL WITH BRICK VENEER WITH 1" AIR GAP. PROVIDE MASONRY ANCHORS AT 16" O.C. EACH WAY. WITH BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.05	BRICK VENEER. PROVIDE MASONRY ANCHORS AT 16" O.C. EACH WAY. WEEP SLOTS @ 32" O/C; TYPICAL

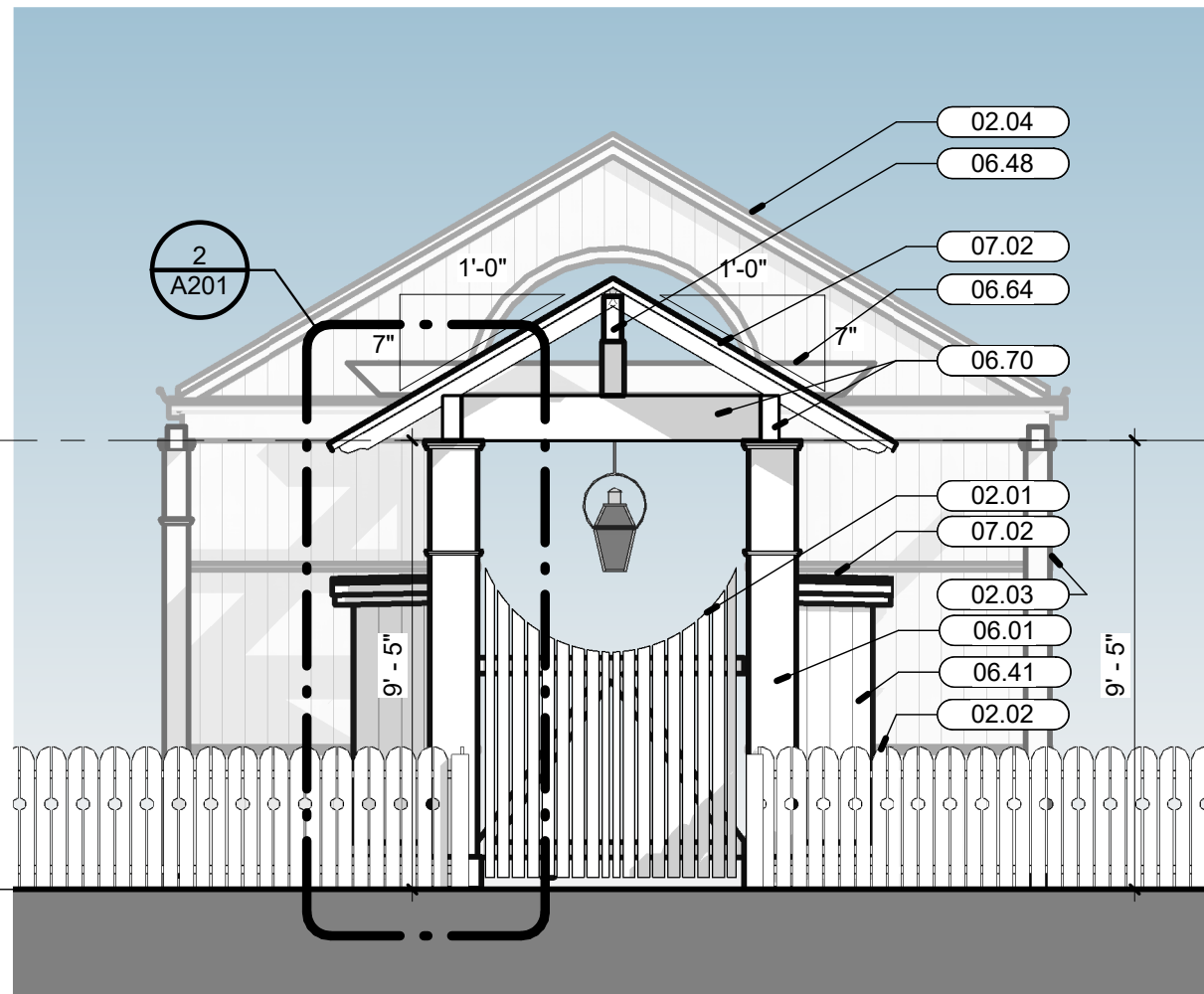
KEYNOTE LEGEND	
NUMBER	TEXT
04.07	BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.12	8" NORMAL WEIGHT CMU WALL WITH FULLY GROUTED CELLS; TYPICAL
05.02	1/2" ANCHOR BOLTS W/ MIN. 8" EMBEDMENT; TYPICAL
05.13	STRUT ATTACHMENT FOR PRE-MANUFACTURED MAILBOX ASSEMBLY
06.01	EXISTING 12"x12" SOLID WOOD COLUMNS CUT DOWN TO NEW HEIGHT (SEE ELEVATION); PAINT AND TRIM TO MATCH EXISTING; TYPICAL
06.06	LIQUID-APPLIED MOISTURE BARRIER OVER 1/2" PLYWOOD SHEATHING; TYPICAL
06.07	5/8" PLYWOOD ROOF DECKING; TYPICAL

KEYNOTE LEGEND	
NUMBER	TEXT
06.20	2x4 WOOD STUDS @ 16" O.C.; TYPICAL
06.36	PAINTED 1/2" PLYWOOD WALL SHEATHING; TYPICAL
06.41	PT 2x4 WOOD STUD WALL WITH PAINTED VERTICAL 1x4 SIDING TO MATCH EXISTING SHED STRUCTURE; VERIFY COLOR WITH OWNER
06.48	(3) 2x12 SYP P.T. RIDGE BEAM
06.61	2x NAILER (NON-STRUCTURAL)
06.64	(2) SISTERED PT 2x8 WOOD PERGOLA; PAINT WITH SOLID-BODY STAIN
06.68	4x4 #2 SYP P.T. RAFTERS; SPACING 30" O/C; PAINT WITH SOLID BODY STAIN
06.70	(3) 2x12 SYP P.T. BEAM; PAINT WITH SOLID BODY STAIN

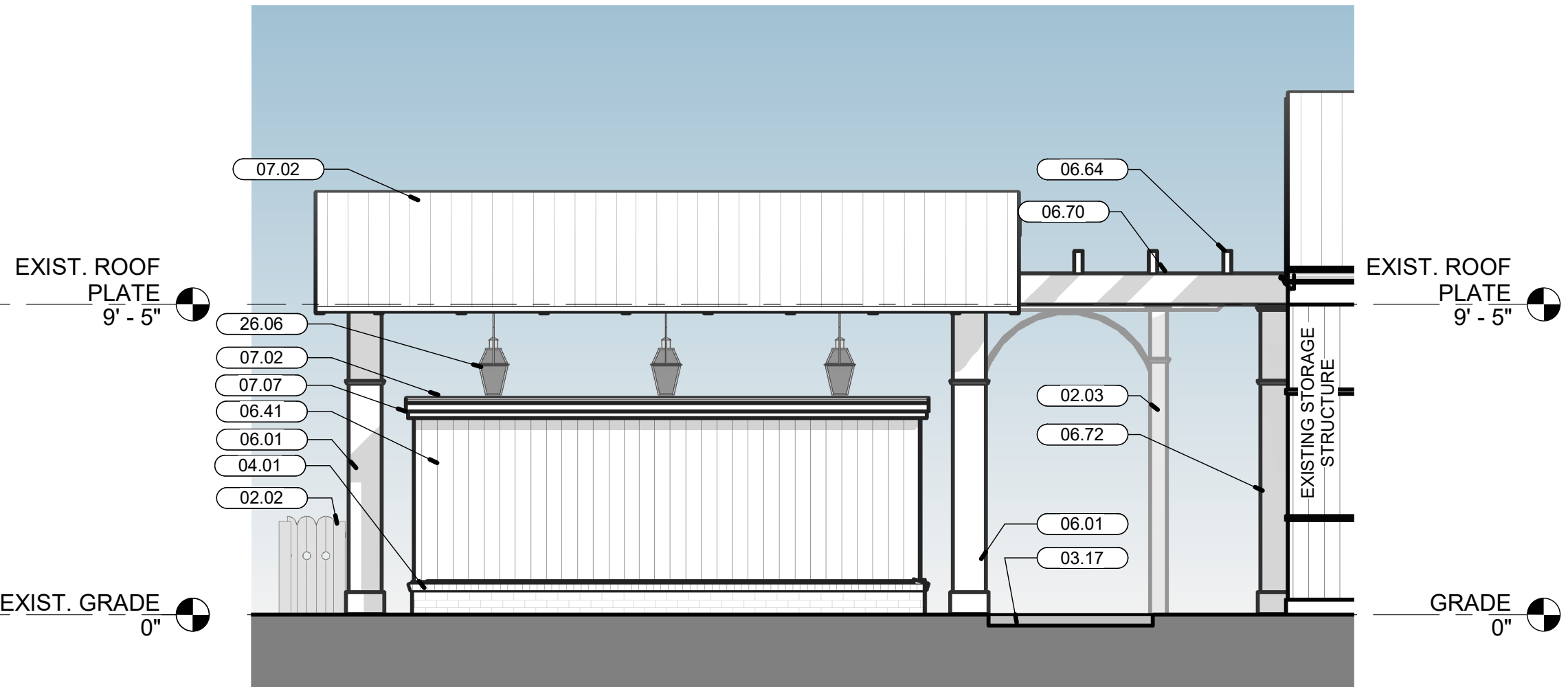
KEYNOTE LEGEND	
NUMBER	TEXT
06.72	EXISTING 12x12 SOLID WOOD COLUMN; VERIFY HEIGHT IS CONSISTENT WITH ELEVATION
06.73	EXPOSED 2x6 #2 SYP P.T. T&G DECKING
06.74	PT WOOD BASE PLATE
06.79	2x4 ROOF FRAMING
06.81	(2) 2x8 HEADER ABOVE MAILBOX OPENING WITH PAINTED COMPOSITE BOARD FINISH
06.82	(3) 2x12 SYP P.T. RIDGE BEAM; PAINT WITH SOLID BODY STAIN
07.02	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT ON 2x4 FRAMING SLOPED @ 1/4"/12"; TYPICAL
07.04	PAINTED COMPOSITE PANEL; TYPICAL

KEYNOTE LEGEND	
NUMBER	TEXT
07.05	PAINTED COMPOSITE VERTICAL SIDING; SEE EXTERIOR FINISH LEGEND; TYPICAL
07.07	PAINTED COMPOSITE TRIM; SEE DETAIL
07.11	ALUMINUM DRIP EDGE PLACED BENEATH ROOFING MATERIAL
07.22	PROVIDE ALUMINUM FLASHING & DRIP EDGE; TYP.
07.26	CONTINUOUS SEALANT
07.31	PROVIDE BLACK-COLORED PEAL AND SEAL PRODUCT OVER NAILER, BENEATH WALL BASE PLATE AND FINISH TO CONTINUE MAXIMUM 1/2" BEYOND WALL FINISH

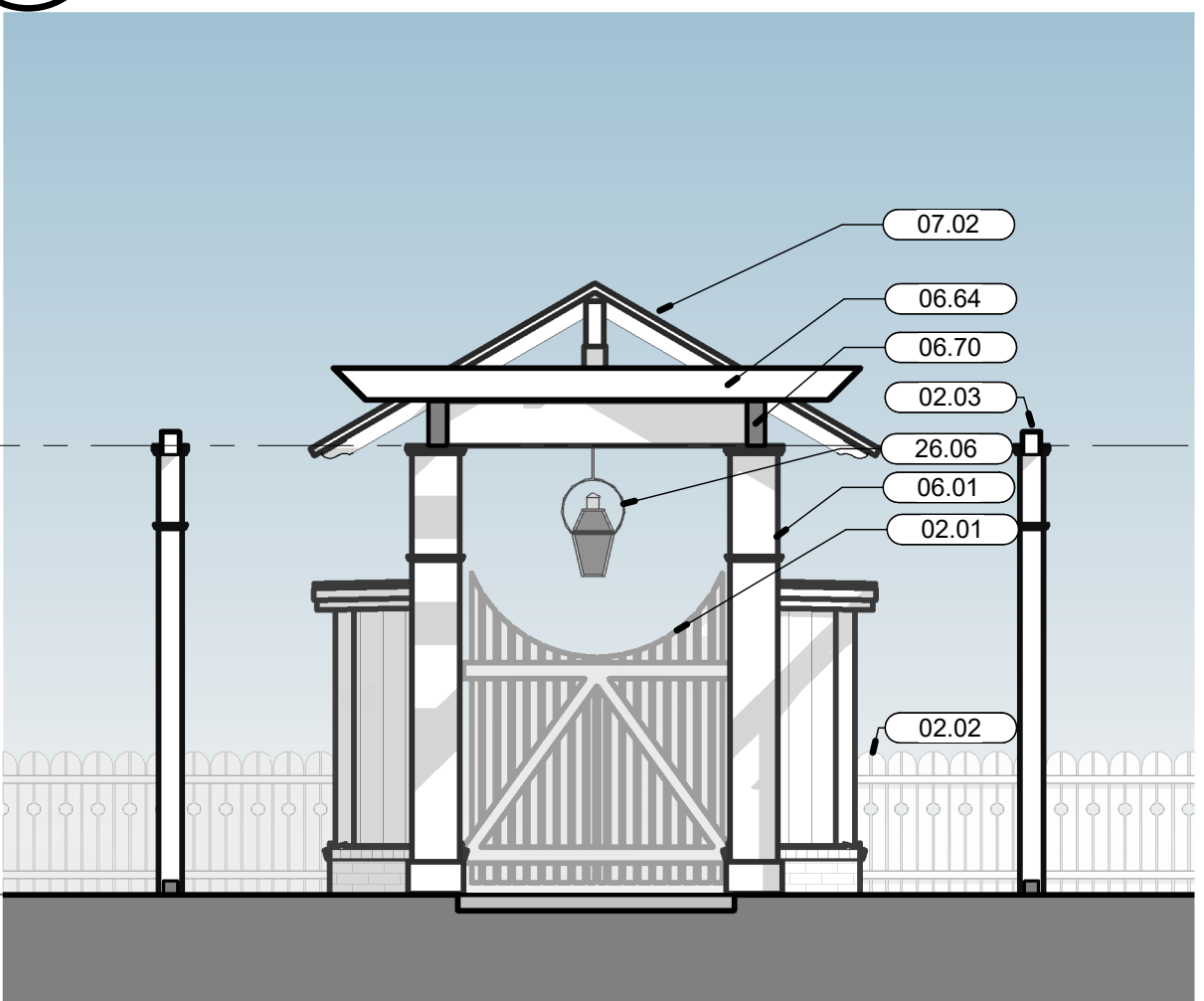
KEYNOTE LEGEND	
NUMBER	TEXT
12.04	NEW PRE-MANUFACTURED MAILBOX; OWNER FURNISHED, CONTRACTOR INSTALLED
26.06	EXTERIOR PENDANT; SEE RCP



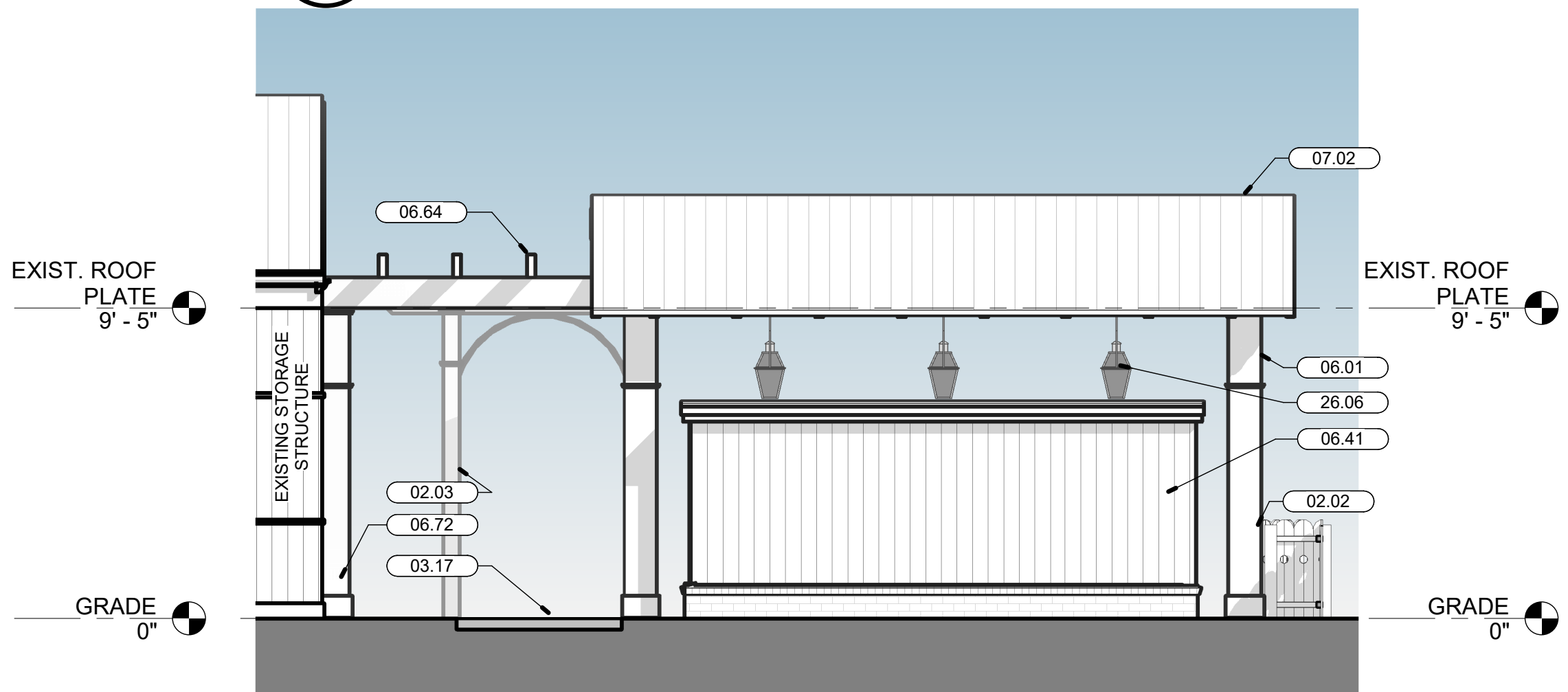
3 REAR ELEVATION
1/4" = 1'-0"



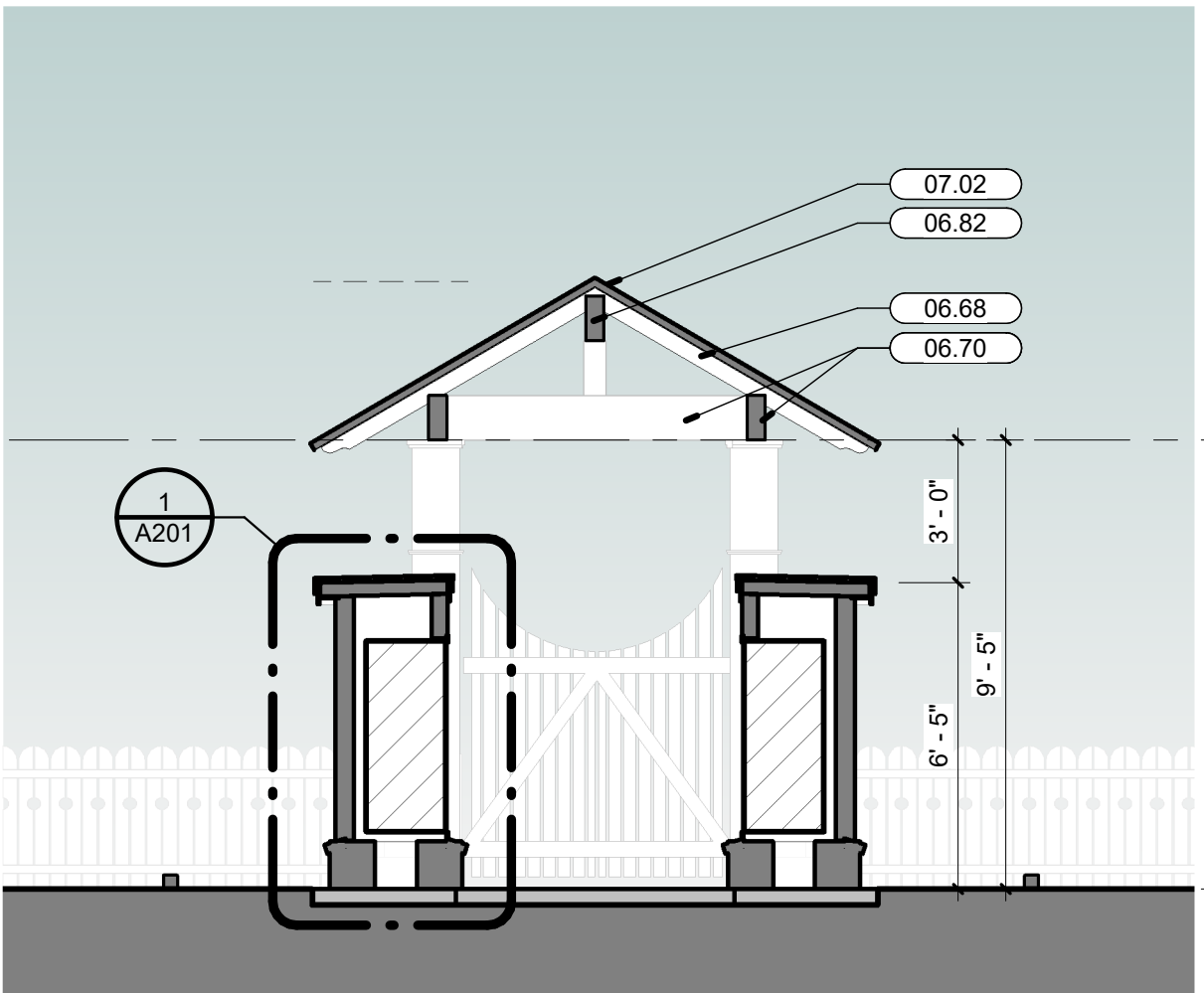
4 SIDE ELEVATION A
1/4" = 1'-0"



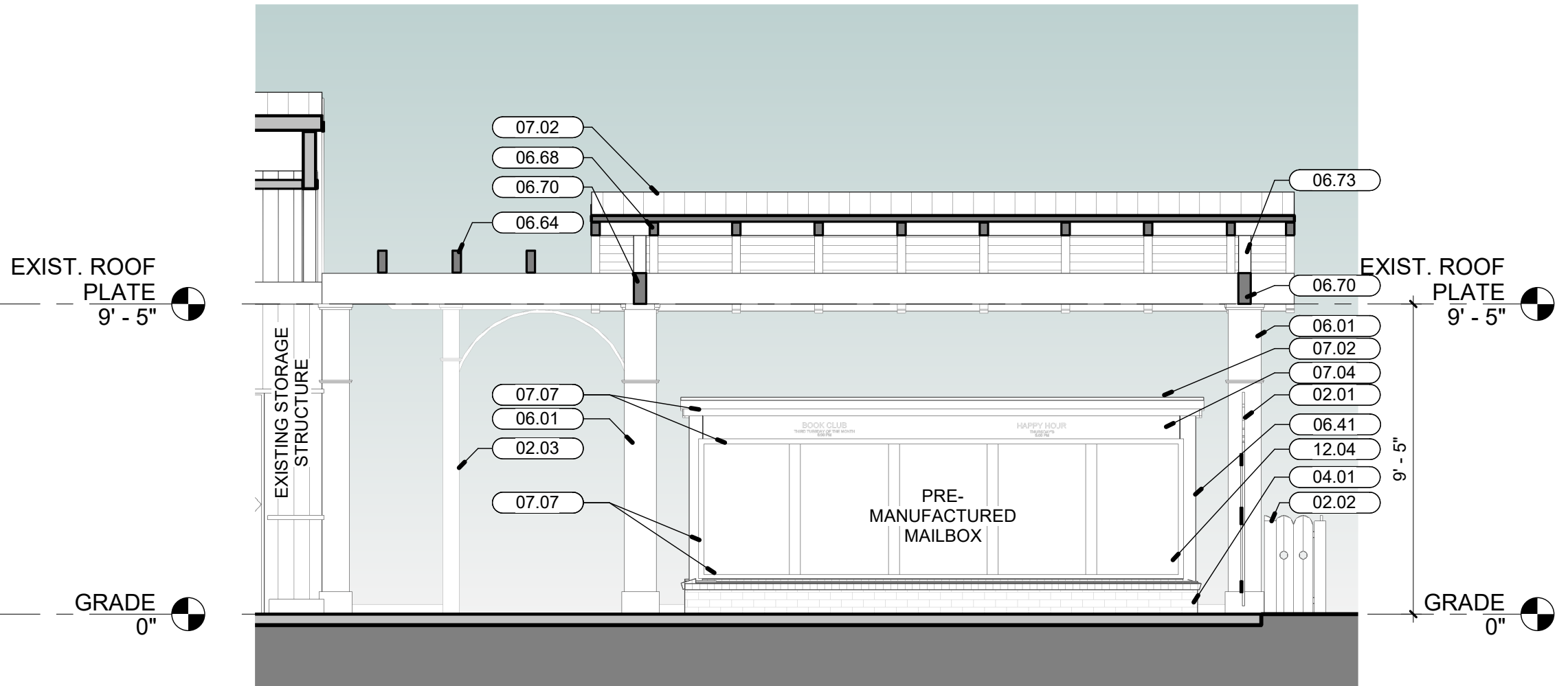
6 FRONT ELEVATION
1/4" = 1'-0"



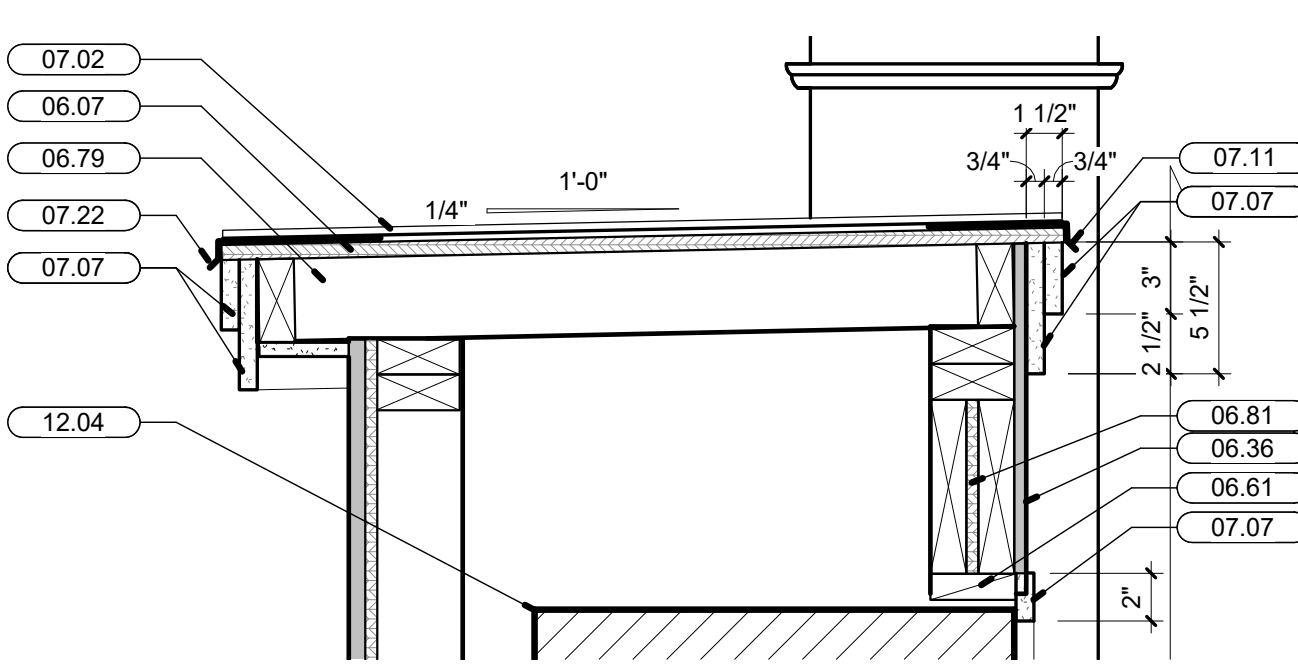
5 SIDE ELEVATION B
1/4" = 1'-0"



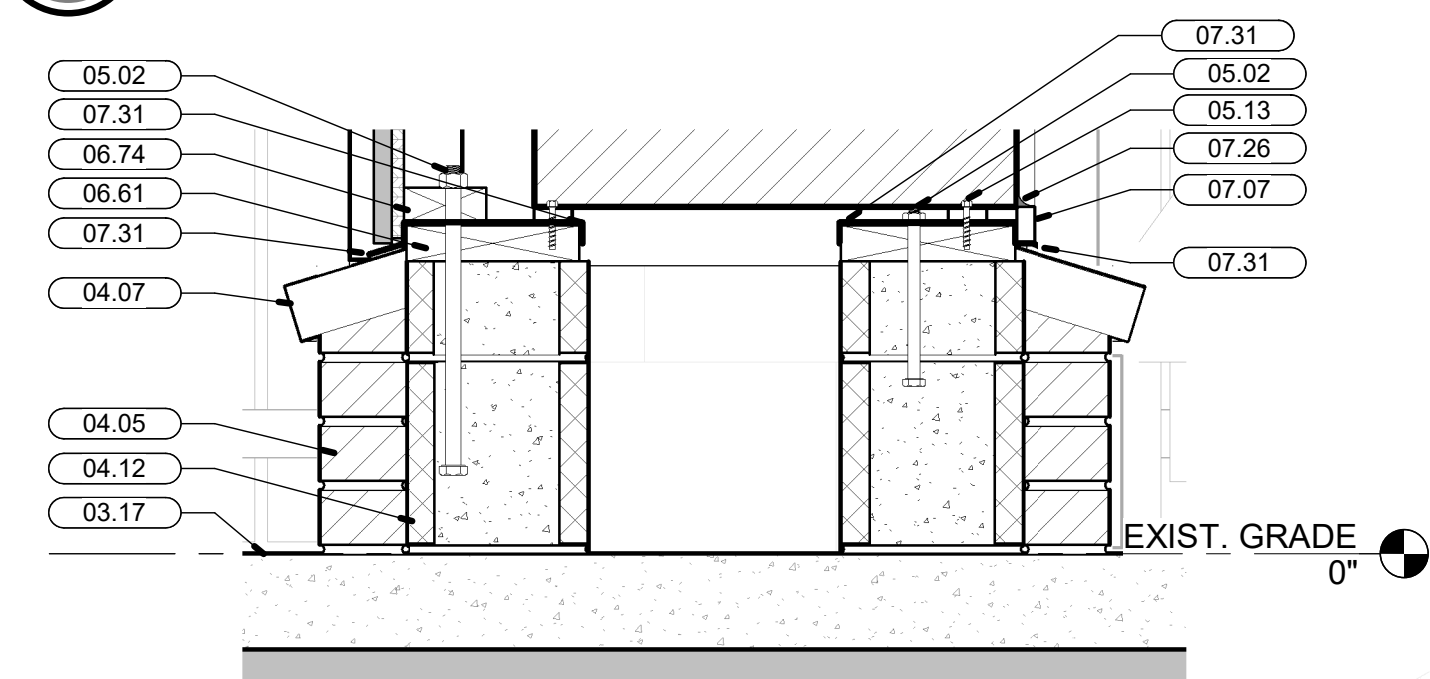
8 TRANSVERSE
1/4" = 1'-0"



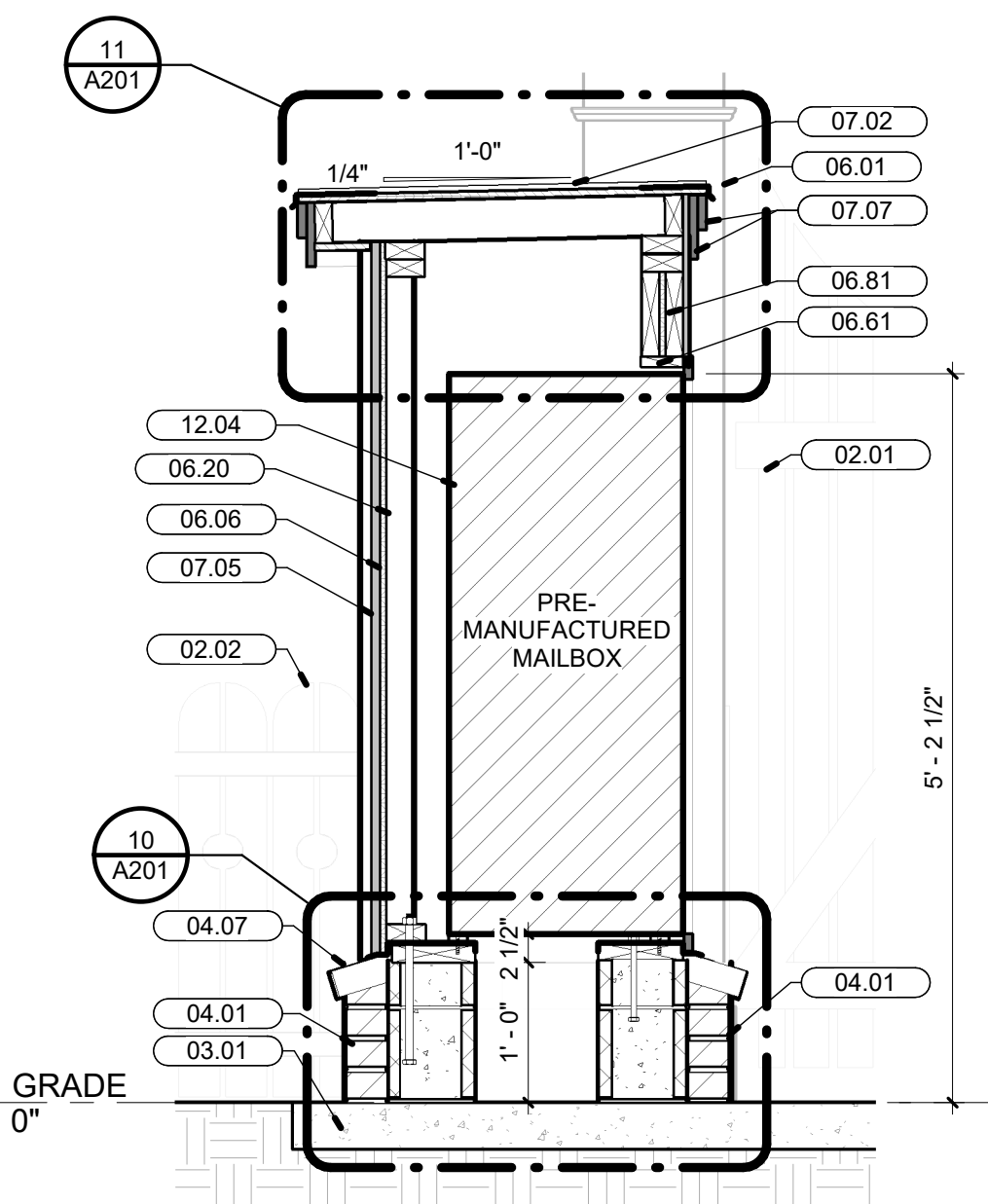
7 LONGITUDINAL
1/4" = 1'-0"



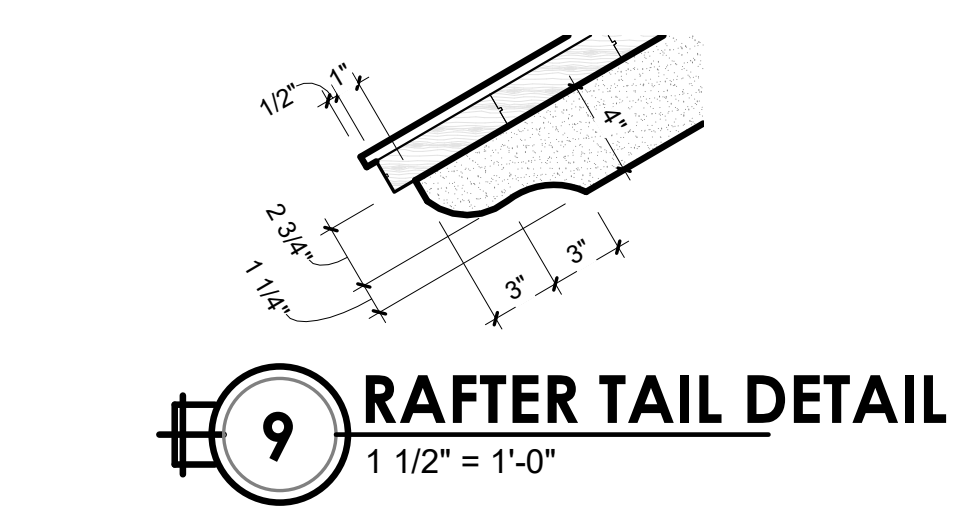
11 MAILBOX ROOF CONNECTION
1 1/2" = 1'-0"



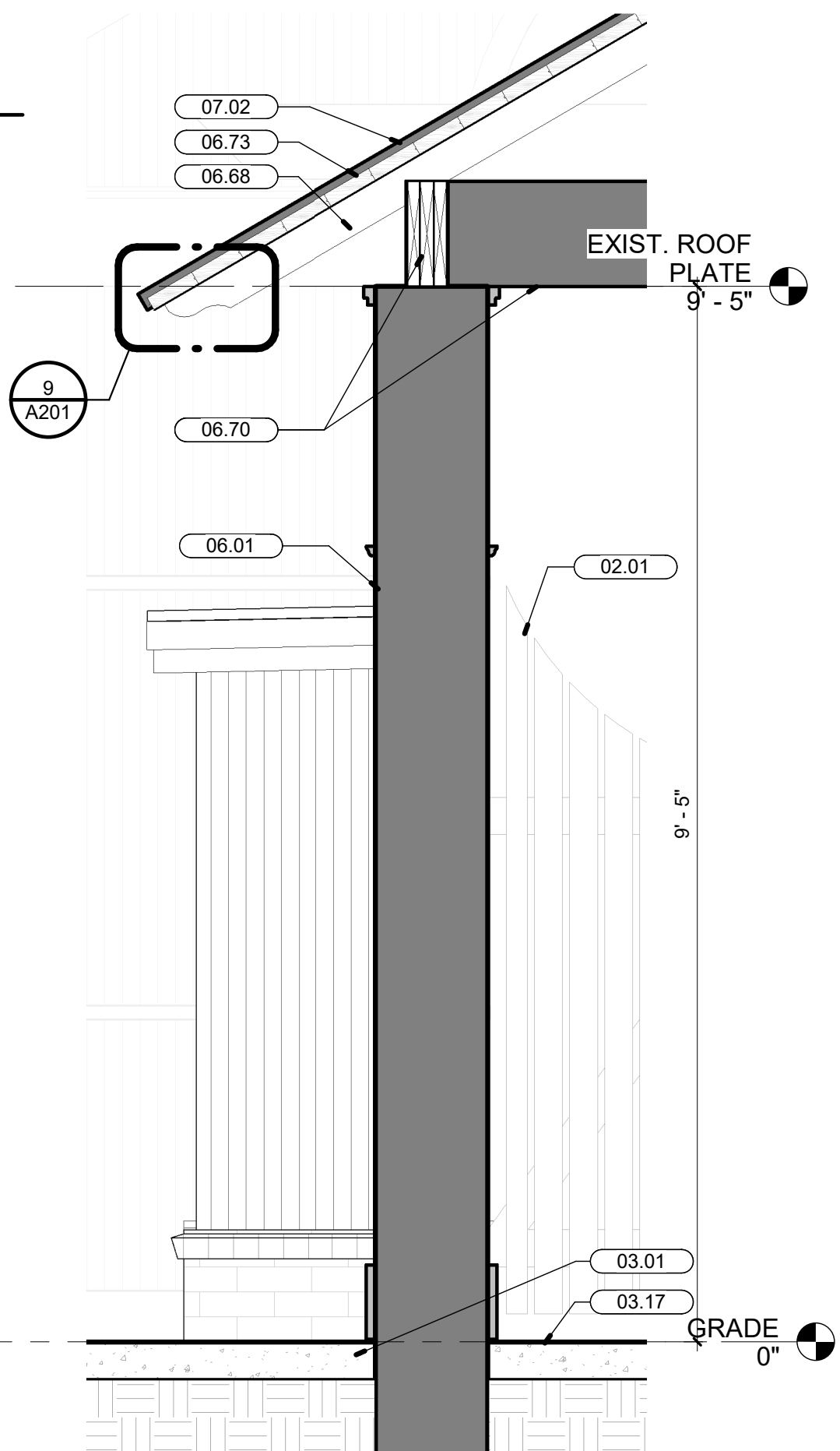
10 BASE CONNECTION DETAIL
1 1/2" = 1'-0"



1 MAILBOX ENCASEMENT
3/4" = 1'-0"



9 RAFTER TAIL DETAIL
1 1/2" = 1'-0"



2 COLUMN SECTION
3/4" = 1'-0"



PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3



PERSPECTIVE 4

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS



CERTIFICATION

NOT FOR CONSTRUCTION

Aragon Mailbox Pavilion
Aragon Community Garden

DRAWN BY:	CHECKED BY:
LBW	JSS

ISSUE DATE:
9/11/2020

REVISIONS	No.	Des.	Date

SHEET TITLE:
3D EXTERIOR PERSPECTIVE VIEWS

SHEET NO:
A701

PROJECT NO:
20035

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	No comments.
ESP	No comments.
ECUA	If the pavilion requires a new or modified connection to ECUA's utility system, please have the developer contact ECUA Engineering for more information.
GPW	No comments.
ATT	No comments.

Cynthia Cannon

From: Annie Bloxson
Sent: Friday, September 25, 2020 11:15 AM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

Good Morning,

I do not oppose the Aragon Mailbox Pavilion.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, September 22, 2020 11:11 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)

Cynthia Cannon

From: Diane Moore
Sent: Wednesday, September 23, 2020 1:15 PM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

Cynthia,
Pensacola Energy has no comments on the Aragon Pavilion.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:11 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Aragon Mailbox Pavilion

Good Morning All,

Cynthia Cannon

From: Leslie Odom
Sent: Wednesday, September 23, 2020 3:35 PM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

No comments as presented.

Les Odom
City Surveyor
Office: 850-436-5531

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:11 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Aragon Mailbox Pavilion

Good Morning All,

Please review and comment on the attached request before the Planning Board for an aesthetic review for the Aragon Mailbox Pavilion located behind the existing Aragon Community Garden shed. All comments must be received by Wednesday September 30, 2020.

Thank you,

Cynthia Cannon, AICP
Assistant Planning Director
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435-1670
ccannon@cityofpensacola.com



Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, September 22, 2020 3:00 PM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Aragon Mailbox Pavilion

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

ECUA has no comment on the aesthetic review of the mailbox pavilion. If the pavilion requires a new or modified connection to ECUA's utility system, please have the developer contact ECUA Engineering for more information.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, September 22, 2020 11:11 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

Subject: Aragon Mailbox Pavilion

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Morning All,

Please review and comment on the attached request before the Planning Board for an aesthetic review for the Aragon Mailbox Pavilion located behind the existing Aragon Community Garden shed. All comments must be received by Wednesday September 30, 2020.

Thank you,

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00498

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Request for Zoning Map and Future Land Use Map Amendment for 4406 N. Davis Hwy

BACKGROUND:

Davis IMP, LLC are requesting a Zoning Map and Future Land Use Map (FLUM) Amendment for the property located at 4406 N. Davis Highway and identified by parcel number 49-1S-30-9101-000-001. The use for the proposed addition would be a medical office.

The property is currently split zoned as C-1 (commercial) and R-1AAA (residential) and the existing Future Land Use (FLU) designation is also split between Commercial and LDR, Low Density Residential. The applicant is proposing to amend the zoning district to be entirely C-1, Commercial Zoning District and the FLU to Commercial.

Existing Zoning	Proposed Zoning	Existing FLUM	Proposed FLUM	Lot Size
R-1AAA / C-1	C-1	LDR / C	Commercial	1.47

- R-1AAA (existing zoning) The low density residential land use district is established for the purpose of providing and preserving areas of single-family, low intensity development at a maximum density of four and eight-tenths (4.8) dwelling units per acre in areas deemed suitable because of compatibility with existing development and/or the environmental character of the areas. The nature of the use of property is basically the same in all three (3) single-family zoning districts. Variation among the R-1AAAAA, R-1AAAA and R-1AAA districts is in requirements for lot area, lot width, and minimum yards.
- C-1 (proposed zoning). The C-1 zoning district's regulations are intended to provide for conveniently supplying the immediate needs of the community where the types of services

rendered and the commodities sold are those which are needed frequently. The C-1 zoning district is intended to provide a transitional buffer between mixed-use neighborhood commercial areas and more intense commercial zoning. The downtown and retail commercial (C-2A and C-2) zoning districts' regulations are intended to provide for major commercial areas intended primarily for retail sales and service establishments oriented to a general community and/or regional market. The C-3 wholesale and light industry zoning district's regulations are intended to provide for general commercial services, wholesale distribution, storage and light fabrication.

- LDR (existing FLU) The Residential Land Use Districts are established for the purpose of providing and preserving areas of predominantly low, medium or high residential development. A variety of residential uses shall be allowed, based on zoning classification.
 - Low Density Residential - 5 or fewer residential dwelling units per acre.
- Commercial (proposed FLU) The Commercial Land Use District is established for the purpose of providing areas of commercial development ranging from compact shopping areas to limited industrial/high intensity commercial uses. Conventional residential use is allowed as well as residential uses on upper floors above ground floor commercial or office uses and in other types of mixed-use development.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.

REZONING



Please check application type:

Conventional Rezoning	Comprehensive Plan / FLUM Amendment	
<input checked="" type="checkbox"/>	(< 10 acres)	(≥ 10 acres)
Application Fee: \$2,500.00	\$3,500.00	\$3,500.00
Rehearing/Rescheduling (Planning Board): \$250.00	\$250.00	\$250.00
Rehearing/Rescheduling (City Council): \$750.00	\$750.00	\$1,000.00

Applicant Information:

Name: REBOL-BATTLE & Assoc. / JASON REBOL Date: July 10, 2020
 Address: 2301 N. 9TH AVE., PENSACOLA, FL 32501
 Phone: 850-438-0400 Fax: 850-438-0440 Email: JASON@REBOL-BATTLE.COM

Property Information:

Owner Name: DAVIS IMP, LLC Phone: 939-3535
 Location/Address: 4406 N. DAVIS HWY, PENSACOLA, FL 32503
 Parcel ID: 49 - 15 - 30 - 9101 - 000 - 001 Acres/Square Feet: 1.47
 Zoning Classification: Existing R-1AAA Proposed C-1
 Future Land Use Classification: Existing L.D.R. Proposed C
 Reason Rezoning Requested: TO CONSTRUCT AN ADDITION TO THE EXISTING BUILDING. THE CURRENT PARCEL IS SPLIT ZONED C-1/R-1AAA. THE NEW ADDITION WILL BE MEDICAL OFFICES.

Required Attachments: (A) Full legal description of property (from deed or survey)
 (B) General location map with property to be rezoned indicated thereon

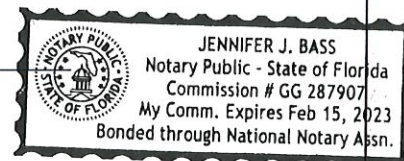
The above information, together with all other answers and information provided by me (us) as petitioner (s)/applicant (s) in the subject application, and all other attachments thereto, is accurate and complete to the best of my (our) knowledge and belief as of this 4 day of August, 2020.

Applicant Signature

Applicant Name (Print)

Owner Signature

Owner Name (Print)



Sworn to and subscribed to before me this 4 day of August, 2020

Name:

Commission Expires: 2/15/23

FOR OFFICE USE ONLY

Council District: _____ Date Received: _____ Case Number: _____
 Date Postcards mailed: _____ Planning Board Date: _____ Recommendation: _____
 Committee Date: _____ Council Date: _____ Council Action: _____
 Second Reading: _____ Ordinance Number: _____

Sec. 12-12-3. Amendments

The city council may, from time to time on its own motion, or on petition, or on recommendation of the planning board or the zoning board of adjustment or any department or agency of the city, amend, supplement, or repeal the regulations and provisions of this title and the comprehensive plan.

(A) *Authorization and responsibility.* Every such proposed amendment or change, whether initiated by the city council or by petition, shall be referred to the planning board who shall study such proposals and make recommendation to the city council.

If a rezoning of a parcel of land is proposed by the owner of the parcel or another interested person, it shall be the responsibility of such owner or other interested person to comply with the provisions of this chapter. If such rezoning of a parcel or parcels of land is proposed by the city, its staff, or the planning board, it shall be the responsibility of the city planner to comply with the provisions of this section.

(B) *Initiation.* An amendment may be initiated by:

- (a) The city.
- (b) The owners of the area involved in a proposed zoning or future land use amendment.

(C) *Application.*

- (a) An application for zoning or comprehensive plan future land use amendment must be submitted to the community development department at least thirty (30) days prior to the regularly scheduled meeting of the planning board.
- (b) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
- (c) No application shall be considered complete until all of the following have been submitted:
 - 1. The application shall be submitted on a form provided by the board secretary.
 - 2. Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
 - (a) A legal description of the property proposed to be rezoned or its land use changed;
 - (b) Proof of ownership of the property, including a copy of the deed and a title opinion, title insurance policy, or other form of proof acceptable to the city attorney;
 - (c) Existing zoning and future land use classification;
 - (d) Desired zoning and future land use classification;
 - (e) Reason for the rezoning or comprehensive plan future land use amendment.
 - 3. The applicant shall be required to pay an application fee according to the current schedule of fees established by the city council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition of the application.
- (d) Any party may appear in person, by agent, or by attorney.
- (e) Any application may be withdrawn prior to action of the planning board or city council at the discretion of the applicant initiating the request upon written notice to the board secretary.

(D) *Planning board review and recommendation.* The planning board shall review the proposed rezoning or comprehensive plan future land use amendment at the advertised public meeting and make a recommendation to the city council. Such recommendation:

- 1. Shall be for approval, approval with modification, or denial, including its reasons for any modifications or denial.
- 2. Shall include consideration of the following criteria:
 - a. Whether, and the extent to which, the proposal would result in incompatible land use considering the type and location of the proposed amendment and the surrounding land use.
 - b. Whether, and the extent to which, the proposed amendment would affect the carrying capacity of public facilities and services.
 - c. Whether the proposed amendment would be in conflict with the public interest and welfare.
 - d. Whether, and the extent to which, the proposed amendment would adversely affect the property values in the area.
 - e. Whether, and the extent to which, the proposed amendment would result in significant adverse impact on the natural environment.
 - f. The relationship of the proposed amendment to proposed public and private projects (i.e., street improvements, redevelopment projects, etc.).

(E) *City council review and action.*

- (a) *Public hearing.* The city council shall hold up to two public hearings, depending on the type of amendment, after 5:00 p.m. on a weekday to review the proposed zoning amendment. Public notice shall be provided, through applicable procedures as outlined in subsection (F) below.

- (b) *Action.* The city council shall review the proposed zoning amendment, and the recommendation of the planning board and the recommendation of the Department of Community Affairs, if applicable, and either approve, approve with modification or deny the proposed amendment at the city council public hearing. If the zoning amendment is approved by council, the adoption ordinance will be read two times following the first public hearing. For comprehensive plan amendments, the adopted ordinance will not become effective until the Department of Community Affairs has completed its 45-day compliance review.

(F) *Procedures.*

(1) *Zoning amendments*

- (a) Rezoning requests must be submitted to the community development department at least thirty (30) days prior to the planning board meeting.
- (b) The community development department shall publish a notice in the newspaper announcing the planning board meeting at least seven (7) days prior to the planning board meeting.
- (c) The community development department shall place a sign on the property to be rezoned at least seven (7) days prior to the planning board meeting.
- (d) Notice shall be published by public notice advertised in a newspaper of general daily circulation published in Escambia County at least seven (7) days prior to the scheduled board meeting at the expense of the applicant.
- (e) The planning department shall notify property owners within a five hundred (500) radius, as identified by the current Escambia County tax roll maps, of the property proposed for rezoning with a public notice by post card, at least seven (7) days prior to the board meeting. The public notice shall state the date, time and place of the board meeting.
- (f) The planning board shall review the proposed rezoning request and make a recommendation to the city council.
- (g) The city clerk shall set a date for a public hearing to be conducted during a regularly scheduled city council meeting.
- (h) The community development department shall notify property owners within a five hundred (500) foot radius of the property proposed to be rezoned with a public notice (letter and a map) mailed certified with return receipt at least thirty (30) days prior to the scheduled city council public hearing dates. The public notice shall state the date, time and place of the public hearing.
- (i) The community development department shall place a sign on the property to be rezoned announcing date, time and location of the city council public hearing at least fifteen (15) days prior to the hearing.
- (j) A legal notice of the city council public hearing shall be published in the newspaper at least ten (10) days prior to the hearing.
- (k) The city council shall review the proposed amendment and take action as described in subsection (E) above.
- (l) In addition to subsections (a) through (f) the city strongly encourages that the applicant hold an informational meeting with any applicable neighborhood groups and/or property owners associations prior to proceeding with an application involving a zoning and/or comprehensive plan amendment.
- (m) For proposals initiated by the city to rezone ten or more contiguous acres, subsections (a) through (f) shall be applicable in addition to the following. The city shall hold two advertised public hearings on the proposed ordinance as follows:
 1. Public notice of actual zoning changes, including zoning district boundary changes; consolidation or division of existing zones involving substantive changes; and the addition of new zoning districts shall be mailed by first class mail at least thirty (30) days prior to the first city council public hearing to consider the change, to every owner of real property, as identified by the current tax roll, within five hundred (500) feet of the boundaries of the subject parcel(s) to be changed.
 2. The community development department shall place a sign on the property to be rezoned announcing date, time and location of the first city council public hearing at least fifteen (15) days prior to the hearing.
 3. The first public hearing shall be held at least 7 days after the day that the first advertisement is published. The second hearing shall be held at least 10 days after the first hearing and shall be advertised at least 5 days prior to the public hearing. At least one hearing shall be held after 5 p.m. on a weekday.
 4. The required advertisements shall be no less than two columns wide by ten inches long in a standard size or a tabloid size newspaper, and the headline in the advertisement shall be in a type no smaller than 18 point. The advertisement shall not be placed in that portion of the newspaper where legal notices and classified advertisements appear.

The city council shall review the proposed zoning amendment, and the recommendation of the planning board and either approve, approve with modification or deny the proposed amendment at the first city council public hearing. If the zoning amendment is approved by council, the adoption ordinance will be read two times following the first public hearing.

- (2) *Small scale development comprehensive plan future land use map amendments.* Future land use map amendments which comply with the small scale development criteria in section 163.3187, Florida Statutes, may be considered by the planning board and the city council at any time during the calendar year until the annual maximum acreage threshold is met. The petitioner shall be required to complete the steps

listed above in subsection 12-12-3(F)(1)(a) through (l).

- (3) *Comprehensive plan future land use map amendments for other than small scale development activities.* Comprehensive plan future land use map amendments for other than small scale development activities shall be considered twice a year by the planning board and the city council.
- (a) Comprehensive plan future land use map amendment requests must be submitted to the planning department at least thirty (30) days prior to the planning board public hearing.
 - (b) The community development department shall publish a display advertisement in a standard size or a tabloid size newspaper with type no smaller than eighteen (18) point in the headline announcing the planning board and city council public hearings at least seven (7) days prior to the planning board hearing. The advertisement shall be no less than two (2) columns wide by ten (10) inches long. The advertisement shall not be placed in that portion of the newspaper where legal notices and classified advertisements appear.
 - (c) The community development department shall place a sign on the property to be rezoned at least seven (7) days prior to the planning board hearing.
 - (d) The planning board shall review the proposed future land use map amendment at the advertised public hearing and make a recommendation to the city council.
 - (e) The appropriate city council committee shall review the planning board recommendation and report to city council with recommendation for transmittal to the Florida Department of Community Affairs for review and action.
 - (f) The city council shall review the comprehensive plan future land use map amendment at the advertised public hearing and either approve the request for transmittal to the Department of Community Affairs or disapprove the request for transmittal and further consideration.
 - (g) The community development department shall transmit the future land use map amendment request to the Department of Community Affairs, the appropriate regional planning council and water management district, the Department of Environmental Protection and the Department of Transportation. The city shall also transmit a copy of the plan amendment to any other unit of local government or government agency in the state that has filed a written request with the city for the plan amendment.
 - (h) After a sixty-day review period, the Department of Community Affairs shall transmit in writing its comments to the city, along with any objections and any recommendations for modifications.
 - (i) The appropriate city council committee shall review the Department of Community Affairs comments and forward to city council for review and action.
 - (j) The city clerk shall set a date for a public hearing to be conducted during a regularly scheduled city council meeting.
 - (k) The community development department shall notify property owners within a five hundred (500) foot radius of the property where the land use is to be changed with a public notice (letter and a map) mailed certified with return receipt at least thirty (30) days prior to the scheduled city council public hearing dates. The public notice shall state the date, time and place of the public hearing.
 - (l) The community development department shall place a sign on the property where the land use is to be changed announcing date, time and location of the city council public hearing at least fifteen (15) days prior to the hearing.
 - (m) The community development department shall publish a display advertisement in a standard size or a tabloid size newspaper, with type no smaller than eighteen (18) point in the headline. The advertisement shall be no less than two (2) columns wide by ten (10) inches long. The advertisement shall not be placed in that portion of the newspaper where legal notices and classified advertisements appear. The advertisement shall be published at least five (5) days prior to the final city council public hearing.
 - (n) Subsections (k) above shall not be applicable to proposals initiated by the city to change the future land use of ten (10) or more contiguous acres. In such cases, the procedure shall be as follows: Public notice of comprehensive plan future land use map, including future land use district boundary changes; consolidation or division of existing future land use districts involving substantive changes; and the addition of new future land use districts shall be mailed by first class mail at least thirty (30) days prior to the city council public hearing to consider the change to every owner of real property, as identified by the current tax roll, within five hundred (500) feet of the boundaries of the subject parcel to be changed.
 - (o) The city council shall review the proposed amendment and take action as described in subsection (E) above.

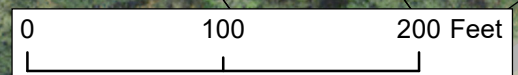


HYATT ST

N DAVIS HWY

4406 N DAVIS HWY

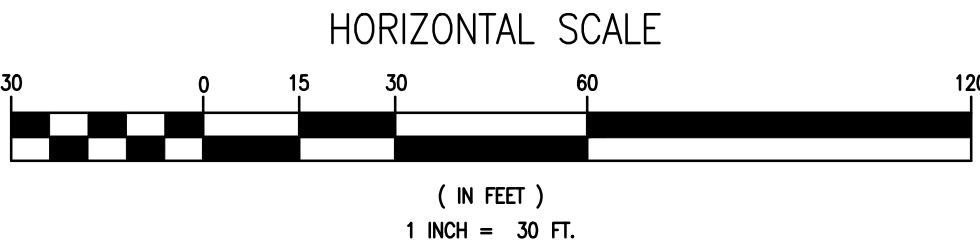
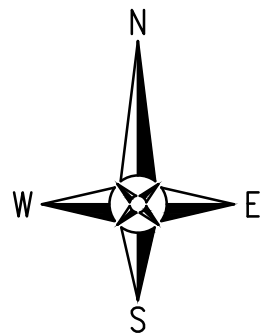
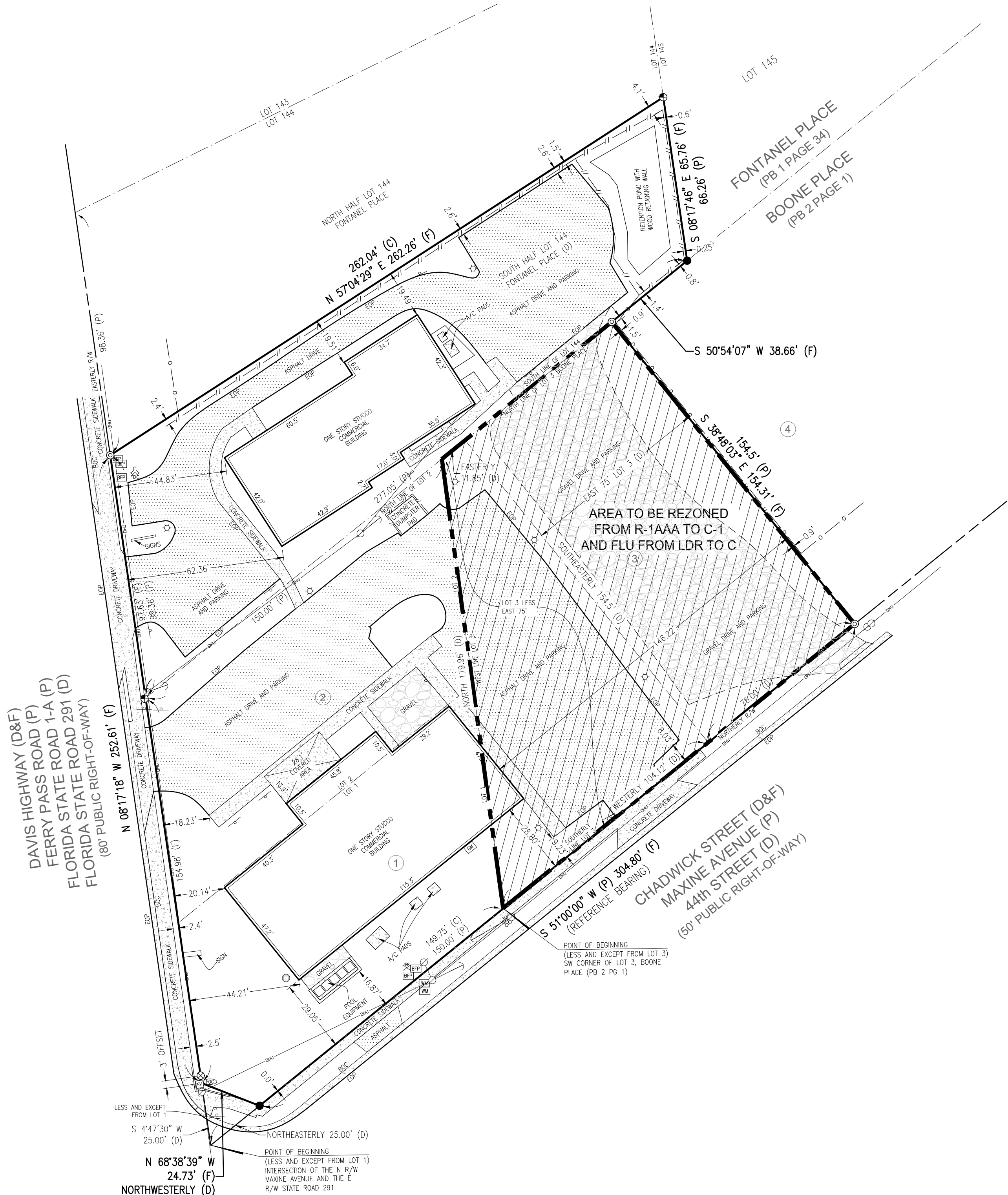
CHADWICK ST



Date: 8/11/2020



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.



DESCRIPTION: (AS PROVIDED)

THE SOUTH HALF OF LOT 144, FONTANEL PLACE, BEING A SUBDIVISION OF A PORTION OF SECTION 48, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE PLAT AS RECORDED IN PLAT BOOK 1, AT PAGE 34 OF THE PUBLIC RECORDS OF SAID COUNTY.

AND

LOTS 1 AND 2, BOONE PLACE, A SUBDIVISION IN SECTION 49, TOWNSHIP 1 SOUTH, RANGE 30 WEST, DESCRIBED ACCORDING TO PLAT OF SAID SUBDIVISION OF RECORD IN PLAT BOOK 2, AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY, LESS AND EXCEPT: A PARCEL OF LAND BEING TRIANGULAR IN SHAPE IN THE SOUTHWEST CORNER OF LOT 1, BOONE PLACE SUBDIVISION AS PER PLAT RECORDED IN PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF MAXINE AVENUE AND THE EAST RIGHT-OF-WAY LINE OF STATE ROAD 291 (DAVIS HIGHWAY); THENCE RUN NORTHEASTERLY 25 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF SAID MAXINE AVENUE; THENCE RUN NORTHWESTERLY ALONG A STRAIGHT LINE TO THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD 291 (DAVIS HIGHWAY); AT A POINT 25 FEET NORTH 4 DEGREES 47 MINUTES 30 SECONDS WEST OF THE POINT OF BEGINNING; THENCE SOUTH 4 DEGREES 47'30" EAST 25 FEET TO THE POINT OF BEGINNING.

AND

LOT 3 OF BOONE PLACE LESS AND EXCEPT: THE EAST 75 FEET OF SAID LOT 3, THE SAID BOONE PLACE BEING A SUBDIVISION OF A PORTION OF SECTION 49, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 2, AT PAGE 1, IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF ESCAMBIA COUNTY, FLORIDA; THE SAID PORTION OF LOT 3 BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWESTERLY CORNER OF LOT 3 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, RUN NORTH ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 179.96 FEET TO THE NORTHERLY LINE OF SAID LOT 3; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 3 A DISTANCE OF 11.85 FEET TO THE POINT; THENCE RUN SOUTHEASTERLY ON A LINE PARALLEL TO THE EASTERLY LINE OF SAID LOT 3 AND 75 FEET WESTERLY OF SAID EASTERLY LINE OF SAID LOT 3 FOR A DISTANCE OF 154.5 FEET TO THE SOUTHERLY LINE OF SAID LOT 3; THENCE RUN WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 3 BEING THE NORTHERLY LINE OF 44TH STREET (CHADWICK STREET) FOR A DISTANCE OF 104.12 FEET TO THE POINT OF BEGINNING.

AND

THE EAST 75 FEET OF LOT 3, BOONE PLACE, ACCORDING TO THE MAP OF PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 1, PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE PLAT BEARING OF SOUTH 51°00'00" WEST ALONG THE SOUTHERLY LINE OF LOTS 1 AND 3 AS PER RECORDED PLAT OF BOONE PLACE, PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY; COPY OF SAID RECORDED PLAT OF BOONE PLACE, COPY OF RECORDED PLAT OF FONTANEL PLACE; PLAT BOOK 1 PAGE 34 OF SAID PUBLIC RECORDS; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HERON.
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C0380G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.
- THIS SURVEY IS CERTIFIED TO:
 - FOUNTAIN, SCHULTZ & BRIDGEFORD, P.L.L.C.
 - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 - DAVIS IMP, L.L.C.
 - CENTENNIAL BANK

LEGEND:

- ⊗ SET 1/2" DIA RED CAPPED IRON ROD (No. 7916)
- FOUND 1/2" DIA IRON ROD (UNNUMBERED)
- ⊙ FOUND 1" DIA IRON PIPE (UNNUMBERED)
- ⊗ FOUND 1/2" DIA CAPPED IRON ROD (ILLEGIBLE)
- ⊗ DENOTES WOOD UTILITY POLE
- ⊗ DENOTES METAL UTILITY POLE
- ⊗ DENOTES SINGLE SUPPORT SIGN
- 0 — DENOTES CHAIN LINK FENCE
- // — DENOTES WOOD PANEL FENCE
- ⊗ DENOTES FIBER OPTIC CABLE MARKER
- ⊗ DENOTES FIRE HYDRANT
- ⊗ DENOTES BACK FLOW PREVENTER
- ⊗ DENOTES FIRE DEPARTMENT CONNECTION
- ⊗ DENOTES GAS METER
- ⊗ DENOTES GUY WIRE ANCHOR
- ⊗ DENOTES IRRIGATION VALVE
- ⊗ DENOTES WATER METER
- ⊗ DENOTES SEWER CLEANOUT
- ⊗ DENOTES ELECTRIC VAULT
- ⊗ DENOTES OVERHEAD ELECTRIC
- ④ DENOTES LOT NUMBER
- A/C DENOTES AIR CONDITIONING
- BOC DENOTES BACK OF CURB
- (C) DENOTES CALCULATED PER FIELD DATA
- (D) DENOTES DEED INFORMATION
- EDP DENOTES EDGE OF PAVEMENT
- (F) DENOTES FIELD INFORMATION
- (P) DENOTES PLAT INFORMATION
- PB DENOTES PLAT BOOK
- PG DENOTES PAGE
- R/W DENOTES RIGHT OF WAY

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HERON WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: MARK A. NORRIS
FLORIDA REGISTRATION No. 6211

DATE

SACRED HEART MEDICAL
4406 NORTH DAVIS HIGHWAY

SECTION: 49 TOWNSHIP: 1 S RANGE: 30 W
COUNTY: ESCAMBIA STATE: FLORIDA

REVISION/ACTION TAKEN

NO.	DATE	APPR.

PROJECT NO: 2019.131	DRAWN BY: BTH
CHKD BY: MANIANG	SCALE: 1" = 30'
F.B.: 19-06	PG: 74-77
DATE: 8/29/2019	

BOUNDARY SURVEY

PREPARED FOR: DAVIS IMP, L.L.C.
REQUESTED BY: KERRY ANNE SCHULTZ
FOUNTAIN, SCHULTZ & BRIDGEFORD, P.L.L.C.



4406 N DAVIS HWY

Zoning



SITE SPECIFIC DEVELOPMENT

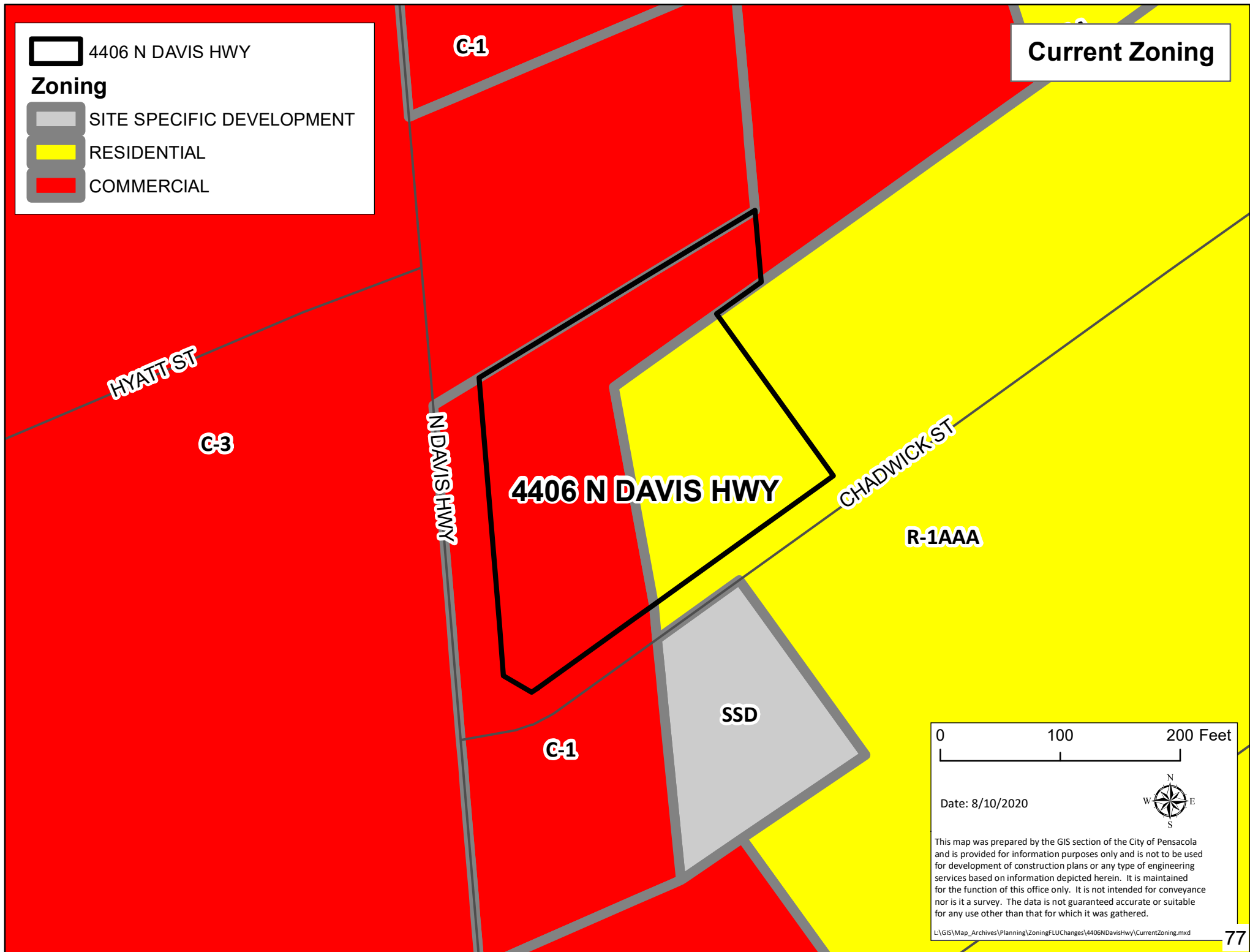


RESIDENTIAL



COMMERCIAL

Current Zoning




0 100 200 Feet

Date: 8/10/2020



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

L:\GIS\Map_Archives\Planning\ZoningFLUChanges\4406NDavisHwy\CurrentZoning.mxd

 4406 N DAVIS HWY

Future Land Use

 COMMERCIAL

 LOW DENSITY RESIDENTIAL

 MEDIUM DENSITY RESIDENTIAL

MEDIUM | **Current Future
Land Use**

HYATT ST

COMMERCIAL

N DAVIS HWY

4406 N DAVIS HWY

LOW DENSITY RESIDENTIAL

CHADWICK ST

0 100 200 Feet

Date: 8/11/2020



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L:\GIS\Map_Archives\Planning\ZoningFLUChanges\4406NDavisHwy\CurrentFLU.mxd

- 4406 N DAVIS HWY
- SITE SPECIFIC DEVELOPMENT
- RESIDENTIAL
- COMMERCIAL

Proposed Zoning

HYATT ST

N DAVIS HWY

4406 N DAVIS HWY

CHADWICK ST

0 100 200 Feet

Date: 8/10/2020



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L:\GIS\Map_Archives\Planning\ZoningFLUChanges\4406NDavisHwy\ProposedZoning.mxd

 4406 N DAVIS HWY

Future Land Use

 COMMERCIAL

 LOW DENSITY RESIDENTIAL

 MEDIUM DENSITY RESIDENTIAL

MEDIUM DENSITY RESIDENTIAL

**Proposed Future
Land Use**

HYATT ST

COMMERCIAL

4406 N DAVIS HWY

CHADWICK ST

LOW DENSITY RESIDENTIAL

N DAVIS HWY

0 100 200 Feet

Date: 8/21/2020



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

L:\GIS\Map_Archives\Planning\ZoningFLUChanges\4406NDavisHwy\ProposedFLU.mxd

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	No comments.
ESP	No comments.
ECUA	No comments.
GPW	No comments.
ATT	No comments.

Cynthia Cannon

From: Diane Moore
Sent: Tuesday, August 11, 2020 10:57 AM
To: Cynthia Cannon
Subject: RE: Rezoning Application - 4406 N Davis Hwy

Pensacola Energy has no comments on this rezoning request.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, August 11, 2020 10:08 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Rezoning Application - 4406 N Davis Hwy

Good Morning All,

Please see the attached request before the Planning Board for a rezoning at 4406 N Davis Hwy. Please provide comments **by close of business on Friday, August 21, 2020.**

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, August 11, 2020 3:03 PM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Rezoning Application - 4406 N Davis Hwy

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Cynthia,

The rezoning request does not impact any ECUA utility connections or operations, therefore, ECUA has no comment.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, August 11, 2020 10:08 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Rezoning Application - 4406 N Davis Hwy

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Morning All,

Please see the attached request before the Planning Board for a rezoning at 4406 N Davis Hwy. Please provide comments **by close of business on Friday, August 21, 2020.**

Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Cynthia Cannon

From: Annie Bloxson
Sent: Wednesday, August 12, 2020 3:27 PM
To: Cynthia Cannon
Subject: RE: Rezoning Application - 4406 N Davis Hwy

Good Evening,

I do not oppose the request to rezone 4406 N. Davis Hwy.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



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From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, August 11, 2020 10:08 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00601

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

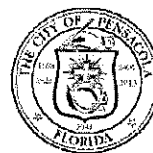
Request for Combined Preliminary/Final Plat Approval - Lanier Place Subdivision

BACKGROUND:

Spetto Properties is requesting a combined preliminary and final plat for Lanier Place subdivision at 7011 Lanier Drive. One (1) parcel, zoned R-1AA, will be subdivided into four (4) lots to accommodate single-family residences.

- Per Sec. 12-2-76: Subdivision of 4 lots constitutes a minor subdivision
- Property area: 0.48 acres
- Typical lot size: 0.12 acres
- Setback requirements (lot 1): 30" front, 15' side, 30' rear
- Setback requirements (lots 2-4): 30" front, 6' side, 30' rear
- There are no wetland areas, protected trees or heritage trees on the property

The combined preliminary/final plat has been routed through the various City departments and utility providers. The comments received to date have been provided within your packet.



SUBDIVISION PLAT

Please Check Application Type:

- ☒ Minor Subdivision (< 4 lots)
☒ Preliminary & Final Plat Submission Fee: \$2,000.00
☐ Subdivision (> 4 lots)
☐ Preliminary Plat Submission Fee: \$1,000.00 + \$25/lot
☐ Final Plat Submission Fee: \$1,500.00 + \$25/lot
[Resubmittal: 1/2 the initial fee; Rescheduling to Planning Board / City Council: \$250.00]

Applicant Information

Name: Spetto Properties
Address: 5113 N. Davis Hwy
Pensacola, FL 32503
Phone: 850-393-6953
Fax: _____
Email: chspear@gmail.com

Owner Information (if different from applicant)

Name: _____
Address: _____
Phone: _____
Fax: _____
Email: _____

Property Information

Location/Address: 7011 LANIER DRIVE

Subdivision Name: Lanier Place

of Parcels to be Subdivided: 1 Parcel ID #(s): 31-1S-30-1901-013-003

of Existing Lots: 1 # of Proposed Lots: 4 Total Acreage: 0.48 ac

Legal Description: Please attach a full legal description from deed or survey

Type of Subdivision: ☒ Residential* ☐ Non-Residential
[*If residential, see reverse for open space requirement]

Will a Variance from the Subdivision Regulations be requested for the project (Sec. 12-8-7)? ☐ YES ☐ NO

If yes, specify exact variance requested: _____

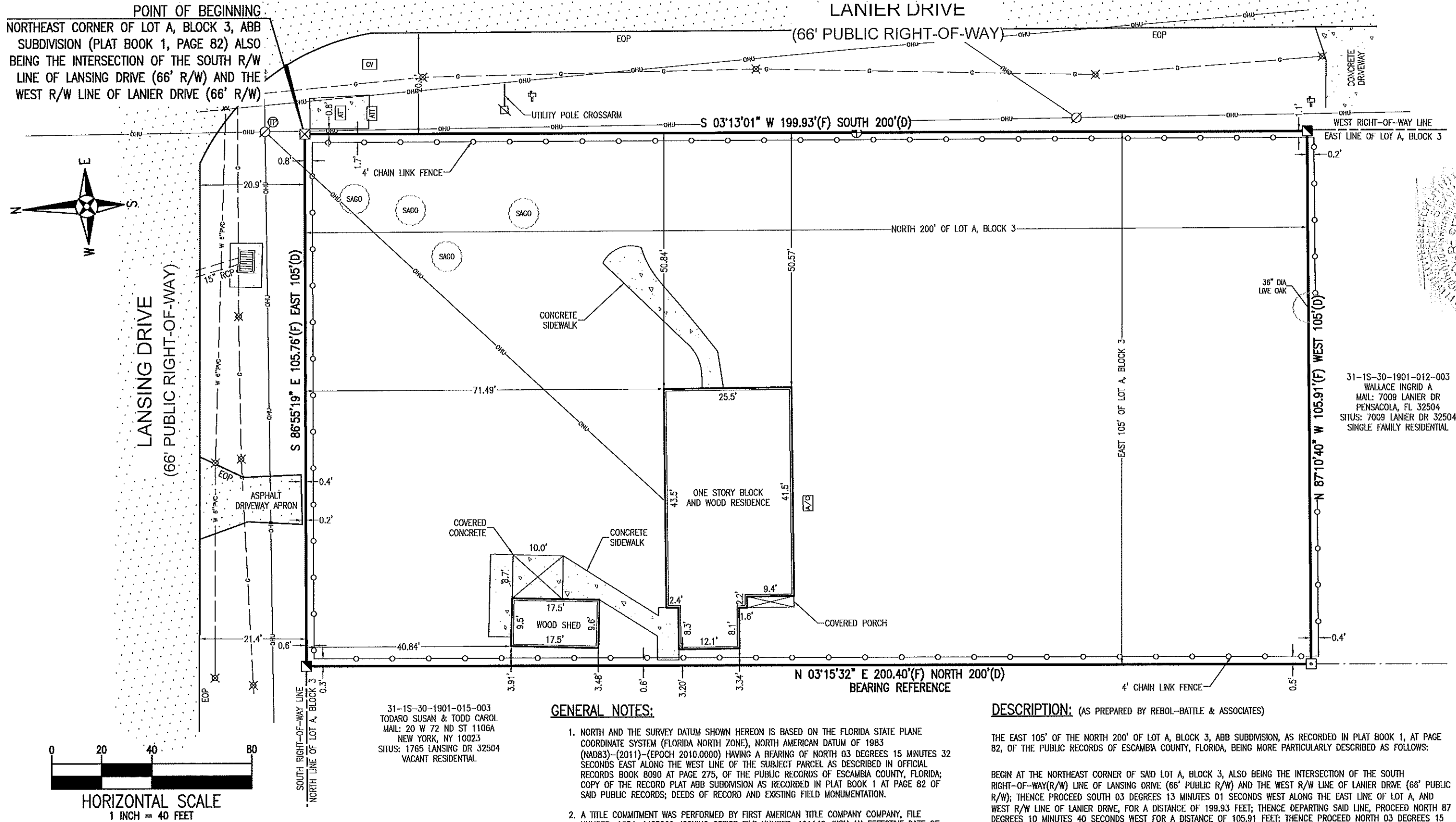
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this plat and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning and subdivision requirements and understand that I must be present on the date of the Planning Board meeting.

Signature of Applicant
(Owner of Property or Official Representative of Owner)

Date

FOR OFFICE USE ONLY

Zone: _____ District: _____
Date Received: _____ Case Number: _____
Application Fee: _____ Receipt #: _____
Open Space Requirement (acres or \$): _____ Receipt #: _____
Planning Board Date: _____ Recommendation: _____
Council Date: _____ Action: _____
Recording Date: _____ Map Bk/Pg: _____



LEGEND:

	SET 4"x4" CONCRETE PRM (NUMBER 7916)		DENOTES STORM WATER DROP INLET
	FOUND 1/2" DIA CAPPED IRON ROD (NUMBER 5791)		DENOTES WOOD UTILITY POLE
	FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)		DENOTES METAL UTILITY POLE
	FOUND 4"x4" CONCRETE MONUMENT (WITH PUNCH HOLE)		DENOTES MAILBOX
	DENOTES LINE SHOWN NOT TO SCALE		DENOTES TREE (SIZE AND/OR TYPE)
(D)	DENOTES DEED INFORMATION		DENOTES AIR CONDITIONING UNIT
DIA	DENOTES DIAMETER		DENOTES AT&T COMMUNICATIONS VAULT
EOP	DENOTES EDGE OF PAVEMENT		DENOTES BELLSOUTH COMMUNICATIONS VAULT
(F)	DENOTES FIELD INFORMATION		DENOTES TELEPHONE PEDESTAL
PRM	DENOTES PERMANENT REFERENCE MONUMENT		DENOTES CHAIN LINK FENCE
RCP	DENOTES REINFORCED CONCRETE PIPE		DENOTES OVERHEAD UTILITIES

GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST ALONG THE WEST LINE OF THE SUBJECT PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 8090 AT PAGE 275, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; COPY OF THE RECORD PLAT ABB SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 82 OF SAID PUBLIC RECORDS; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- A TITLE COMMITMENT WAS PERFORMED BY FIRST AMERICAN TITLE COMPANY COMPANY, FILE NUMBER: 1054-4485860, ISSUING OFFICE FILE NUMBER: 191140, WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 2019 AT 8:00 AM, AND PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CITY OF PENSACOLA, COMMUNITY PANEL NUMBER 12033C0380G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE IMPROVEMENTS, UTILITIES, AND ENCROACHMENTS ARE AS SHOWN HEREON.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.

DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES)

THE EAST 105' OF THE NORTH 200' OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID LOT A, BLOCK 3, ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY(R/W) LINE OF LANSING DRIVE (66' PUBLIC R/W) AND THE WEST R/W LINE OF LANIER DRIVE (66' PUBLIC R/W); THENCE PROCEED SOUTH 03 DEGREES 13 MINUTES 01 SECONDS WEST ALONG THE EAST LINE OF LOT A, AND WEST R/W LINE OF LANIER DRIVE, FOR A DISTANCE OF 199.93 FEET; THENCE DEPARTING SAID LINE, PROCEED NORTH 87 DEGREES 10 MINUTES 40 SECONDS WEST FOR A DISTANCE OF 105.91 FEET; THENCE PROCEED NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 200.40 FEET TO THE SOUTH R/W LINE OF FOREMENTIONED LANSING DRIVE ALSO BEING THE NORTH LINE OF LOT A; THENCE PROCEED SOUTH 86 DEGREES 55 MINUTES 19 SECONDS EAST ALONG SAID SOUTH R/W LINE FOR A DISTANCE OF 105.76 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 21,184 SQUARE FEET.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:
 RICKY B. SEARS — PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION No. 4511

09/03/2020
 DATE

BOUNDARY SURVEY

PREPARED FOR: CARL SPEAR
 REQUESTED BY: CARL SPEAR

NO. DATE APPL. REVISION/ACTION TAKEN

PROJECT: 2020.081

DRAWN BY: ANC

CHKD BY: RBS

SCALE: 1" = 20'

F.B.: 20-06; 20-08

P.G.: 21, 24; 52-53

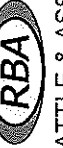
DATE: 08/01/2020

7011 LANIER DRIVE
 PENSACOLA, FLORIDA 32504

SECTION: 31 TOWNSHIP: 1 SOUTH RANGE: 30 WEST STATE: FLORIDA

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

REBOL-BATTLE & ASSOCIATES
 CIVIL ENGINEERS AND SURVEYORS
 2201 N. NICH AVENUE, SUITE 300
 PENSACOLA, FLORIDA 32203
 TELEPHONE: 850.438.1000 FAX: 850.438.0448
 E-MAIL: INFO@REBOL-BATTLE.COM



SITE INFORMATION	
OWNER/DEVELOPER:	CARL SPEAR, OD, MBA, FAO, SPETTO PROPERTIES INC. 5113 N. DAVIS HWY STE. 10 PENSACOLA, FLORIDA 32504
PROPERTY REFERENCE NO.:	31-15-30-1901-013-003
PROPERTY ADDRESS:	7011 LANIER DRIVE
PROPERTY AREA:	0.48 ACRES
PROJECT AREA:	0.48 ACRES
TYPICAL LOT SIZE:	0.12 ACRES
PROPERTY ZONING:	R-1AA
FUTURE LAND USE:	M.D.R.
PROPOSED ACTIVITY:	4 LOT SPLIT FOR 4 SINGLE FAMILY RESIDENCES
REQUIRED BUILDING SETBACKS R-1AA:	FRONT YARD - 30 FT. SIDE YARD - 6 FT. REAR YARD - 30 FT.

PRELIMINARY PLAT OF LANIER PLACE 4 LOT RESIDENTIAL SUBDIVISION REPLAT OF A PORTION OF LOT A, BLOCK 3, ABB SUBDIVISION, PLAT BOOK 1, PAGE 82, SECTION 31, TOWNSHIP 1 SOUTH, RANGE 29 WEST CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA SEPTEMBER 2020

UTILITY SERVICE NOTES:

POTABLE WATER:
AFTER RECEIVING ALL APPROVALS FROM ECUA AND THE CITY OF PENSACOLA, THE DEVELOPMENT WILL CONNECT TO ECUA'S EXISTING SYSTEM.

SANITARY SEWER:
AFTER RECEIVING APPROVALS FROM ECUA AND THE CITY OF PENSACOLA, THE DEVELOPMENT WILL CONNECT TO ECUA'S EXISTING GRAVITY SYSTEM.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED UTILITY COMPANY.

PREPARED BY
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009857 LB7616

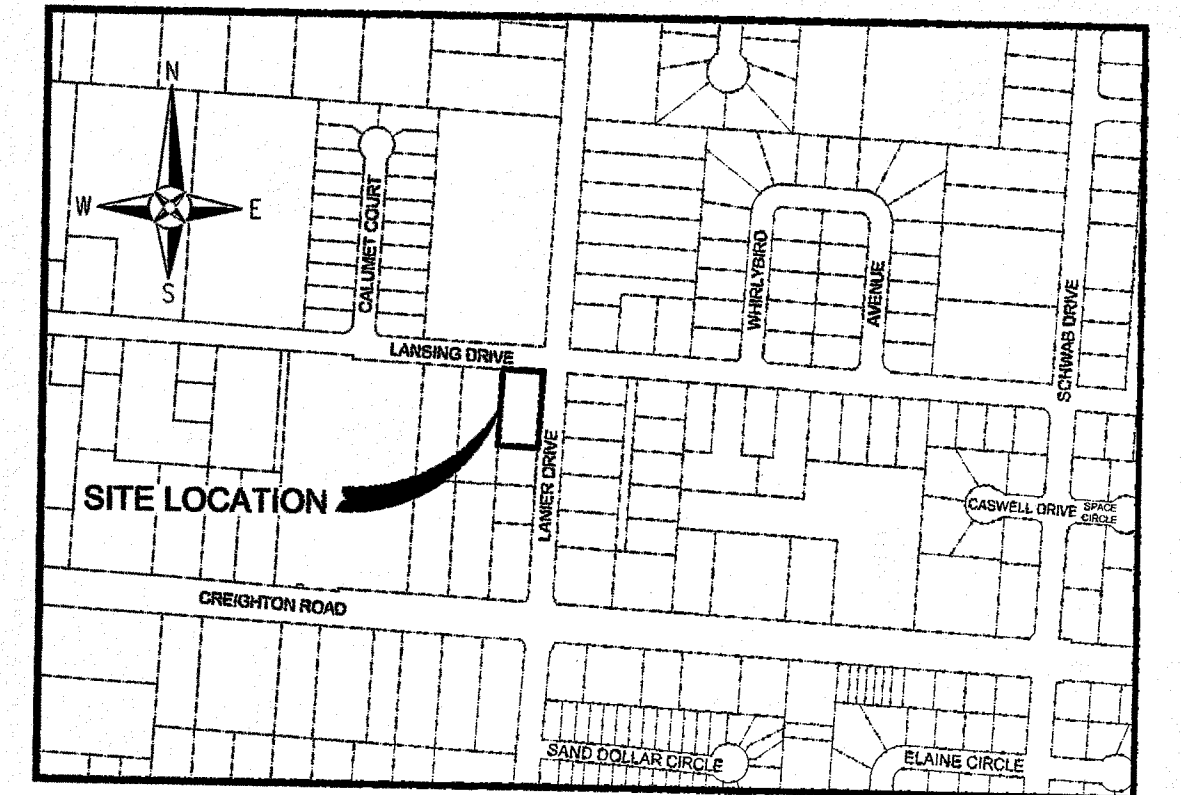
PROFESSIONAL SURVEYOR AND MAPPER
MARK A. NORRIS, P.S.M.
REBOL-BATTLE & ASSOCIATES

OWNER AND DEVELOPER
CARL SPEAR, OD, MBA, FAO,
SPETTO PROPERTIES, INC.

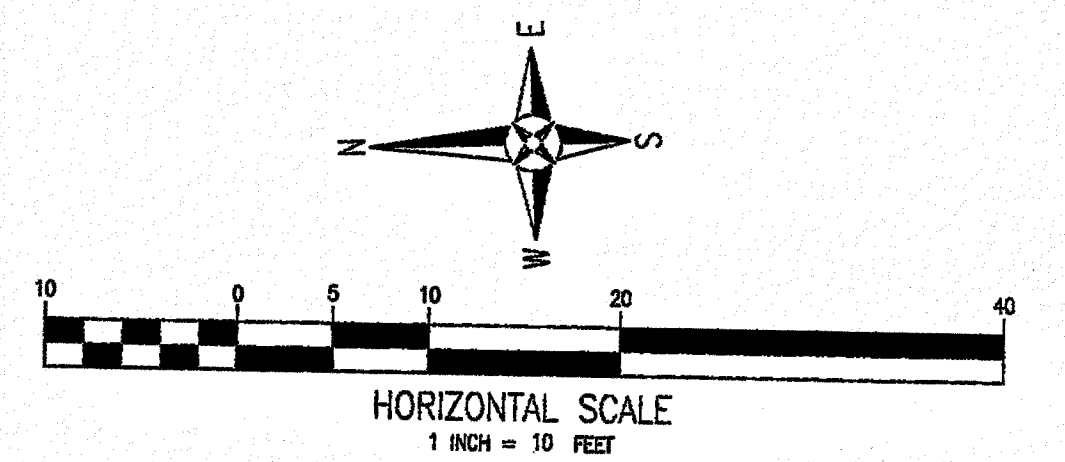
CIVIL ENGINEER
MARK EVAN ROBINSON II, PE
REBOL-BATTLE & ASSOCIATES

LEGEND:

- ▲ SET NAIL & DISK (No. 7916)
- SET 4"x4" CONCRETE PRM (No. 7916)
- FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)
- FOUND 4"x4" CONCRETE MONUMENT (WITH PUNCH HOLE)
- FOUND 1/2" DIA IRON ROD (NO IDENTIFICATION)
- DENOTES STORM WATER DROP INLET
- DENOTES WOOD UTILITY POLE
- DENOTES METAL UTILITY POLE
- DENOTES MAILBOX
- DENOTES UTILITY SPOT SHOT (PAINT OR FLAG)
- DENOTES AIR CONDITIONING UNIT
- DENOTES AT&T COMMUNICATIONS VAULT
- DENOTES BELLSOUTH COMMUNICATIONS VAULT
- DENOTES TELEPHONE PEDESTAL
- DENOTES SPOT ELEVATION
- DENOTES ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
- DENOTES CHAIN LINK FENCE
- 2" DENOTES BURIED GAS LINE (2" BARE STEEL)
- DHU DENOTES OVERHEAD UTILITIES
- W 6" PVC DENOTES BURIED WATER LINE (6" PVC)
- B.S.L. DENOTES BUILDING SETBACK LINE
- DIA DENOTES DIAMETER
- EL DENOTES ELEVATION
- EOP DENOTES EDGE OF PAVEMENT
- PRM DENOTES PERMANENT REFERENCE MONUMENT
- PVC DENOTES POLYVINYL CHLORIDE PIPE
- RCP DENOTES REINFORCED CONCRETE PIPE
- R/W DENOTES RIGHT-OF-WAY
- SF DENOTES SQUARE FEET



VICINITY MAP
1" = 500'



LEGAL DESCRIPTION:

THE EAST 105' OF THE NORTH 200' OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY(R/W) LINE OF LANIER DRIVE (66' PUBLIC R/W) AND THE WEST R/W LINE OF LANIER DRIVE (66' PUBLIC R/W); THENCE PROCEED SOUTH 03 DEGREES 13 MINUTES 01 SECONDS WEST ALONG THE EAST LINE OF LOT A, AND WEST R/W LINE OF LANIER DRIVE, FOR A DISTANCE OF 199.93 FEET; THENCE DEPARTING SAID LINE, PROCEED NORTH 87 DEGREES 10 MINUTES 40 SECONDS WEST FOR A DISTANCE OF 105.91 FEET; THENCE PROCEED NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 200.40 FEET TO THE SOUTH R/W LINE OF AFOREMENTIONED LANIER DRIVE ALSO BEING THE NORTH LINE OF LOT A; THENCE PROCEED SOUTH 86 DEGREES 55 MINUTES 19 SECONDS EAST ALONG SAID SOUTH R/W LINE FOR A DISTANCE OF 105.76 FEET TO THE POINT OF BEGINNING.

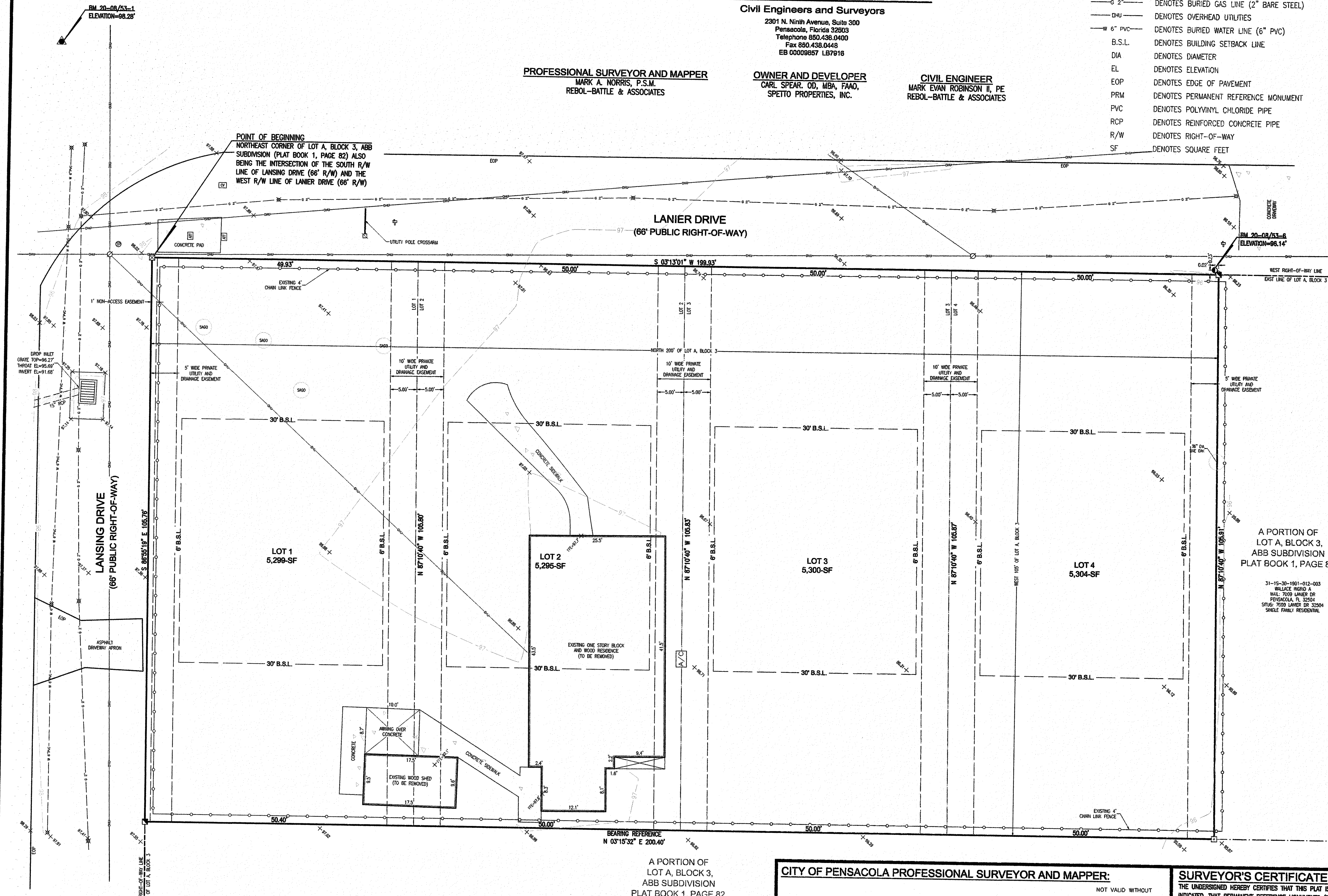
LYING IN AND BEING A PORTION OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 21,184 SQUARE FEET.

GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST ALONG THE WEST LINE OF THE SUBJECT PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 8090 AT PAGE 275, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; COPY OF THE RECORD PLAT ABB SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 82 OF SAID PUBLIC RECORDS; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- A TITLE COMMITMENT WAS PERFORMED BY FIRST AMERICAN TITLE COMPANY COMPANY, FILE NUMBER: _____, ISSUING OFFICE FILE NUMBER: _____, WITH AN EFFECTIVE DATE OF SEPTEMBER __, 2020 AT 8:00 AM, AND PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER II GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CITY OF PENSACOLA, COMMUNITY PANEL NUMBER 1203300380G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES). SIZE AND TYPE OF MATERIAL OF UTILITIES WERE TAKEN FROM MAPS FROM THE RESPECTIVE UTILITY COMPANY'S. THE FOLLOWING SUNSHINE ONE CALL TICKET WAS ISSUED FOR THIS PROJECT: 237001347, 237001375
- GRAPHIC SYMBOLS FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITY LINES MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE ENCROACHMENTS AND IMPROVEMENTS ARE AS SHOWN HEREON.

A PORTION OF
LOT A, BLOCK 3,
ABB SUBDIVISION
PLAT BOOK 1, PAGE 82

31-15-30-1901-013-003
WILLIAM HENRY A.
MAIL 7009 LANIER DR.
PENSACOLA, FL 32504
SITES: 7009 LANIER DR. 32504
SINGLE FAMILY RESIDENTIAL



NOTE:
ALL DRIVEWAYS AND UTILITIES WILL
BE ACCESSED OFF OF LANIER DRIVE

A PORTION OF
LOT A, BLOCK 3,
ABB SUBDIVISION
PLAT BOOK 1, PAGE 82

31-15-30-1901-013-003
TOWNSHIP 1 SOUTH & 10100 CHESA
MAIL: 20 W 72 RD STE 11100A
NEW YORK, NY 10023
SITES: 1755 LANIER DR. 32504
VACANT RESIDENTIAL

CITY OF PENSACOLA PROFESSIONAL SURVEYOR AND MAPPER:

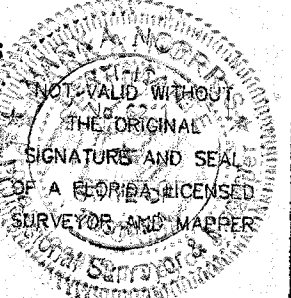
NOT VALID WITHOUT
THE ORIGINAL
SIGNATURE AND SEAL
OF A FLORIDA
LICENSED SURVEYOR
AND MAPPER

LESLIE D. ODOM - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS6520

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND DESCRIBED HEREIN, THAT SAID LAND HAS BEEN SUBDIVIDED AS INDICATED, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.) HAVE BEEN PLACED AS INDICATED, THAT THE PLAT WAS PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF THE PLAT ACT CHAPTER 177.011-177.151 FLORIDA STATUTES, AND THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61B17-6, FLORIDA ADMINISTRATION CODE.

MARK A. NORRIS - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 6511

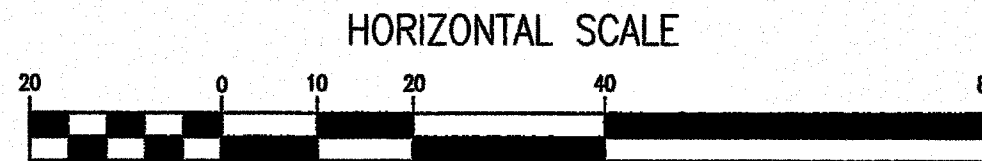
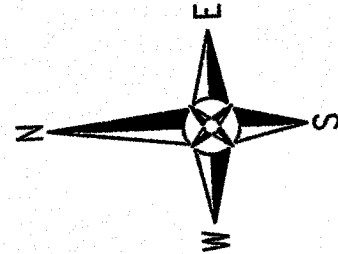


PREPARED BY



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EO 00008657 L57916



(IN FEET)
1 INCH = 20 FT. (22'x34')
1 INCH = 40 FT. (11'x17')

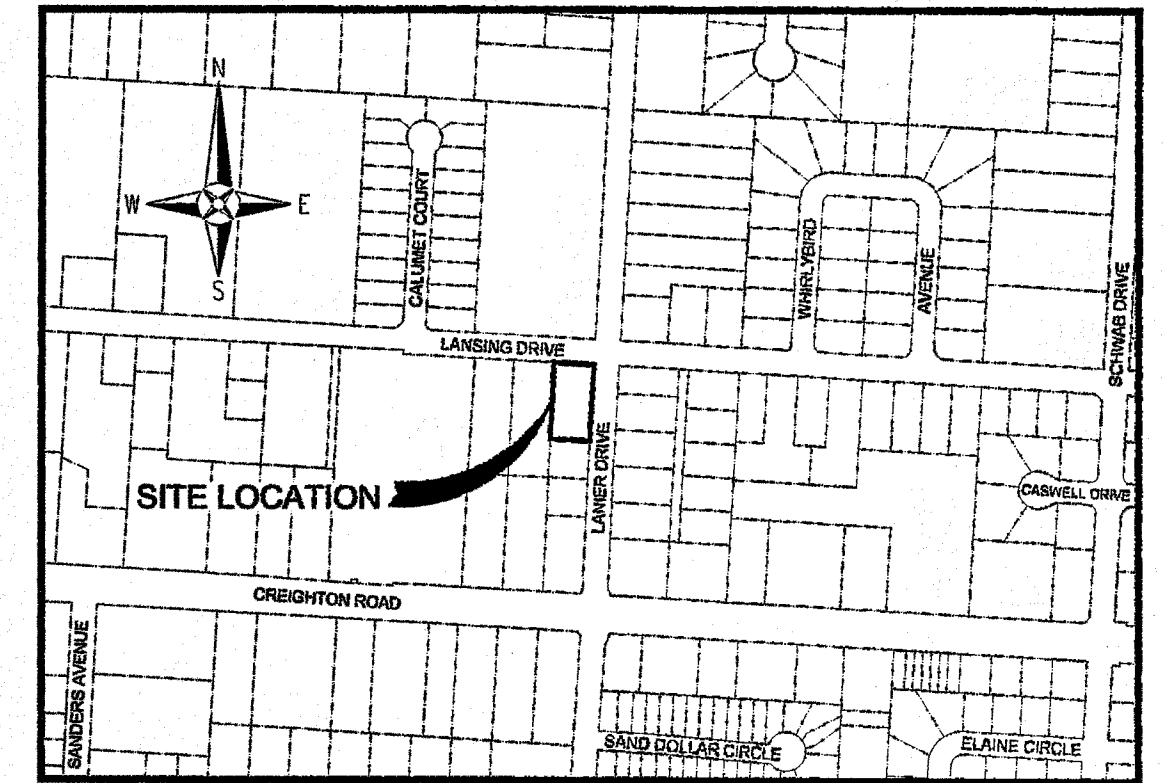
FINAL PLAT OF LANIER PLACE

4 LOT RESIDENTIAL SUBDIVISION REPLAT OF A PORTION OF
LOT A, BLOCK 3, ABB SUBDIVISION, PLAT BOOK 1, PAGE 82,
SECTION 31, TOWNSHIP 1 SOUTH, RANGE 29 WEST
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA
SEPTEMBER 2020

OWNER AND DEVELOPER
SPETTO PROPERTIES, INC.
5113 N. DAVIS HIGHWAY, SUITE 10
PENSACOLA, FLORIDA

CIVIL ENGINEER
MARK EVAN ROBERTSON II, P.E.
REBOL-BATTLE & ASSOCIATES
2301 N. NINTH AVENUE, SUITE 300
PENSACOLA, FLORIDA 32503

PROFESSIONAL SURVEYOR AND MAPPER
MARK A. NORRIS, P.S.M.
REBOL-BATTLE & ASSOCIATES
2301 N. NINTH AVENUE, SUITE 300
PENSACOLA, FLORIDA 32503



VICINITY MAP
SCALE: 1" = 500'

DESCRIPTION:

THE EAST 105' OF THE NORTH 200' OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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LYING IN AND BEING A PORTION OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 21,184 SQUARE FEET.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT CARL SPEAR, OD, MBA, FAO, AUTHORIZED AGENT, SPETTO PROPERTIES, INC., OWNERS OF THE LAND HEREIN DESCRIBED AND PLATTED KNOWN AS LANIER PLACE, HEREBY DEDICATE THE DRAINAGE AND UTILITY EASEMENTS TO THE DEVELOPER OR THEIR ASSIGNS, AND AUTHORIZE AND REQUEST THE FILING OF THIS PLAT IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

IN WITNESS WHEREOF, CARL SPEAR, OD, MBA, FAO, AUTHORIZED AGENT, OUR SPETTO PROPERTIES, INC., ARE QUALIFIED TO DO BUSINESS IN THE STATE OF FLORIDA HAS CAUSED THESE PRESENTS TO BE MADE AND SIGNED IN ITS NAME BY ITS AUTHORIZED AGENT.

WITNESSES

OWNER

SIGNATURE

CARL SPEAR, OD, MBA, FAO,
AUTHORIZED AGENT
SPETTO PROPERTIES, INC.

PRINT

SIGNATURE

PRINT

STATE OF FLORIDA, COUNTY OF ESCAMBIA:

BEFORE THE SUBSCRIBER PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE INDIVIDUALS DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE USES AND PURPOSES HEREIN SET FORTH, THEY ARE PERSONALLY KNOWN TO ME AND THEY DID NOT TAKE AN OATH, GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2020.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC, STATE OF FLORIDA

MY COMMISSION NUMBER: _____

CERTIFICATE OF COUNTY CLERK:

I, PAUL CHILDERS, CLERK OF COURTS OF ESCAMBIA COUNTY, FLORIDA HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF THE PLAT ACT CHAPTER 177 FLORIDA STATUTES AND THE SAME WAS RECORDED ON THE _____ DAY OF _____, 2020 IN PLAT BOOK _____ AT PAGE _____ OF THE PUBLIC RECORDS OF SAID COUNTY.

PAUL CHILDERS, CLERK OF COURTS
ESCAMBIA COUNTY, FLORIDA

SEAL

CITY COUNCIL CERTIFICATE:

I, ERICKA L. BURNETT, CITY CLERK OF THE CITY OF PENSACOLA, FLORIDA, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO THE CITY COUNCIL OF SAID CITY AT ITS MEETING HELD ON THE _____ DAY OF _____, 2020, AND WAS APPROVED BY SAID COUNCIL.

ERICKA L. BURNETT
CITY CLERK OF THE CITY OF PENSACOLA

CITY OF PENSACOLA PROFESSIONAL SURVEYOR AND MAPPER STATEMENT:

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177, FLORIDA STATUTES, BY THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER FOR THE CITY OF PENSACOLA.

LESLIE D. ODOM
PROFESSIONAL SURVEYOR & MAPPER
LICENSE No. L58520

NOT VALID WITHOUT THE
ORIGINAL SIGNATURE
AND THE SEAL OF A
FLORIDA LICENSED
SURVEYOR AND MAPPER

SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND DESCRIBED HEREIN, THAT SAID LAND HAS BEEN SUBDIVIDED AS INDICATED, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.) HAVE BEEN PLACED AS INDICATED, THAT THE PLAT WAS PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF THE PLAT ACT CHAPTER 177.011-177.151 FLORIDA STATUTES, AND THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61B17-6, FLORIDA ADMINISTRATION CODE, SIGNED ON THE _____ DAY OF _____, 2020.

MARK A. NORRIS, P.S.M.
PROFESSIONAL SURVEYOR & MAPPER
LICENSE No. 6511, LB No. 7916
REBOL-BATTLE & ASSOCIATES, LLC
2301 N. 9TH AVENUE, SUITE 300
PENSACOLA, FL 32503

NOT VALID WITHOUT THE
ORIGINAL SIGNATURE
AND THE SEAL OF A
FLORIDA LICENSED
SURVEYOR AND MAPPER

RESTRICTIVE COVENANTS FILED IN OFFICIAL RECORDS BOOK _____, PAGE _____

PLAT BOOK _____, PAGE _____

POINT OF BEGINNING
NORTHEAST CORNER OF LOT A, BLOCK 3, ABB
SUBDIVISION (PLAT BOOK 1, PAGE 82) ALSO
BEING THE INTERSECTION OF THE SOUTH R/W
LINE OF LANSING DRIVE (66' R/W) AND THE
WEST R/W LINE OF LANIER DRIVE (66' R/W)

LANIER DRIVE
(66' PUBLIC RIGHT-OF-WAY)

S 03°13'01" W 199.93'

1' NON-ACCESS EASEMENT

LANSING DRIVE
(66' PUBLIC RIGHT-OF-WAY)

S 86°55'19" E 105.76'

LOT 1
5,299-SF

LOT 2
5,295-SF

LOT 3
5,300-SF

LOT 4
5,304-SF

A PORTION OF
LOT A, BLOCK 3,
ABB SUBDIVISION
PLAT BOOK 1, PAGE 82

BEARING REFERENCE
N 03°15'32" E 200.40'

A PORTION OF
LOT A, BLOCK 3,
ABB SUBDIVISION
PLAT BOOK 1, PAGE 82

UTILITY SERVICE NOTES:

POTABLE WATER:
AFTER RECEIVING ALL APPROVALS FROM ECWA AND THE CITY OF
PENSACOLA, THE DEVELOPMENT WILL CONNECT TO ECWA'S EXISTING SYSTEM.

SANITARY SEWER:
AFTER RECEIVING APPROVALS FROM ECWA AND THE CITY OF PENSACOLA,
THE DEVELOPMENT WILL CONNECT TO ECWA'S EXISTING GRAVITY SYSTEM.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED
UTILITY COMPANY.

LEGEND:

- SET 4"x4" CONCRETE PRM (NUMBER 7916)
- FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)
- FOUND 4"x4" CONCRETE MONUMENT (WITH PUNCH HOLE)
- PRM DENOTES PERMANENT REFERENCE MONUMENT

GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST ALONG THE WEST LINE OF THE SUBJECT PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 8090 AT PAGE 273, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. COPY OF THE RECORD PLAT ABB SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 82 OF SAID PUBLIC RECORDS, DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.
- A TITLE COMMITMENT WAS PERFORMED BY FIRST AMERICAN TITLE COMPANY COMPANY, FILE NUMBER: _____, ISSUING OFFICE FILE NUMBER: _____, WITH AN EFFECTIVE DATE OF SEPTEMBER XX, 2020 AT 8:00 AM, AND PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CITY OF PENSACOLA, COMMUNITY PANEL NUMBER 12033003806, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- GRAPHIC SYMBOLS FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, AND UTILITIES MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- ALL LOT CORNERS, PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS WILL BE PLACED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA PLAT ACT, CHAPTER 177, SECTIONS 177.011 - 177.151.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- ALL DRIVEWAYS AND UTILITIES WILL BE ACCESSED OFF OF LANIER DRIVE.

Department:	Comments:
FIRE	No comments.
PW/E/Surveying	See attached comments from the City Surveyor.
InspSvcs	No comments.
ESP	No comments.
ECUA	The final plat is acceptable to ECUA under the assumption that all water and sewer utilities that are not located within public rights-of-way will be privately owned and maintained. The plat states that these lots will be connecting into ECUA's existing gravity sewer system, however, ECUA GIS maps do not show sewer facilities adjacent to the proposed lots. Projects that propose subdividing land in which the resulting new parcels will abut existing right-of-way should contact ECUA Engineering to evaluate if existing water and sewer facilities are present/sufficient to accommodate the newly created parcels. It is possible the property owner may be required to install new water and sewer facilities to serve the new parcels should the existing facilities not be present or sufficient in size. Please contact the ECUA Engineering Map Room at 850-969-3311 for more information. It may be necessary that the proposed homes tie into sewer via low-pressure or other methods which would conflict with the language on the final plat.
GPW	No comments.
ATT	No comments.
Planning	Lot 1 will have a secondary side setback of 15 feet. The existing building is subject to the Historical Structure Demolition Review process since it was constructed more than 50 years ago.

Cynthia Cannon

From: Annie Bloxson
Sent: Friday, September 25, 2020 11:15 AM
To: Cynthia Cannon
Subject: RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Good Morning,

I do not oppose to the Subdivision Preliminary/Final Plat for 7011 Lanier Drive.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, September 22, 2020 11:06 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOWens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)

Cynthia Cannon

From: Diane Moore
Sent: Wednesday, September 23, 2020 1:05 PM
To: Cynthia Cannon
Subject: RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Cynthia,
Pensacola Energy has no comment on the plats.

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:06 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOWens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Good Morning All,

Please review and comment on the attached request before the Planning Board for a combined preliminary/final subdivision plat for Lanier Place which is located at 7011 Lanier Drive. All comments must be received by Wednesday September 30, 2020.

Thank you,

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Wednesday, September 23, 2020 3:29 PM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

The final plat is acceptable to ECUA under the assumption that all water and sewer utilities that are not located within public rights-of-way will be privately owned and maintained.

The plat states that these lots will be connecting into ECUA's existing gravity sewer system, however, ECUA GIS maps do not show sewer facilities adjacent to the proposed lots. Projects that propose subdividing land in which the resulting new parcels will abut existing right-of-way should contact ECUA Engineering to evaluate if existing water and sewer facilities are present/sufficient to accommodate the newly created parcels. It is possible the property owner may be required to install new water and sewer facilities to serve the new parcels should the existing facilities not be present or sufficient in size. Please contact the ECUA Engineering Map Room at 850-969-3311 for more information. It may be necessary that the proposed homes tie into sewer via low-pressure or other methods which would conflict with the language on the final plat.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:06 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: 7011 Lanier Drive Subdivision Preliminary/Final Plat

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Morning All,

Cynthia Cannon

From: SAUERS, BRAD <bs5403@att.com>
Sent: Monday, September 28, 2020 4:16 PM
To: Cynthia Cannon
Subject: [EXTERNAL] FW: 7011 Lanier Drive Subdivision Preliminary/Final Plat
Attachments: 2020.081 Boundary for Plat - Signed 09-03-2020.pdf; Final Plat of Lanier Place.PDF; Preliminary Plat of Lanier Place.PDF; APPLICATION.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

AT&T has no objection.

Brad Sauers

Manager – OSP Plng and Eng
Technology Operations

AT&T – Bellsouth Telecommunications, LLC

605 W Garden St, Pensacola, FL 32502
o 850.436.1495 bs5403@att.com

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From: FENNER, KARL L <kf5345@att.com>
Sent: Tuesday, September 22, 2020 11:11 AM
To: SAUERS, BRAD <bs5403@att.com>
Subject: FW: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Karl Fenner

Area Manager – OSP Plng and Eng
Access Construction & Engineering, AL/NWFL OSPC/E + SER PDT/SOC

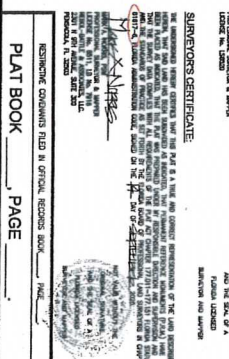
AT&T – BellSouth Telecommunications, LLC

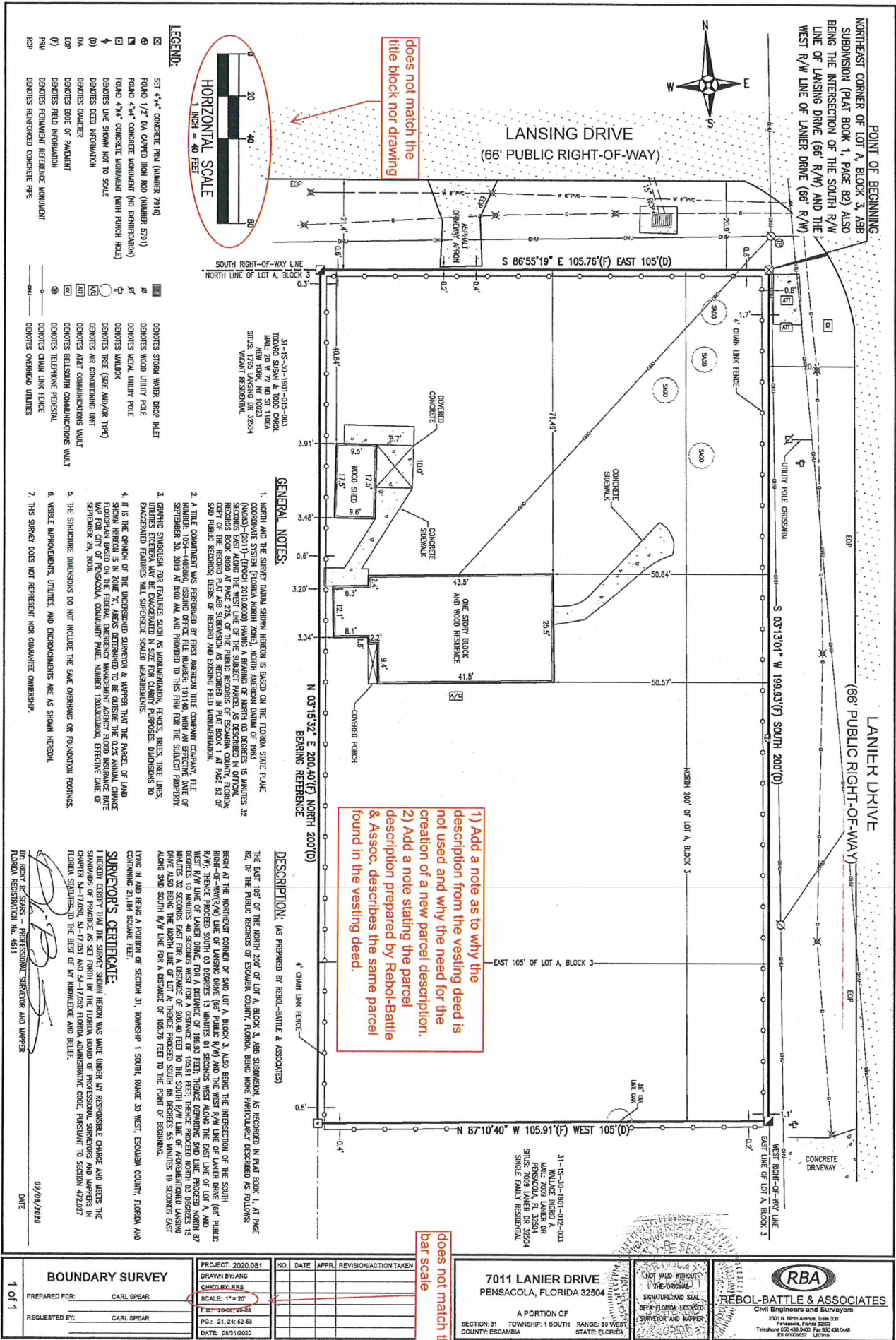
605 W Garden St, Pensacola, FL 32502
m 850-393-2318 | o 850.436.1485 | kf5345@att.com

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From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:06 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote

SEPTEMBER 2020





SUBDIVISION PLAT



Please Check Application Type:

☒ Minor Subdivision (< 4 lots)

☒ Preliminary & Final Plat Submission

Fee: \$2,000.00

[Resubmittal: 1/2 the initial fee; Rescheduling to Planning Board / City Council: \$250.00]

☐ Subdivision (> 4 lots)

☐ Preliminary Plat Submission

Fee: \$1,000.00 + \$25/lot

☐ Final Plat Submission

Fee: \$1,500.00 + \$25/lot

Applicant Information

Name: Spetto Properties

Address: 5113 N. Davis Hwy
Pensacola, FL 32503

Phone: 850-393-6953

Fax: _____

Email: chsppear@gmail.com

Owner Information (if different from applicant)

Name: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

Property Information

Location/Address: 7011 LANIER DRIVE

Subdivision Name: Lanier Place

of Parcels to be Subdivided: 1 Parcel ID #(s): 31-1S-30-1901-013-003

of Existing Lots: 1 # of Proposed Lots: 4 Total Acreage: 0.48 ac

Legal Description: Please attach a full legal description from deed or survey

Type of Subdivision: ☒ Residential* ☐ Non-Residential

[*If residential, see reverse for open space requirement]

Will a Variance from the Subdivision Regulations be requested for the project (Sec. 12-8-7)? ☐ YES ☐ NO

If yes, specify exact variance requested: _____

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this plat and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning and subdivision requirements and understand that I must be present on the date of the Planning Board meeting.

signature and date needed

Signature of Applicant

(Owner of Property or Official Representative of Owner)

Date

FOR OFFICE USE ONLY

Zone: _____ District: _____

Date Received: _____ Case Number: _____

Application Fee: _____ Receipt #: _____

Open Space Requirement (acres or \$): _____ Receipt #: _____

Planning Board Date: _____ Recommendation: _____

Council Date: _____ Action: _____

Recording Date: _____ Map Bk/Pg: _____

***Planning Services Division
Zoning Review***

Address: 7011 Lanier Drive
Zoning: R-1AA
Reviewed: 10/01/2020

1. This property is located within the R-1AA zoning district. The setbacks indicated on the Preliminary and Final Plats are incorrect with respect to Lot 1. Lot 1 will have a secondary side setback of 15 feet.
2. The existing buildings need to be removed. The proposed plat will create non-conforming situations with respect to setbacks and land use: (a) The residence will not comply with the side setbacks; (b) the wood shed will be bisected by a property line.
Please note: the residence is subject to the Historical Structure Demolition Review process since it was constructed more than 50 years ago. Please consult with Gregg Harding, Historic Preservation Planner, for more information on this process.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00503

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Proposed LDC Amendments to Section 12-6-4. - Landscape and Tree Protection Plan

BACKGROUND:

A request was forwarded by City Council Woman, Sherry Myers, to amend Section 12-6-4 - Landscape and tree protection plan. The proposed amendment would add the following language:

- "Prior to approval all landscape and tree protection plans shall be posted to the city's website and a copy sent to the council person in whose district the permit will be issued. Such notice requirement will be posted two weeks prior to any approval of a landscaping plan."

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.

Sec. 12-6-4. - Landscape and tree protection plan.

A landscape and tree protection plan shall be required as a condition of obtaining any building permit or site work permit for townhouse residential, multi-family residential, commercial and industrial development as specified in [section 12-6-3](#). The plan shall be submitted to the community development department inspection services division. A fee shall be charged for services rendered in the review of the required plan (see chapter 7-14 of this Code).

No building permit or site work permit shall be issued until a landscape and tree protection plan has been submitted and approved. **Prior to approval all landscape and tree protection plans shall be posted to the city's website and a copy sent to the council person in whose district the permit will be issued. Such notice requirement will be posted two weeks prior to any approval of a landscaping plan.** Clearing and grubbing is only permitted after a site has received development plan approval and appropriate permits have been issued. The building official may authorize minimal clearing to facilitate surveying and similar site preparation work prior to the issuance of permits. No certificate of occupancy shall be issued until the building official has determined after final inspection that required site improvements have been installed according to the approved landscape and tree protection plan. In lieu of the immediate installation of the landscaping material and trees, the city may require a performance bond or other security in an amount equal to the cost of the required improvements in lieu of withholding a certificate of occupancy, and may further require that improvements be satisfactorily installed within a specified length of time.

(A)

Contents of landscape and tree protection plan. The landscape and tree protection plan shall be drawn to scale by a landscape architect, architect or civil engineer licensed by the State of Florida, and shall include the following information unless alternative procedures are approved per sections [12-6-8](#) or [12-6-9](#):

- Location, size and species of all trees and shrubs to be planted.
- Location of proposed structures, driveways, parking areas, required perimeter and interior landscaped areas, and other improvements to be constructed or installed.
- Location of irrigation system to be provided. All planted areas shall have an underground irrigation system designed to provide one hundred-percent coverage.
- Landscape and tree protection techniques proposed to prevent damage to vegetation, during construction and after construction has been completed.
- Location of all protected trees noting species and DBH.
- Identification of protected trees to be preserved, protected trees to be removed, including dead trees, and trees to be replanted on site.
- Proposed grade changes which might adversely affect or endanger protected trees with specifications on how to maintain trees.
- Certification that the landscape architect, architect or civil engineer submitting the landscape and tree protection plan has read and is familiar with Ch. 12-6 of the Code of the City of Pensacola, Florida, pertaining to Tree and Landscape Regulation.

(B)

Installation period. All landscape materials and trees depicted on the approved landscape plan shall be installed within one (1) year of the date of issuance of the building permit for the site.

(C)

Quality. All plant materials used shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", current edition, State of Florida, Department of Agriculture and Consumer Services, Division of Plant Industry, Tallahassee, Florida, a copy of which shall be maintained for public inspection in the department of leisure services.

(D)

Notice. If removal is sought for two (2) or more heritage trees or for more than ten (10) protected trees (including heritage trees sought to be removed) and/or if removal of more than fifty (50) of existing protected trees is sought within any property in any zoning district identified in [section 12-6-2](#), a sign shall be posted no further back than four (4) feet from the property line nearest each respective roadway adjacent to the property. One (1) sign shall be posted for every one hundred (100) feet of roadway frontage. Each sign shall contain two (2) horizontal lines of legible and easily discernable type. The top line shall state: "Tree Removal Permit Applied For." The bottom line shall state: "For Further Information Contact the City of Pensacola." The phone number 311 or any other number required by the City Building Inspector shall be posted on the third line.

The top line shall be in legible type no smaller than six (6) inches in height. The bottom two lines shall be in legible type no smaller than three (3) inches in height. There shall be a margin of at least three (3) inches between all lettering and the edge of the sign. The signs shall be posted at by the applicant at their expense, and shall remain continuously posted until the requisite building, site work, or tree removal permit has issued.

For any acreage of more than one half acre wherein two thirds of the land is wooded with trees additional notice shall be required. A notice shall be sent to the city council representative of the district wherein the land is located within 14 days prior to the issuance of a landscape and tree protection plan and removal

permit. For acreage two acres or more, notice shall be sent to all residences within 500 yards of the property within 14 days prior to the issuance of a permit. Such notice shall include a reliable phone number and other contact information of a person who is knowledgeable regarding the tree removal permit applied for.

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	See attached.
ESP	No comments.
ECUA	No comments.
GPW	No comments.
ATT	No comments.

Cynthia Cannon

From: Annie Bloxson
Sent: Tuesday, August 11, 2020 8:04 AM
To: Cynthia Cannon
Subject: RE: Request to Amend Sec 12-6-4 Landscape and Tree Protection Plan

Good Morning,

I do not oppose the request to amend Sec. 12-6-4 Landscape and Tree Protection Plan.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Monday, August 10, 2020 1:52 PM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)

Cynthia Cannon

From: Jonathan Bilby
Sent: Monday, August 10, 2020 4:17 PM
To: Cynthia Cannon; Bill Kimball; Brian Cooper; Heather Lindsay; Leslie Statler; Mark Jackson
Cc: Kerrith Fiddler
Subject: RE: Request to Amend Sec 12-6-4 Landscape and Tree Protection Plan

Here are my comments:

Reference to "City Building Inspector" is not consistent with the tree ordinance language or City Code. There is no such position within the City of Pensacola. The draftee must not be familiar with the language in the ordinance and 12-6 of the LDC regarding responsible charge and proper title of those responsible for enforcement of the ordinance. The responsible parties are "Building Official", "Parks and Recreation Department", and "Mayor, or his or her designee". Recommend changing the Notice section to "Mayor or his or her designee" for the purposes of the phone number.

Notification should not be a burden to staff. The language is unclear who shall provide notification. This should be the responsibility of the applicant if it is approved and codified. Note: Inspection Services may not spend any building permit revenue for notification purposes of a land development code item per Florida Statute 553.80.

14 day or 2 week delay, when drafting ordinance language, consistency is something we should strive for. In one section it mentions two weeks, and another 14 days. This needs to be cleaned up.

As stated in the draft language, the delay is for approved plans. If a project is approved and meets the code, should it not be acceptable to issue the permit? What is the purpose for the delay if it meets the code? This kind of proposed language is why there is a movement for preemptive laws regarding trees. Keep these kind of regulations coming and developers will lobby the legislature to try and remove the good control measures that we have protecting trees. Just my opinion, but I disagree with the proposed delay as it serves no purpose.

Plans are already available on the City website, but we do not make them available until they are approved. We do not release them until they have been reviewed, approved and ready for permitting.

Notice to council members- Is the notice required to be mailed, emailed, or sent by homing pigeon? The draft does not specify how the notice will be sent, but it appears that the intent is that it would be by mail. Need further clarification.

Need clarification of "wooded with trees" as used in the additional notice section.

Jonathan Bilby, MCP, CFM
Inspection Services Director
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.436-5600
Fax: 850.595.1464
jbilby@cityofpensacola.com



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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00595

Planning Board

10/13/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Proposed LDC Amendments to Section 12.6. Tree/Landscape Regulations

BACKGROUND:

City staff have proposed amendments to Sec. 12.6 Tree/Landscape Regulations. The proposed amendments address the following areas within the ordinance:

- Staff recommends that all tree removal, pruning, and plantings be reviewed and approved by one designated arborist. This provides a more efficient and straightforward process for the public when dealing with the City's Urban Forest.
- Staff recommends that as a part of the Notice of removal for two-plus heritage trees or ten plus protected trees, that signage be posted two weeks before removal. Additionally, Notice will be given to the appropriate Councilperson in which distract the removal is taking place.
- Staff made changes to provide clarity as to when trees shall be planted.
- Staff revisions take into account the Florida Statute 163.045
- Staff recommends changes to the Tree fund so that it allows for both planting and maintaining trees and may be authorized by City Council to fund an Arborist. Furthermore, staff recommends the grant program be reduced to 50% and \$5,500.00 max, also that the City's designated arborist review grant projects to ensure appropriate measures are taken to ensure the health of the project.

CHAPTER 12-6. TREE/LANDSCAPE REGULATIONS⁴

Footnotes:

--- (4) ---

Editor's note— Ord. No. 31-09, § 1, adopted Sept. 10, 2009, amended Ch. 12-6, in its entirety to read as herein set out. Prior to inclusion of said ordinance, 12-6, pertained to similar subject matter. See also the Code Comparative Table.

Sec. 12-6-1. - Purpose.

The purpose of this chapter is to establish protective regulations for trees and landscaped areas within the city. Such areas preserve the ecological balance of the environment, control erosion, sedimentation and stormwater runoff, provide shade and reduce heat and glare, abate noise pollution, and buffer incompatible land uses. The intent of this chapter is to encourage the preservation of existing trees. It is critical that a balance be maintained between developed areas and natural/landscaped areas with appropriate existing and/or newly planted trees and other vegetation. The intent is also to provide for the future of our citizens through maintaining vital vegetative species that will reproduce for future generations.

(Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-2. - Applicability.

(A) *Zoning districts.* The provisions of this chapter shall be applicable within the following zoning districts:

(1) *Residential districts.*

- (a) R-1AAAAA through R-1A districts
- (b) R-ZL (zero lot line dwelling district)
- (c) R-2A and R-2B (multiple-family)

(2) *Mixed residential districts.*

- (a) R-2 (residential/office)
- (b) R-NC (residential/neighborhood commercial)

(3) *Commercial districts.*

- (a) C-1 (local commercial)
- (b) C-2 (general commercial)
- (c) R-C (residential commercial)
- (d) C-3 (general commercial and limited industry)

(4) *Industrial districts.*

- (a) M-1 (wholesale/light industry)
- (b) M-2 (light industry)

(5) *Other districts.* The provisions of this chapter shall also be used as guidelines in reviewing site plans in site specific zoning and development (SSD) amendment applications, airport transition zone (ATZ-1 and ATZ-2) districts and in applications for special planned developments.

- (B) *Public institutional uses and churches.* The provisions of this chapter shall be applicable to public institutional uses and churches. Public institutional uses and churches located in R-1AAAAA through R-1A zones shall not be exempt from the provisions of this chapter. In addition, these uses shall conform with the requirements of subsection 12-6-3(A) and all other sections of this title applicable to the R-ZL, R-2A, R-2B and R-2 zones.
- (C) *Exemptions.* All single-family and duplex uses are exempt from the provisions of this chapter, except as provided for in section 12-2-32 (buffer yards), subsection 12-6-2(D) (heritage trees) ~~and~~ subsection 12-6-6(D) (new subdivisions) and subsection 12-6-7(E) (pruning of heritage trees). The C-2A downtown retail commercial district is exempt from the provisions of this chapter, except as provided for in subsections 12-6-6(A), (E), (F), and (G). All healthcare related uses of property owned or controlled by an entity which is licensed as an acute care hospital under F.S. Ch. 395, owned or controlled by a parent company of an entity which is licensed as an acute care hospital under F.S. Ch. 395 are exempt from the provisions of this chapter, except as provided for in section 12-6-3 and subsections 12-6-6(A), (C), (E), (F), and (G). In conjunction with the development of any such healthcare related use, a payment of five thousand dollars (\$5,000.00) per acre of new developed impervious surface area shall be made to the tree planting trust fund. The designated clear zone areas around the Pensacola Regional Airport and any other area identified by the airport manager and approved by the city council as critical to aircraft operations shall be exempt from this chapter.
- (D) *Heritage trees.* A protected tree identified by species in Appendix A of this chapter which is thirty-four (34) inches or greater in diameter as measured at Diameter Breast Height (DBH). Heritage trees are protected in all the zoning districts listed in section 12-6-2, and for all land uses. Removal, cutting or pruning of heritage trees on proposed development sites may be permitted upon approval of a landscape and tree protection plan (section 12-6-4). Removal, cutting or pruning of heritage trees on developed property may be authorized ~~upon issuance of a permit~~ per section 12-6-7. A permit will be required for removal or pruning of a heritage tree in all zoning districts listed in section 12-6-2, and for all land uses, including single-family or duplex as set out in section 12-6-7.
- (E) *DBH.* All tree measurements shall be taken at Diameter Breast Height (DBH), which is the diameter of the tree at four and one-half (4½) feet (54 inches) above ground. If the tree has a bump or branch at four and one-half (4½) feet above ground then DBH shall be measured immediately below the bump or branch. If the tree is growing vertically on a slope, DBH shall be measured from the midpoint of the trunk along the slope. If the tree is leaning, DBH shall be measured from the midpoint of the lean. If the tree forks below or near DBH the tree shall be measured at the narrowest part of the main stem below the fork. If the tree splits into more than one (1) trunk close to ground level, DBH shall be determined by measuring each of the trunks separately and then taking the square root of the sum of all squared stem DBHs.
- (F) Notwithstanding any other provision of this chapter, the mitigation cost to a residential property owner (single-family and duplex uses) where the property is already developed shall not exceed one thousand dollars (\$1,000.00); provided, however, no mitigation cost shall be charged where statutorily prohibited. Mitigation costs for residential property owners on property being developed shall be assessed in accordance with 12-6-6(B)(5).

(Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-3. - Landscaping requirements.

The following landscaping requirements apply to all types of land uses and zoning districts listed in section 12-6-2 of this chapter:

- (A) *Landscape area requirements.* The minimum percentage of the total developable site, which shall be devoted to landscaping, unless otherwise specified in this chapter, shall be as follows:

ZONING DISTRICT		PERCENT

R-ZL, R-2A, R-2B, R-2	25
R-NC, C-1, C-2, R-C	25
C-3, M-1, M-2	20
SSD, ATZ-1, ATZ-2	25

(B) *Off-street parking and vehicle use areas.* Off-street parking regulations apply to all parking facilities of ~~twenty (20)~~ **ten (10)** spaces or more. Off-street parking facilities and other vehicular use areas shall meet the following requirements:

- (1) *Perimeter requirements.* A ten-foot wide strip of privately owned land, located along the front and/or side property line(s) adjacent to a street right-of-way shall be landscaped. In no case shall this strip be less than ten (10) feet wide. Width of sidewalks shall not be included within the ten-foot wide perimeter landscape area. This perimeter landscape requirement shall be credited toward the percentage required for the total developable site in subsection 12-6-3(A), above. Material requirements in perimeter area are as follows:
 - (a) One (1) tree for each thirty-five (35) feet of linear foot frontage along the right-of-way shall be preserved or planted. Trees planted to meet this requirement shall measure a minimum of three (3) inches DBH. The trees shall be container grown if planted during the months of March through October. During the remaining months, balled and burlapped (B&B) material may be used. Appropriate documentation shall be provided to the parks and recreation department. An automatic irrigation system shall be required with a separate zone with bubblers to each tree planted on site. When multiple trunk trees are specified, such as crape myrtle, each stem must be a minimum of one and one-half (1½) inches DBH, with a minimum of three (3) stems. These type trees shall not be cut back prior to planting. Seventy (70) percent of the trees for any site shall be shade trees, unless a lesser percentage is approved by the parks and recreation department. The remaining area within the perimeter strip shall be landscaped with other landscape materials.
 - (b) Trees and other landscaping required in the perimeter strip shall be maintained to assure unobstructed visibility between three (3) [feet] and nine (9) feet above the average grade of the adjacent street and the driveway intersections through the perimeter strip.
 - (c) If trees are required where overhead utilities exist, and such trees may create a maintenance potential, only species whose expected height at maturity will not create interference may be planted.
- (2) *Interior planting areas.* Interior planting areas within parking lots shall be determined by subtracting the area set aside in the ten-foot perimeter strip from the total minimum area required to be landscaped in subsection 12-6-3(A), above. This remaining percentage shall be allocated throughout the parking lot or in areas, which are adjacent to the parking lot other than in the perimeter strip. Interior planting areas shall be located to most effectively accommodate stormwater runoff and provide shade in large expanses of paving and contribute to orderly circulation of vehicular and pedestrian traffic. Minimum sizes of interior planting areas are as follows:

- (a) A minimum of one hundred (100) square feet of planting area shall be required for each new species type A tree identified in Appendix "A" and small species identified in Appendix "B".
 - (b) A minimum of two hundred (200) square feet of planting area shall be required for each new species type B and type C tree identified in Appendix "A" and medium and large species identified in Appendix "B".
 - (c) A twelve-foot by thirty-six-foot planting island shall be required on each end of every double row of parking and a twelve-foot by eighteen-foot island on each end of a single row of parking shall be required. Also, a minimum of one (1) additional island at the midpoint of the parking bays for rows having over ten (10) parking spaces shall be required. The additional island shall be centered in each row. Any adjustment to this requirement must have written approval from the ~~building official~~ City's designated arborist.
 - (d) A minimum planting area of seventy-five (75) percent of the dripline area of the tree shall be required for all existing trees. If conditions warrant that an area greater than seventy-five (75) percent is needed to preserve the tree, the city shall have the right to require up to one hundred (100) percent of the dripline. Approved pavers may be used in certain situations, if approved by the ~~building official~~ City's designated arborist. Pervious surfaces are strongly encouraged.
- (3) *Vehicle overhang.* Vehicles shall not overhang any interior planting area or perimeter strip. Tire stops are required to be used in these situations.
 - (4) *Curbs; protection of vegetation.* Where landscaping is installed in interior or perimeter strip planting areas, a continuous curb or other acceptable means of protection shall be provided to prevent injury to the vegetation. Such curb shall be designed to allow percolation of the water to the root system of the landscape material. Where existing trees are preserved, tree wells, tree islands or a continuous curb shall be utilized to protect the trunk and root system from alterations to surrounding grade elevations and damage from automobiles. A drainage system, sufficient enough to allow percolation into permeable soil, shall be provided in the area defined by the dripline of the tree(s).
- (C) *Buffer yards between zoning districts and uses.* Regulations applicable to buffer yards are specified in section 12-2-32 of this Code.

(Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-4. - Landscape and tree protection plan.

A landscape and tree protection plan shall be required as a condition of obtaining any building permit or site work permit for ~~townhouse residential~~, multi-family residential, commercial and industrial development as specified in section 12-6-3. The plan shall be submitted to the ~~community development department inspection services division~~ Inspection Services Department and reviewed by the City's designated arborist. A fee shall be charged for services rendered in the review of the required plan (see chapter 7-14 of this Code).

No building permit or site work permit shall be issued until a landscape and tree protection plan has been submitted and approved. Clearing and grubbing is only permitted after a site has received development plan approval and appropriate permits have been issued. The ~~City's designated arborist building official~~ may authorize minimal clearing to facilitate surveying and similar site preparation work prior to the issuance of permits. No certificate of occupancy shall be issued until the ~~City's designated arborist building official~~ has determined after final inspection that required site improvements have been installed according to the approved landscape and tree protection plan. In lieu of the immediate installation of the landscaping material and trees, the city may require a performance bond or other security in an

amount equal to the cost of the required improvements in lieu of withholding a certificate of occupancy, and may further require that improvements be satisfactorily installed within a specified length of time.

- (A) *Contents of landscape and tree protection plan.* The landscape and tree protection plan shall be drawn to scale by a landscape architect, architect or civil engineer licensed by the State of Florida, and shall include the following information unless alternative procedures are approved per sections 12-6-8 or 12-6-9:

- Location, size and species of all trees and shrubs to be planted.
- Location of proposed structures, driveways, parking areas, required perimeter and interior landscaped areas, and other improvements to be constructed or installed.
- Location of irrigation system to be provided. All planted areas shall have an underground irrigation system designed to provide one hundred-percent coverage.
- Landscape and tree protection techniques proposed to prevent damage to vegetation, during construction and after construction has been completed.
- Location of all protected trees noting species and DBH.
- Identification of protected trees to be preserved, protected trees to be removed, including dead trees, and trees to be replanted on site.
- Proposed grade changes which might adversely affect or endanger protected trees with specifications on how to maintain trees.
- Certification that the landscape architect, architect or civil engineer submitting the landscape and tree protection plan has read and is familiar with Ch. 12-6 of the Code of the City of Pensacola, Florida, pertaining to Tree and Landscape Regulation.

- (B) *Installation period.* All landscape materials and trees depicted on the approved landscape plan shall be installed ~~within one (1) year of the date of issuance of the building permit for the site~~ prior to the issuance of the certificate of occupancy.

- (C) *Quality.* All plant materials used shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", current edition, State of Florida, Department of Agriculture and Consumer Services, Division of Plant Industry, Tallahassee, Florida, a copy of which shall be maintained for public inspection in the department of leisure services.

- (D) *Notice.* If removal is sought for two (2) or more heritage trees or for more than ten (10) protected trees (including heritage trees sought to be removed) and/or if removal of more than fifty (50) of existing protected trees is sought within any property in any zoning district identified in section 12-6-2, a sign shall be posted no further back than four (4) feet from the property line nearest each respective roadway adjacent to the property. One (1) sign shall be posted for every one hundred (100) feet of roadway frontage. Each sign shall contain two (2) horizontal lines of legible and easily discernable type. The top line shall state: "Tree Removal Permit Applied For." The bottom line shall state: "For Further Information Contact the City of Pensacola at 311 (or other number as designated by the Mayor or his or her designee)." The top line shall be in legible type no smaller than six (6) inches in height. The bottom line shall be in legible type no smaller than three (3) inches in height. There shall be a margin of at least three (3) inches between all lettering and the edge of the sign. The signs shall be posted ~~at~~ by the applicant at their expense, and shall

remain continuously posted until the requisite building, site work, or tree removal permit has been issued, but in no event for less than two (2) weeks prior to tree removal. The City designated Arborist will notify the councilperson in which the removal is requested.

(Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-5. - Maintenance.

The legal owner of record as appears on the current tax assessment roll or the designated lessee or agent shall be responsible for the maintenance of all landscape areas which shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free from refuse and debris. Within three (3) months of a determination by the ~~building official or other city-designated official~~ City's designated arborist, that a protected tree required to be retained on a development site (as part of an approved site development plan) or required landscaping is dead or severely damaged or diseased, the protected tree or landscaping shall be replaced by the owner in accordance with the standards specified in this chapter (chapter 12-6). The ~~building official~~ City's designated arborist may approve additional time appropriate to the growing season of the species in question, not to exceed one (1) year.

All portions of any irrigation system shall be continuously maintained in a condition such that the intent of an irrigation design is fulfilled. Uncontrolled emission of water from any pipe valve, head, emitter, or other irrigation device shall be considered evidence of non-maintenance.

(Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-6. - Protected trees.

Protected trees are those trees identified by species and size in Appendix A of this chapter if living and viable. Where protected trees are identified on a site proposed for lot clearing within the applicable zoning districts identified in section 12-6-2, the number of protected trees to be preserved on the site shall be determined based upon the final approved location of proposed structures, driveways, parking areas, and other improvements to be constructed or installed.

(A) *Preservation Incentives.*

- (1) *Parking space reduction.* A reduction of required parking spaces may be allowed when the reduction would result in the preservation of a protected tree with a trunk of twelve (12) inches DBH or greater. Such reduction shall be required when the reduction would preserve a heritage tree. The following reduction schedule shall apply:

REDUCTION SCHEDULE

Number of Required Parking Spaces	Reduction of Required Parking Spaces Allowable
1—4	0
5—9	1
10—19	2

20 or above	10 percent of total number of spaces (total reduction regardless of number of trees preserved).
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- (2) *Consideration of park and open space requirement.* A reduction or waiver of the required park and open space (or payment in lieu of land dedication) for new residential subdivisions specified in section 12-8-6 may be approved by the mayor or their designee when it is determined that said waiver will result in the preservation of five (5) or more protected trees with a trunk of twelve (12) inches DBH or greater.
 - (3) *Sidewalks.* Modifications to sidewalks, their required location, and width and curb requirements, may be allowed as necessary to facilitate the preservation of any protected tree.
 - (4) *Credit for additional landscaping.* ~~The mayor or his or her designee~~ City's designated arborist may authorize up to one-half ($\frac{1}{2}$) of the total calculated mitigation cost (as determined according to subsection 12-6-6(B)(4), (5)) to be used by the applicant for additional landscaping, which is defined as landscaping that is not required by this chapter or any other law. Additional landscaping shall meet the following minimum standards:
 - (a) A minimum of seventy-five (75) percent of all required plant material shall consist of evergreen species.
 - (b) All landscape material shall be placed so as to maximize its screening and/or coverage potential at maturity.
 - (c) All shrub material shall be a minimum height of thirty (30) inches and have a minimum crown width of twenty-four (24) inches when planted and shall be a species capable of achieving a minimum height of eight (8) feet at maturity.
- (B) *Retention, relocation, removal, replacement, and mitigation of protected trees.*
- (1) *Retention of protected trees.* Every effort must be made to protect and retain existing protected trees on proposed development sites. A minimum of ten (10) percent of the total combined trunk diameter of protected trees on a proposed development site not located within jurisdictional wetlands shall be retained in place or relocated on site.
 - (a) Credit for retention of protected trees above minimum requirements. For each inch of trunk diameter above the minimum ten (10) percent requirement that is protected in place or relocated on site, an equivalent trunk diameter inch credit shall be given against replacement and mitigation requirements as provided in subparagraphs (4) and (5) below.
 - (b) *Barrier zones.* All protected trees not designated for removal shall be protected by barrier zones erected prior to construction of any structures, road, utility service or other improvements. Barriers shall be placed at the outside of the dripline for all heritage trees and at a minimum two-thirds ($\frac{2}{3}$) of the area of the dripline for all other protected trees. Barricades must be at least three (3) feet tall and must be constructed of either wooden corner posts at least two by four (2 x 4) inches with at least two (2) courses of wooden side slats at least one by four (1 x 4) inches with colored flagging or colored mesh attached, or constructed of one-inch angle iron corner posts with brightly colored mesh construction fencing attached.
 - (2) *Removal of protected trees.* Subject to the requirements of (1) above, protected trees may be approved for removal if one (1) or more of the following conditions are present:

- (a) *Visibility hazard.* Necessity to remove trees which will pose a safety hazard to pedestrians or vehicular traffic upon completion of the development.
 - (b) *Safety hazard.* Necessity to remove trees which will threaten to cause disruption of public services or which will pose a safety hazard to persons or buildings or adjacent property or structures.
 - (c) *Construction of improvements.* Necessity to remove trees in order to construct proposed improvements as a result of the location of driveways, if the location of a driveway or ingress/egress is specified and required by DOT or other regulations, buildings, utilities, stormwater/drainage facilities, or other permanent improvements. The architect, civil engineer, or ~~planner~~ landscape architect shall make every reasonable effort to locate such improvements so as to preserve any existing tree.
 - (d) *Site conditions.* Necessity to remove trees as a result of characteristics of the site such as site dimensions, topographic conditions and grading requirements necessary to implement standard engineering and architectural practices. Grading shall be as limited as possible. In order to justify the removal of protected trees on the ground of site conditions, the request must be reviewed by the appropriate city staff and must be approved by the mayor or his or her designee. Appeals from the decision of the City's designated arborist ~~mayor or his designee~~ shall be to the Zoning Board of Adjustment.
 - (e) *Diseased or weakened trees.* Necessity to remove diseased trees or trees weakened by age, storm, fire or other injury;
 - (f) *Compliance with other ordinances or codes.* Necessity for compliance with other city codes such as building, zoning, subdivision regulations, health provisions, and other environmental ordinances.
- (3) *Relocation of protected trees.* Where feasible, when conditions necessitate removal of protected trees, said trees shall be relocated on the site in the required perimeter or interior landscaped areas. Should the relocated tree expire within a specified period of time, the appropriate mitigation (planting of replacement trees or payment to the tree planting trust fund) shall be required. For each protected tree that cannot feasibly be relocated (or all of them), a written statement from ~~a qualified professional~~ an independent certified arborist shall be provided stating for each tree (or all of them) that relocation is not feasible and briefly explaining why relocation is not feasible.
- (4) *Replacement of protected trees.* When a protected tree is approved for removal, it shall be replaced with a like species of the tree removed. The City's designated arborist may allow alternatives to promote variation on the site on a case by case basis. The prescribed number of trees shall be planted for each tree removed. The minimum diameter of a replacement tree shall be three (3) inches DBH. The replacement formula is:
- (a) A trunk diameter of four (4) inches to eleven (11) inches = Two (2) three-inch DBH trees planted for each one removed.
 - (b) A trunk diameter of twelve (12) inches to nineteen (19) inches = Three (3) three-inch DBH trees planted for each one removed.
 - (c) A trunk diameter of twenty (20) inches to twenty-nine (29) inches = Five (5) three-inch DBH trees planted for each one removed.
 - (d) A trunk diameter of thirty (30) inches to thirty-five (35) inches = Eight (8) three-inch DBH trees planted for each one removed.
 - (e) A trunk diameter of thirty-six (36) inches to forty-three (43) inches = Ten (10) three-inch DBH trees planted for each one removed.
 - (f) A trunk diameter of forty-four (44) inches or greater = Eleven (11) three-inch DBH trees planted for each one removed.

- (5) *Mitigation of protected trees.* Any replacement trees that cannot be planted on site because of lack of space, once agreed to by the city, shall be valued at four hundred dollars (\$400.00) each and the owner shall pay that total to the tree planting trust fund. Trees identified as dead and verified as such in writing by the City's designated arborist shall not be required to be replaced or mitigated.
- (C) *New planting of protected trees.* On sites proposed for development or redevelopment where no existing protected trees are identified, the owner or his agent shall be required to plant one (1) new tree species identified in the protected tree list (Appendix "A") or the tree replant list (Appendix "B"), a minimum of three (3) inches DBH, for each one thousand (1,000) square feet of impervious surface area. New trees or replacement trees shall be planted during the year as indicated in subsection 12-6-3(B)(1)(a) of this chapter.
- (D) *New residential subdivisions.* In new residential subdivisions the ~~private~~ property owner of each lot shall plant one (1) tree in the front yard within ten (10) feet of the right-of-way, provided there is no existing tree in the front yard. The tree shall be planted prior to a certificate of occupancy being issued for the dwelling. If the existing tree is not within ten (10) feet of the right-of-way, then one (1) additional tree shall be required (sized as noted in (1) below). The tree shall be a species from Appendix A or B, and where feasible, shade trees are encouraged.
- (1) Where a protected or replant tree species is required to be replanted, such tree shall be a minimum of three (3) inches DBH.
- (2) The location of an existing protected tree on the lot or the proposed location of a new protected or replant species, where required in this subsection, shall be identified on the plot plan submitted as part of the information submitted for a building permit.
- (E) *Road right-of-way tree protection.* No person or agency shall cut, prune, remove, or in any way damage any protected tree in any street right-of-way or create any condition injurious to any such tree without first obtaining a permit to do so from the parks and recreation department as specified in section 12-6-7.
- (1) The parks and recreation department may issue an annual permit to public utility companies exempting them from the provisions of this subsection concerning tree preservation. In the event of flagrant or repeated disregard for the intent and purpose of this chapter, the department may revoke said permit. The reasons for revoking such a permit shall be provided in writing to the offender.
- (2) Prior to entering a targeted area for pruning by the utility, the utility representative shall submit for approval to the city a clearly marked plan of the area, showing location of trees and noting what is being requested by the utility company. ~~The parks and recreation department~~ City's designated arborist shall approve the plan and an additional permit fee of seventy-five dollars (\$75.00) shall be paid to the City of Pensacola for the specific area noted on the plan submitted (see chapter 7-14 of this Code).
- (3) All public utilities, governmental agencies and their subcontractors shall comply with the American National Standards Institute, ANSI A300-1995, Tree, Shrub and Other Woody Plant Maintenance—Standard Practices, when pruning trees on public or private property. Notice shall be provided to landowners at least one (1) week in advance of pruning and/or removing landowners' trees on private property. Emergency removal requiring immediate action to protect the health and safety of the public is not subject to this chapter. In no case shall the utility company be permitted to prune more than thirty (30) percent of the existing tree canopy.
- (F) *Tree protection.* Removing, pruning, or cutting tree growth away from a permanent nonaccessory sign (billboard) on public or private property shall be permitted only if a permit is obtained from the parks and recreation department. All agencies and their subcontractors shall comply with the American National Standards Institute, ANSI A300-1995, Tree, Shrub and Other Woody Plant Maintenance—Standard Practices, when pruning trees.

(G) *Canopy road tree protection zone.* All lands within ten (10) feet of the outer boundary of the right-of-way of the below described roads are hereby declared to be canopy tree protection zones:

- Blount Street from "A" Street to Bayview Park.
- Lakeview Avenue from 9th Avenue to 20th Avenue.
- Garden Street from Alcaniz Street to Jefferson Street and from "J" Street to "N" Street.
- 17th Avenue from Gregory Street to Texar Drive.
- 12th Avenue from Barcia Drive to Fairfield Drive.
- Baylen Street from LaRua Street to Jordan Street.
- Spring Street from LaRua Street to Jordan Street.
- Bayou Boulevard from Lee Street to Strong Street.
- Cervantes Street/Scenic Highway from the eastern side of Bayou Texar to the city limits.

No person or agency shall cut, remove, prune or in any way damage any protected tree in any canopy road tree protection zone or create any condition injurious to any such tree without first obtaining a permit to do so from the parks and recreation department as specified in section 12-6-7. The exemption for utility companies noted in subsection (E), above shall also apply to the canopy road tree protection zone.

(H) *Heritage trees.* No person or agency shall cut, remove, prune or in any way damage any heritage tree in any zoning district without first obtaining approval of a landscape and tree protection plan per section 12-6-4 for new development sites or a permit from the parks and recreation department as specified in section 12-6-7 for developed property; provided, however, that currently occupied residential property may qualify for removal or pruning of a heritage tree without incurring the cost of a permit so long as the City's designated arborist conducts a risk assessment according to ISA TRAQ protocols and concludes the removal or pruning is appropriate. ~~The provisions of this subsection related to pruning do not apply to existing single-family and duplex uses.~~

(Ord. No. 31-09, § 1, 9-10-09; Ord. No. 16-10, § 217, 218, 9-9-10)

Sec. 12-6-7. - Tree removal and pruning permit in right-of-way and canopy road tree protection zones and heritage trees on developed property.

No person shall cut, remove, prune, or in any way damage any heritage tree on developed property or protected tree within the road right-of-way and canopy road tree protection zones identified in subsections 12-6-6(E) and (G), without first obtaining a tree removal and pruning permit from the parks and recreation department as provided below. An inspection fee of seventy-five dollars (\$75.00) shall be charged for services rendered by the parks and recreation department in the required review and on-site inspection for tree removal or pruning permits (see chapter 7-14 of this Code).

(A) *Canopy road tree protection zone and road right-of-way tree protection zone.* Prior to cutting, removing, pruning or in any way damaging a protected tree in the canopy road tree protection

zone and road right-of-way tree protection zone, an owner, developer or his agent must submit a copy of an accurately scaled drawing including the following information:

- (1) Location of the subject protected tree, noting species, size and general condition.
 - (2) The parks and recreation department may issue an annual permit to public utilities exempting them from this requirement as specified in subsection 12-6-6(E).
- (B) *On-site inspection.* Prior to the issuance of a tree removal and pruning permit, the parks and recreation department shall conduct an on-site inspection and shall issue a written report setting forth a recommendation for granting or denying the permit including any explanation necessary to clarify the basis for the recommendation.
- (C) *Conditions of approval.* The parks and recreation department may approve the permit if one (1) or more of the conditions set forth in subsections 12-6-6(B)(2)(a)—(f) is present.
- (D) *Review.* In the event an application is denied, the parks and recreation department shall specify to the applicant in writing the reason for said action.
- (E) *Heritage tree removal mitigation.* In the event that a heritage tree is approved for removal, tree replacement shall be provided per subsection 12-6-6(B)(4)(f) or a fee shall be paid into the tree planting trust fund per subsection 12-6-6(B)(5).
- (F) *Pruning permitted on residential properties.* ~~Notwithstanding any contrary provision, pruning of heritage trees on properties with existing single-family and duplex land uses shall not require compliance with this section. However,~~ Permits are not required for pruning of trees on residential property, except for pruning of heritage trees; provided, permit fees are waived where the tree is hazardous if the tree is found on a currently occupied residential property. A permit shall be obtained from the parks and recreation department as described in 12-6-7 and pruning shall be performed by, or done under the supervision of, a certified independent arborist. In no instance shall more than one-third (1/3) of the existing, healthy tree crown may be removed from a heritage tree. If trimming of any heritage tree on a residential property results in substantial and irreparable harm or death to the heritage tree, such trimming shall be ~~deemed an unauthorized and unpermitted removal of such heritage tree and shall be subject to penalties as such~~ mitigation in the form of tree replacement as a provided per subsection 12-6-6(B)(4)(f), or a fee shall be paid into the tree planting trust fund per subsection 12-6-6(B)(5).

(Ord. No. 44-99, § 5, 11-18-99; Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-8. - Best management practices.

The ~~mayor or his or her designee~~ City's designated arborist may determine that the required irrigation percentage for a site may be reduced, and may also reduce the required mitigation payment into the Tree Planting Trust Fund when it has been demonstrated and set forth in writing that Best Management Practices have been employed in the proposed plans for development of a site. Areas in which the utilization of Best Management Practices would be applicable include, but are not limited to: Enviroscaping; Xeriscaping; Landscape Irrigation; and LEED/Green Building Techniques such as, but not limited to, green roofs, rain garden landscape design, shading constructed surfaces on the site with landscape features, and minimizing the overall building footprint and parking area; which are designed to reduce heat islands (thermal gradient differences between developed and undeveloped areas) to minimize impact on the environment.

Best Management Practices for a site include a demonstrating to the ~~mayor or his or her designee~~ City's designated arborist, that the property owner has met the minimum requirements of this section in addition to the proposed best management practices to be utilize.

** "Waterwise Florida Landscapes" is the required reference guide for Xeriscaping and irrigation techniques.

(Ord. No. 31-09, § 1, 9-10-09; Ord. No. 16-10, § 219, 9-9-10)

Sec. 12-6-9. - Modifications.

Under certain circumstances, the application of the standards of this chapter may be either inappropriate or ineffective in achieving the purpose of this chapter. When planting is required by this chapter or by other provisions herein, and the site design, topography, unique relationships to other properties, natural vegetation or other special considerations exist relative to the proposed development; the developer may submit a specific alternate plan for the planting. This plan must demonstrate how the purposes and standards of this chapter will be met by measures other than those in sections 12-6-3 and 12-6-6. The ~~building official~~ City's designated arborist shall review the alternate proposal and advise the applicant of the disposition of the request within fifteen (15) working days of submission by the applicant. Any appeals by the applicant shall be in accordance with section 12-6-11 of this chapter.

(Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)

Sec. 12-6-10. - Enforcement.

- (A) *Stop work order.* Whenever the ~~building official~~ City's designated arborist determines that a violation of this chapter has occurred, the following actions shall be initiated:
- (1) *Written notice.* Immediately issue written notice by personal delivery or certified mail to the person violating this chapter of the nature and location of the violation, specifying what remedial steps are necessary to bring the project into compliance. Such person shall immediately, conditions permitting, commence the recommended remedial action and shall have ten (10) working days after receipt of said notice, or such longer time as may be allowed by the ~~building official~~ City's designated arborist, to complete the remedial action set forth in said notice.
 - (2) *Remedial work and stop work orders.* If a subsequent violation occurs during the ten (10) working days referred to in subsection (A)(1) above, or if remedial work specified in the notice of violation is not completed within the time allowed, or if clearing and development of land is occurring without a permit, then the ~~building official~~ City's designated arborist shall issue a stop work order immediately. Said stop work order shall contain the grounds for its issuance, and shall set forth the nature of the violation. The stop work order shall be directed not only to the person owning the land upon which the clearing and development is occurring, but also a separate stop work order shall be directed to the person or firm actually performing the physical labors of the development activity or the person responsible for the development activity, directing him forthwith to cease and desist all or any portion of the work upon all or any geographical portion of the project, except such remedial work as is deemed necessary to bring the project into compliance. If such person fails to complete the recommended remedial action within the time allowed, or fails to take the recommended action after the issuance of such stop work order, then the ~~building official~~ City's designated arborist may issue a stop work order on all or any portion of the entire project.
 - (3) *Notice of compliance.* Upon completion of remedial steps required by notice the ~~building official~~ City's designated arborist shall issue a notice of compliance and cancellation of said notice or stop work order.
- (B) *Penalty.* The fine for violating this chapter shall be based on the size of limb(s) or the tree(s) removed without a permit. The measurement to establish said fine shall be based on the remaining tree material left intact on the site. If a tree is removed, the trunk caliper shall be measured at DBH and at the point of removal for a limb or each limb. If, in the opinion of the ~~parks and recreation department~~ City's designated arborist, the tree has been substantially damaged so that its normal growth character will never return, i.e., a tree is topped and will never recover the original character, then the fine may be based upon the caliper of the tree trunk or each limb removed, whichever is the greater. Each day a violation of a stop work order continues shall constitute a separate offense (see subsection 7-14-6(2), penalty fees, of this Code). Each protected tree removed without a permit or in violation of a permit shall constitute a separate offence. Any person may seek an injunction against any violation of this chapter, and recover such damages as he may suffer. In addition to the fines and prohibitions

contained herein, the provisions of section 1-1-8 of the Code shall apply applicable to willful violations of this chapter.

- (C) *Tree planting trust fund.* A tree planting trust fund has been established and funded by the fines pursuant to subsection (B) and mitigation fees paid pursuant to section 12-6-6. Expenditures from the tree planting trust fund are hereby authorized and may be made by the mayor and shall be utilized for acquiring, planting, and maintaining trees and in cases where necessary other vegetation for public purposes within the City of Pensacola. ~~for projects up to twenty-five thousand dollars (\$25,000) to replant trees, or to plant new trees and other appropriate landscape vegetation, purchase irrigation supplies and purchase equipment dedicated to the planting and maintaining of the city's trees. Priority should be first given to areas that are deficient as determined by tree inventories and canopy studies. The first priority for expenditure of funds deposited in the tree planting trust fund is for restoration of the tree canopy in the area where trees generating the funds were removed. The tree planting trust fund may also be authorized by the City Council to fund the City's designated arborist as designated by the Mayor.~~ Any expenditure in excess of twenty-five thousand dollars (\$25,000) must be approved by the city council following review by the environmental advisory board.

A grant program is hereby established for community organizations such as neighborhood associations, civic organizations, and garden clubs, according to the following criteria:

- Each grant is limited to ~~seventy-five (75)~~ fifty (50) percent of the cost of the proposed project up to ~~seven~~ five thousand five hundred dollars (\$7,55,500.00);
- ~~The required twenty-five (25) percent grant match may be waived for projects deemed as a high priority canopy restoration project by the city council;~~
- The tree planting trust fund must have sufficient funds for the project requested;
- Grant requests must be submitted to the environmental advisory board for review prior to consideration by the City's designated arborist and city council;
- The city council must approve each grant request; and
- The funds must be utilized for providing trees or other appropriate vegetation along with associated irrigation that will help restore the tree canopy as deemed appropriate by proper planting location requirements and may enhance the natural beauty of the community, serve to deter graffiti or the defacement of public or private property, and may create sound buffers where desirable.

(Ord. No. 50-00, § 5, 10-26-00(Ord. No. 44-99, § 5, 11-18-99; Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09; Ord. No. 16-10, § 220, 9-9-10; Ord. No. 21-15, § 1, 12-9-15)

Sec. 12-6-11. - Appeal.

Any person directly and adversely affected by a decision of the parks and recreation department, the ~~building official~~ City's designated arborist, or the mayor or his or her designee in the interpretation or enforcement of the provisions of this chapter may appeal such decision to the zoning board of adjustment. Such appeal shall be submitted in writing to the planning administrator within thirty (30) days of the rendering of the subject order, requirement, decision or determination.

(Ord. No. 50-00, § 5, 10-26-00(Ord. No. 44-99, § 5, 11-18-99; Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09; Ord. No. 16-10, § 221, 9-9-10)

APPENDIX A PROTECTED TREE LIST*

<i>Species Type A (Small, 4" + diameter trunk)</i>	
1.	Dogwood (<i>Cornus florida</i>)
2.	Redbud (<i>Cercis canadensis</i>)
3.	Crape Myrtle (<i>Lagerstroemia indica</i>)
4.	Fringe Tree (<i>Chionanthus virginicus</i>)
5.	Flatwoods Plum (<i>Prunus umbellata</i>)
6.	Crabapple (<i>Malus angustifolia</i>)
7.	Sand Oak (<i>Quercus geminata</i>)
<i>Species Type B (Medium, 6" + diameter trunk)</i>	
1.	American Holly (<i>Ilex opaca</i>)
2.	Dahoon Holly (<i>Ilex cassine</i>)
3.	Southern Magnolia (<i>Magnolia grandiflora</i>) **
4.	Eastern Red Cedar (<i>Juniperus virginiana</i>) **
5.	Southern Red Cedar (<i>Juniperus silicicola</i>) **
6.	White Cedar (<i>Chamaecyparis thyoides</i>)
7.	River Birch (<i>Betula nigra</i>)
<i>Species Type C (Large, 8" + diameter trunk)</i>	
1.	Live Oak (<i>Quercus virginiana</i>)**
2.	Laurel Oak (<i>Quercus laurifolia</i>)**
3.	Sweet Gum (<i>Liquidambar styraciflua</i>)**

4.	Sycamore (<i>Platanus occidentalis</i>)**
5.	Pecan (<i>Carya illinoensis</i>)**
6.	Red Maple (<i>Acer rubrum</i>)**
7.	Hickory (<i>Carya spp.</i>)**
8.	White Oak (<i>Quercus alba</i>)**
9.	Southern Red Oak (<i>Quercus falcata</i>)
10.	Florida Sugar Maple (<i>Acer barbatum</i>)
11.	Black Tupelo (<i>Nyssa sylvatica</i>)
12.	Silver Maple (<i>Acer saccharinum</i>)

* When measuring a tree to determine if it meets the trunk diameter criteria, it shall be measured at Diameter Breast Height (DBH), which is the diameter of the tree at four and one-half (4½) feet (fifty-four (54) inches) above ground. The scientific name controls for compliance purposes. Common names are furnished for reference purposes only.

** Shade trees.

APPENDIX B TREE REPLANT LIST

<i>A. Small Trees:</i>	
1.	Crape Myrtle (<i>Lagerstroemia indica</i>)
2.	Holly, Dahoon (<i>Ilex cassine</i>) **
3.	Hop-hornbeam (<i>Ostrya virginiana</i>)
4.	Hornbeam (<i>Carpinus caroliniana</i>)

5.	Fringe Tree (<i>Chionanthus virginicus</i>)
6.	Smooth Redbay (<i>Persea borbonia</i>) **
7.	Glossy Privet (<i>Ligustrum lucidum</i>)
8.	Loquat (<i>Eriobotrya japonica</i>)
9.	Red Buckeye (<i>Aesculus pavia</i>)
10.	Hawthorne (<i>Crataegus spp.</i>)
11.	American Holly (<i>Ilex opaca</i>)
12.	Savannah Holly (<i>Ilex attenuata/cassine</i> × <i>opaca</i>)
13.	East Palatka Holly (<i>Ilex attenuata/cassine</i> × <i>opaca</i>)
14.	Eagleston Holly (<i>Ilex attenuata/cassine</i> × <i>opaca</i>)
15.	Fineline Holly (<i>Ilex cornuta</i>)
16.	Emily Bruner Holly (<i>Ilex latifolia</i> × <i>cornuta</i>)
17.	East Bay Holly (<i>Ilex latifolia</i> × <i>cornuta</i>)
18.	Mary Neil Holly (<i>Ilex/cornuta</i> × <i>pernyi</i>)
19.	Nellie R. Stevens Holly (<i>Ilex aquifolium</i> × <i>cornuta</i>)
20.	Green Japanese Maple (<i>Acer palmatum</i>)
21.	Eastern Red Bud (<i>Cercis canadensis</i>)
22.	Drake Elm (<i>Ulmus parvifolia</i>)
23.	Yaupon Holly (<i>Ilex vomitoria</i>)
24.	Ashe Magnolia (<i>Magnolia ashei</i>)

25.	Wax Myrtle (<i>Myrica cerifera</i>)
26.	Flatwoods Plum (<i>Prunus umbellata</i>)
27.	Myrtle Oak (<i>Quercus myrtifolia</i>)
28.	Rusty Blackhawk (<i>Viburnum rufidulum</i>)
29.	Dogwood (<i>Cornus florida</i>)
30.	Red Bud (<i>Cercis canadensis</i>)
Trees listed 13 through 34 are native. [*Note discrepancy in number 34 here and below.]	
Trees listed 11 through 34 are suitable for planting beneath utility lines.	
<i>B. Medium and Large Trees:</i>	
1.	American Sycamore (<i>Plantanus occidentalis</i>)
2.	Ash, White (<i>local</i>) (<i>Fraxinus americana</i>) **
3.	Birch, River (<i>Betula nigra</i>) **
4.	Cedar, Atlantic White (<i>Chamaecyparis thyoides</i>)
5.	Cedar, Southern Red (<i>Juniperus silicicola</i>)
6.	Chalkbark Maple (<i>Acer leucoderme</i>)
7.	Chinese Pistache (<i>Pistacia chinensis</i>)
8.	Bald Cypress (<i>Taxodium distichum</i>)
9.	Eastern Poplar (<i>Populus deltoides</i>)
10.	Elm, Florida (<i>Ulmus americana</i> var. <i>floridana</i>) **
11.	Elm, Winged (<i>Ulmus alata</i>) **

12.	Hickory (<i>Carya spp.</i>) **
13.	Holly, American (<i>Ilex opaca</i>)
14.	Loblollybay (<i>Gordonia lasianthus</i>) **
15.	Loblolly Pine (<i>Pinus taeda</i>)
16.	Maple, Florida Sugar (<i>Acer barbatum floridanum</i>) **
17.	Mulberry, Red (<i>Morus rubra</i>)
18.	Oak, Nuttall (<i>Quercus nuttallii</i>)
19.	Oak, Post (<i>Quercus stellata</i>) **
20.	Oak, Shumard (<i>Quercus shumardii</i>) **
21.	Oak, Southern Red (<i>Quercus falcata</i>) **
22.	Oak, White (<i>Quercus alba</i>) **
23.	Oak, Overcup (<i>Quercus lyrata</i>)
24.	Live Oak (<i>Quercus virginiana</i>) **
25.	Palm, Cabbage (<i>Sabal palmetto</i>)
26.	Palm, Pindo (<i>Butia capitata</i>)
27.	Red Maple (<i>Acer rubrum</i>)
28.	Swamp Red Maple (<i>Acer rubrum var. drummondii</i>)
29.	Sweetbay (<i>Magnolia virginiana</i>) **
30.	Sweet Gum (<i>Liquidambar styraciflua</i>)
31.	Tulip Tree (<i>Liriodendron tulipifera</i>)

32.	Tupelo, Water (<i>Nyssa aquatica</i>)
33.	Walnut, Black (<i>Juglans nigra</i>) **
34.	Willow Oak (<i>Quercus phellos</i>)
35.	Windmill Palm (<i>Trachycarpus fortunei</i>)
36.	Southern Magnolia (<i>Magnolia grandiflora</i>) **

* When measuring a tree to determine if it meets the trunk diameter criteria, it shall be measured at Diameter Breast Height (DBH), which is the diameter of the tree at four and one-half (4½) feet (fifty-four (54) inches) above ground. The scientific name shall control for compliance purposes. Common names are furnished for reference purposes only.

** Shade Trees.

Source: Native Trees for North Florida, Florida Cooperative Extension Service, University of Florida. Florida-Friendly Plant List 2006, Florida Yards and Neighborhoods, Cooperative Extension Service, University of Florida.

(Ord. No. 50-00, § 5, 10-26-00(Ord. No. 44-99, § 5, 11-18-99; Ord. No. 50-00, § 5, 10-26-00; Ord. No. 31-09, § 1, 9-10-09)



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00327

Planning Board

10/13/2020

FOR DISCUSSION

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 10/6/2020

SUBJECT:

Discussion on Proposed Amendments to the Tree Ordinance

BACKGROUND:

Text