



PLANNING SERVICES

Gateway Review Board

CHAIRMAN AND MEMBERS OF THE GATEWAY REVIEW BOARD

There will be a meeting of the City Gateway Review Board on **Tuesday, September 10, 2019, at 11:00 a.m. in the Mason Conference Room, Mezzanine Level, City Hall, 222 West Main Street.**

AGENDA:

1. Call to Order
2. Approval of the June 11, 2019, Meeting Minutes
3. 1 Energy Place: Consider *FINAL* Approval of site improvements for enhanced security at the Gulf Power corporate office
4. 10 S. Florida Blanca: Consider *FINAL* Approval for a new 2-story detached garage with living quarters
5. Open Forum

Sincerely,

A handwritten signature in blue ink, appearing to read "Leslie Statler".

Leslie Statler
Planner

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143/www.cityofpensacola.com

PLANNING SERVICES

Gateway Review Board

MINUTES OF THE GATEWAY REVIEW BOARD

June 11, 2019

MEMBERS PRESENT: Robert Montgomery, Brett Janson, Michael Wolf, Eric Schmitz, Bob Wilson

MEMBERS ABSENT: Sergio Hernandez, Elizabeth Fleischhauer

STAFF PRESENT: Leslie Statler, Planner, Gregg Harding, Historic Preservation Planner

OTHERS PRESENT: Philip Partington

CALL TO ORDER / QUORUM PRESENT

The meeting was called to order at 11:00 am by Chairman Montgomery with a quorum present.

APPROVAL OF MINUTES

Item 2: The Chairman asked for approval of the May 14, 2019 meeting minutes. Mr. Schmitz made a motion to approve, seconded by Mr. Wilson, and it carried unanimously.

NEW BUSINESS

Item 3: 99 BLK South 9th Avenue: Consider *FINAL* Approval of a multi-story hotel within the 99 BLK of South 9th Avenue

Philip Partington, SMP architecture, is requesting *final* approval for a multi-story hotel located within the 99 BLK of South 9th Avenue. This project was most recently granted conceptual approval in May 2019; the previous iteration was granted conceptual approval in March 2018 and final approval in July 2018 after contextual detailing representative of Pensacola was added to the exterior. Per the applicant, the project has been revised due to soil composition. The building has been relocated to the interior of the lot with the surface parking area now on the southern half of the lot, adjacent to 3 roadways. With the proposed reorientation, the entrance along North 9th Avenue aligns with Aragon Street.

Mr. Partington addressed the Board and presented an overview of the hotel including landscaping. The size of the hotel remained the same with 102 rooms and four stories. Mr. Wolf asked about the sidewalks at the fire lane, and Mr. Partington stated the owners did not want to encourage pedestrian traffic through that portion of this property. He stated they had done their best to preserve the northeast corner where the nicest trees exist for the greenspace. They also did not encourage pedestrian traffic on the service street, however, the existing sidewalks would be maintained. The signage on 9th Avenue was determined to be backlit and would not affect the residents of Aragon. Mr. Wilson asked if there was a way to slow traffic on 9th Avenue, and Ms. Statler referred this situation to Transportation Engineer Ryan Novota in

Public Works to address traffic calming. Chairman Montgomery stated there had been conversations on removing the median.

It was noted two large trees were preserved on the east entrance, but Mr. Wolf wanted to see more done with the streetscape besides Bermuda grass. It was determined the dumpster would be walled in with stucco to match the building, and the screened parking area was accomplished with landscaping. Ms. Statler advised there were some gaps on 9th and 10th; Mr. Partington explained that might be because of existing trees. Mr. Wolf suggested if the trees were cut cleanly and not ripped up with an excavator, they might not need pervious pavers. Mr. Schmitz asked if there were plans for signs on East Chase and made a recommendation that 10th Street was considered a safer entrance for traffic coming from the airport. He recommended small signage at 10th Street as a better way to enter the building. Ms. Statler explained that might be something they could approach DOT with as a consideration. It was also noted there was a small pool on the northwest corner of the building which would be fenced and landscaped.

Mr. Wolf made a motion for final approval, seconded by Mr. Janson. Ms. Statler suggested the detail on the fence and dumpster enclosure be addressed in an abbreviated review. Mr. Wolf advised as long as it matched the building, an abbreviated review would not be necessary. Mr. Janson saw no reason to delay the project, and Ms. Statler explained this would not delay their process. Mr. Wolf wanted to see more money spent on the streetscape. **The motion then carried 4 to 1 with Mr. Montgomery abstaining.**

OPEN FORUM - None

There being no further business, the meeting was adjourned at 11:26 am.

Respectfully Submitted,



Leslie Statler
City Planner
Secretary to the Board

PLANNING SERVICES

MEMORANDUM

TO: Gateway Review Board Members
FROM: Leslie Statler, Planner *lesm*
DATE: September 3, 2019
SUBJECT: 1 Energy Place – Site Improvements for Enhanced Security at Gulf Power corporate office

BACKGROUND

George Williams, Bay Design Associates Architects, is requesting *final* approval for site improvements for enhanced security at the Gulf Power corporate office. Gulf Power's parent company has reviewed the site and would like to implement additional security features to protect the sub-surface parking area and loading dock. The principle scope of work includes the installation of a decorative perimeter fence 6 feet in height, the construction of a new guard house, and the installation of rolling security gates. Secondary work includes the reorientation of the internal access drives and parking lot connectivity as well as the relocation of the driveway on Salamanca Street to align with 11th Avenue. The guard house will match the existing building with respect to brick color and windows and will feature concrete lintels above the doors and window to match the main building. The security fence is proposed to be Ameristar Impasse (or equal) with brick pilasters to match the buildings.

All relevant documentation is included for your review.

Gateway Review Board Application

Project Address: 1 Energy Place, Pensacola, FL
Applicant: Bay Design Associates Architects, agent for Gulf Power
Applicant's Address: 720 Bayfront Parkway Suite 200, Pensacola, FL 32502
Application Date: 07-26-2019 **Phone:** 432-0706
Email: george@baydesign.com **Fax:** 433-0508
Property Owner: Gulf Power Company, attn: Mr. Bob Cordes (bobby.cordes@nexteraenergy.com)
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential – \$50.00 hearing fee
☒ Commercial – \$250.00 hearing fee

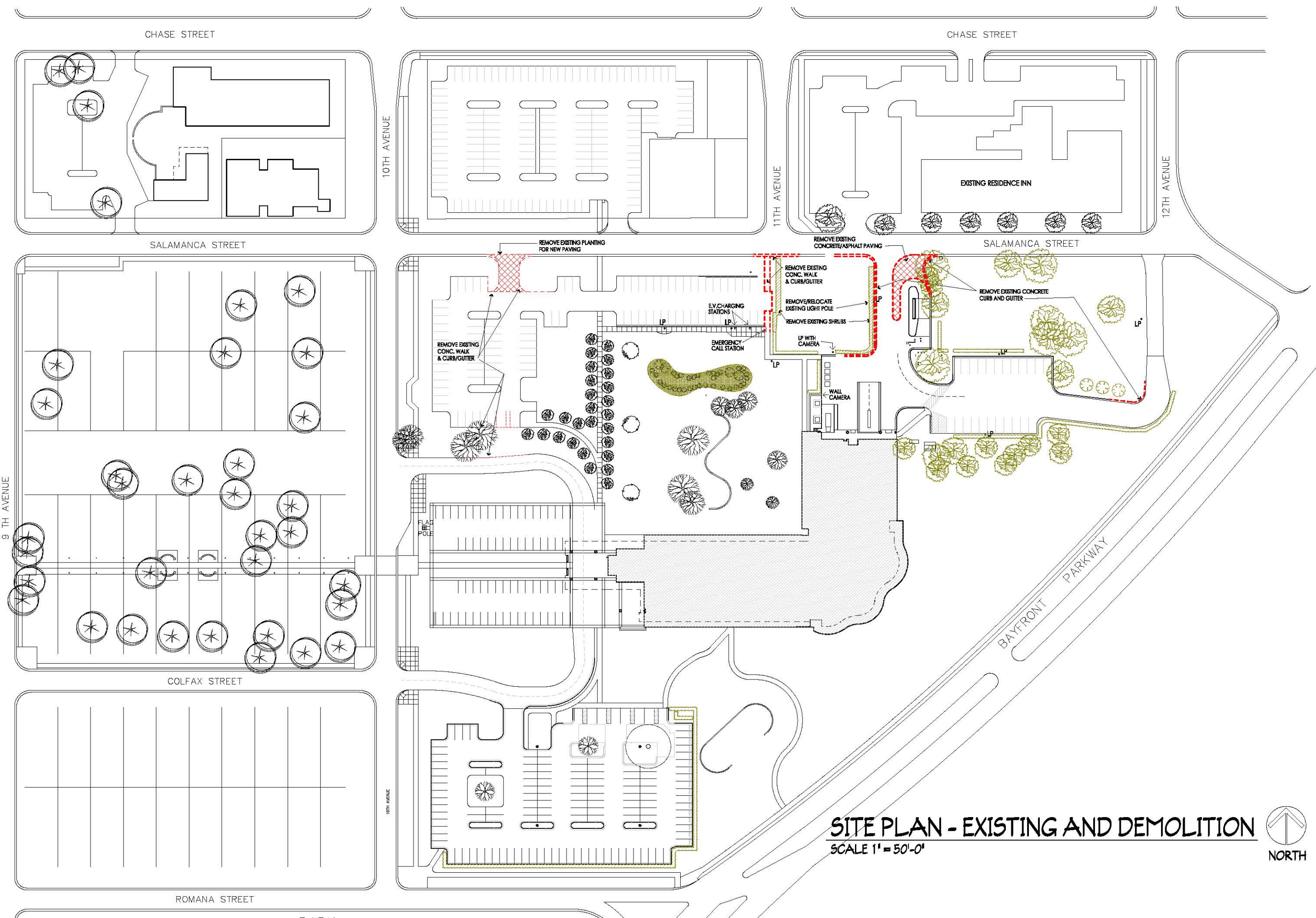
Gulf Power Corporate Office Building:

- The building original design, with parking garage below building does not provide vehicular nor pedestrian security to the parking garage.
- Gulf Power's parent company desires to implement new perimeter security to protect the sub-surface garage entry and building service delivery open dock area
- This security will be accomplished via a new 6' tall perimeter fence along the property limits on Salamanca Street (behind the Residence Inn Hotel) and extend along perimeter of service vehicle parking area returning to building at the north east corner of building. This configuration limits any visibility along Bayfront Parkway to a minimum.
- The security fence will include masonry pilasters/columns at approximate 30' spacings subject to topography and existing trees.
- A new guard house (approximately 8'x12') will be constructed for business hour operation. The guard house will be brick veneer to match the office building.
- A pair of 30' rolling (cantilever) gates will close the drives during non-business hours.
- Additionally, Gulf Power will be expanding existing surface parking onto an existing 'internal' vacant lot with new drive aligning with 11th Avenue. Due to City Ordinance this new drive necessitates closing an existing Salamanca drive connection at the west end of property. The new parking area will replace existing accessible parking spaces displaced by new drive connection at main entry.

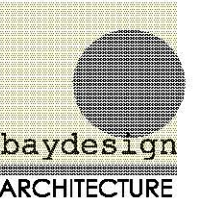
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.


Applicant Signature

08-20-2019
Date



SITE PLAN - EXISTING AND DEMOLITION
SCALE 1" = 50'-0"



architecture + sustainability
720 bayfront parkway
suite 200
pensacola, fl 32502
t: 850.432.0706
f: 850.433.0508
baydesign.com

SEAL

GEORGE D. WILLIAMS, AIA

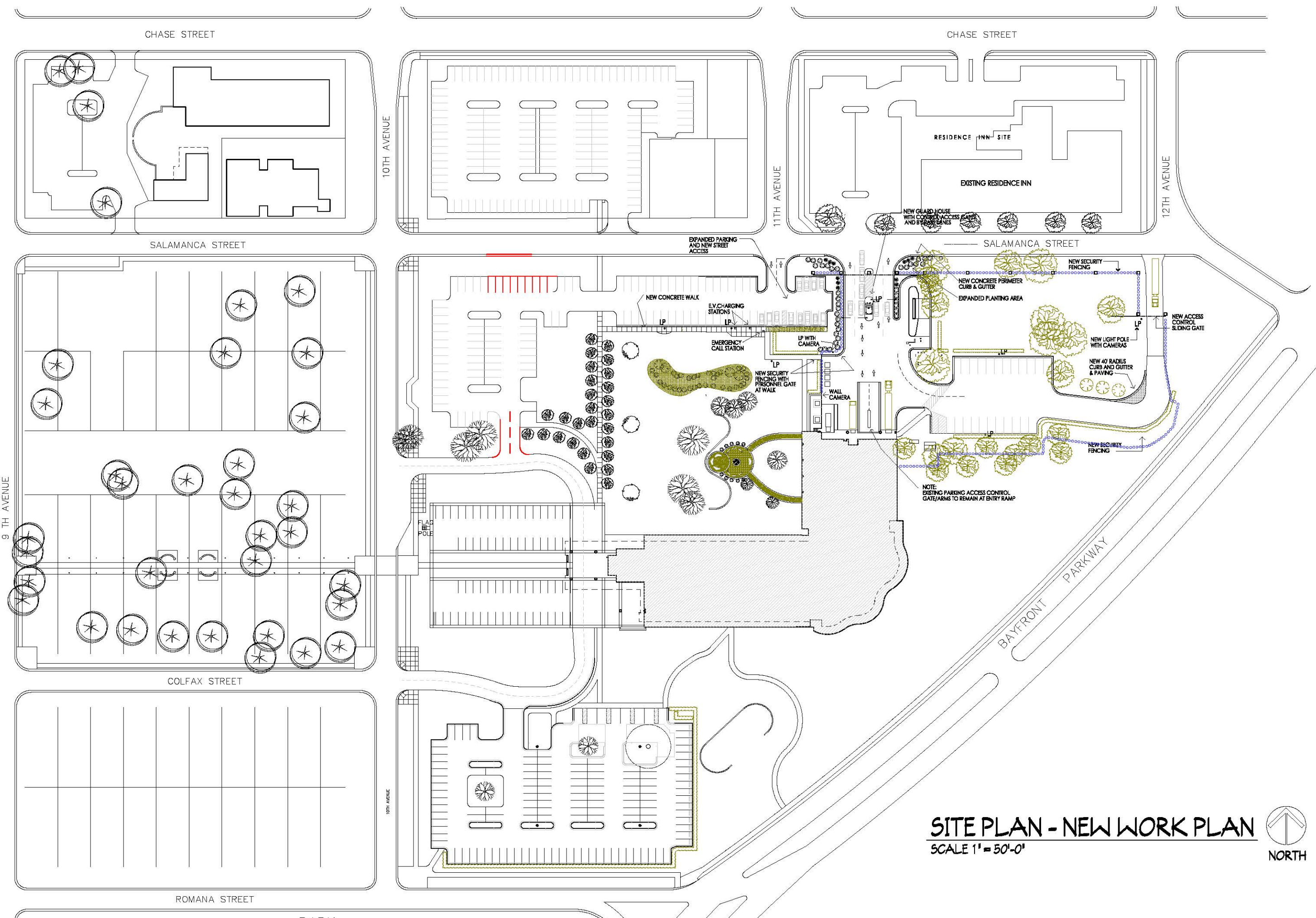
bay design
associates architects, p.l.
florida certificate of
authorization AA0003597

PROJECT: **PROPOSED SITE AND PARKING MODIFICATIONS**
GULF POWER CORPORATE OFFICE BUILDING
ONE ENERGY PLACE, PENSACOLA, FLORIDA

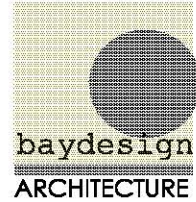
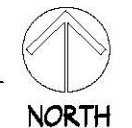
SHEET TITLE: **SITE PLAN - EXISTING AND DEMOLITION**

PROJECT NO: 2744
FILE NO: 2744-D001
DATE: 08-16-17
REVISION: #1 04-02-19

SHEET
D-001



SITE PLAN - NEW WORK PLAN
SCALE 1" = 50'-0"



architecture + sustainability
720 bayfront parkway
suite 200
pensacola, fl 32502
t: 850.432.0706
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baydesign.com

SEAL

GEORGE D. WILLIAMS, AIA

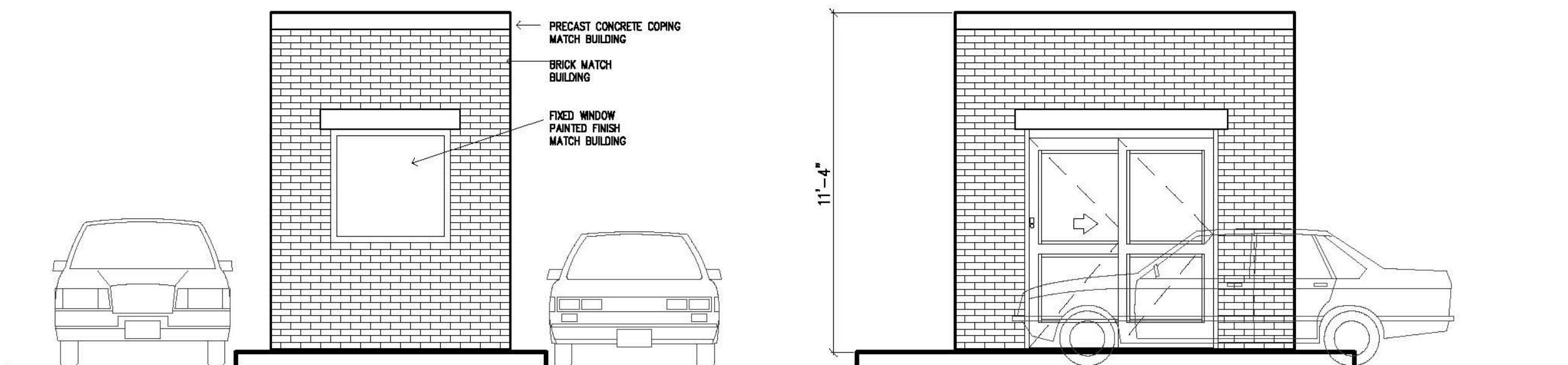
bay design
associates architects, p.l.
florida certificate of
authorization AA0003597

PROJECT:
PROPOSED SITE AND PARKING MODIFICATIONS
GULF POWER CORPORATE OFFICE BUILDING
ONE ENERGY PLACE, PENSACOLA, FLORIDA

SHEET TITLE:
SITE PLAN - NEW WORK

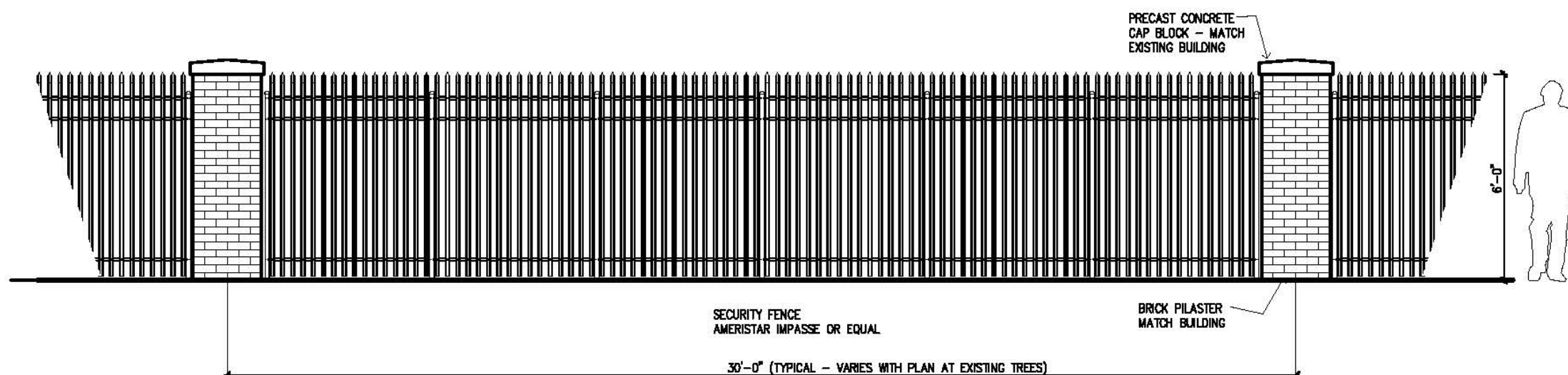
PROJECT NO: 2744
FILE NO: 2744-A001
DATE: 08-16-17
REVISION:
#1 04-02-19
#2 06-27-19

SHEET
A-001

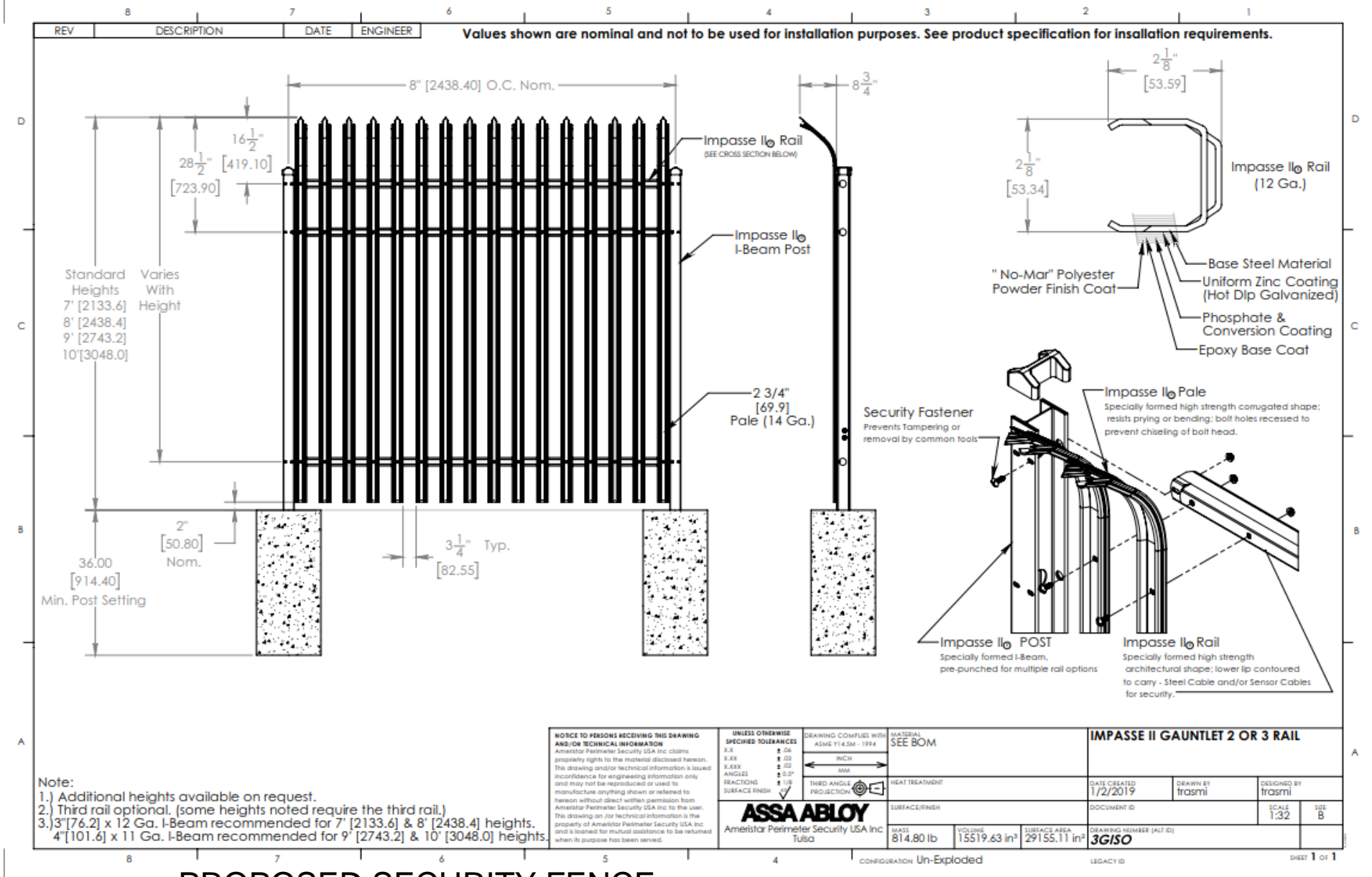


FRONT (NORTH)
 GUARD HOUSE ELEVATIONS

TYPICAL SIDE



TYPICAL FENCE ELEVATION



PROPOSED SECURITY FENCE



EXISTING BUILDING BRICK AND CONCRETE LINTEL



EXAMPLE PHOTO OF PROPOSED HORIZONTAL GATE (ROLLING OR CANTILEVER (TBD)).

SITE CONSTRUCTION PLANS

FOR

GULF POWER PARKING ADDITION

ONE ENERGY PLACE

PENSACOLA, FLORIDA

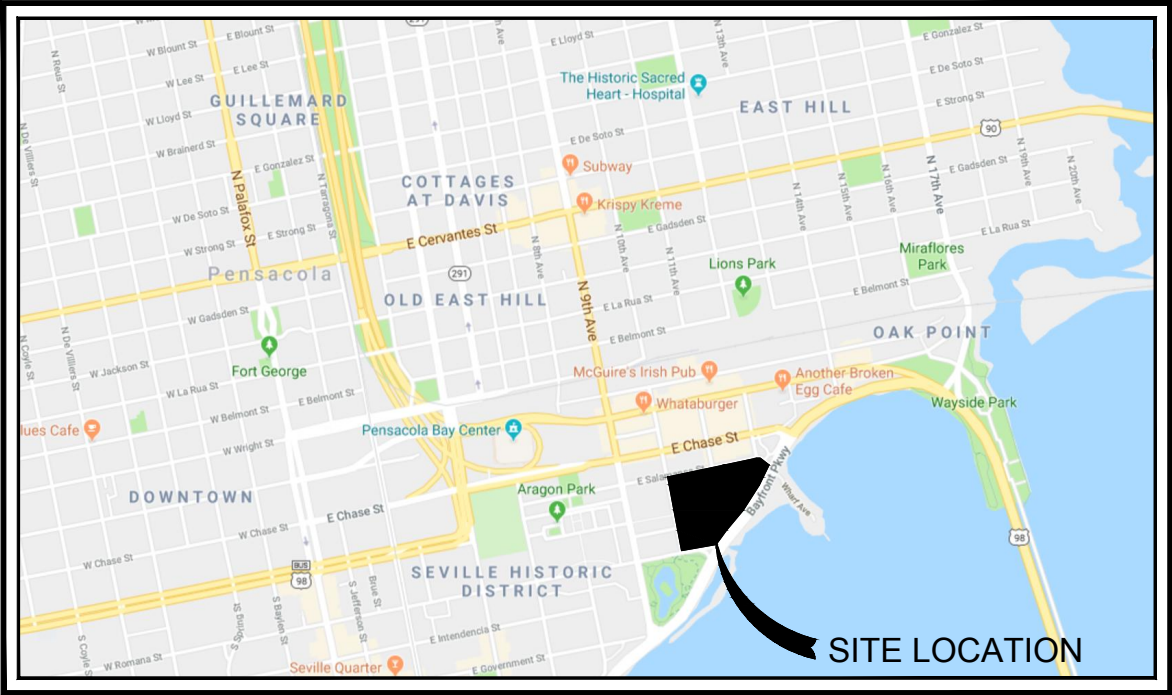
JULY ,2019

RBA PROJECT NO.: 2017.175

SITE INFORMATION	
OWNER:	GULF POWER CO ONE ENERGY PLACE PENSACOLA, FLORIDA 32520 850.
DEVELOPER:	GULF POWER CO ONE ENERGY PLACE PENSACOLA, FLORIDA 32520 850.
PROPERTY REFERENCE NO:	00-0S-00-9025-001-004
PROPERTY ADDRESS:	ONE ENERGY PLACE, PENSACOLA, FL 32520
PROPERTY AREA:	13.03 ACRES
PROJECT AREA:	5.16 ACRES
PROPERTY ZONING:	GRD
FUTURE LAND USE:	REDEVELOPMENT
PROPOSED ACTIVITY:	OFFICE/WAREHOUSE
REQUIRED BUILDING SETBACKS GRD:	FRONT YARD – 50 FT. SIDE YARD – 5 FT. REAR YARD – 5 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120082	12033C	0390	G	SEPT 29, 2006

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
CITY OF PENSACOLA ENGINEER 180 GOVERNMENTAL CENTER PENSACOLA, FLORIDA 32502	CONTACT: L. DERRIK OWENS PHONE: 850.435.1645
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770



VICINITY MAP
SCALE: 1"=1000'



REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

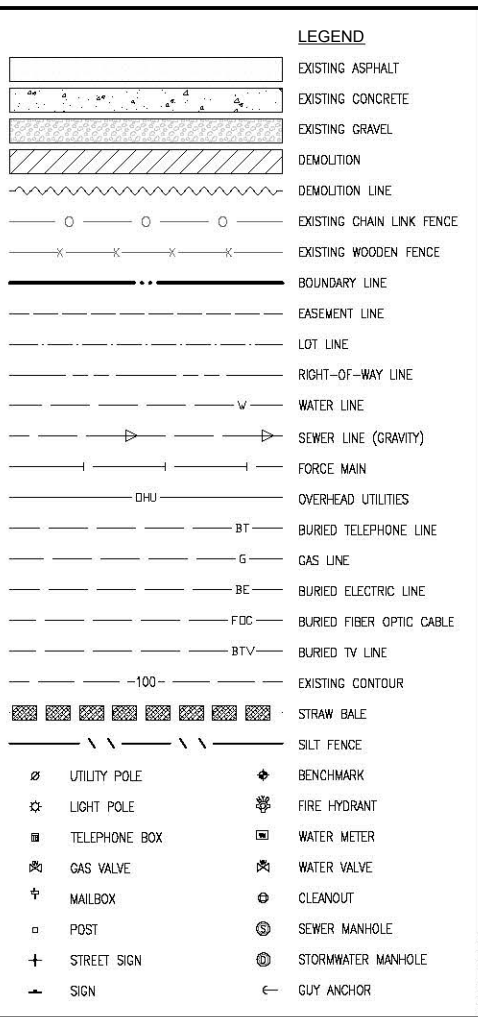
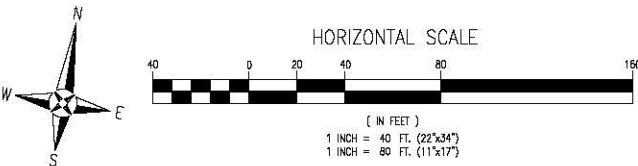
INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C1.2 NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C3.0 GRADING AND DRAINAGE PLAN
- C5.0 LANDSCAPE, STRIPING AND SIGNAGE PLAN

LEGAL DESCRIPTION

ALL BLK 4 NEW CITY TRACT LESS CASE NO 76-4209-E BAYFRONT PKY ALL BLKS 9 & 10 NEW CITY TRACT ALL CHASE PLAN BLK 3 ALL THAT PARCEL OF LAND BOUNDED ON W BY ELY R/W LI 11TH AVE ON N BY SLY R/W LI COLFAX ST ON S BY BAYFRONT PKY & THAT PART OF 11TH AVE 12TH AVE GARDEN ST & COLFAX ST DESC IN ORD 14-84 & ORD NO 26-84 ALL BLK 12 NEW CITY TRACT LESS LTS 1 & 2 & E 1/2 OF VACATED 11TH AVE ADJ TO LT 1 ORD 26-84 ALL BLK 13 BLK 18 LESS E 10 FT OF LT 9 NEW CITY TRACT & PT OF VAC 12TH AVE R/W S OF S LI OF SALAMANCA ST TO N LI OF BAYFRONT PKY ADJ TO BLK 11 NEW CITY TRACT & TO A LI ON W SIDE OF PARCEL BEING 153 53/100 FT S OF SALAMANCA ST LESS A TRIANGULAR PORTION OF VACATED 12TH AVE R/W S OF SALAMANCA ST N SIDE OF TRIANGLE BEING COLINEAR WITH S R/W LI OF SALAMANCA ST N LI BEING MEASURED WLY 7 FT FROM NW COR OF BLK 11 NEW CITY TRACT & W SIDE OF TRIANGLE BEING COLINEAR WITH E R/W LI OF 12TH AVE W SIDE BEING SLY 10 FT FROM NW COR BLK 11 NEW CITY TRACT AND THAT PORTION OF 12TH AVE R/W AND PART OF BLK 11 NEW CITY TRACT ENCLOSED BY FOL BDrys S OF A LI EXT OF S R/W LI OF SALAMANCA ST ALG BLK 12 NEW CITY TRACT E OF A LI 30 FT E OF W R/W LI OF 12TH AVE ALG BLK 12 NEW CITY TRACT N OF A LI EXT OF N R/W LI OF GARDEN ST ALG BLK 12 NEW CITY TRACT NLY ALG A LI 15 FT NLY OF N SIDEWALK ALG BAYFRONT PKY & W OF A LI THAT IS 10 FT W OF W CURB LI OF RD INTER BAYFRONT PKY THAT LEADS TO MUSCOGEE WHARF ALL BEING LOCATED IN SEC 22 T2S R30W OR 1720 P 287 OR 1725 P 888 OR 1880 P 404/405 OR 1929 P 290 OR 1735 P 607 OR 1718 P 796 OR 1723 P 184 OR 1739 P 158 OR 1750 P 749 -752 OR 1758 P 328 OR 1754 P 845 OR 1780 P 217 OR 1786 P 273/274 OR 1769 P 234 OR 1724 P 115 OR 1755 P 679 DB 119 P 610 OR 1772 P 15/18 OR 1720 P 519 OR 1730 P 594 OR 1731 P 685 OR 1739 P 367 OR 1759 P 221 OR 1839 P 89 OR 1790 P 174 OR 1739 P 973 OR 1711 P 351/881/878 OR 1863 P 34/36 OR 1746 P 671 OR 1739 P 968/969 OR 1745 P 732/734/735 OR 1868 P 225/226/227/228 OR 1878 P 245 OR 1745 P 559 OR 1750 P 726/727 OR 1944 P 353 OR 1959 P 248 OR 1873 P 983 OR 1857 P 387/375 OR 1741 P 165 OR 1813 P 116 OR 1825 P 532 OR 1836 P 314 OR 1848 P 254 OR 1852 P 13 OR 1904 P 161 OR 1917 P 315 OR 2237 P 299 OR 2064 P 948 OR 1811/1815 P 733/410 OR 3758 P 738 CA 46

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



TREE PROTECTION NOTES:

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
4. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

REPLACEMENT RATIO: (DSM 2-5.2 (a))

TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 42 INCHES
42 X 0.50 = 21.0 INCHES. TOTAL CALIPER REPLACEMENT = 21 INCHES

REPLACEMENT LIMITS: {DSM 2-5.2 (a)}

TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25
CALIPER INCHES PER DEVELOPMENT SITE ACRE.
TOTAL DEVELOPMENT SITE = 13.03 ACRE X 25 = 325.75 INCHES
REPLACEMENT LIMITS = 326 INCHES

TOTAL 2.5 INCH TREES REQUIRED = 9 OR TOTAL 3 INCH TREES REQUIRED = 7
DEVELOPER MAY CHOOSE COMBINATION OF 2.5 AND 3 INCH TREES BUT TOTAL
INCHES MUST BE 21.

GENERAL NOTES:

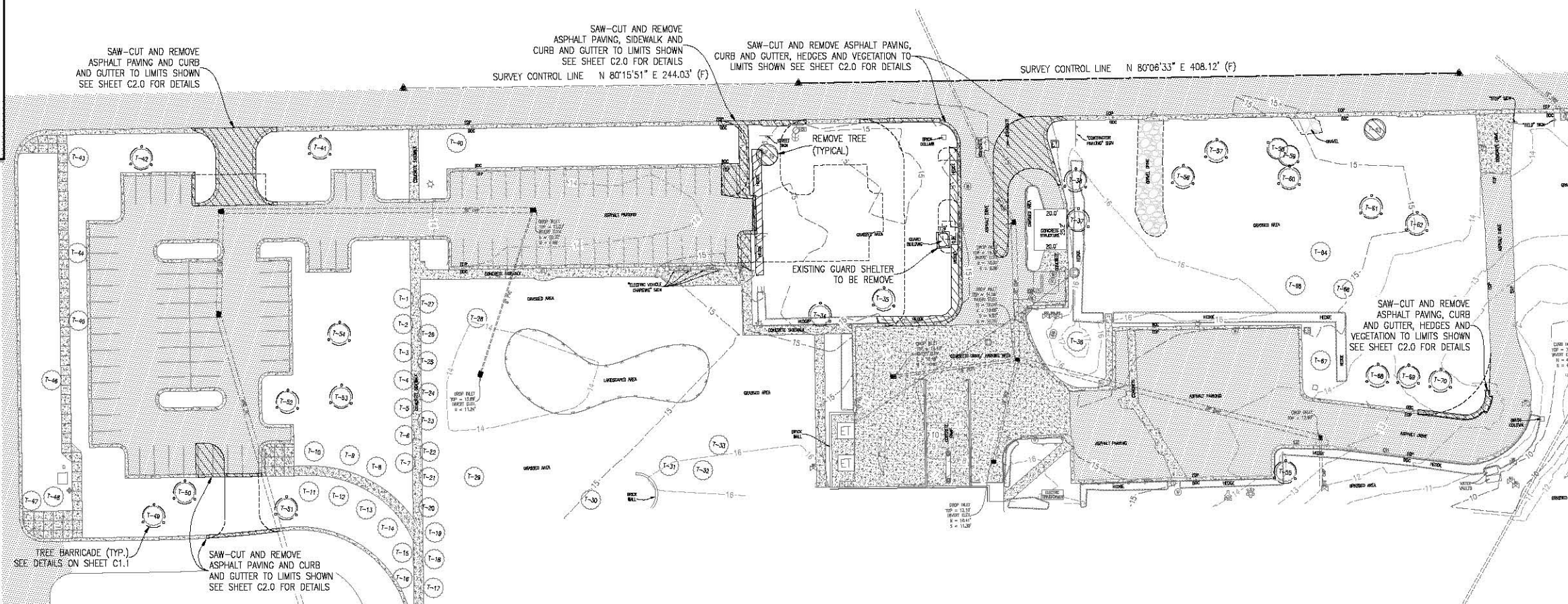
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
5. ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
6. THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRIAGES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
8. ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
10. ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
11. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
12. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
14. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE CITY OF PENSACOLA.
15. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
16. THERE ARE NO HERITAGE TREES LOCATED ON THE PROJECT SITE OR SCHEDULED FOR REMOVAL AS A PART OF THIS PROJECT.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOOD PLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C0360G, MAP REVISION DATED SEPTEMBER 29, 2006.

TREE PROTECTION NOTE:

ALL TREE BARRICADES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES (STORMWATER POND, GRADING, ETC.) AND MAINTAINED IN GOOD WORKING ORDER UNTIL THE PROJECT IS COMPLETE AND THE SITE BECOMES STABILIZED.



No.	DATE	REVISION

SEAL

NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: PNH
Ck By: PAB
Job No.: 2017.175
Date: 6-20-2019

DRAWING No.

C1.0
SHEET 2 OF 2

SHEET 2 OF ?

EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

**GULF POWER PARKING
ADDITION**
ONE ENERGY PLACE
PENSACOLA, FLORIDA

RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Portland, OR 97209

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GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.

*5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.

*6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.

*7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).

*8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

*10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.

12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).

16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.

20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".

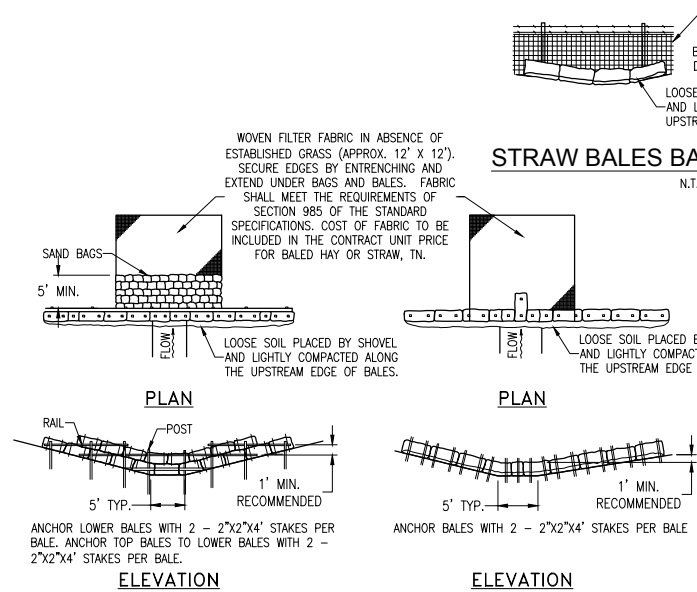
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM FROM OTHER EXCAVATED SOIL(S)
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
8. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



TYPE II
BARRIER FOR UNPAVED DITCH
N.T.S.

APPLICATION AND SPACING: THE USE OF TYPES I & II BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN CHART I, SHEET 1 OF 3, INDEX NO. 102

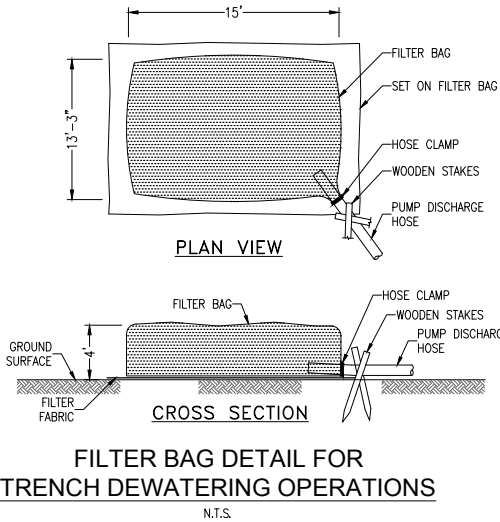
TYPE I

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

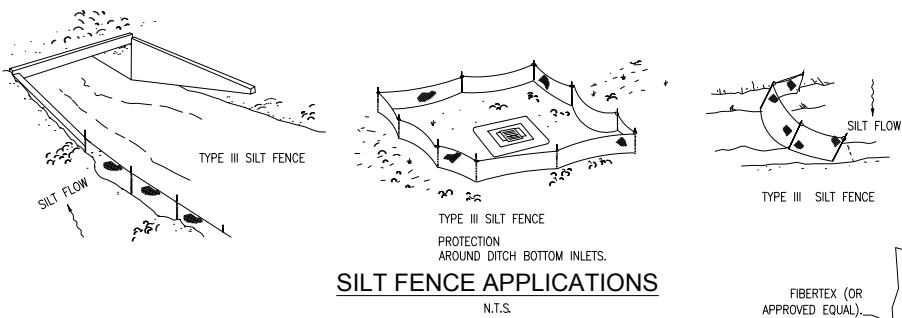
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENDOCRUED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

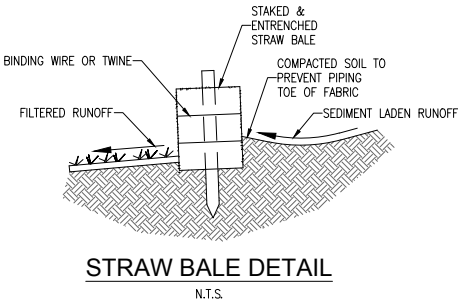


FILTER BAG DETAIL FOR
TRENCH DEWATERING OPERATIONS
N.T.S.

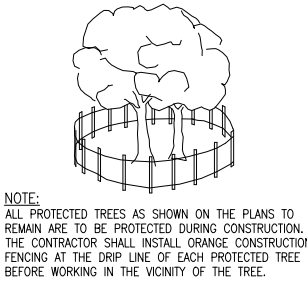


SILT FENCE APPLICATIONS

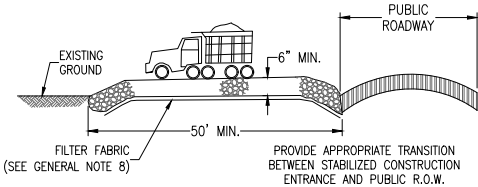
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



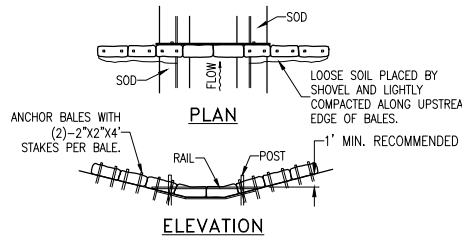
STRAW BALE DETAIL
N.T.S.



TREE BARRICADE DETAIL
N.T.S.

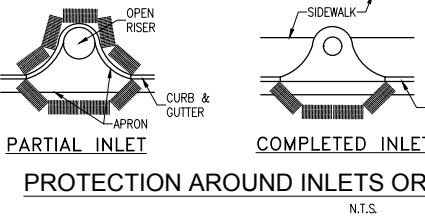


STABILIZED CONSTRUCTION
ENTRANCE DETAIL
N.T.S.

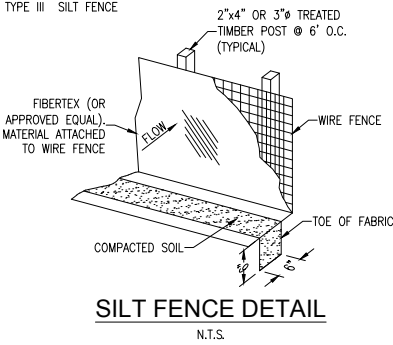


SPACING:
BALE BARRIERS FOR PAVED DITCHES SHOULD BE SPACED IN ACCORDANCE WITH CHART I, SHEET 1 OF 3, INDEX NO. 102

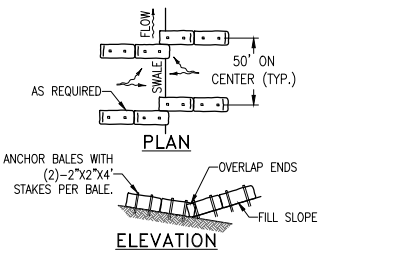
BARRIER FOR PAVED DITCH
N.T.S.



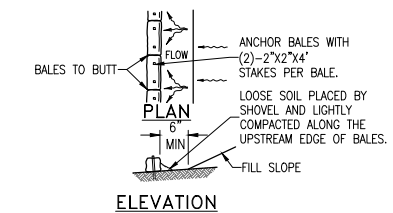
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.



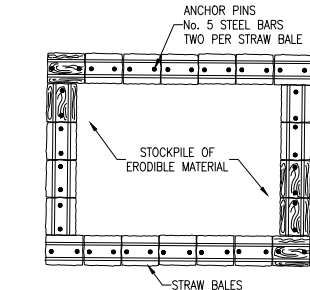
SILT FENCE DETAIL
N.T.S.



TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE.

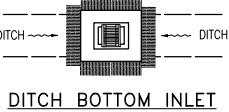


BARRIERS FOR FILL SLOPES
N.T.S.



MATERIAL STOCKPILE DETAIL
N.T.S.

ANCHOR BALES WITH (2)-2"x2"x4" STAKES PER BALE.



DITCH BOTTOM INLET
N.T.S.

TREE CHART		
TREE #	SIZE & TYPE	PROTECT/ REMOVE
T-1	10.4" MYRTLE	PROTECT
T-2	15.3" MYRTLE	PROTECT
T-3	11.5" MYRTLE	PROTECT
T-4	13" MYRTLE	PROTECT
T-5	15.5" MYRTLE	PROTECT
T-6	13.1" MYRTLE	PROTECT
T-7	13.8" MYRTLE	PROTECT
T-8	15.1" MYRTLE	PROTECT
T-9	13.6" MYRTLE	PROTECT
T-10	13.1" MYRTLE	PROTECT
T-11	13.4" MYRTLE	PROTECT
T-12	12.4" MYRTLE	PROTECT
T-3	12.8" MYRTLE	PROTECT
T-14	11.2" MYRTLE	PROTECT
T-15	11.3" MYRTLE	PROTECT
T-16	17.3" MYRTLE	PROTECT
T-17	17.5" MYRTLE	PROTECT
T-18	MYRTLE	PROTECT
T-19	MYRTLE	PROTECT
T-20	MYRTLE	PROTECT
T-21	MYRTLE	PROTECT
T-22	MYRTLE	PROTECT
T-23	MYRTLE	PROTECT
T-24	MYRTLE	PROTECT
T-25	MYRTLE	PROTECT
T-26	MYRTLE	PROTECT
T-27	MYRTLE	PROTECT
T-28	16" DAK	PROTECT
T-29	20" DAK	PROTECT
T-30	49" DAK	PROTECT
T-31	32" DAK	PROTECT
T-32	36" DAK	PROTECT
T-33	30" SYCAMORE	PROTECT
T-34	38" PECAN	PROTECT
T-35	17" PALM	PROTECT
T-36	49" DAK	PROTECT
T-37	27" DAK	PROTECT
T-38	32" DAK	PROTECT
T-39	25" DAK	REMOVE
T-40	28" DAK	PROTECT
T-41	83.5" DAK	PROTECT
T-42	35.3" DAK	PROTECT
T-43	33.1" DAK	PROTECT
T-44	42.3" DAK	PROTECT
T-45	30.5" DAK	PROTECT
T-46	36.5" DAK	PROTECT
T-47	34.4" DAK	PROTECT
T-48	36.3" DAK	PROTECT
T-49	43.9" DAK	PROTECT
T-50	47.6" DAK	PROTECT
T-51	16.3" DAK	PROTECT
T-52	12.5" MYRTLE	PROTECT
T-53	19.4" DAK	PROTECT
T-54	14.2" DAK	PROTECT
T-55	44" DAK	PROTECT
T-56	19" PECAN	PROTECT
T-57	29" PECAN	PROTECT
T-58	13" PALM	PROTECT
T-59	28" DAK	PROTECT
T-60	15" PALM	PROTECT
T-61	15" PALM	PROTECT
T-62	27" DAK	PROTECT
T-63	17" PINE	REMOVE
T-64	46" DAK	PROTECT
T-65	21" DAK	PROTECT
T-66	37" MAGNOLIA	PROTECT
T-67	30" DAK	PROTECT
T-68	MYRTLE	PROTECT
T-69	MYRTLE	PROTECT
T-70	MYRTLE	PROTECT

RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 900
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB7916

EROSION CONTROL
DETAILS

GULF POWER PARKING
ADDITION
ONE ENERGY PLACE
PENSACOLA, FLORIDA

REVISION			
No.	DATE		

SEAL
NOT FOR CONSTRUCTION

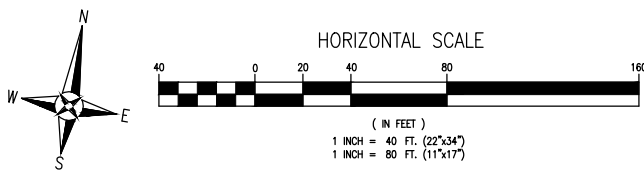
Paul A. Battle, P.E.
No. 53126

Dr. By: PNH
Ck By: PAB
Job No.: 2017.175
Date: 6-20-2019

DRAWING No.

C1.1
SHEET 3 OF 7

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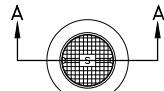
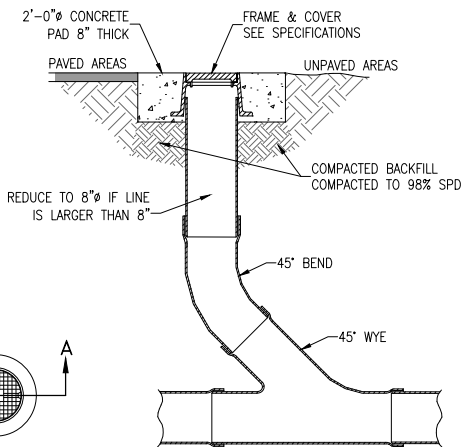
LEGEND

[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Line]	BOUNDARY LINE
[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE

FLOOD ZONE NOTE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C0360G, MAP REVISION DATED SEPTEMBER 29, 2006.

GENERAL NOTES:

1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
2. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST FDOT STANDARD PLANS FOR ROAD CONSTRUCTION.
3. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
6. ALL SIGNS SHALL BE INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION, WIND ZONE No.:1.
7. THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIMES/MOT PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO THE CITY OF PENSACOLA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY THE CITY OF PENSACOLA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
9. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

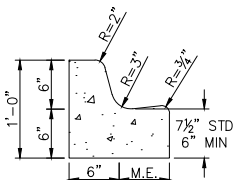


SECTION A - A

SEWER CLEANOUT DETAIL (TRAFFIC RATED)

N.T.S.

SOLID LID	A	B	C	E	F
R-1792-AL	10 3"	1 2"	8 2"	14 2"	4"
R-1792-BL	13 3"	1 2"	11 2"	17 2"	4"

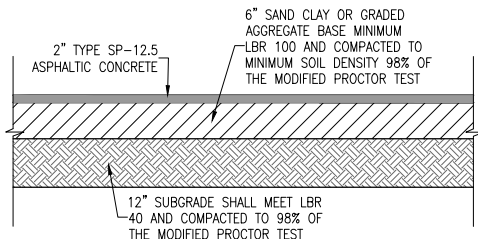


NOTE:

1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.
3. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

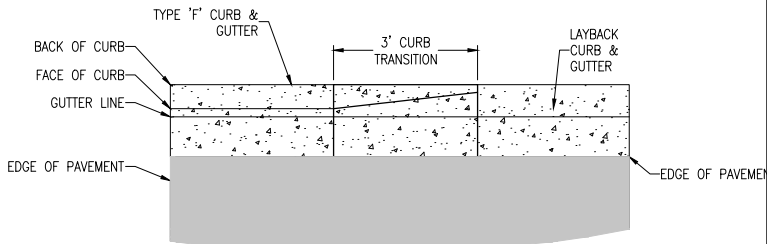
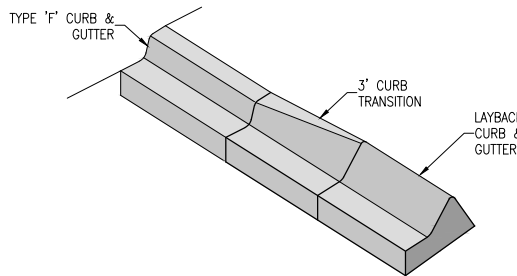
CURB & GUTTER DETAIL

N.T.S.



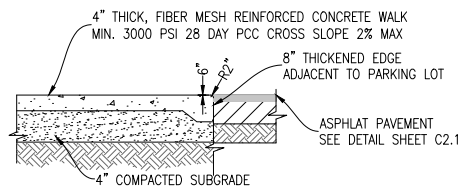
ON-SITE ASPHALT PAVEMENT DETAIL

N.T.S.



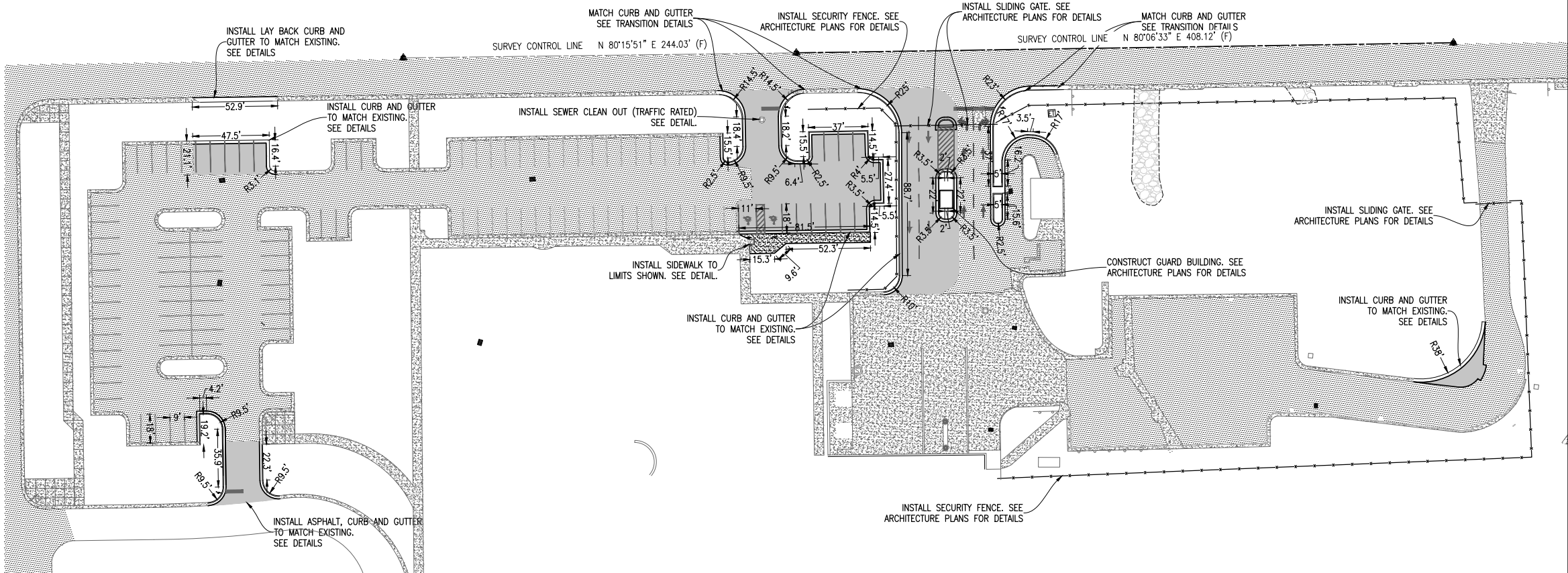
CURB TRANSITION
TYPE 'F' TO LAYBACK CURB & GUTTER

N.T.S.



SIDEWALK DETAIL
ADJACENT TO PARKING LOT

N.T.S.



REVISION	DATE	No.

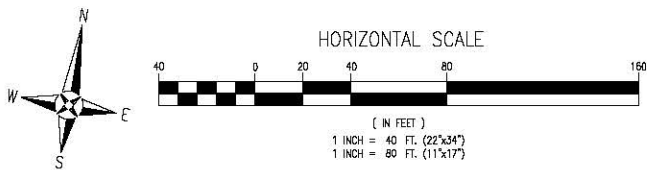
SEAL
NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: PNH
Ck By: PAB
Job No.: 2017.175
Date: 6-20-2019

DRAWING No.

C2.0
SHEET 4 OF ?



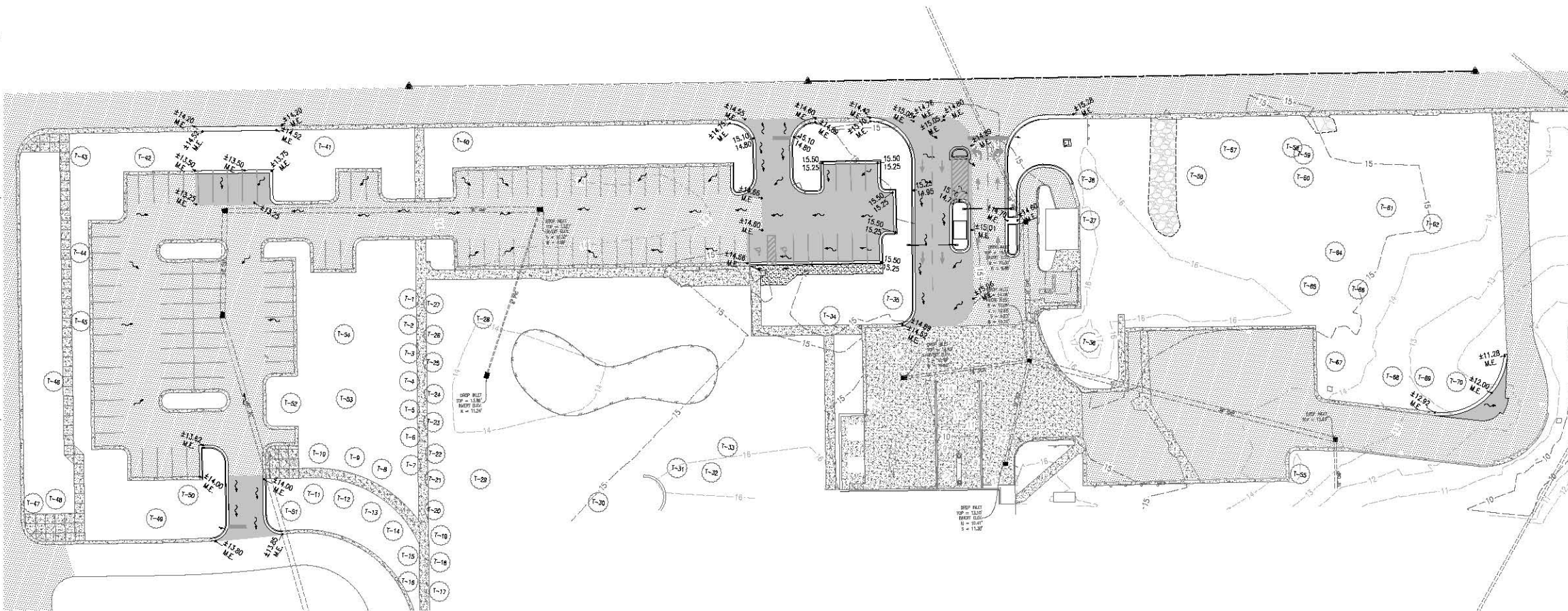
LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED GRAVEL
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	UTILITY POLE
	BENCHMARK
	LIGHT POLE
	GUY ANCHOR
	TELEPHONE BOX
	FLOW ARROW
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION MEET EXISTING
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)

TREE PROTECTION NOTES:

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
4. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

GENERAL NOTES:

1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. THE RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING A FINAL INSPECTION.
3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
4. ALL DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDED, MULCHED AND FERTILIZED.
5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
6. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
7. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF PENSACOLA. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
8. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL INSTALL, PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
10. ALL RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BUNDING DUE TO SEDIMENTS.
11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
12. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL STABILIZE, RESHAPE ROADSIDE SWALES, AND RESTORE RIGHT-OF-WAY BACK TO ORIGINAL CONDITION PRIOR TO FINAL SIGN OFF FROM THE EOR AND FDOT.

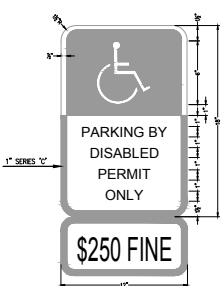
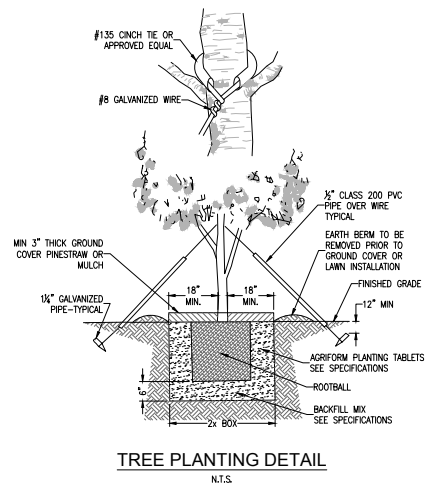
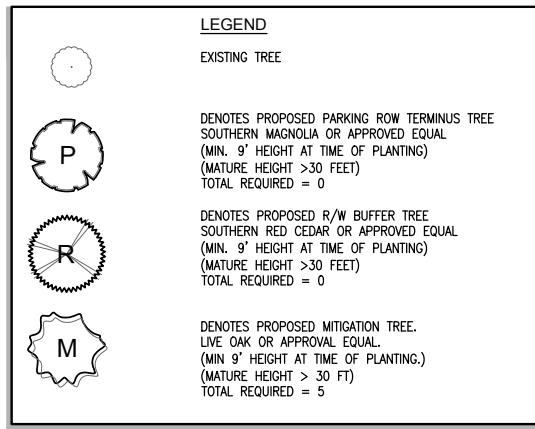
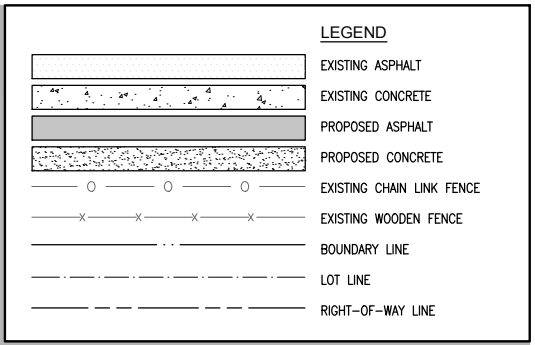
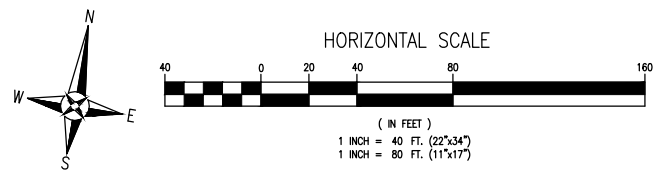


REVISION	
No.	DATE

SEAL	
NOT FOR CONSTRUCTION	
Paul A. Battle, P.E. No. 53126	

Dr. By: PNH
Ck By: PAB
Job No.: 2017.175
Date: 6-20-2019

DRAWING No.
C3.0
SHEET 5 OF ?



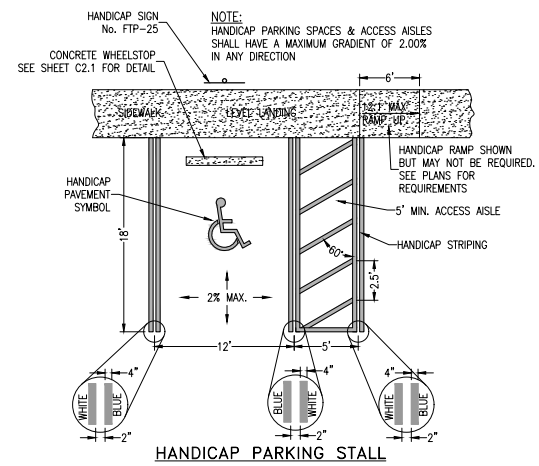
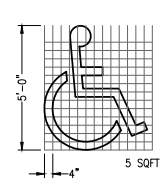
NOTES:

1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).
5. SIGN COLUMN TO BE AS PER F.D.O.T. STANDARDS, INDEX NO'S 11860 AND 11865.

SIGN USED AS PER FLORIDA STATUTES FTP 25 Per FS 316.1955, FS 316.1956

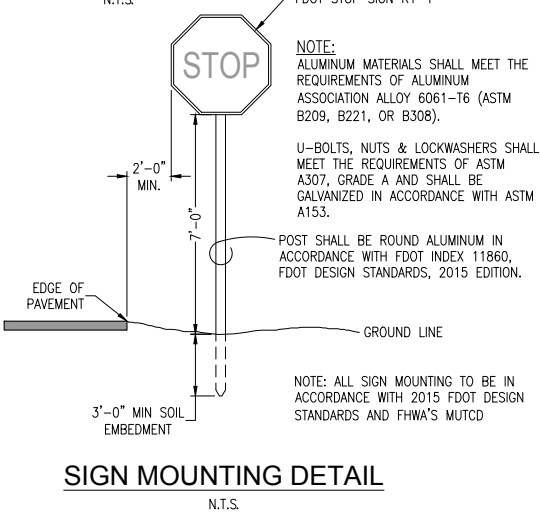
HANDICAP PARKING STALL DETAILS

N.T.S.



FDOT STANDARD R1-1 30" x 30"

N.T.S.

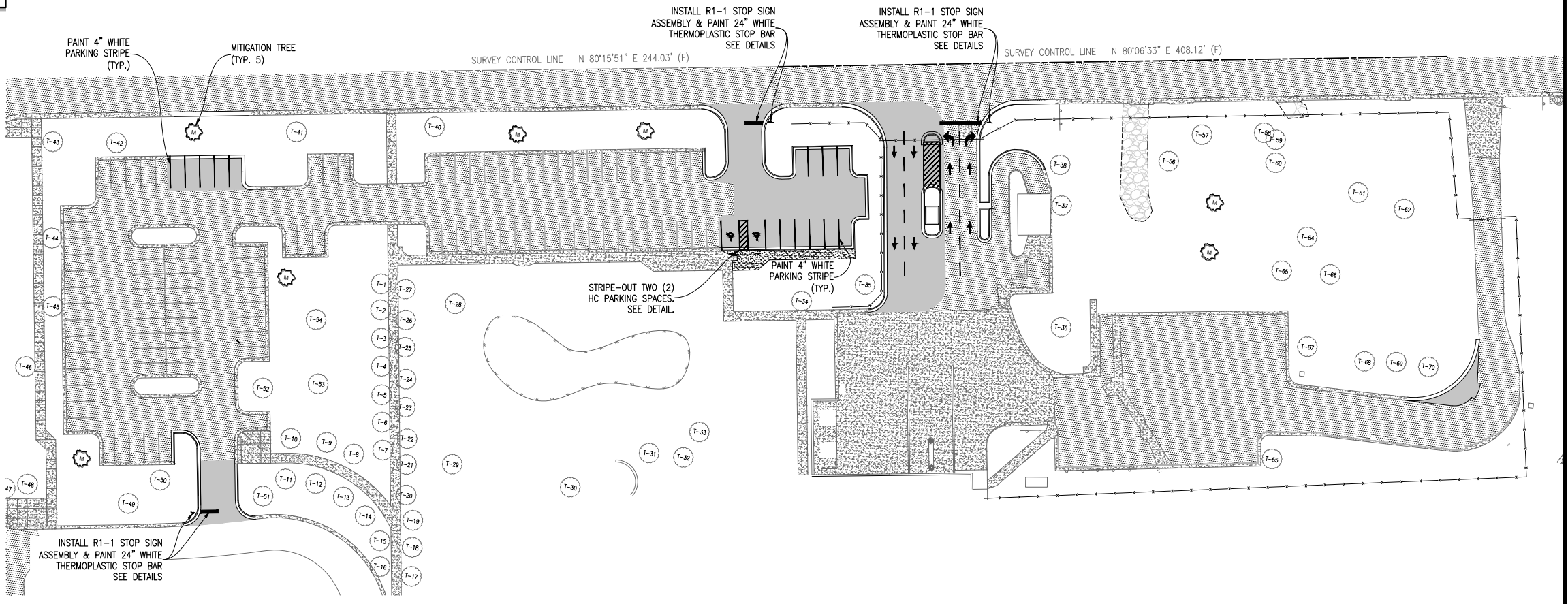


LANDSCAPE NOTES:

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON THE SITE.
2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
4. ALL TREES SHALL BE AT LEAST 2.5" DIAMETER MEASURED AT DBH AT TIME OF PLANTING.
5. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
6. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY TO BE SODDED WITH BERMUDA GRASS.
6. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.

STRIPING & SIGN NOTES:

1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX 17346.
2. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD INDEX 17346.
3. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
4. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865, WIND ZONE No.1.



RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

911 North Avenue, Suite 300
2301 Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00006857 LB7916

LANDSCAPE, STRIPING AND SIGNAGE PLAN

GULF POWER PARKING ADDITION

ONE ENERGY PLACE
PENSACOLA, FLORIDA

No.	DATE	REVISION

SEAL

NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: PNH
Ck By: PAB
Job No.: 2017.175
Date: 6-20-2019

DRAWING No.

C5.0

SHEET 6 OF ?

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PLANNING SERVICES

MEMORANDUM

TO: Gateway Review Board Members
FROM: Leslie Statler, Planner *lesm*
DATE: September 3, 2019
SUBJECT: 10 S. Florida Blanca – New 2-story Detached Garage with Living Quarters

BACKGROUND

Dean Dalrymple, Dalrymple Sallis Architecture, is requesting *final* approval for new 2-story detached garage with living quarters above. The primary scope of work includes the construction of a 500sf detached garage with loft living quarters above. Additional improvements include a parking pad, a patio with outdoor kitchen, and a covered walkway to connect the main structure and the detached garage. Exterior finishes and materials will match the existing principle residence.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.



Gateway Review Board Application

Project Address: 10 S. Florida Blanca St.

Applicant: Dalrymple Sallis Architecture

Applicant's Address: 503 E. Government St. Pensacola FL 32052

Application Date: 7/25/19 **Phone:** 850-470-6399

Email: Dean@dalsal.com **Fax:**

Property Owner: Jeff and Lu Lord
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential – \$50.00 hearing fee
☐ Commercial – \$250.00 hearing fee

New 2-story, 500 SF garage and 500 SF loft behind existing 2-story residence in Aragon Development.

New 346 SF rear patio with pergola and 131 SF outdoor kitchen/covered walkway along with additional

300 SF rear, exterior parking space.

*Attach seven (7) copies of required information (see reverse side)

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.

Applicant Signature

Date

Gateway Review Board Application

Procedure for review of plans.

(a) Plan submission: All development plans must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**

(b) Review and approval. All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13. At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.

(c) Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the board. This provision is made in an effort to save the applicant and the board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the board secretary and chairman, then the matter will be referred to the board for a decision.

(d) Final development plan. If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development. For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.

Date: Thursday, July 25, 2019

Project: **Lord Garage Loft**
10 S. Florida Blanca St. Pensacola, FL 32502

Recipient: **Gateway Review Board**

Existing Site Conditions



Rear View of Existing Residence



Front View of Existing Residence



Side View of Existing Residence



Side View of Existing Residence



Existing Rear Walkway



Existing Rear Patio



Existing Rear Yard



Existing Rear Porch and Shed (to remain)

Exterior Color Schedule

Date: Thursday, July 25, 2019

Recipient: Gateway Review Board

Project: **Lord Garage Loft**
10 S. Florida Blanca St., Pensacola, FL
Lot 7, Block F, (Cottage II)

<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>COLOR</u>
EXTERIOR SIDING	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
EXTERIOR TRIM	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
ROOF (Match Existing)	GAF Timberline	COLONIAL SLATE
EAVES AND SOFFITS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
FASCIAS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
FLASHING	PRE-FINISHED ALUMINUM	SILVER
WINDOWS AND DOORS	KOLBE ULTRA SERIES	WHITE
GARAGE DOORS	CLOPAY RESERVE	DARK OAK EBONY WASH
PORCH COLUMNS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
REAR PATIO	BALCO MEGA-LAFITT PAVER	SLATE
FENCING	TBD	SW7005 "PURE WHITE"
HANDRAIL	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
STAIR TREADS/PORCH DECKING	ADVANTAGE LUMBER	CUMARU-SPECIES
PERGOLA STRUCTURE		SW7005 "PURE WHITE" WITH CUMARU SLATS

SW 7005 Pure White

Interior / Exterior

Locator Number: 255-C1



REAR PATIO-PAVERS – BELGARD “MEGA-LAFITT” SLATE



ROOF (PRIMARY) – TIMBERLINE HD – SLATE (MATCH EXISTING)



DOOR STYLE

THERMA TRU DOOR: "TRADITIONS" 36"X80" HALF LITE

Traditions

Half Lite 2 Panel Flush | Style No. TS262-SDL 



FINISH OPTIONS ⓘ

Stain and Paint options may vary. Please contact your [retailer](#) for a complete list of their offering.

	Alpine	▼
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GLASS OPTIONS ⓘ

	Clear	▼
	Colonial 9 Lite 3Wx3H Simulated Divided Lites	▼

Don't see the glass design you want?

In addition to thousands of standard glass choices, we offer additional glass options through our Special Quote Program to help you find the right look for virtually any home.

[Learn More >](#)



Ultra Series

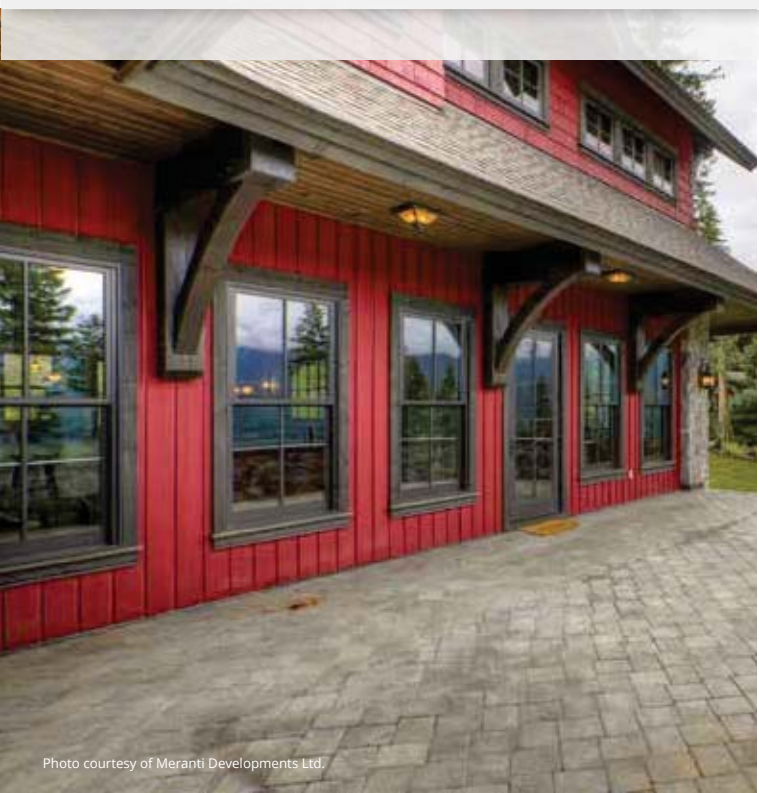




Double Hungs

Quality details adorn the classic design of Ultra Series double hungs. Both Traditional and Sterling double hung sash can be removed from the inside of the home for easy cleaning. Choose options such as divided lites or triple pane glass to enhance style or performance. Or, replace older windows with an easy to install, energy efficient pocket double hung.

*Sterling Double Hungs | XL Sterling Double Hungs | Majesta® Double Hungs | Traditional Double Hungs
Pocket Double Hungs | Cottage Style & Reverse Cottage Style Units | Studio & Transom Units | Picture Combination Units
Bay Units | Segment Head & Half-Circle Top Units | Single Units*



XL Sterling Double Hungs

The award-winning XL Sterling double hung expands the architecturally-correct design and high performance of a Sterling double hung. Quality components combined with thoughtful product design allow the XL Sterling double hung to be the perfect fit for any oversized commercial or residential opening.

Patents: 7,296,381 | 7,448,164 | 8,196,355 | 8,429,856



XL Sterling Double Hung Standard Features

- ▶ 1-3/4" thick sash
- ▶ Overall jamb width is 5" (*basic box width is 5"*)
- ▶ Frame thickness is 3/4" at side jambs and head
- ▶ Sill thickness is 1-3/16"; slope is 14°
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating (*meets performance requirements of AAMA 2605*)
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, insulating LoE²-270 glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Wood interior head parting stop
- ▶ Clay-colored heavy duty Signature sash lock with a dual positioning lever allows sash to be unlocked, operated and tilted in from one location
- ▶ Class 5 balances capable of carrying sash up to 200 lbs.
- ▶ Concealed PVC jambliners with kerf mount
- ▶ Patented wood wrapped jambliner closure on the interior (*unless interior is prefinished white or primed, then jambliner will be white*) and extruded aluminum jambliner closure on the exterior hides PVC jambliners
- ▶ Heavy vinyl nailing fins with head drip caps*

NOTE: All measurements are nominal.

* Standard only on units without brickmould.

Hardware

- ▶ Pick-resistant signature or spoon sash lock with a concealed locking system and tilt latches. Available in Clay, White, Beige, Brass, Antique Brass, Satin Nickel, Chrome[†], Dull Chrome[†], Antique Nickel, Rustic Umber, or Matte Black.
- ▶ Curved, square, or traditional style sash lift handles for ease of use. Available in Clay, White, Beige, Brass, Antique Brass, Satin Nickel, Chrome[†], Dull Chrome[†], Antique Nickel, Rustic Umber, or Matte Black.
- ▶ Custodial lock to prohibit unauthorized operation (*not pictured*).
- ▶ Universal design crank handle hardware kit offers ease-of-use for people with physical limitations. Available in White (*not pictured*).

† Chrome and Dull Chrome finishes are only available on Signature sash locks and curved sash lift handles.

Signature Sash Lock (*shown in Matte Black*)



Curved Sash Lift Handle (*shown in Clay*)



Square Style Sash Lift Handle (*shown in Matte Black*)



Spoon Sash Lock (*shown in Satin Nickel*)



Traditional Style Sash Lift Handle
(*shown in Antique Brass*)





XL Sterling Double Hung Options

Glass (pg. 192)

- ▶ LoE-180
- ▶ LoE³-340
- ▶ LoE³-366
- ▶ ThermaPlus LoE
- ▶ Neat®
- ▶ Triple pane
- ▶ Patterned-, bronze-, or gray-lite
- ▶ Tempered or laminated
- ▶ Other options standard to the industry

Divided Lites (pg. 193)

- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
- ▶ Grilles-in-the-airspace

Insect Screens

- ▶ Full or half insect screen with aluminum frame and options for BetterVue® or UltraVue® fiberglass mesh or aluminum mesh; frame will match the exterior color of the unit
- ▶ Retractable insect screen kit with beveled or square cover (pg. 196)

NOTE: All measurements are nominal.

Other Options (custom options are also available)

- ▶ Other wood species and FSC®-certified wood (pg. 190)
- ▶ Ovolo or square profile glazing beads and interior divided lite bars (pg. 193)
- ▶ Interior prefinishing (pg. 190)
- ▶ Prep for stool
- ▶ Extruded aluminum accessories applied to accessory grooves on the exterior frame (pg. 194)
- ▶ Extension jambs (up to 12" applied, over 12" shipped loose for field application)
- ▶ Segment head, cottage style segment head, half-circle top, and cottage style half-circle top units
- ▶ Sash limiters for safety
- ▶ Galvanized steel installation clips
- ▶ High performance or impact performance modifications



XL Sterling double hungs have the same full-wood appearance as Sterling double hungs; the jambs are concealed by wood jambliner covers.



A retractable screen kit (pg. 196) is available to help disguise the screen. Wood components match the species and finish of the interior wood.



Ultra Series



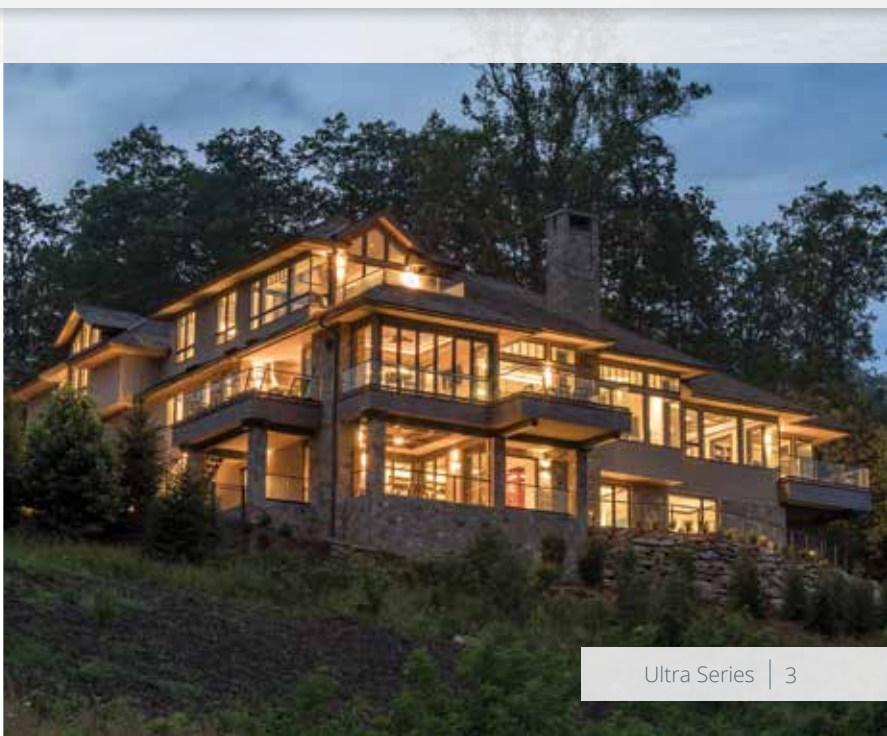


The Ultra Series

Kolbe's Ultra Series windows and doors can mimic the traditional style of wood windows and doors with a warm wood interior and intricate exterior trim details, or they can accommodate modern design needs. Choose from an extensive palette of exterior colors, interior wood species and finishes, divided lite profiles, and more.

The Ultra Series provides:

- Versatile styling, from traditional to modern architectural details
- Divided lite profiles & patterns; aesthetic & efficient glass choices
- Wood interior in familiar to exotic wood species
- Strong and durable extruded aluminum exterior
- A palette of 50+ exterior & 20 interior pre-finish choices







Casements

The design and performance of Ultra Series casements are the features that make these windows so popular. Most casements open from the side to a 90-degree angle, allowing for maximum ventilation. Multi-point locking levers offer a sleek, convenient way to tightly secure your windows from one locking location.

*Crank-Out Casements | Crank-Out XL Casements | Push-Out & Push-Out EP Casements | French Casements
Picture & Transom Units | Picture Combination Units | Bow & Bay Units | Segment Head & Half-Circle Top Units*



Crank-Out Casement

Kolbe's crank-out casements combine a simple cranking operation with many options for customization. By opening and closing easily and effectively, they provide excellent ventilation. Crank handles fold down when not in use to prevent interference with window treatments.



Crank-Out Casement Standard Features

- ▶ 1-3/4" thick sash
- ▶ Overall jamb width is 4-9/16" *(basic box width is 2-3/4" plus extensions)*
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating *(meets performance requirements of AAMA 2605)*
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Interior insect screen with Clay-colored aluminum frame and BetterVue® fiberglass mesh
- ▶ Clay-colored nesting handle and locking lever with multi-point locking system
- ▶ Corrosion resistant, dual-arm operators with concealed, adjustable hinges *(On "W" series and wider. Dyad operators with concealed, adjustable hinges on units narrower than "W"; single-arm operators with Tri-Euro hinges for added support on segment head, half-circle top and impact units)*
- ▶ Heavy vinyl nailing fins with head drip caps*
- ▶ Pine-veneered head and seat boards; unique, narrow mullions and cable support system on bow and bay units

NOTE: All measurements are nominal.

* Standard only on units without brickmould.

Hardware

- ▶ Nesting handle and locking lever† provide a sleek look and are unobtrusive. Available in Clay, White, Beige, Bright Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, Oil-Rubbed** or Matte Black.
- ▶ Metal Ashlar handle with multi-point locking lever. Available in White, Rustic Umber, Satin Nickel or Matte Black.
- ▶ Nesting handle with custodial lock prohibits unauthorized operation. Available in White, Beige, Rustic Umber or Matte Black.
- ▶ Universal design casement handle and lock are larger and offer ease-of-use for people with physical limitations. Available in White or Clay.

†Locking lever is not available on French casements.

**The Oil-Rubbed finish is a living finish, which means that it will change appearance over time with use.

Nesting Handle
(shown in Satin Nickel)



Ashlar Handle
(shown in Rustic Umber)



Locking Lever†
(shown in Antique Brass)



Nesting Handle with Custodial Lock
(shown in Matte Black)





Crank-Out Casement Options

Glass (pg. 200)

- ▶ Solar Gain Low-E
- ▶ Solar Advanced Control Low-E
- ▶ Solar Control Low-E
- ▶ ThermaPlus™ Low-E
- ▶ Neat®
- ▶ Patterned-, bronze-, or gray-lite
- ▶ Tempered or laminated
- ▶ Other options standard to the industry

Divided Lites (pg. 201)

- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
- ▶ Grilles-in-the-airspace

Insect Screens

- ▶ Insect screen with aluminum or UltraVue® fiberglass mesh; frame available in White, Beige, Dark Bronze anodized, Clear anodized, or Coal Black
- ▶ Retractable insect screen kit with beveled or square cover (pg. 204)
- ▶ Wood wrapped insect screen frame (not available on radius top units)
- ▶ Brass insect screen with Brass frame (not available on radius top units)

NOTE: All measurements are nominal.

Other Options (not all options are available on all casement types; custom options are also available)

- ▶ French crank-out casements
- ▶ Other wood species and FSC®-certified wood (pg. 198)
- ▶ Interior prefinishing (pg. 198)
- ▶ Interior casing
- ▶ Ovolo or square profile glazing beads and interior divided lite bars (pg. 201)
- ▶ Prep for stool
- ▶ Extruded aluminum accessories applied to accessory grooves on the exterior frame (pgs. 206-212)
- ▶ Motorized operator
- ▶ Single-arm operators with Euro hinges (meet emergency escape and rescue requirements on some "L" Series casements)
- ▶ Stainless steel exterior operator parts
- ▶ Ashlar handle in Satin Nickel, White, Rustic Umber or Matte Black
- ▶ Extension jambs (up to 12" applied, over 12" shipped loose for field application)
- ▶ Galvanized steel installation clips
- ▶ Factory-installed Window Opening Control Device (WOCD) (pg. 203)
- ▶ Bow and bay options: insulated platforms, support brackets, and oak-veneered head and seat boards
- ▶ High performance or impact performance modifications (pg. 205)

Universal Design Handle (shown in Clay)



Crank-Out XL Casement

Kolbe's crank-out XL casements fill massive openings for generous views and ventilation. A simple cranking operation opens and closes the window easily, despite the large size, with a choice of handle styles that fold down to avoid interference with curtains or drapes.



Crank-Out XL Casement Standard Features

- ▶ 2-1/4" thick sash
- ▶ Overall jamb width is 4-9/16" *(basic box width is 3-1/4" plus extensions)*
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating *(meets performance requirements of AAMA 2605)*
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Interior insect screen with Clay-colored aluminum frame and BetterVue® fiberglass mesh
- ▶ Clay-colored nesting handle and locking lever with multi-point locking system
- ▶ Corrosion resistant, dual-arm operators with concealed, adjustable hinges *(On "W" series and wider. Dyad operators with concealed, adjustable hinges on units narrower than "W"; single-arm operators with Tri-Euro hinges for added support on segment head, half-circle top and impact units)*
- ▶ Heavy vinyl nailing fins with head drip caps*

NOTE: All measurements are nominal.

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(shown in Satin Nickel)



Ashlar Handle
(shown in Rustic Umber)



Locking Lever†
(shown in Antique Brass)



Nesting Handle with Custodial Lock
(shown in Matte Black)





Crank-Out XL Casement Options

Glass (pg. 200)

- ▶ Solar Gain Low-E
- ▶ Solar Advanced Control Low-E
- ▶ Solar Control Low-E
- ▶ ThermaPlus™ Low-E
- ▶ Neat®
- ▶ Triple pane
- ▶ Patterned-, bronze-, or gray-lite
- ▶ Tempered or laminated
- ▶ Other options standard to the industry

Divided Lites (pg. 201)

- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
- ▶ Grilles-in-the-airpace

Insect Screens

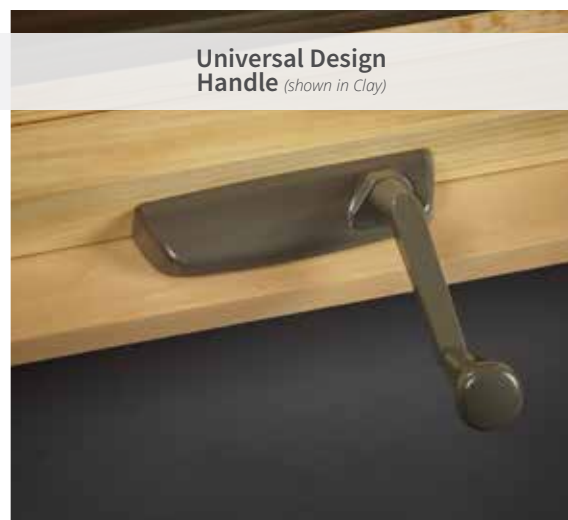
- ▶ Insect screen with aluminum or UltraVue® fiberglass mesh; frame available in White, Beige, Dark Bronze anodized, Clear anodized, or Coal Black
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Universal Design Handle (shown in Clay)



RESERVE WOOD COLLECTION LIMITED EDITION SERIES

"WOOD CARRIAGE HOUSE GARAGE DOOR"



TOP SECTIONS

WINDOW DESIGNS



SOLID



HARDWARE DESIGNS

HANDLES



RING DOOR KNOCKER



ESCUTCHEON PLATE(S)



TWISTED "L" HANDLES



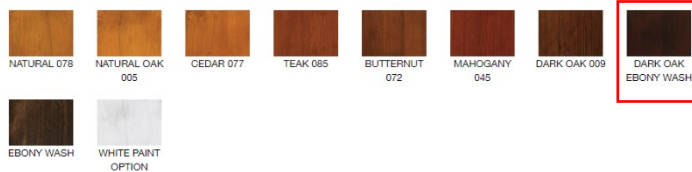
HINGES



PLATES

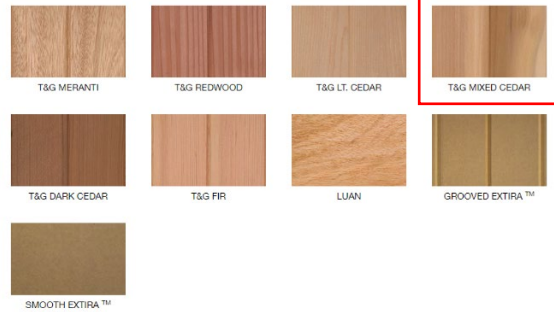


COLORS



WOOD OPTIONS

BASE FACE MATERIAL



OVERLAYS



HOME DECORATORS COLLECTION, "WALCOTT MANOR COLLECTION"

Home Decorators Collection

1-Light Black 18.75 in. Outdoor Wall Lantern Sconce with Seeded Glass



Specifications

Dimensions

Product Depth (in.)	10.625	Product Width (in.)	8 in
Product Height (in.)	18.75		

Details

Compatible Bulb Type	Incandescent	Number of Lights	1 Light
Exterior Lighting Product Type	Outdoor Lanterns	Outdoor Lighting Features	Weather Resistant
Fixture Color/Finish	Black	Power Type	Hardwired
Fixture Material	Aluminum	Product Size	Large
Glass/Lens Type	Seedy	Product Weight (lb.)	7.5lb
Included	Hardware Included	Recommended Light Bulb Shape Code	A19
Light Bulb Base Code	E26	Returnable	90-Day
Light Bulb Type Included	No Bulbs Included	Sconce Type	Wall Lantern
Maximum Bulb Wattage	100	Style	Farmhouse,Industrial,Rustic
Maximum Wattage (watts)	0	Voltage Type	Line Voltage

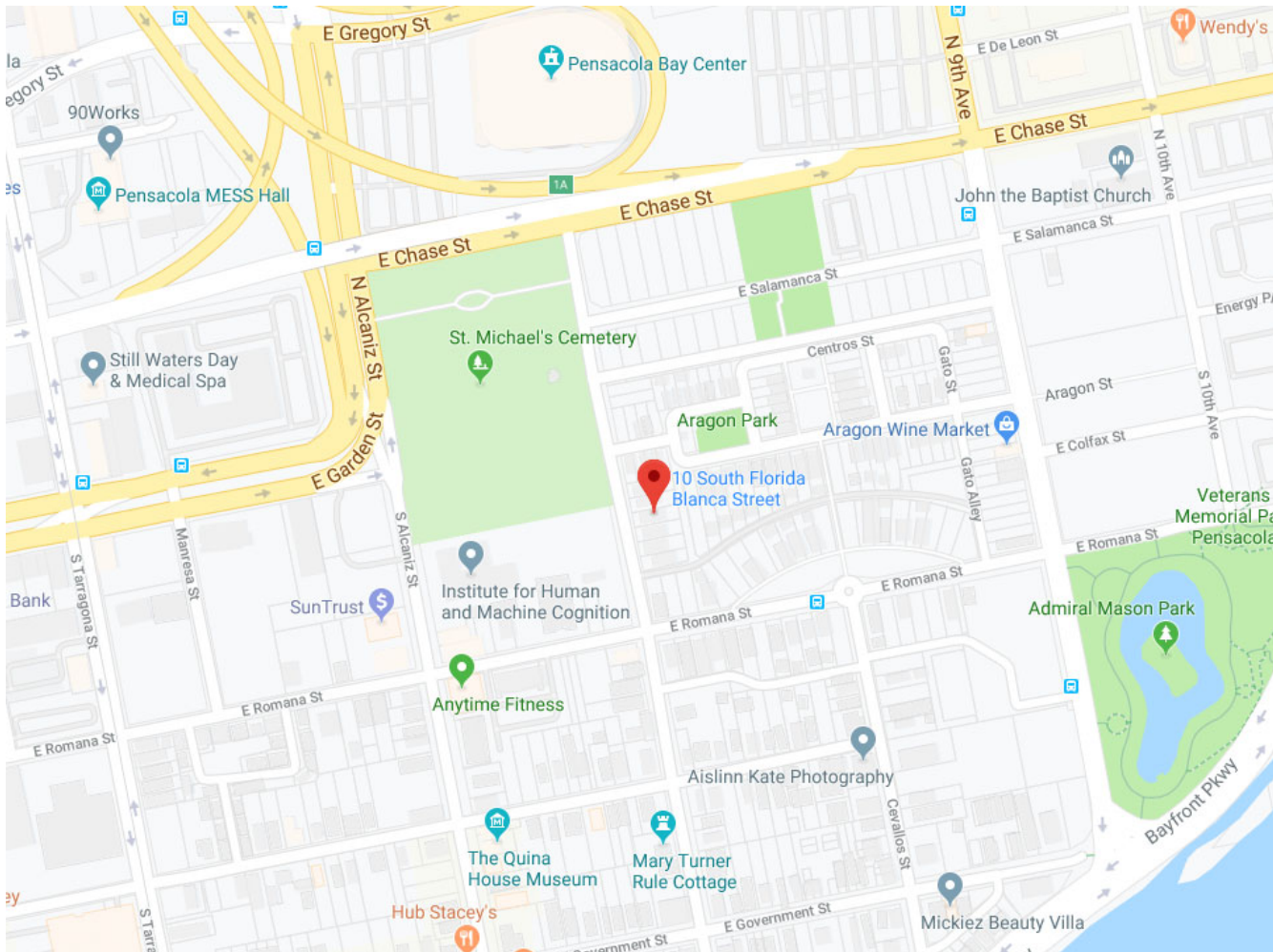
Warranty / Certifications

Certifications and Listings	1-UL Listed,CSA Listed,cUL Listed	Manufacturer Warranty	3-year limited warranty
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Lord Garage Loft

NEW TWO CAR GARAGE WITH LOFT ABOVE, COVERED CONNECTOR BETWEEN EXISTING HOUSE AND NEW GARAGE

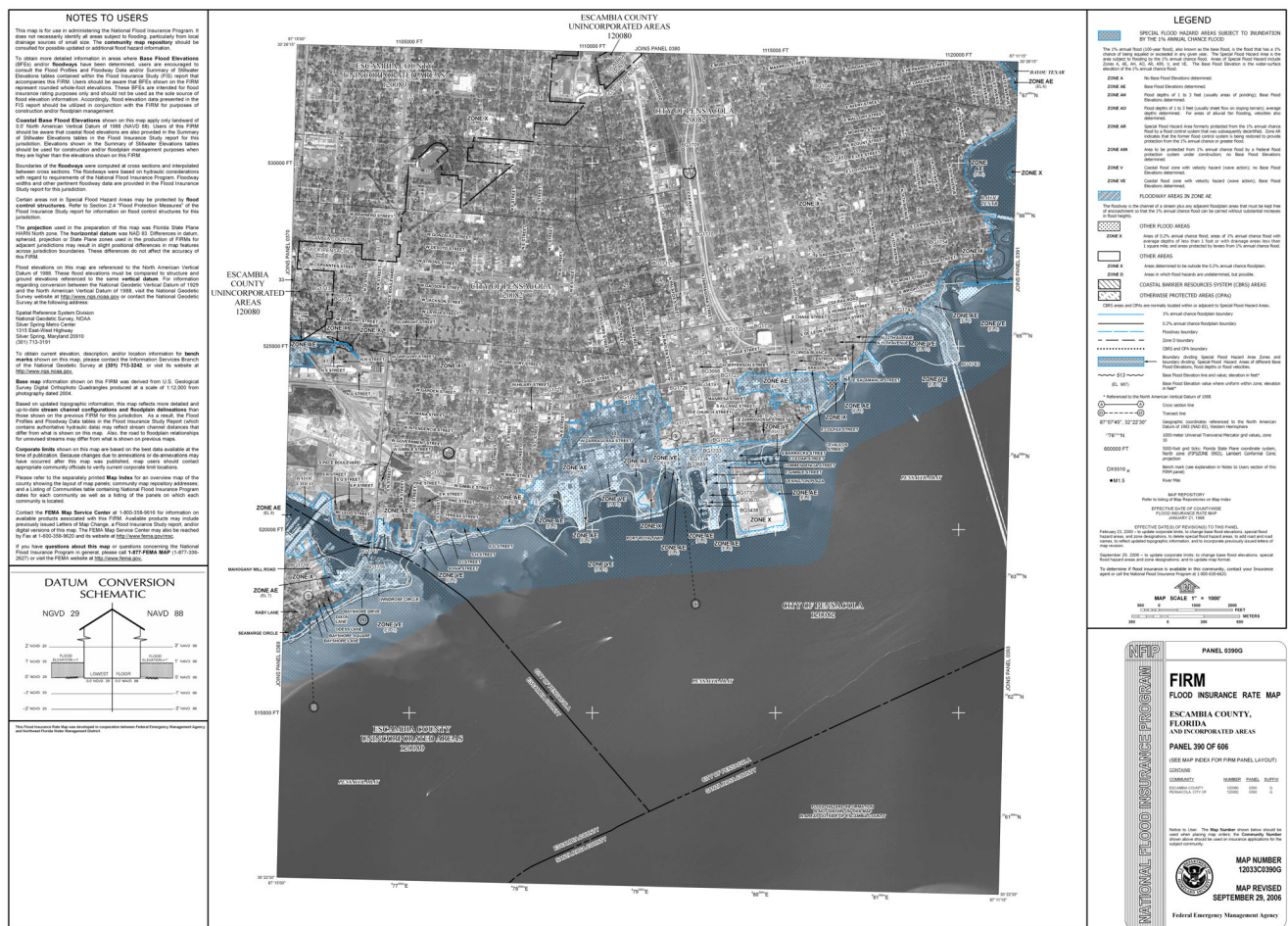
10 S. Florida Blanca St., Pensacola, Fl



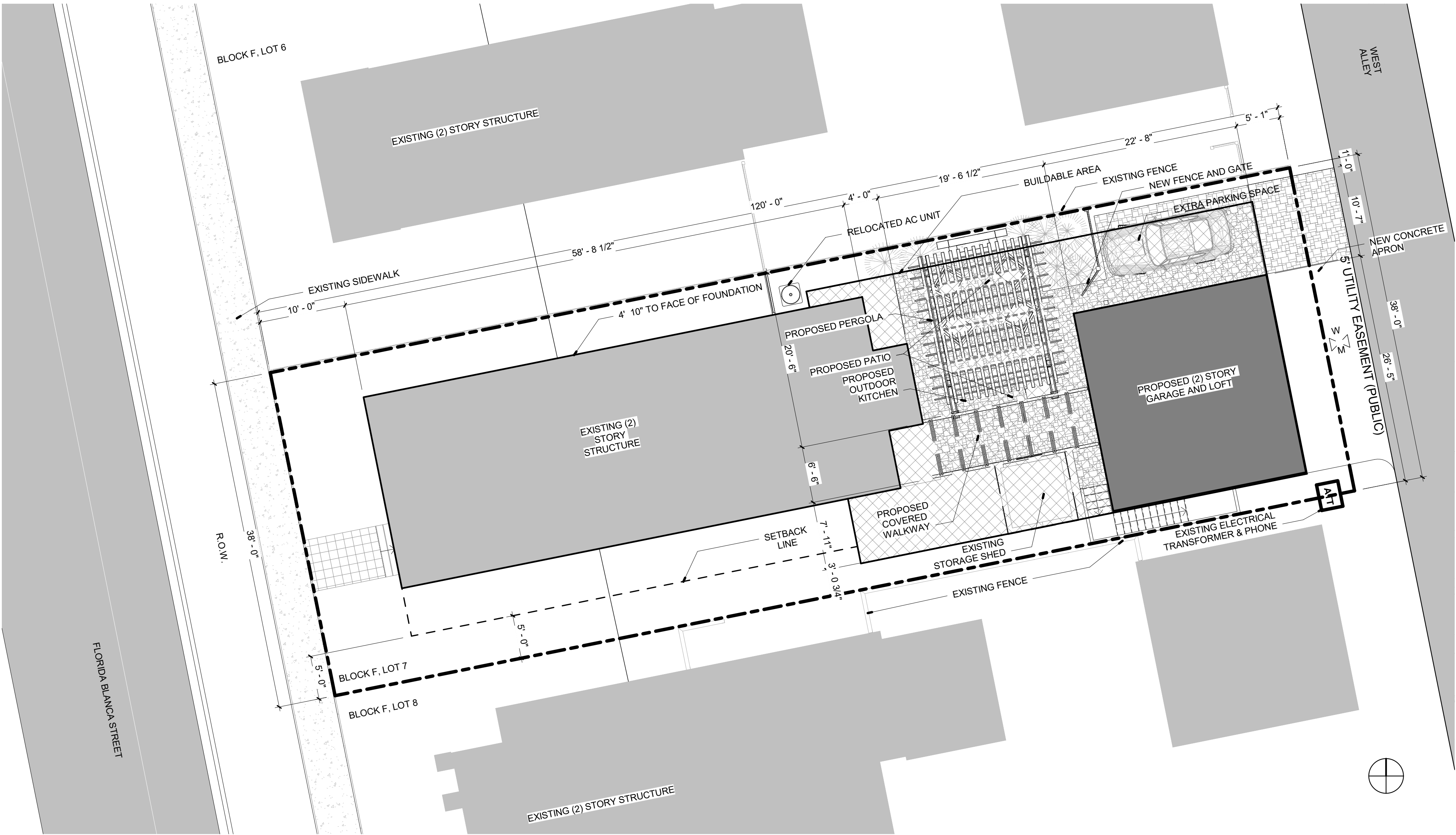
VICINITY MAP



PROJECT SITE



FEMA FLOOD MAP



1 AREA SITE PLAN
1/8" = 1'-0"

BUILDING DATA

APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED:

FLOOD ZONE: AE

PHYSICAL PROPERTIES:
FIRST FLOOR UNCONDITIONED: 515
SECOND FLOOR CONDITIONED: 487
TOTAL: 1,002 SF
BUILDING HEIGHT: 26'-3"
NO. OF STORIES: 2

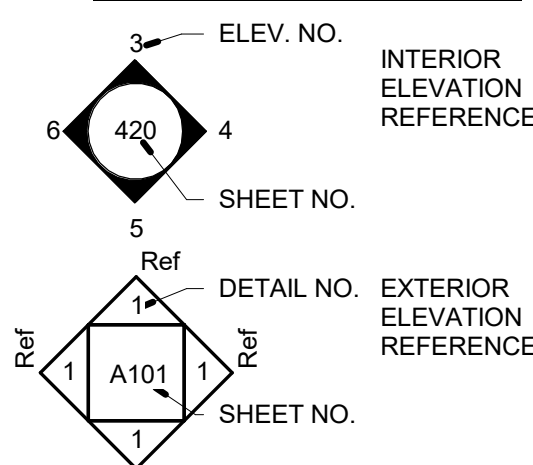
INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Civil		
C101	SITE PLAN	
Architectural		
A101	NEW WORK GARAGE AND LOFT PLANS	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

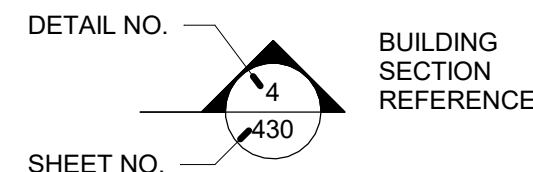
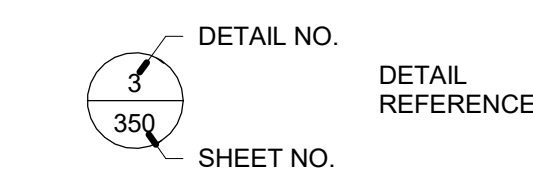
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R-301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

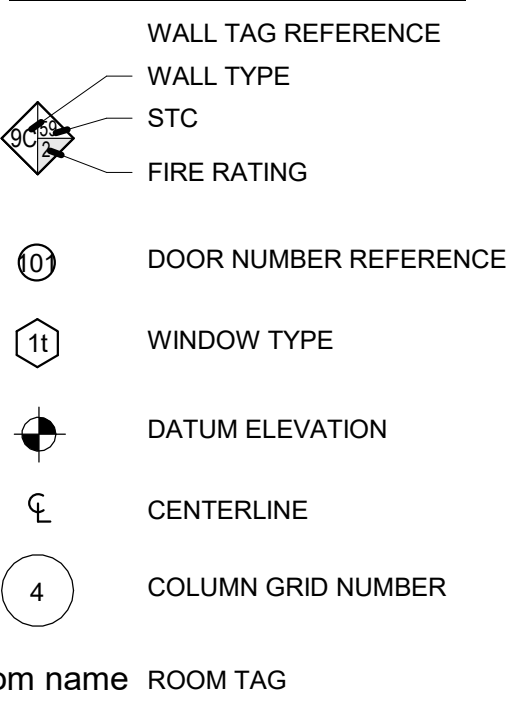
ELEVATION REFERENCES



DETAIL REFERENCES



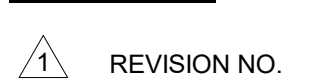
ANNOTATION REFERENCES



Room name ROOM TAG

CEILING HEIGHT - ABOVE FIN. FLOOR

REVISION NUMBER REFERENCE



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsol.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR
CONSTRUCTION

Lord Garage Loft

10 S. Florida Blanca St., Pensacola, Fl

DRAWN BY: LBW CHECKED BY: JSS

ISSUE DATE: 07/17/19

REVISIONS: No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO: 19018



DOCUMENT SHOWS ORIGINAL AND
PUBLISHED WORK OF THE ARCHITECT
MAY NOT BE DUPLICATED IN ANY
FORM WITHOUT WRITTEN CONSENT OF
THE FIRM'S PRINCIPALS

NOT FOR INSTRUCTION

Lord Garage Lott
10 S. Florida Blanca St., Pensacola, FL

IONS	
Des.	Date

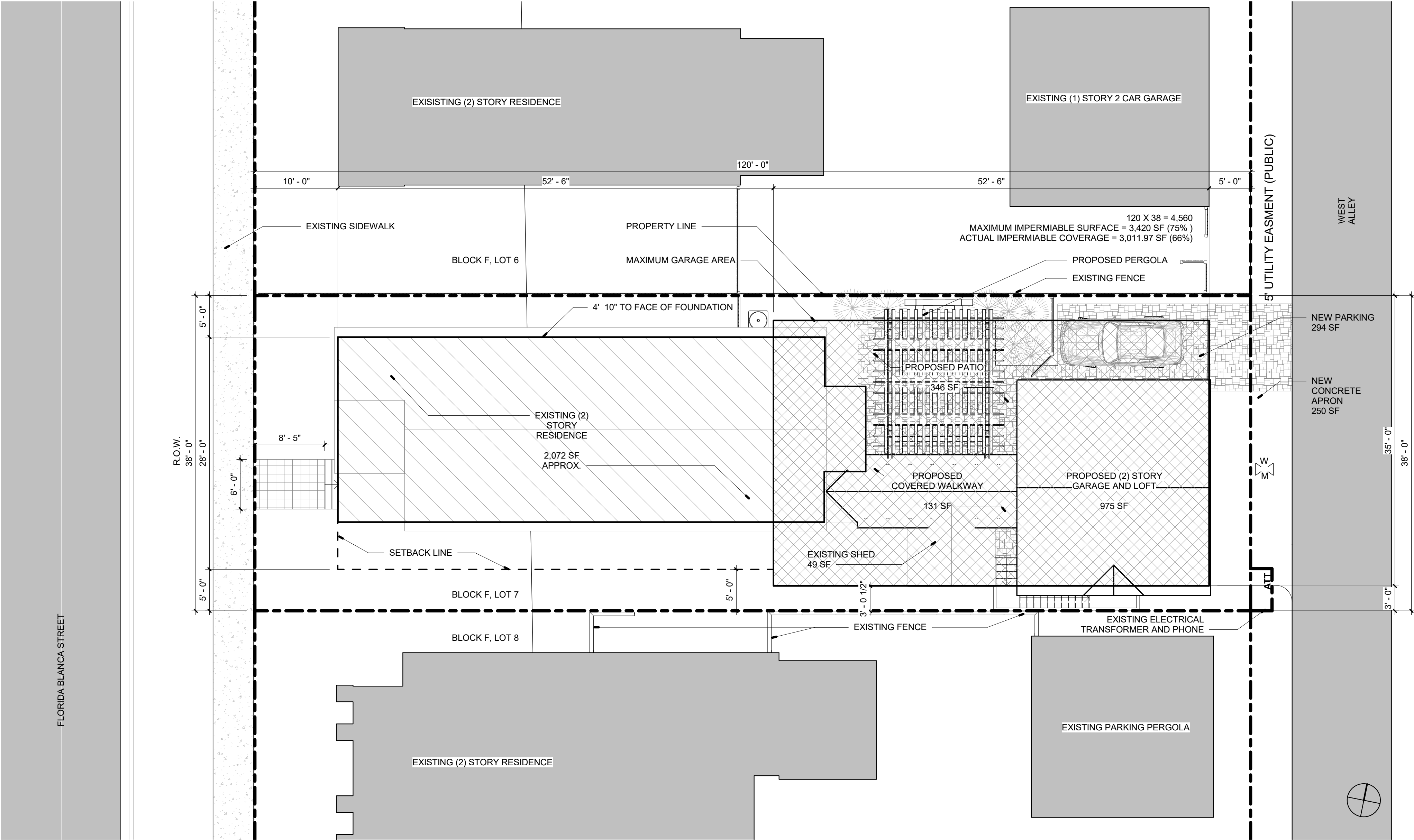
SITE PLAN

C101

JECT NO:
18

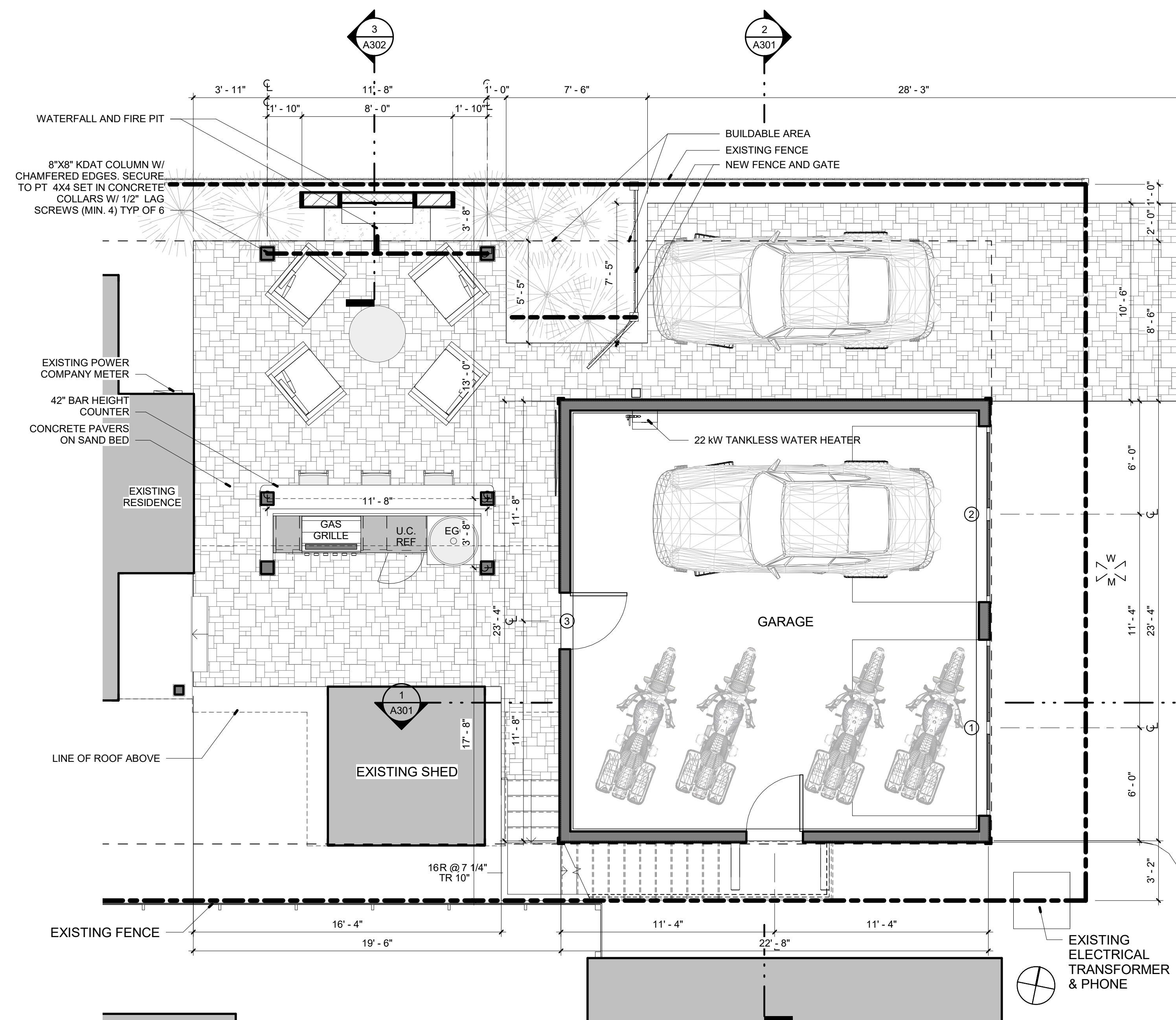
IMPERMEABLE AREA CALCULATION	
EXISTING RESIDENCE FOOTPRINT:	1,358.90 SF
EXISTING FRONT WALKWAY:	52.00 SF
EXISTING STORAGE SHED:	68.61 SF
PROPOSED GARAGE FOOTPRINT:	544.33 SF
PROPOSED PATIO, WALKWAY AND PARKING:	751.97 SF
PROPOSED APRON:	235.98 SF

120 (LOT LENGTH) X 38' (LOT WIDTH) =	4,560.00 SF
MAXIMUM IMPERMEABLE SURFACE =	3,420.00 SF (75%)
ACTUAL IMPERMEABLE SURFACE =	3,011.79 SF (67%)

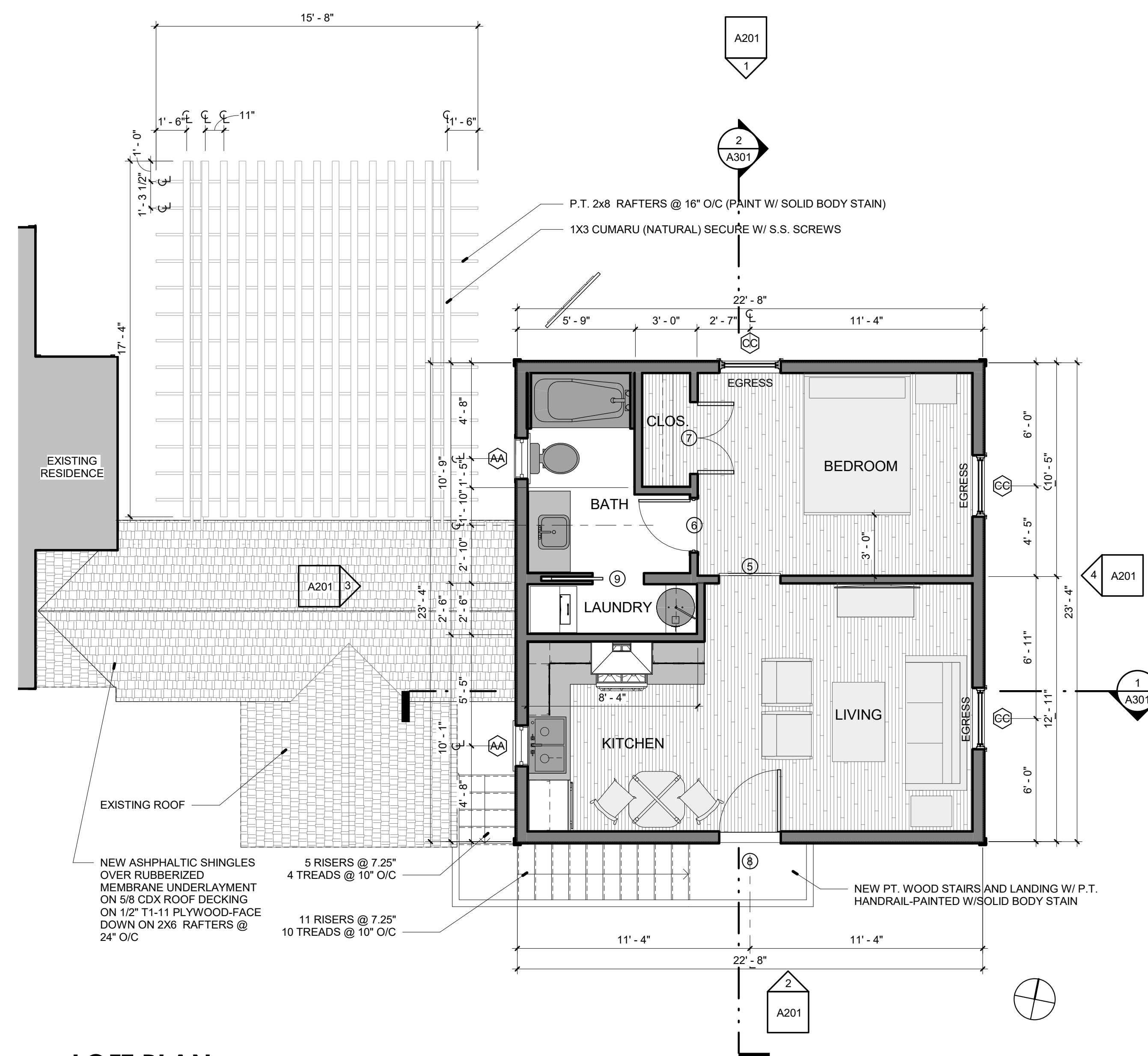


1 ARCHITECTURAL SITE PLAN

$$\overline{1/8'' = 1'-0''}$$



1 A-FP01 - GARAGE
1/4" = 1'-0"



2 LOFT PLAN
1/4" = 1'-0"

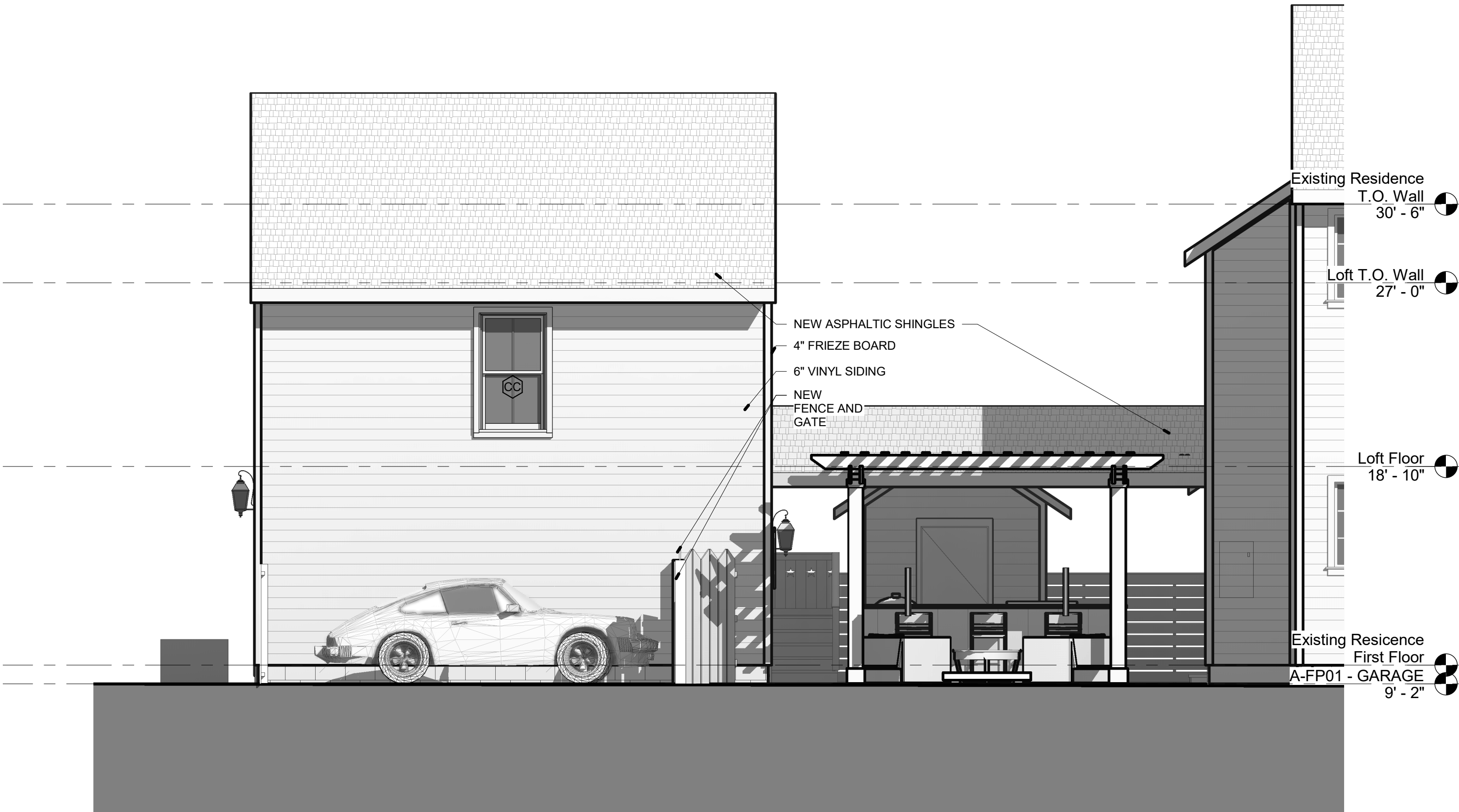
WINDOW SCHEDULE					
Type Mark	Width	Height	Head Height	Sill Height	Comments
AA	2' - 0"	4' - 0"	7' - 6"	3' - 6"	CASEMENT
CC	3' - 0"	5' - 4"	6' - 10"	1' - 6"	DOUBLE HUNG, EGRESS



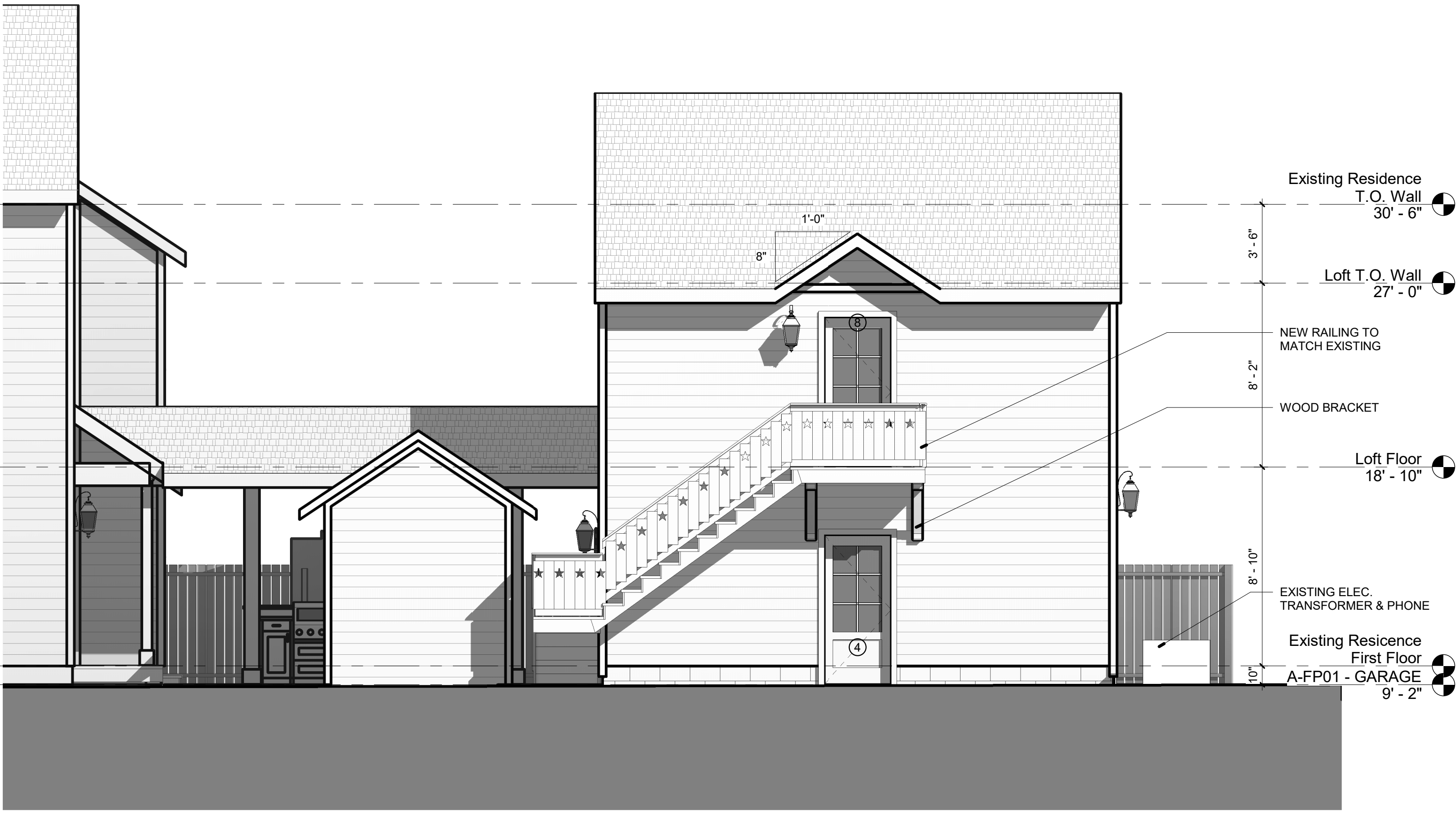
3 WEST ELEVATION
1/4" = 1'-0"



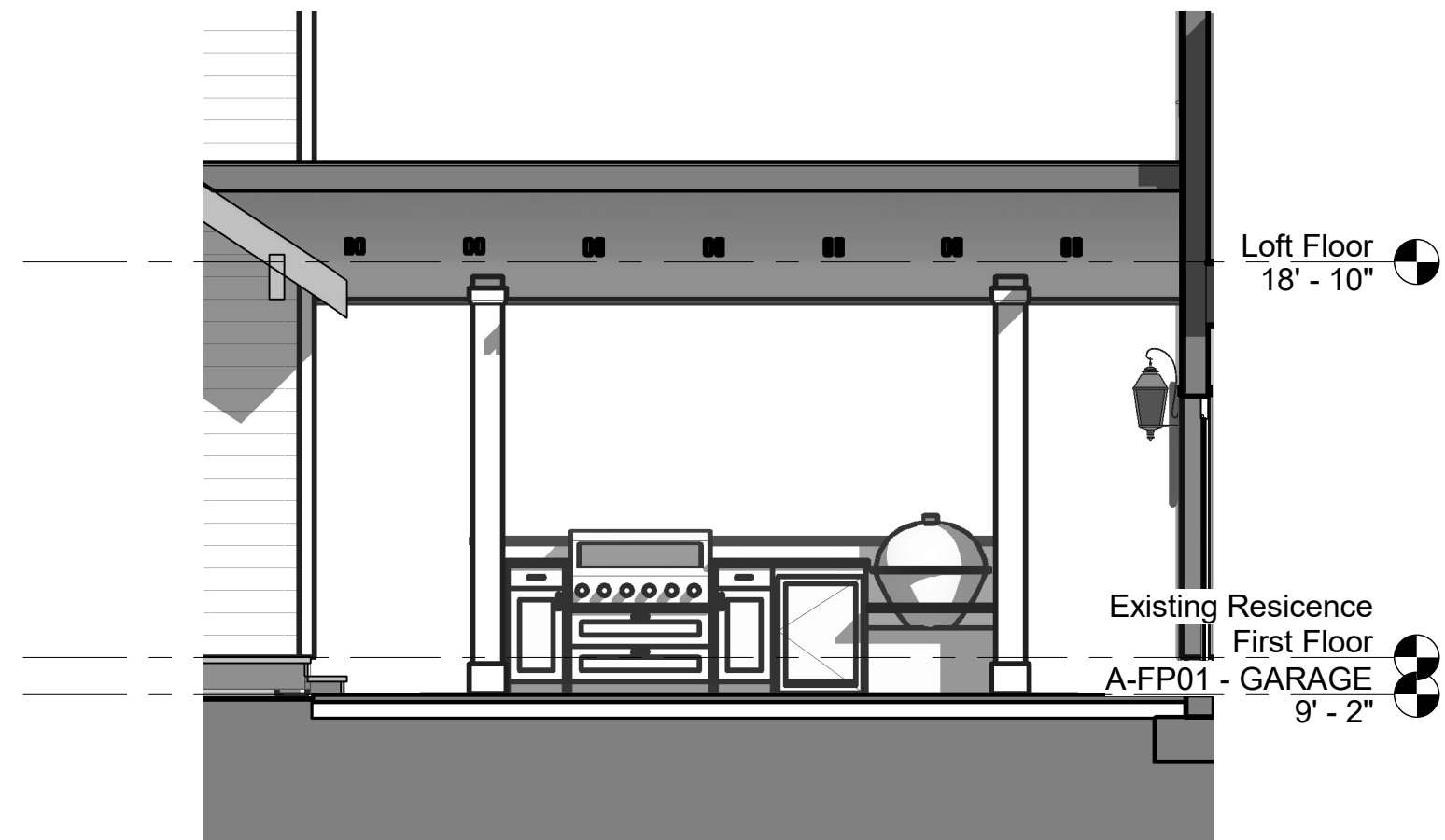
4 EAST ELEVATION
1/4" = 1'-0"



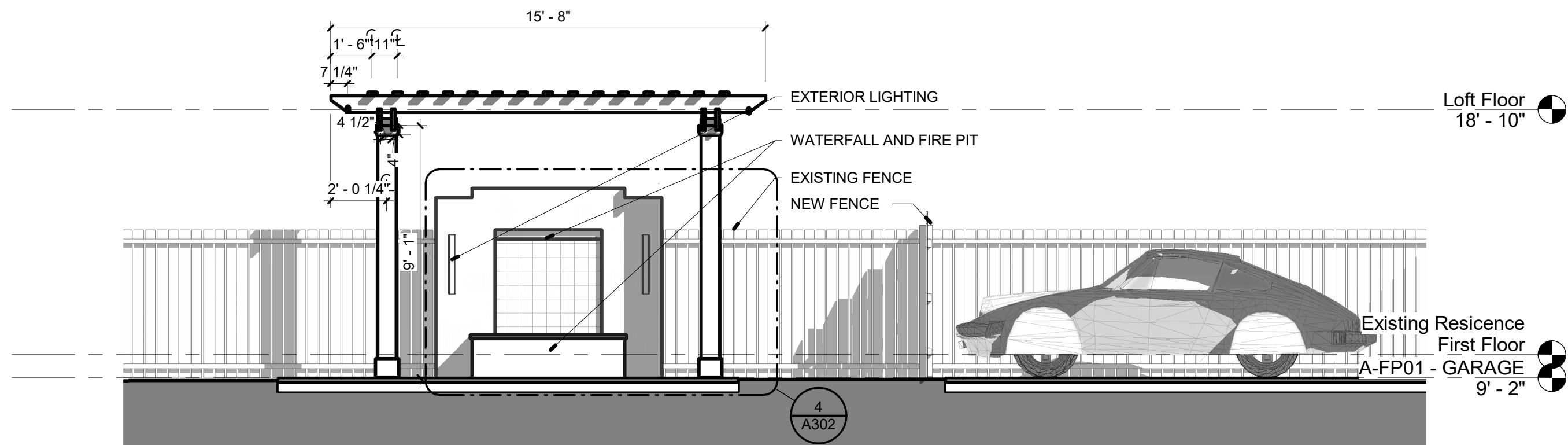
1 NORTH ELEVATION
1/4" = 1'-0"



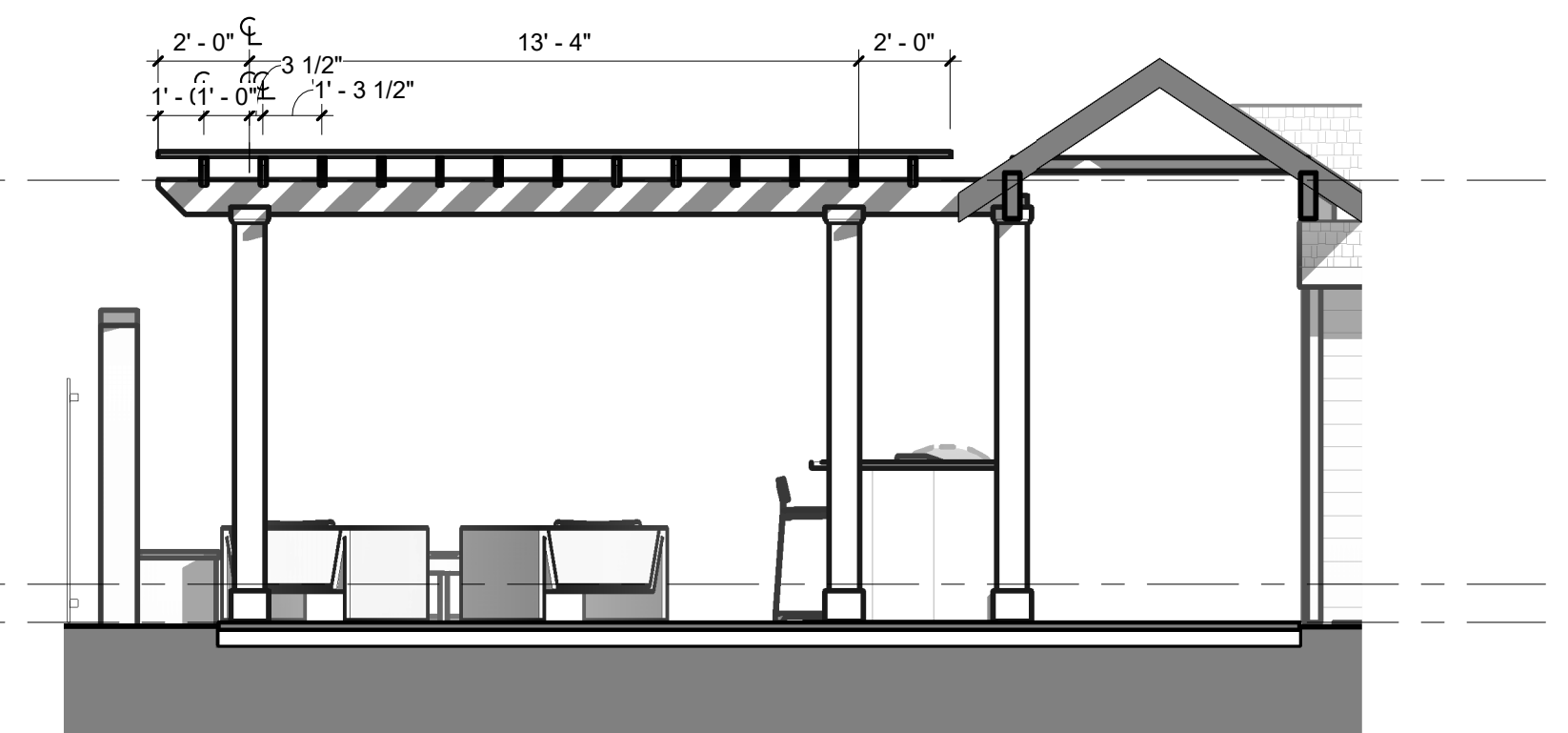
2 SOUTH ELEVATION
1/4" = 1'-0"



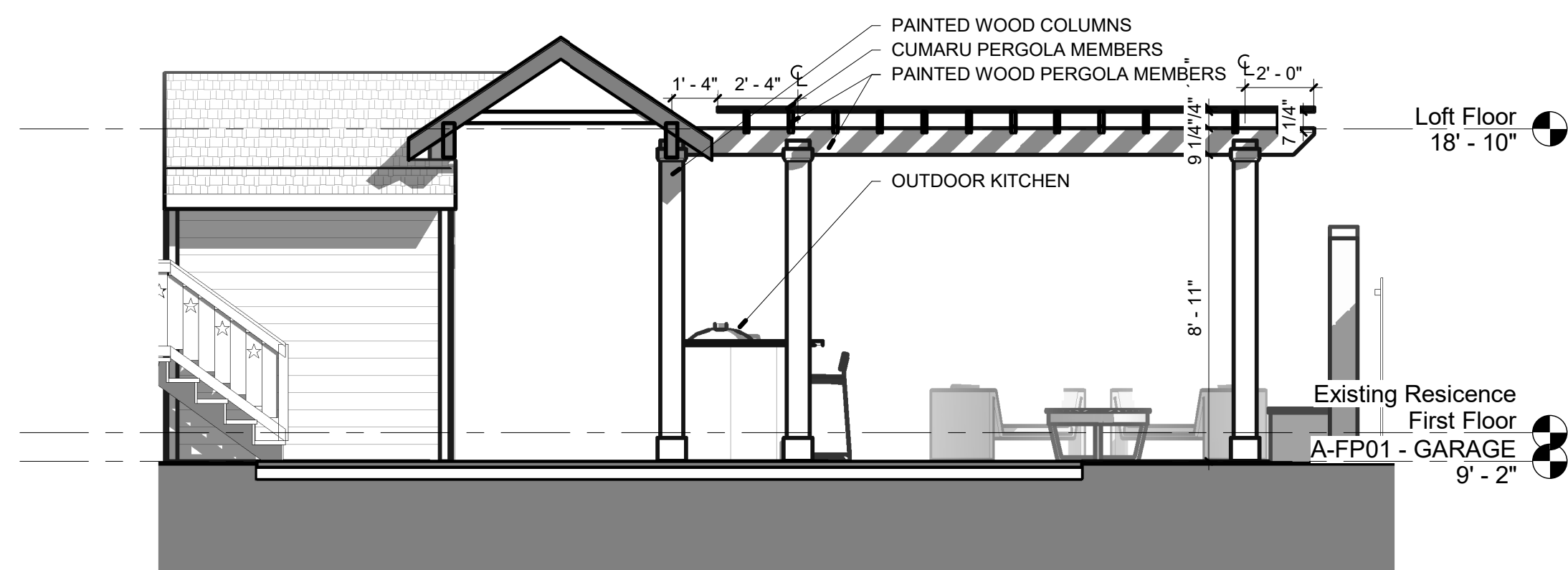
5 OUTDOOR KITCHEN
1/4" = 1'-0"



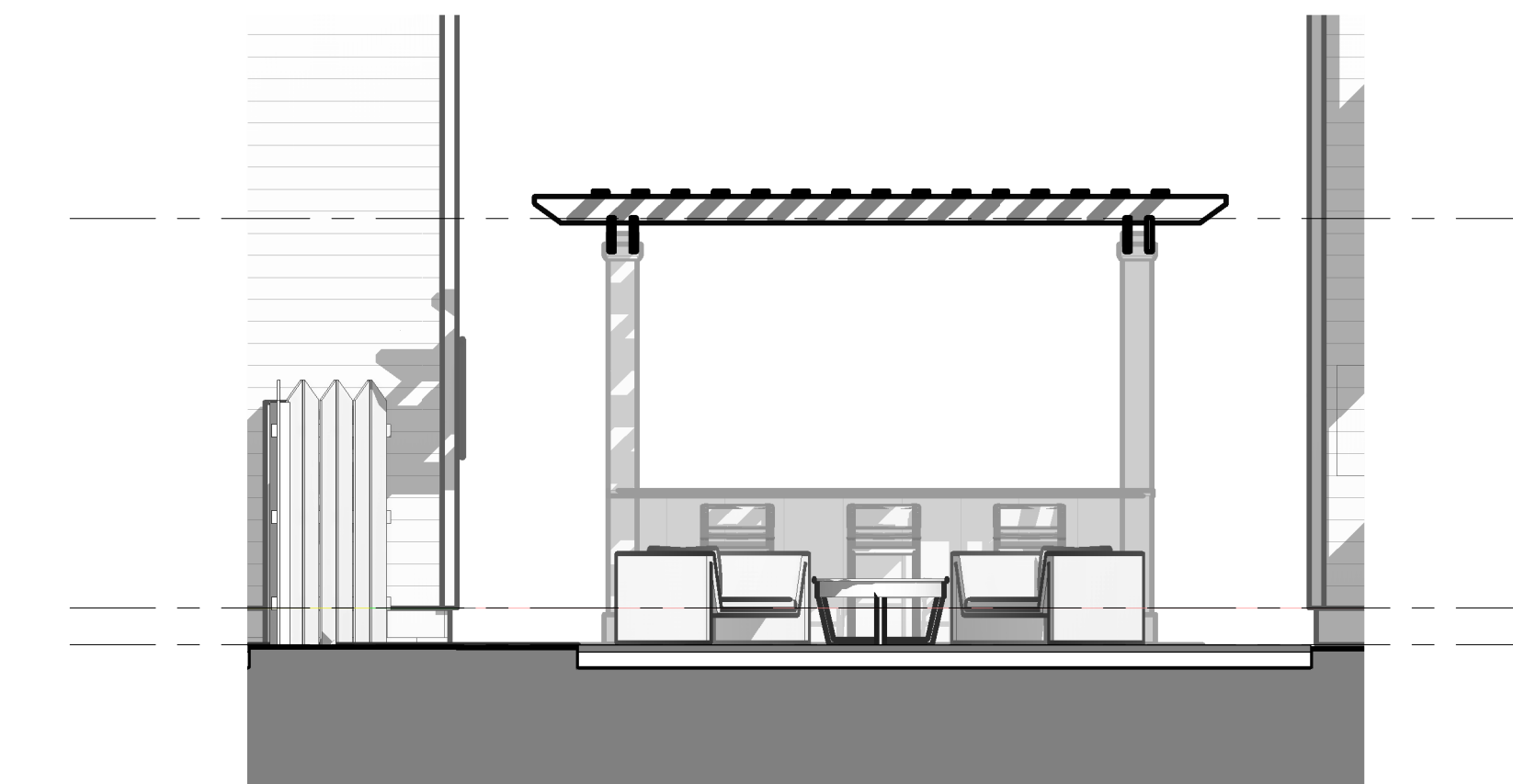
1 WATER FALL / FIRE PIT
1/4" = 1'-0"



2 WEST PERGOLA
1/4" = 1'-0"



4 EAST PERGOLA
1/4" = 1'-0"



3 NORTH PERGOLA
1/4" = 1'-0"

