



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, August 20, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Call to Order / Quorum

Approval of Minutes

1. [20-00448](#) JULY 16, 2020, ARCHITECTURAL REVIEW BOARD MINUTES

Attachments: [7-16-20 ARB Minutes](#)

Open Forum

New Business

2. [20-00441](#) ITEM 1 - 820 E. LA RUA STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
NEW ACCESSORY STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[December 2019 Plans for Reference](#)
[Application Packet](#)

3. [20-00442](#) ITEM 2 - 615 E. BELMONT STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHR-2
CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

4. [20-00443](#) ITEM 3 - 412 W. GONZALEZ STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA
CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [ARB Minutes from November 2019](#)
 [June 2020 Abbreviated Review](#)
 [Application Packet](#)
 [Added Item - Quote for Windows](#)
5. [20-00444](#) ITEM 4 - 407 E. INTENDENCIA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HR-1 / WOOD COTTAGES
NEW CONSTRUCTION
- Attachments: [Images](#)
 [August 2017 Approved Conceptual Packet](#)
 [ARB Minutes from August 2017](#)
 [407 E. Intendencia Street Application and Materials.pdf](#)
6. [20-00445](#) ITEM 5 - 33 W. GARDEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
DEMOLITION OF NON-CONTRIBUTING STRUCTURE
- Attachments: [Image](#)
 [ARB Minutes from September 2019](#)
 [Application Packet](#)
7. [20-00446](#) ITEM 6 - 33 W. GARDEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
NEW CONSTRUCTION
- Attachments: [Images](#)
 [Conceptual Plans from September 2019](#)
 [ARB Minutes from September 2019](#)
 [Application Packet](#)
8. [20-00447](#) ITEM 7 - 121 S. PALAFOX STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet](#)

Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00448

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

July 16, 2020, Architectural Review Board Minutes



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

July 16, 2020

MEMBERS PRESENT: Chairperson Quina

MEMBERS VIRTUAL: Vice Chairperson Crawford, Board Member Fogarty, Board Member Mead, Board Member Salter, Board Member Villegas

MEMBERS ABSENT: Board Member Campbell-Hatler

STAFF PRESENT: Historic Preservation Planner Harding, Board Advisor Pristera (virtual), Senior Planner Statler, Digital Media Coordinator Rose

OTHERS PRESENT VIRTUAL: Will Dunaway, Meredith Crawford, Danny Zimmern, Ed Carson, Ed Fabro, Morgan Spear, Ed Rankin, Carlos Godinez, Christy Cabassa, Bobby Switzer

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:02 p.m. with a quorum present and explained the procedures of the virtual Board meeting.

APPROVAL OF MINUTES

Board Member Salter made a motion to approve the revised May 21, 2020 minutes, seconded by Board Member Mead, and it carried unanimously. Board Member Salter made a motion to approve the June 18, 2020 minutes, seconded by Board Member Mead, and it carried unanimously.

OPEN FORUM - None

Historical Preservation Planner Harding indicated corrections to some of the staff memos noting where "recommendations" is used, it should read "background" and where "background" is used, it should read "recommended Code sections." He stressed staff does not make recommendations at this Board.

NEW BUSINESS

**Item 1
Contributing Structure
Action taken: Approved.**

1 – 4 W. De Soto Street

**NHPD
PR-1AAA**

Ms. Spear presented to the Board and confirmed the work would be on an existing non-contributing structure at the rear. The primary home was constructed in 1937 as a two-story duplex, and they wanted to move the entrance from the rear cottage house to the front facing DeSoto Street. Staff confirmed the usage of the structure was allowed. Board Member Salter asked about the siding materials and extent of the infill. Ms. Spear advised they intended to match the sides, and if there was damage, they would match with in-kind materials. She indicated that actually there was no garage, and they planned to resurface that structure with lap board. She explained they would match the siding wherever the doors and windows are not to match the rest of the siding.

Board Member Mead made a motion to approve, seconded by Board Member Crawford, and it carried unanimously.

Item 2

410 E. Belmont Street

OEHPD

Contributing Structure

OEHC-1

Action taken: Approved with abbreviated reviews.

Staff clarified the height of the porch from grade would be 33" and the complete height of the rails would be 33" and would be identical replacements.

Mr. Rankin presented to the Board. Chairperson Quina asked if Mr. Rankin had seen the comments from Old East Hill, and he had. The posts could be done in 4x4 if required, but he explained they would end up twisting. He also advised he could not put the porch roof back the way it was. Board Member Salter stated his comments addressed keeping as much of the trim work as possible and that the rails mimic the original design. Advisor Pristera explained it was hard to tell what was original, but 809 Belmont also had spindle work at the top which could be the closest thing original, and he would prefer that it be saved. Mr. Rankin agreed and presumed it had been a railroad kit house. Advisor Pristera advised the brackets were not original, and the spindle work would be more appropriate. Board Member Salter stated the structural details for the new foundation piers indicate 12" CMU piers, and in other parts of the package it refers to being wrapped in brick veneer. He pointed out based on the pier detail, the face of the block and perimeter align, and the brick would stick out beyond the edge of the porch. Mr. Rankin stated the brick would not terminate beyond the deck, and he would add trim. Board Member Crawford suggested if the brick was mortared to the outside, the beam could be relocated to the outside facing the brick. Board Member Salter asked if the ARB had authorized vinyl lattice, and staff advised they had.

Board Member Salter made a motion to approve with the following modifications: 1) the existing spindle trim at the top of the porch will be reused, 2) new porch railing will have detail similar to the existing with final design submitted for abbreviated review, 3) pier detail illustrating the brick veneer and its relationship to the porch submitted for abbreviated review. Board Member Crawford stated there was discussion that the owner was willing to frame the roof as a shed versus a hip to replicate the original. Mr. Rankin agreed. The amendment was accepted to include swallow-tail battens and a shed rather than a hip roof. Board Member Fogarty seconded the motion, and it carried unanimously.

Item 3
Contributing Structure
Action taken: Approved.

121 E. Government St

PHD / HC-2
Brick Structures

Mr. Godinez presented to the Board and stated utility work on the street broke a window (bracket). They intended to replace with wood clad to increase longevity. Board Member Mead asked when the upper windows were installed, and Mr. Godinez stated possibly in 1945. Chairperson Quina asked about the condition of the windows in order to consider repairing or replacing them. Mr. Godinez pointed out they had developed dry rot. Mr. Pristera advised that repairs were preferred, or replace them with the exact same window, but it was not really an issue since they were from 1945. (Board Member Villegas entered the meeting.)

Board Member Crawford made a motion to approve, seconded by Board Members Fogarty and Mead, and it carried unanimously.

Item 4
Contributing Structure

226 E. Government St

PHD / HC-1
Wood Cottages

Action taken: Conceptual Approval with comments.

Ms. Cabassa and Mr. Switzer presented to the Board. Ms. Cabassa stated the original structure was relocated to the current address in 1978, with the original foundation, chimneys and roof removed along with other changes. She advised that according to Mr. Pristera's comments, the contributing status should play a minor role in reviewing the plans for this property. She advised they added the pediments over the windows, the mullions back in the windows, 9' French doors on the front, replaced the front door and transom with a 9' door since those doors did not appear original. Two doors were added on the porch to the left side, and six shutters added on the west side. After reviewing the Code Section 12-2-10(A)(6)(d)(1), they added back the porch for the contributing portion which would not be detrimental to the house. Board Member Crawford noted the original porch was smaller, and Advisor Pristera stated it was more of a covered stoop. Board Member Salter thought the new design did take in the characteristics which were great about this building. He did point out the Board preferred salvaging as much of the existing materials as possible, specifically regarding the windows and doors; he preferred using those materials on the front façade as much as possible. Advisor Pristera indicated the windows under the porch were in better condition since they had been protected, but others showed signs of wear or significant damage. He would like to see original materials saved, but was unsure if they could be salvaged. Ms. Cabassa stated that would be a major undertaking. Chairperson Quina pointed out this was a conceptual and aesthetic review of the design at this point. Advisor Pristera indicated he had been working with the applicant to attain the desired results.

Board Member Villegas wanted to echo the concerns of Board Member Salter. She appreciated the changes that were made and thought they had respected the intention of the original builder, but in bringing in new products because it was too much of an undertaking to restore what is there, she felt the original façade of the front should be maintained as much as possible. Ms. Cabassa stated it would be a major undertaking to have the windows repaired and functional. Board Member Villegas stated even if it was a new product, it should replicate what it was replacing. Board Member Crawford agreed

they needed to consider the front and what could be repaired or replicated.

Board Member Crawford made a motion to approve conceptually as submitted with notes that the front door, shutters and three major openings including the four small gable openings, be looked at closely for restoration or replication with like materials. Board Member Mead seconded the motion, and it carried unanimously.

Item 5

200 BLK W. Garden

**C-2 & C-2A
PHBD / GCD**

New Construction

Action taken: Denied

200 West Garden, Inc. is requesting that the Board waive the requirement to submit final plans prior to receiving a demolition permit for the remaining building at 200 BLK W. Garden Street. Per Sec. 12-2-10(A)(9)(2)(c), paragraph 3, the Board may do so under extreme, unusual and/or compelling circumstances or public safety purposes. A timeline for this project is included. Although demolition of the school board building had been approved (December 2018), consideration to save and rehabilitate the building was presented at the June 2019 meeting. According to the applicants and based on current research, the building is not suitable for preservation and has structural issues creating a safety hazard. At this time, the applicants are only seeking approval to be issued a demolition permit. Conceptual plans and elevations are also included in this packet. Also, final plans for the development will be brought back to the Board for review and consideration.

Chairperson Quina advised that the Board had approved demolition in the past, but the applicants now want to perform demolition, but the final plans are not available which is required by Code. He asked the reason for this. Will Dunaway, Meredith Crawford, Danny Zimmern, Ed Carson and Ed Fabro presented to the Board. Mr. Dunaway stated during the timeline of December 2018, the Board had found circumstances to allow the demolition. The project then returned in June 2019 for review of concept which included preserving the building. He then presented a presentation of the timelines involving the project. He explained that environmental work per FDEP had been completed, and they had removed other buildings, preserving the accent wall. He then presented a video from Peter Bazeli of MRICS explaining the merits of the demolition at this time. Mr. Bazeli indicated the condition of the building did not warrant the amount of money to be spent to preserve it. There were no features to offset the expense, and there were incredibly deep floorplates. Also, the living space was too far from the window lines and not a great adaptive reuse. Saving the building would inhibit the density of the site, and it was not worthwhile to save a large footprint. The greater opportunity was for housing at various price points.

Mr. Dunaway stated they were working to put together a nationwide team to come up with the design. They were at the same point with taking down the other buildings, and they were trying to incorporate this building; they wanted to take the building down now to get a clean slate and obtain greater interest for any nationwide team to partner with.

Chairperson Quina explained the Board's concern was with the building being demolished and the site vacant for several years. Mr. Dunaway stated their concern was with a continually deteriorating building. Mr. Carson advised they had done extensive due diligence on this project and gone as far as possible in the last two years. They felt the building was not only a liability to them in its current condition but a liability to the community. Chairperson Quina asked if they did not plan to use the conceptual plan – why

did they need an exception. Mr. Carson stated they wanted to bring in a nationwide team who might want to tweak the conceptual plans. Board Member Salter brought up that permit-level plans were required for the demolition, and members of the development team acknowledged and accepted that criteria. Mr. Dunaway stated they brought back conceptual plans which the ARB granted. At that time they were trying to save the building. A year later, they determined they would not be able to incorporate that building into the design. He noted in Section 12-2-10(A)(9)(2)(c) the Board may waive the requirements for replacement plans under strange, unusual and compelling circumstances. The building will not be incorporated in the design and will be coming down. Board Member Salter advised that permit-level documents are required, and when it originally came before the Board, the group was seeking approval to demolish. It is the responsibility of the owner to make sure the building is not demolished due to neglect. Mr. Dunaway stated in June 2019, they asked for demolition permits for other structures, and the demolition was granted. They were now asking to tear down the school building. Board Member Salter stated he understood that the development would not be using that building, but the point of developing permit-level documents so construction can start is a very important aspect in saving these important structures which is why it is listed in the Code prior to a demolition permit being issued.

Board Member Mead agreed with Board Member Salter's comments and understood that circumstances change but thought it was premature for them to ask for demolition at this stage. He agreed it was the duty of the owner to keep the building in safe condition, and this building forms a significant component of the street façade.

Chairperson Quina reminded the Board that the previously approved demolition was approved without foundation-ready permit drawings for that site and based on the concept drawings presented. Board Member Mead explained when the approval was granted, he made it very clear that the Board would see plans for this building prior to demolition. Board Member Fogarty asked what was keeping them from getting plans together if the building remains. Mr. Carson stated the out-of-town folks were afraid of small-town politics, and it was much easier to get them on board with a clean slate. Board Member Fogarty stated it did not seem they would be met with the same pushback if they could produce permit-ready plans. Staff confirmed the demolition permit had not been issued. Board Member Crawford confirmed that if the demolition was allowed, the only thing required was the development of the drawings to the level which the Code requires which did not have to reflect keeping that building. Board Member Villegas pointed out the demolition approved was for a separate property owned by the same group. Chairperson Quina affirmed that demolition was granted for the old School Board building pending construction imminence.

Board Member Mead made a motion to deny on the grounds that the applicants have not shown strange and unusual circumstances or that there is a clear public safety issue that would warrant the Board's acceptance of the presentation or packet as an acceptable set of plans for the project (per Section 12-2-10(A)(9)(2)(c)), seconded by Board Member Villegas, and the motion to deny carried unanimously.

ADJOURNMENT – With no further business, the meeting adjourned at 3:44 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be 'G. Harding', written in a cursive style.

Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00441

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 1
820 E. La Rua Street
Old East Hill Preservation District / Zone OEHC-1
New Accessory Structure

BACKGROUND:

Jim Veal is requesting approval to construct a new accessory structure in place of a recently approved garage. The proposed change includes a redesign of the garage into a custom pavilion / carport to better accommodate property use, parking and storage needs. The original design was finalized and approved by the Board in December 2019. The current request decreases the initial project footprint and there has been no change to any previously approved materials.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(C)(7) *OEHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*

Page 1
X original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02128**
Recorder # _____

SITE NAME James H. Sullivan, House
HISTORIC CONTEXTS Depression-New Deal
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 820 East LaRua Street CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, N. side of E. LaRua St.
between N. 8th Ave. and N. 9th Ave.
SUBDIVISION New City Tract BLOCK NO 83 LOT NO 110
PLAT OR OTHER MAP county appraiser's atlas 68
TOWNSHIP 2S RANGE 30 SECTION 22 1/4 1/4-1/4
IRREGULAR SEC? x y n LAND GRANT _____
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1929 CIRCA C RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR irregular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 1 PORCHES 1 DORMERS 0
STRUCTURAL SYSTEM(S) balloon wood framing
EXTERIOR FABRIC(S) drop siding
FOUNDATION: TYPE pier MATLS brick
INFILL brick & wood
PORCHES s/porch/turned wood columns/4/N
ROOF: TYPE cross-gable SURFACING composition shingles
SECONDARY STRUCS. shed, porch
CHIMNEY: NO 2 MTLs Brick LOCNSW: offset, lateral-NE:offset, lat
WINDOWS DHS, 4/1 wood; DHS, 6/6 wood; DHS, 2/2 wood; fixed, 1; transom, 1
EXTERIOR ORNAMENT wood jigsaw cut corner pieces on porch columns, jigsaw cut decora
CONDITION fair SURROUNDINGS residential tive pickets, decora-
NARRATIVE (general, interior, landscape, context; 3 lines only) tive cornice

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y X N (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

AREAS OF SIGNIFICANCE local community development
social history

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

```

* * *DHR USE ONLY* * * * * * * * * * * * * * *DHR USE ONLY *
*
*
*          DATE LISTED ON NR _____
* KEEPER DETERMINATION OF ELIG.(DATE):  -YES _____ -NO _____
* SHPO EVALUATION OF ELIGIBILITY(DATE):  -YES _____ -NO _____
* LOCAL DETERMINATION OF ELIG.(DATE):    -YES _____ -NO _____
* OFFICE _____
*
*
* * *DHR USE ONLY* * * * * * * * * * * * * * *DHR USE ONLY *

```

RECORDER INFORMATION: NAME F Richard M T L Brosnahan
DATE: MO 5 YR 90 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)

LOCATION OF NEGATIVES Historic Pensacola Preservation Board

NEGATIVE NUMBERS 91N119WEH (Frames 15-16)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.

I
I M A P
I Street/plat map, not
I USGS

[illegible]

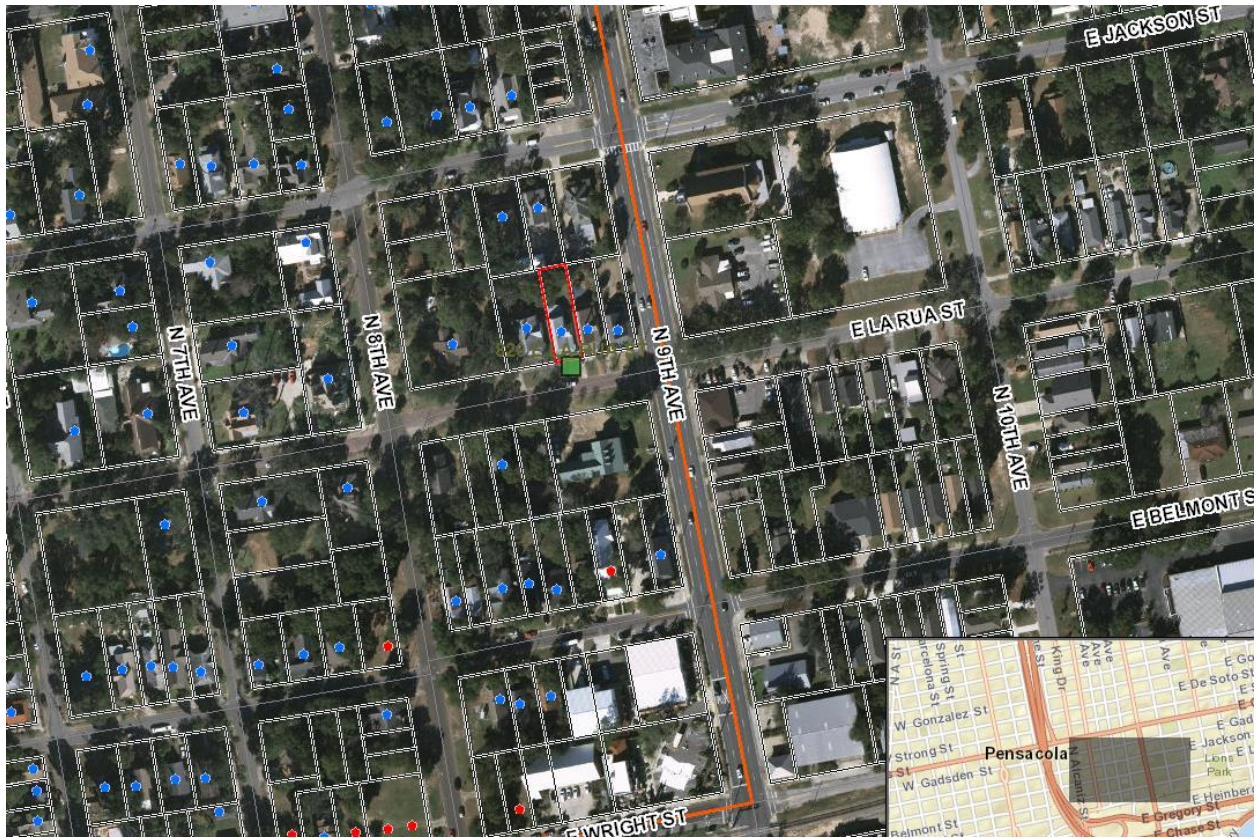
AKUA

7th Ave

REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



820 E. LaRua Street



DATE:
11-07-19
11-08-19



SITE AREA	5,501 s.f.
50%	2,750
EXISTING PRINCIPLE STRUCTURE	1,768
PROPOSED ADDITION	485
PROPOSED GARAGE & STOR	356
FR STEPS	50
MSTR STOP	54
KITCHEN BAY	22
TOTAL	2,735

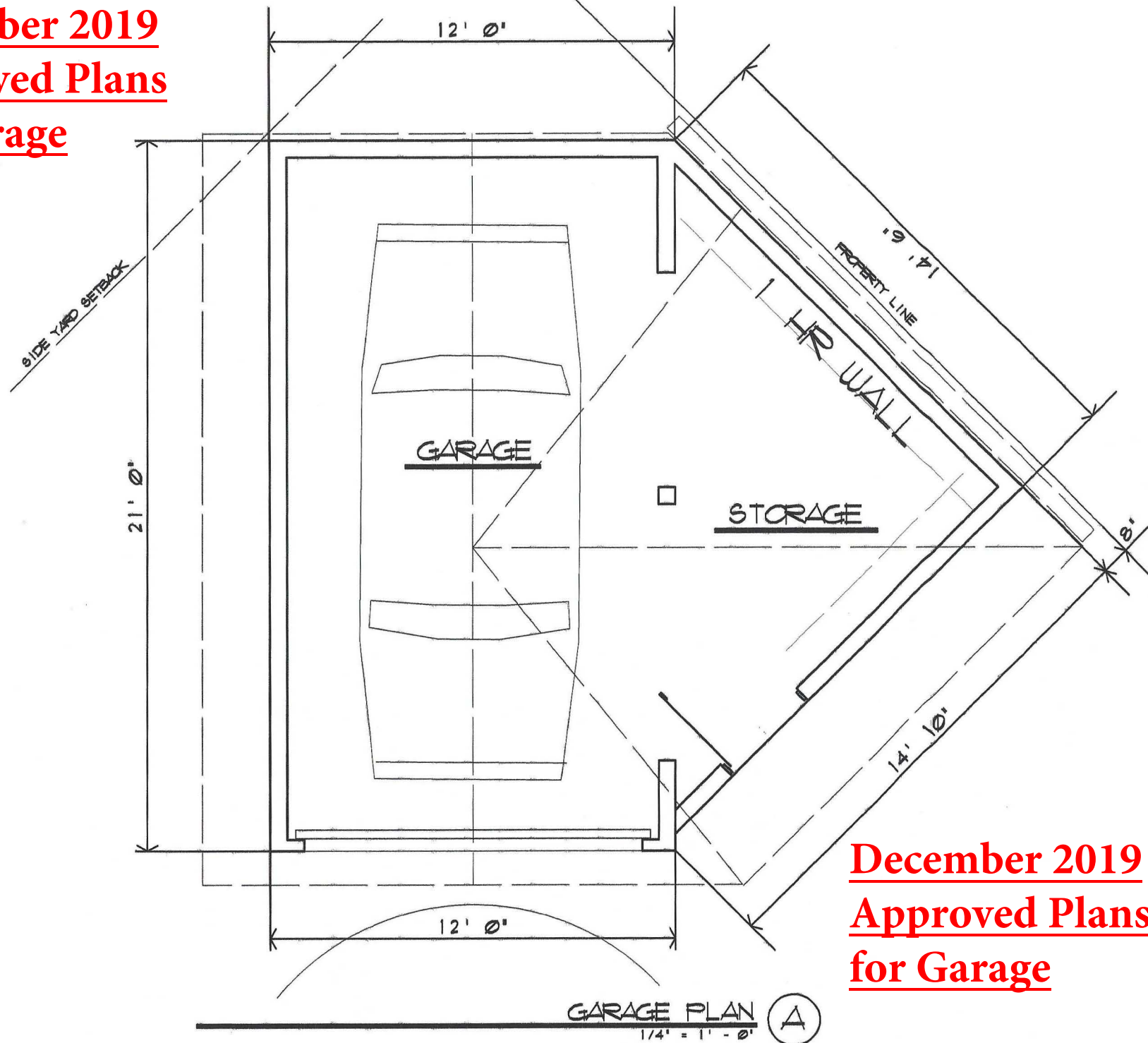
G-0 SITE PLAN
G-1 GARAGE PLAN
G-2 SECTION
G-3 SOUTH ELEVATION
G-4 EAST ELEVATION
G-5 WEST ELEVATION

A PROPOSED NEW HOME FOR
ALTERN HO
820 E. LA RUA STREET

REVISED

DRAWN BY:
Q-G
OF

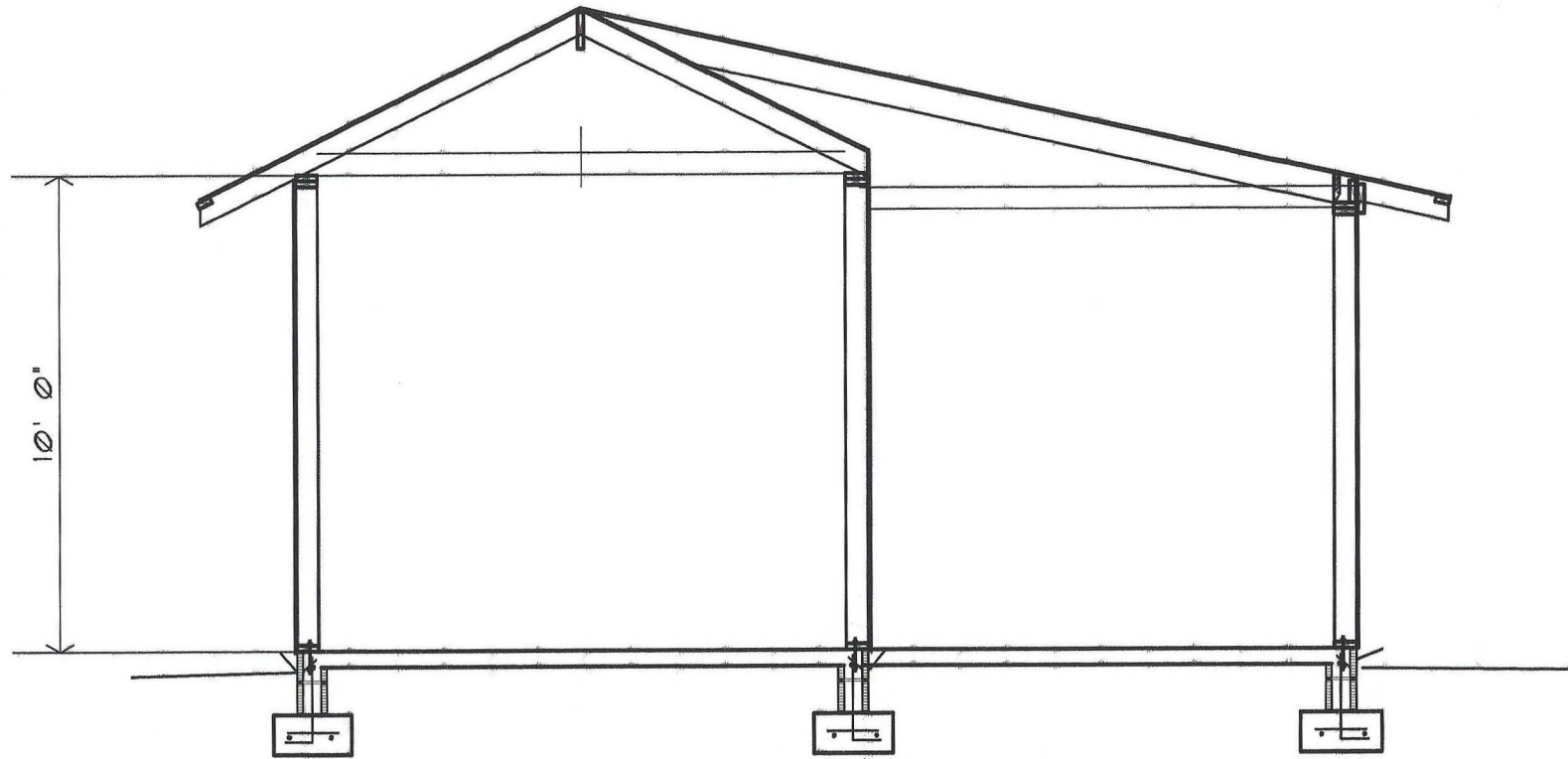
December 2019
Approved Plans
for Garage



December 2019
Approved Plans
for Garage

DATE 12-1-19
J. VEAL ARCHITECT 627 BAYSHORE DR. PENSACOLA, FL 32507 1-850-450-3295 @jvealarchitect.com
A PROPOSED NEW HOME FOR AHERN HOUSE 220 E. LA RUA STREET
REVISED 2019.12.01
DRAWN BY: G-1

December 2019 Approved Plans for Garage



SECTION
1/4" = 1' - 0"

(B)

DATE
11-28-19

XX J. V. VEAL
ARCHITECT
627 BAYSHORE DR. PENSACOLA, FL 32507
1-850-450-3299 @jvealarchitect.com

A PROPOSED NEW HOME FOR

AHERN HOUSE
220 E. LA RUA STREET

REVISED
©2019 J. V. VEAL ARCHITECT

DRAWN BY:

G-2

December 2019 Approved Plans for Garage



SOUTH ELEVATION

1/4" = 1' - 0"

(C)

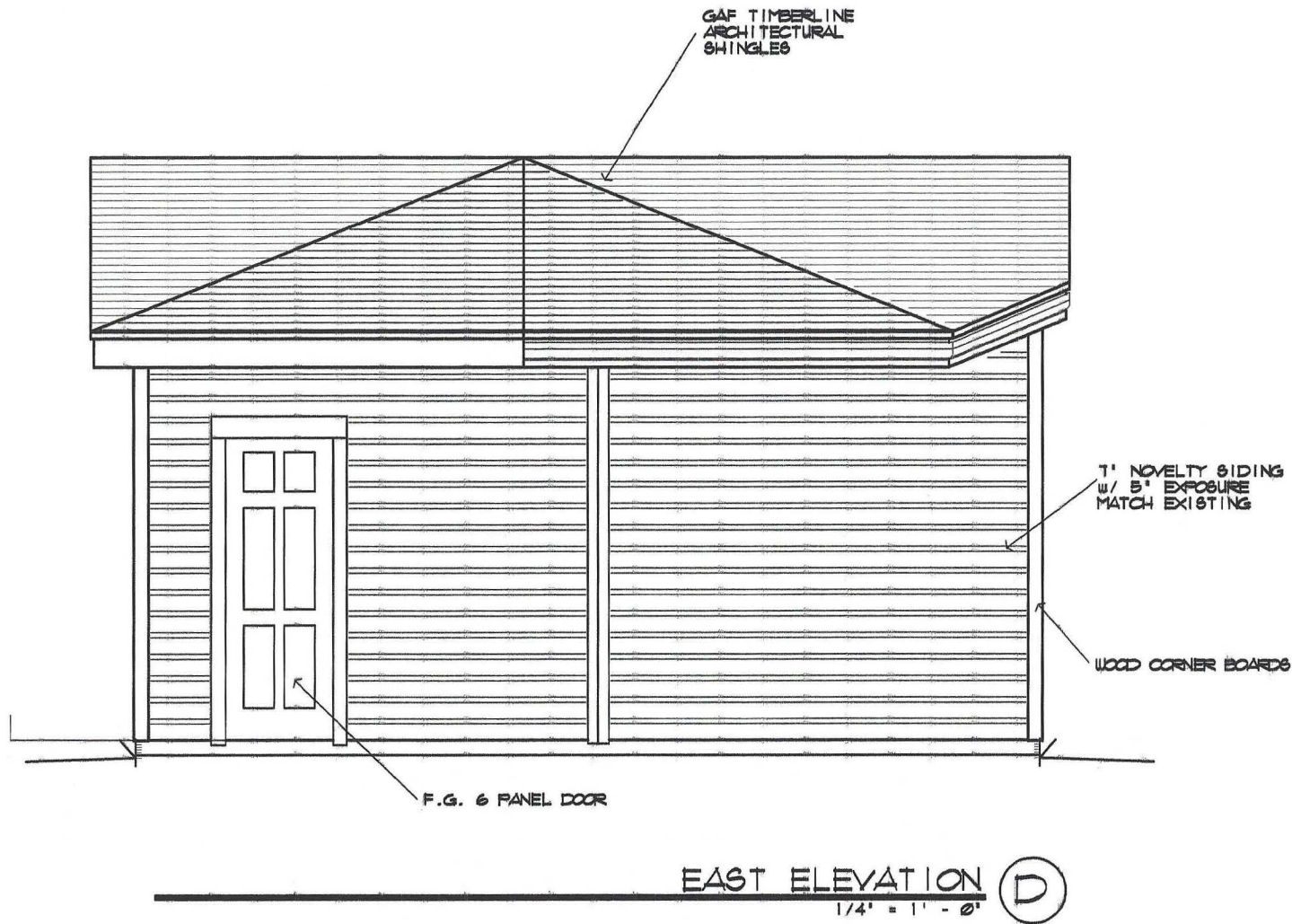
DATE
11-01-19

J. VEAL
ARCHITECT
627 BAYSHORE DR. FENACOLA, FL 32507
1-850-450-3259 @jvealarchitect.com

A PROPOSED NEW HOME FOR
AHERN HOUSE
820 E. LA RUA STREET

REVISED
J. VEAL

DRAWN BY:
G-3
OF



December 2019 Approved Plans for Garage

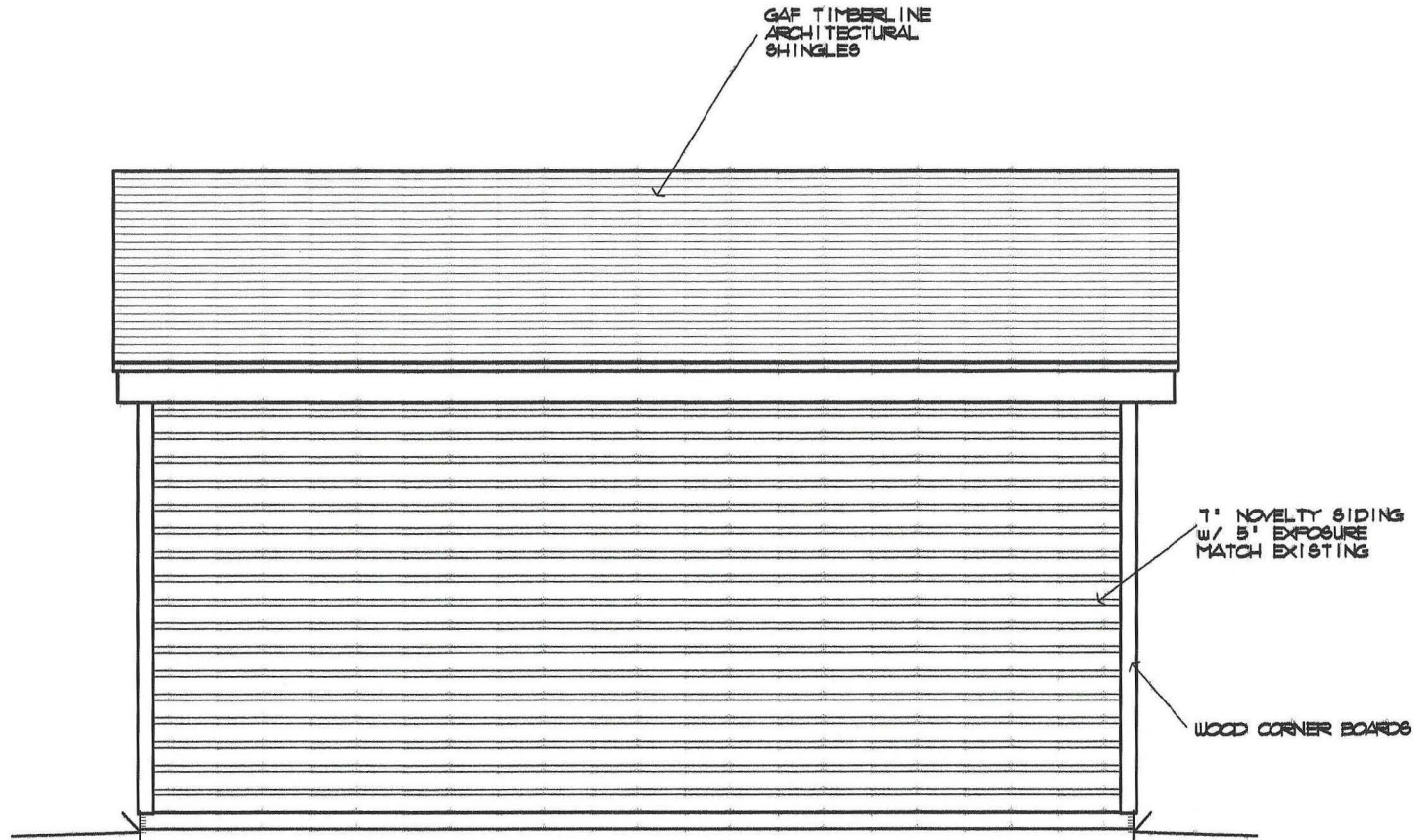
DATE
11-01-19

J. VEAL
ARCHITECT
627 BAYHORE DR. FENSACOLA, FL 32507
1-850-450-3295 @jvealarchitect.com

A PROPOSED NEW HOME for
AHERN HOUSE
220 E. LA RUA STREET

REVISED
0208 JVEAL

DRAWN BY:
G-4



WEST ELEVATION

1/4" = 1' - 0"



December 2019 Approved Plans for Garage

DATE
11-07-19

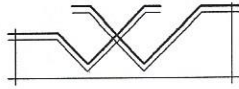
J. VEAL
ARCHITECT
627 BAYSHORE DR. FENIA CO. FL 32507
1-850-450-3295 • jvealarchitect.com

A PROPOSED NEW HOME for
HERN HOUSE
820 E. LA RUA STREET

DRAWN BY:

G-5

50



J. Veal, Architect

July 28, 2020

Members of the Architectural Review Board
City of Pensacola

Re: Ahern – Final Approval – Pavilion (Covered Car Park) 820 East La Rua Street

Members of the Board;

Attached is the revised request for Final Approval for the detached Pavilion (Car Park) in the Rear of 820 East La Rua Street submitted by Danny and Alicia Ahern, including the following

01. Application
02. Architectural Site Plan, showing proposed footprint of Pavilion (Car Park)
03. Floor Plan
04. South Elevation
05. North Elevation
06. East & West Elevation
07. BirdsEye
08. View from South
09. View from South West
10. Various Views
11. Various Views
12. Pavilion (Car Park) Elevations
13. Product, Material & Color Selections

Respectfully;

J. Veal, Architect

Architectural Review Board Application
Full Board Review

City of
Pensacola
America's First Settlement
And Most Historic City



Application Date: 7/30/20

Project Address:

820 E. La Rua

Applicant:

J. Veal, Architect

Applicant's Address:

627 Bayshore Dr

Email:

jvealarchitect.com

Phone: 850 450 3295

Property Owner:

Danny Shern

(If different from Applicant)

District:

PHD

NHPD

OEHPD

PHBD

GCD

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

Construct New Pavilion (CAR PARK), as
shown. Covered but open on 3 sides
car port with 5x9 Attached Storage.
(4) - Painted Wood Columns w/ Painted wood
novelty siding on walls to match existing
house + addition. North wall is 1 hour rated
construction w/ Lap Hardie plank on North
side.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]
Applicant Signature

7/30/20
Date

Planning Services

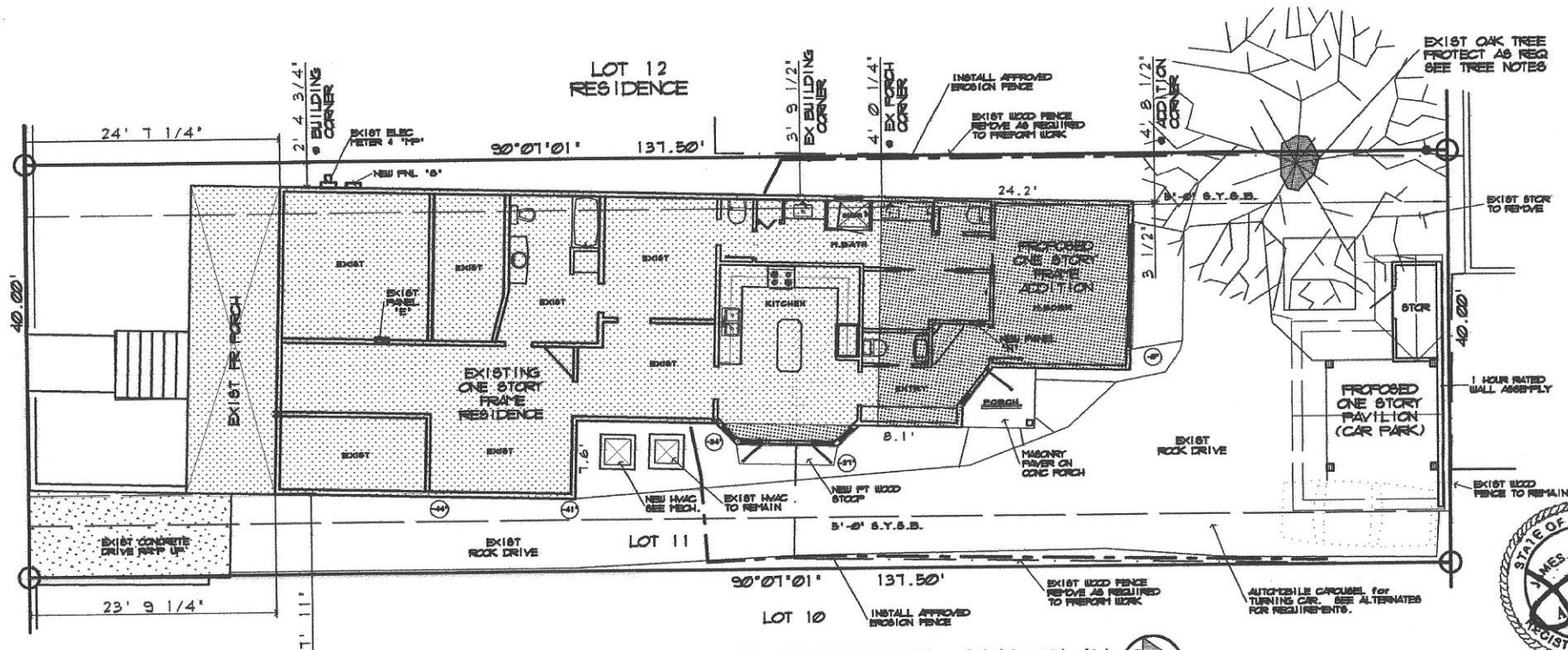
222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Non
Curb
curb
4/20
proach
after
for
Hawthorne

6" CONCRETE WALK



ARCHITECTURAL SITE PLAN

1/8" = 1' - 0"

FLORIDA APPROVAL NUMBERS

01. ROOFING SHALL BE GAF TIMBERLINE, FL# 10134-RS 11931.1.
02. WINDOWS
PREMIUM ATLANTIC VINYL WINDOWS
MADE BY JELDUEHN, FLORIDA APPROVALS
FL# 14988.1, 14988.2, 14988.3, 14988.4
and 14988.5.
03. DOORS
PREMIUM ATLANTIC VINYL DOORS
MADE BY JELDUEHN, FLORIDA APPROVAL
24940.6.
04. SIMPSON HOLD DOWN & STRAPS SEE
FL# 55093-RS, 10441.1, 10441.4, 10441.5.
05. SOFFIT SHALL HARDIE SOFFIT
FL# 13223.2 & 13223-RM.
06. SIDING SHALL 3/4" PINE NOVELTY SIDING.

THE CONTRACTOR SHALL VERIFY ALL FL APP.

AIR BALANCE

01. AIR BALANCE IN THE STRUCTURE WILL BE PROVIDED BY TRANSFER GRILLES THE BEDROOM DOORS, TYPICAL.
02. THE MASTER BEDROOM WILL HAVE A DEDICATED RETURN AIR FILTER GRILLE DIRECT TO THE RETURN AIR PLenum OF HVAC #1.
03. THE STUDIO WILL HAVE A RETURN AIR FILTER GRILLE DIRECT TO THE AIR PLenum OF HVAC #2.
04. ALL DOORS WILL BE UNDERCUT 3/4".

OPENING PROTECTION

01. THE EXTERIOR WINDOWS ARE WIND RATED, MADE BY JELDUEHN. SEE APPROVAL NOTES.
02. THE EXTERIOR DOORS ARE IMPACT RATED, MADE BY MAGNITE.
03. PROVIDE APPROVED PASSIVE SHIELD PROJECTILE PROTECTION FOR ALL NON-IMPACT OPENINGS.

AREA TABULATION

SITE AREA	5,501 s.f.
EXISTING PRINCIPLE STRUCTURE	1,760
PROPOSED ADDITION	405
PROPOSED GARAGE & STOR	243
1STOR STOR	84
KITCHEN BAY	22
TOTAL	2,512 s.f.

ALTERNATES

01. SEE THE SPECIFICATIONS FOR OPTIONAL ALTERNATES.
02. TO PROVIDE ALTERNATE GARAGE AND STORAGE & AUTO TURNABLE AS SHOWN.
 - a. CARUSSEL 18 MODEL CT6-601 AS MADE BY CARTURNER 160-528-1448.
 - b. GENERAL REQUIREMENTS IS 16" x 4" THICK CONCRETE BASE FOR 3" THK CARUSSEL. PROVIDE 20A/120V FUR.
 - c. SEE ALTERNATES & 01 COUNCILS.
03. TO PROVIDE HARDIE BOARD SKIRT AROUND EXISTING HOUSE.
04. TO RE-ROOF THE ENTIRE EXISTING HOUSE ROOF.
05. TO PROVIDE UPROOF TO THE EXISTING ATTIC. NEW JACKS TO SUPPORT EXIST RIDGE, NEW KICKERS AND STRONG BACKS TO BRACE RAFTERS, AND NEW TIES OR HOLD DOWNS AT EXIST RAFTER TO WALL BEARINGS, ETC.

EXIST OAK TREE

01. THE EXISTING OAK TREE IS TO REMAIN.
02. THE CONTRACTOR SHALL PROTECT THE EXISTING OAK TREE FROM DAMAGE.
03. A BRANCH OR TWO MUST BE REMOVED TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL FLAG ANY BRANCH THAT CONFLICTS WITH NEW CONSTRUCTION FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO CUTTING ANY PART OF THE TREE.
04. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DAMAGE TO THE ROOT SYSTEM OF THE EXISTING TREE.

WIND LOAD CERTIFICATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND A WIND VELOCITY OF 150 MPH FASTEST MILE WIND AS REQUIRED BY FBC 2017.

GENERAL NOTES

01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTOR SHALL BE FAMILIAR W/ ALL REQUIREMENTS.

APPROX GRND ELEV

01. INDICATES APPROXIMATE EXISTING GROUND LEVEL.

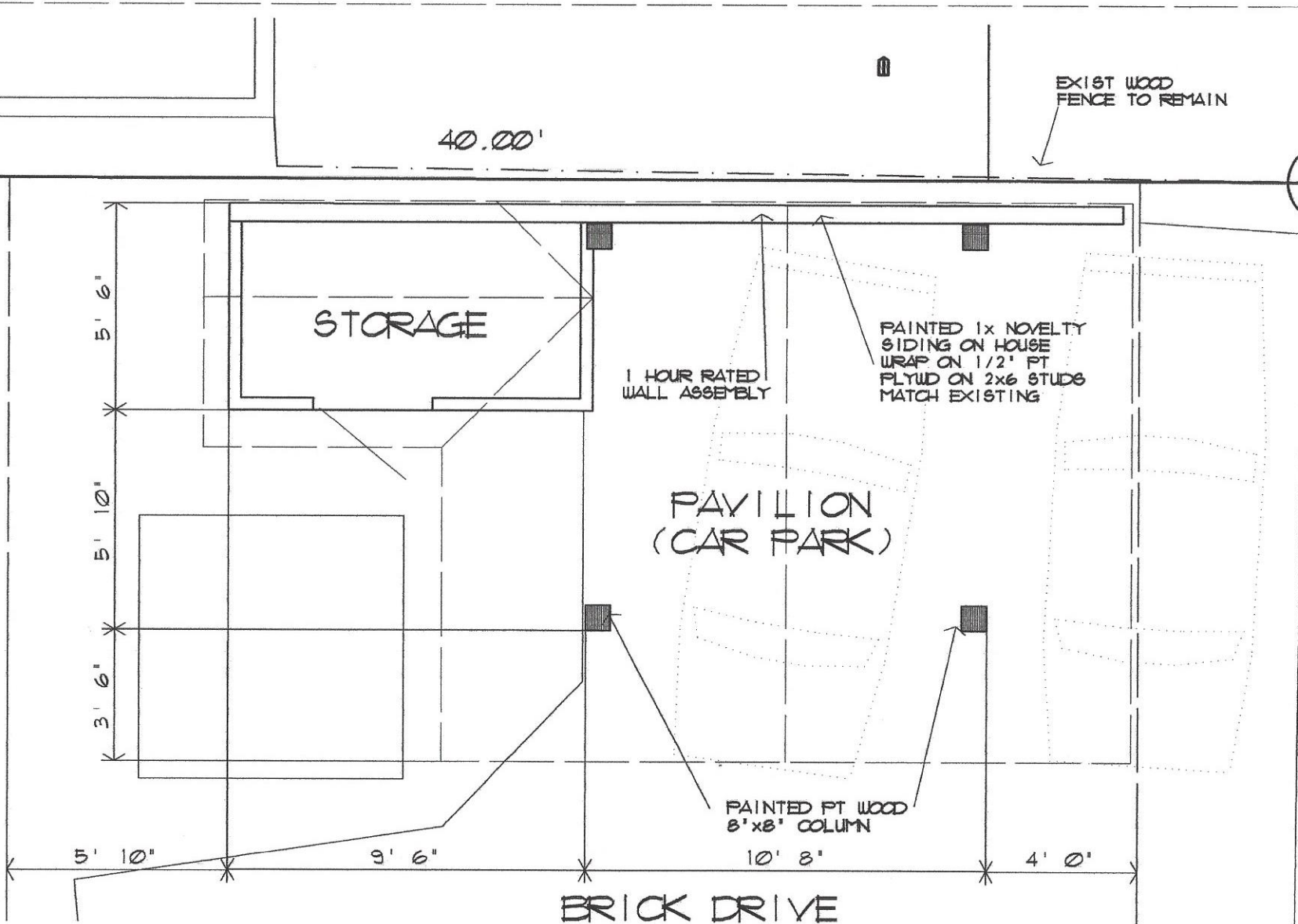
INDEX to DRAWINGS

- C ARCHITECTURAL SITE PLAN**
- A-1 EXIST/DEMO PLAN
 - A-2 FLOOR PLAN
 - A-3 BUILDING SECTIONS
 - A-4 EAST / NORTH ELEVATIONS
 - A-5 WEST ELEVATION
 - A-6 REFLECTED CEILING PLAN
 - A-7 ROOF PLAN
 - S-1 FOUNDATION PLAN
 - S-2 ROOF FRAMING PLAN
 - S-3 ROOF PLAN
 - M-1 MECHANICAL PLAN
 - E-1 ELECTRICAL PLAN

- G-1 AND G-2 FLOOR PLAN
- G-3 AND G-4 FOUNDATION & ROOF BRACE
- G-5 AND G-6 SECTION
- G-7 AND G-8 SECTION
- G-9 AND G-10 SECTION

APPLICABLE CODES

- 2017 F. B. C. (FBC)
- 2017 FLORIDA MECHANICAL CODE (FMC)
- 2017 FLORIDA PLUMBING CODE (FPC)
- 2015 NATIONAL ELECTRIC CODE (NEC)
- 2014 LIFE SAFETY CODE (NFPA 101)
- BUILDING INSPECTIONS DEPT. 880-436-5400
- PLANNING DEPARTMENT 880-436-1670

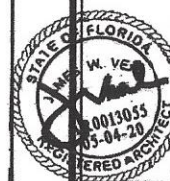


PAVILLION PLAN (A)
1/4" = 1' - 0"

A-1

03-20-15
02-04-20

JVA
J. VIAL ARCHITECT
607 BAYVIEW BL. PENSACOLA, FL 32507
1-850-455-3399 JVA@jvaarchitect.com
AL 032856 NC 09060 TX 09065



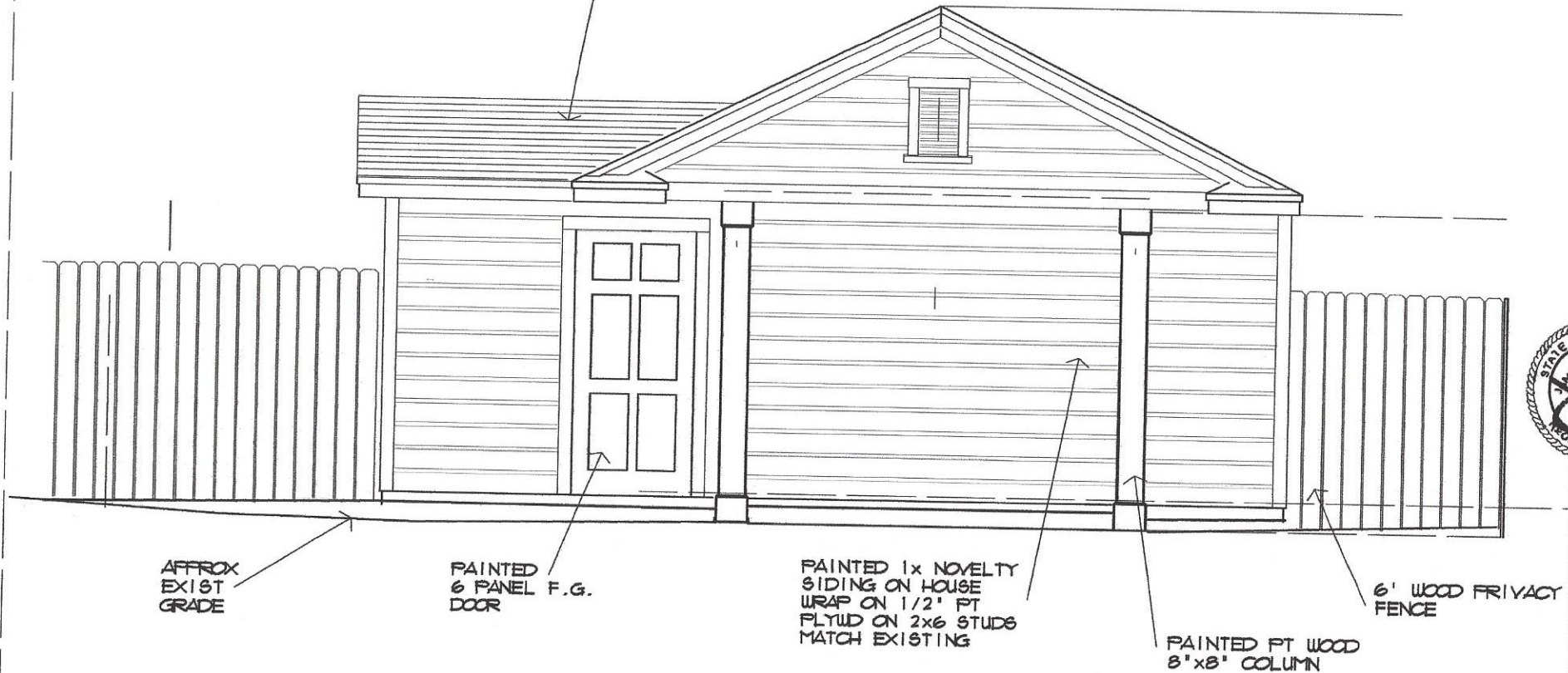
ADDITION & ALTERATIONS TO
ALBORN ADDITION
820 EAST LA RUE ST., PENSACOLA, FL

© 2015 JVA ARCHITECT

DRAWN BY
AS

A2A239EC

EXISTING ASPHALT SHINGLES
SEE ALTERNATES FOR REQUIREMENT
TO RE-ROOF ENTIRE ROOF



SOUTH ELEVATION (A)
1/4" = 1' - 0"

DATE
03-20-13
02-04-20

JVA
J. VEAL ARCHITECT
601 N. W. 10TH ST., SUITE 100
ALABAMA 36606
AL 000000 NC 00000 FL 00000

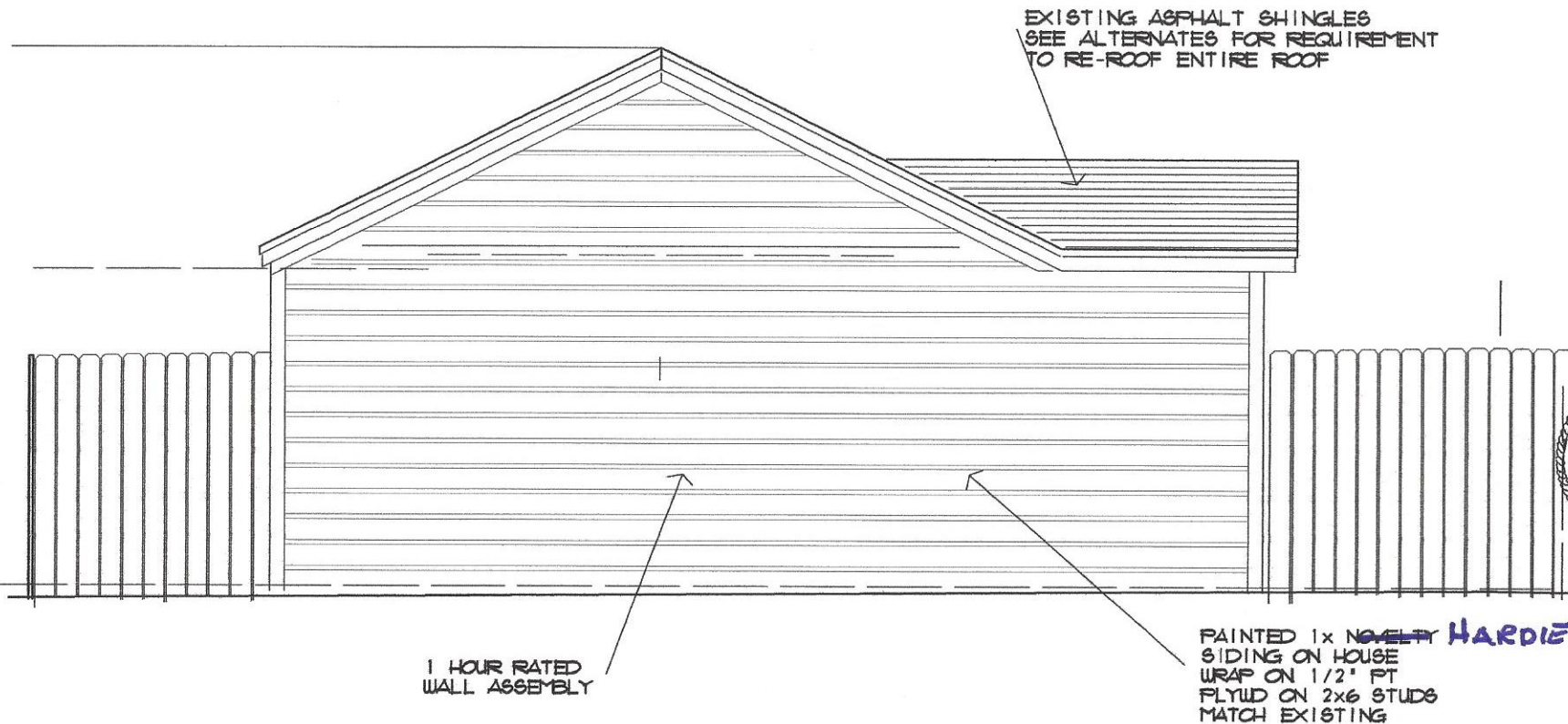


ADDITION & ALTERATIONS for
ALBEN ADDITION
820 EAST LA RUA ST., FENBACOLA, FL

© 2013 JVA ARCHITECT

DRAWN BY
A-2
OF

A2A023SEC



NORTH ELEVATION (B)
1/4" = 1' - 0"

DATE
03-22-13
02-04-20

JVA
J. VIAL, ARCHITECT
1000 W. LA RUE ST., SUITE 200
PENSACOLA, FL 32506
AL 000000 NC 000000 PG 0000 PG 0000



ADDITION & ALTERATIONS FOR
ALTERN ADDITION
820 EAST LA RUE ST., PENSACOLA, FL

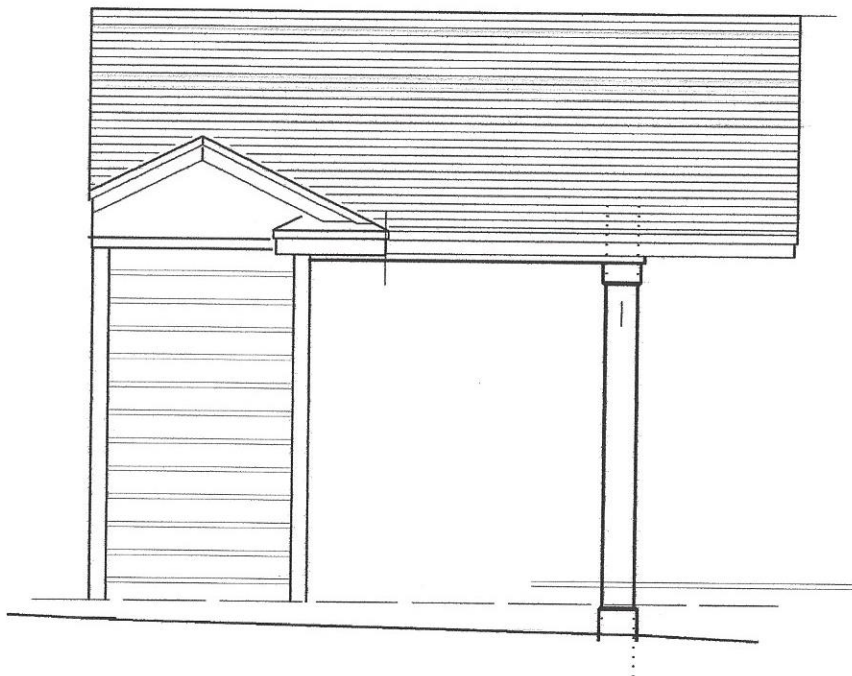
© 2013 J. VIAL, ARCHITECT

DRAWN BY:

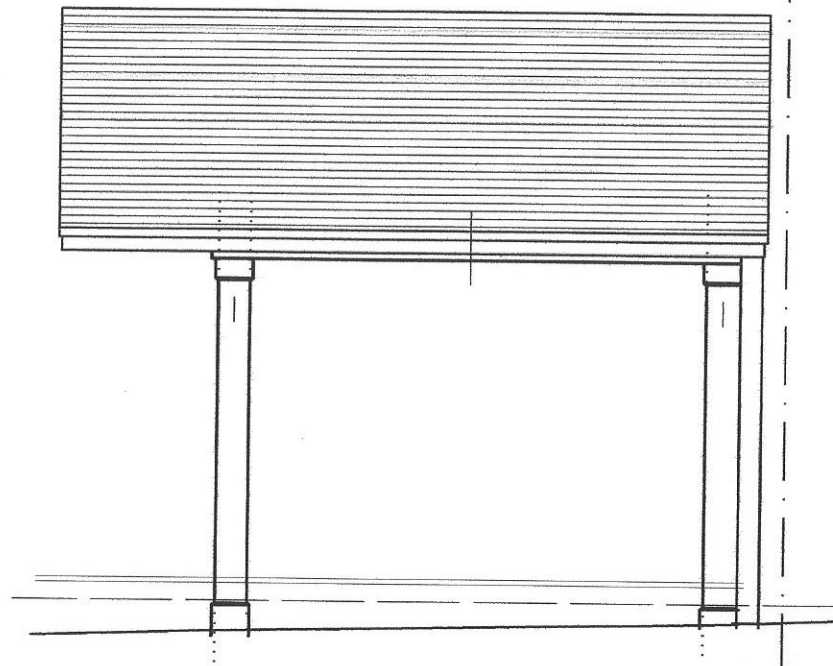
A-3

A2A0366C

A-3



WEST ELEVATION (C)
1/4" = 1' - 0"



EAST ELEVATION (C)
1/4" = 1' - 0"



ADDITION & ALTERATIONS for
AHERN ADDITION
828 EAST LA RUA ST., FENSACOLA, FL

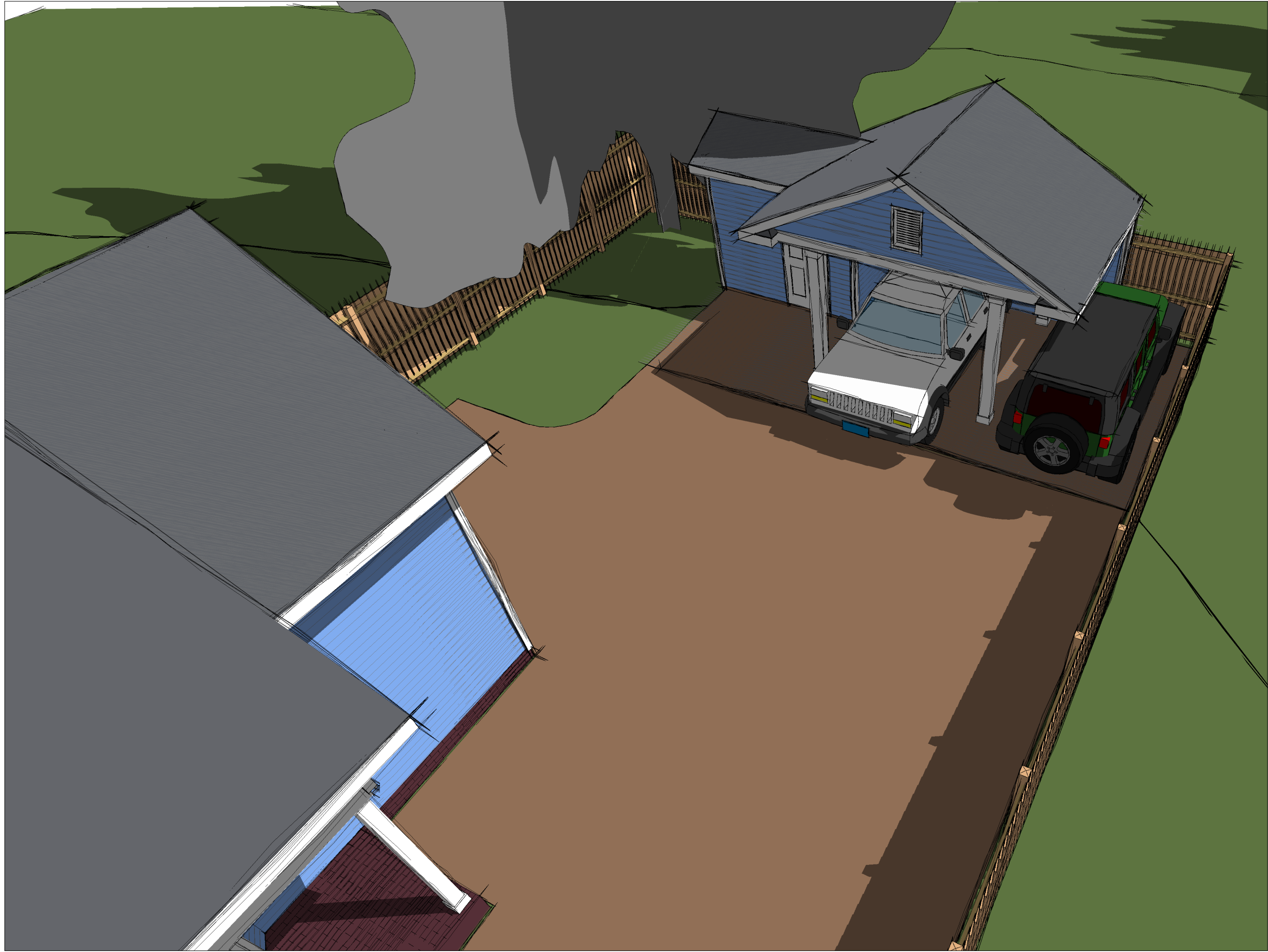
DATE
05-20-19
02-04-20

J V A
J. VIAL, ARCHITECT
627 BAYVIEW DR. FENSACOLA, FL 32205
1-850-458-1335 NC 09466 FL 09505
AL 09205

© 2019 J. V. A. ARCHITECT

DRAWN BY:
A-4
07

A-4



① BIRDSEYE 2

DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarch.com
AL 32636 FL # 13055

ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 J.VEAL,ARCHT.

DRAWN BY:

A1

OF
DN



① AT DRIVEWAY

DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 JV@jvealarch.com
AL 32636

ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 JVEAL, ARCH.

DRAWN BY:

A2

OF
DN



DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarch.com
AL 32636

ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 J. VEAL, ARCH.

DRAWN BY:

A3

OF
DN

DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarch.com
AL 32636

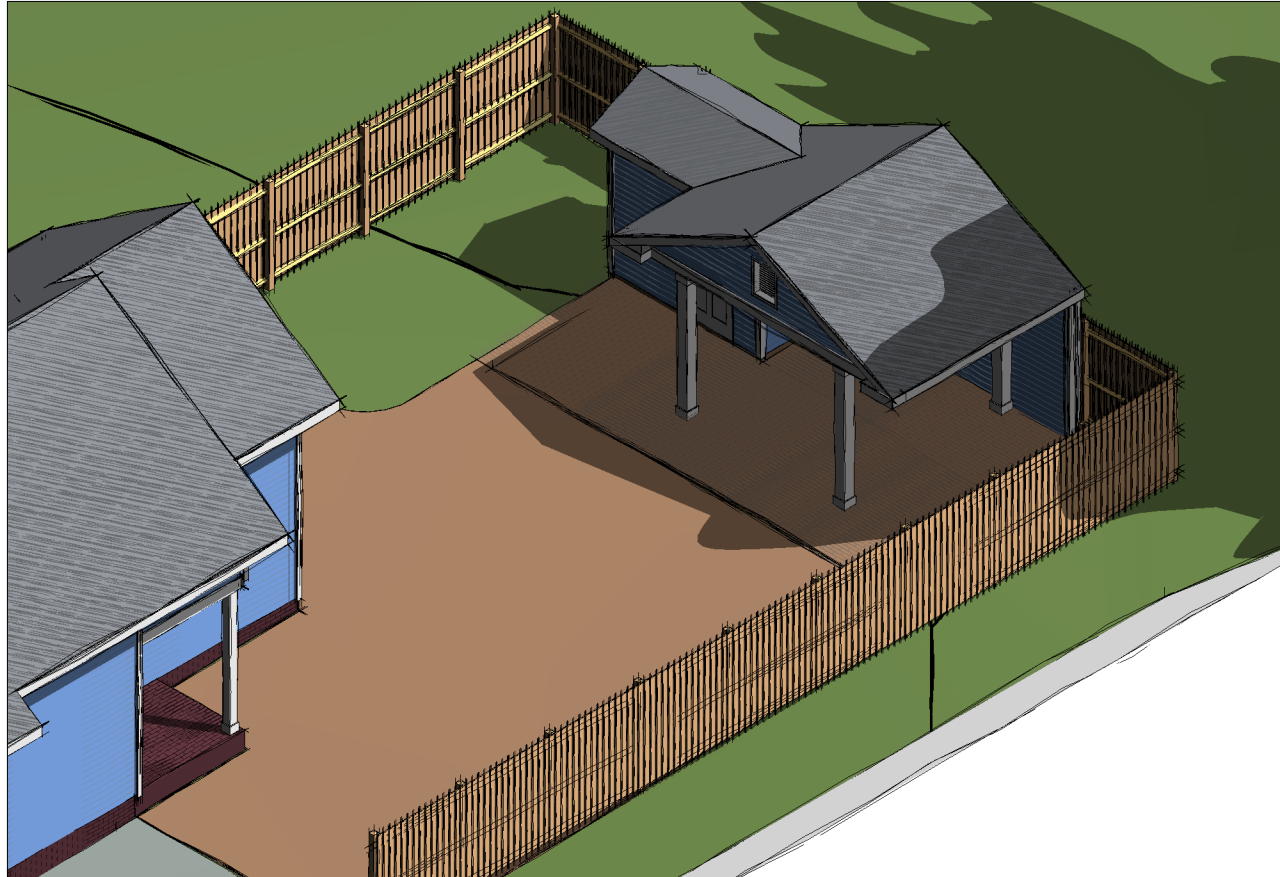
ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 JVEAL, ARCH.

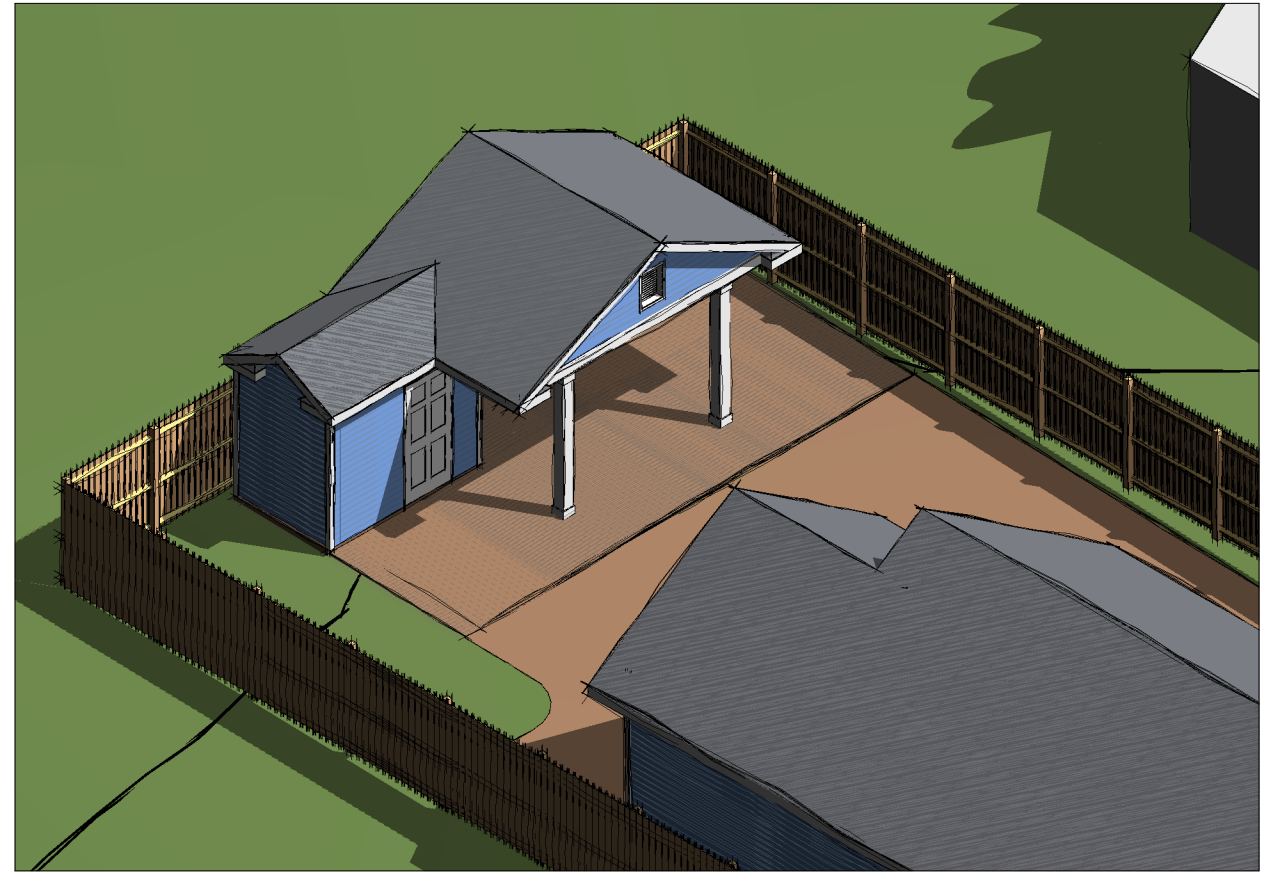
DRAWN BY:

A4

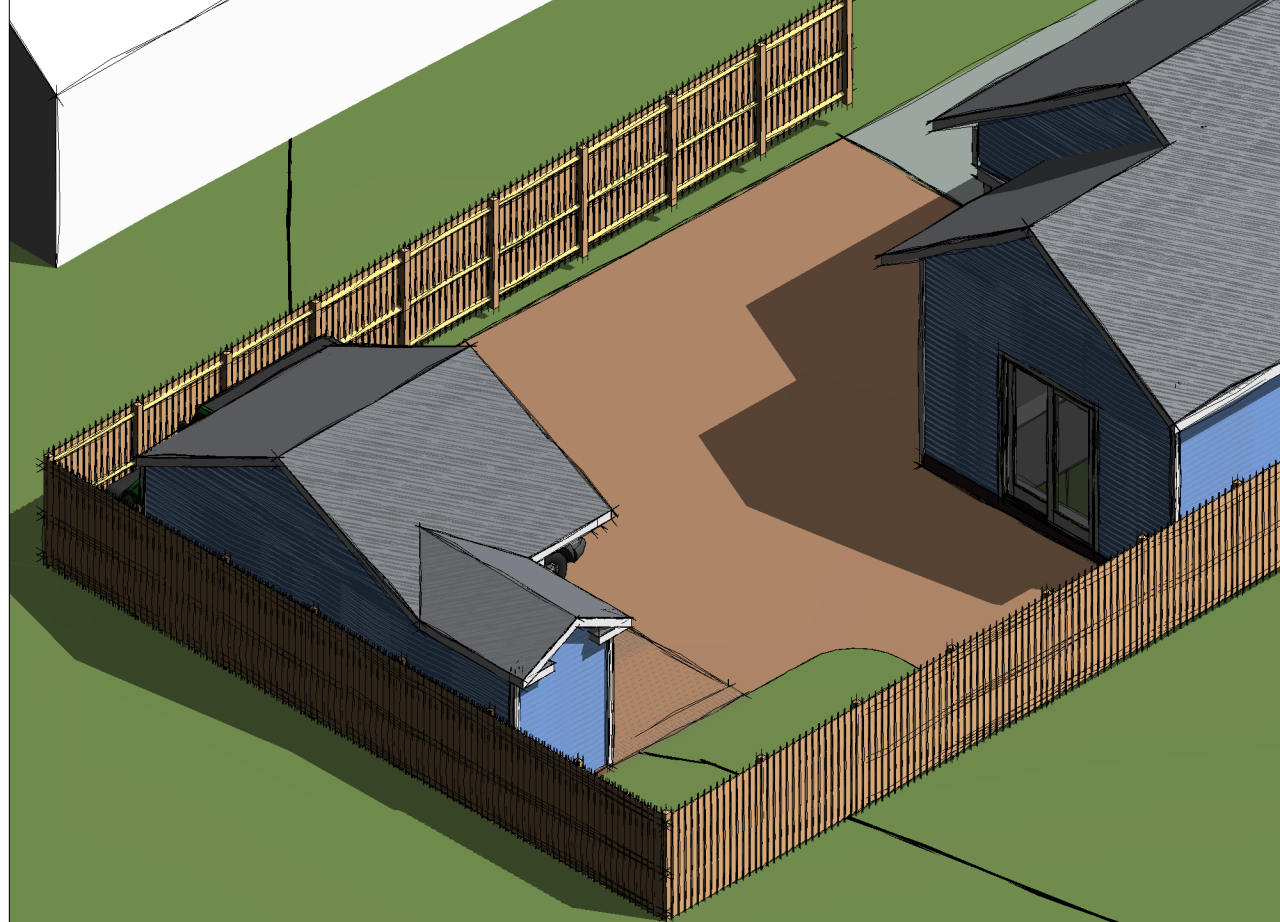
OF
DN



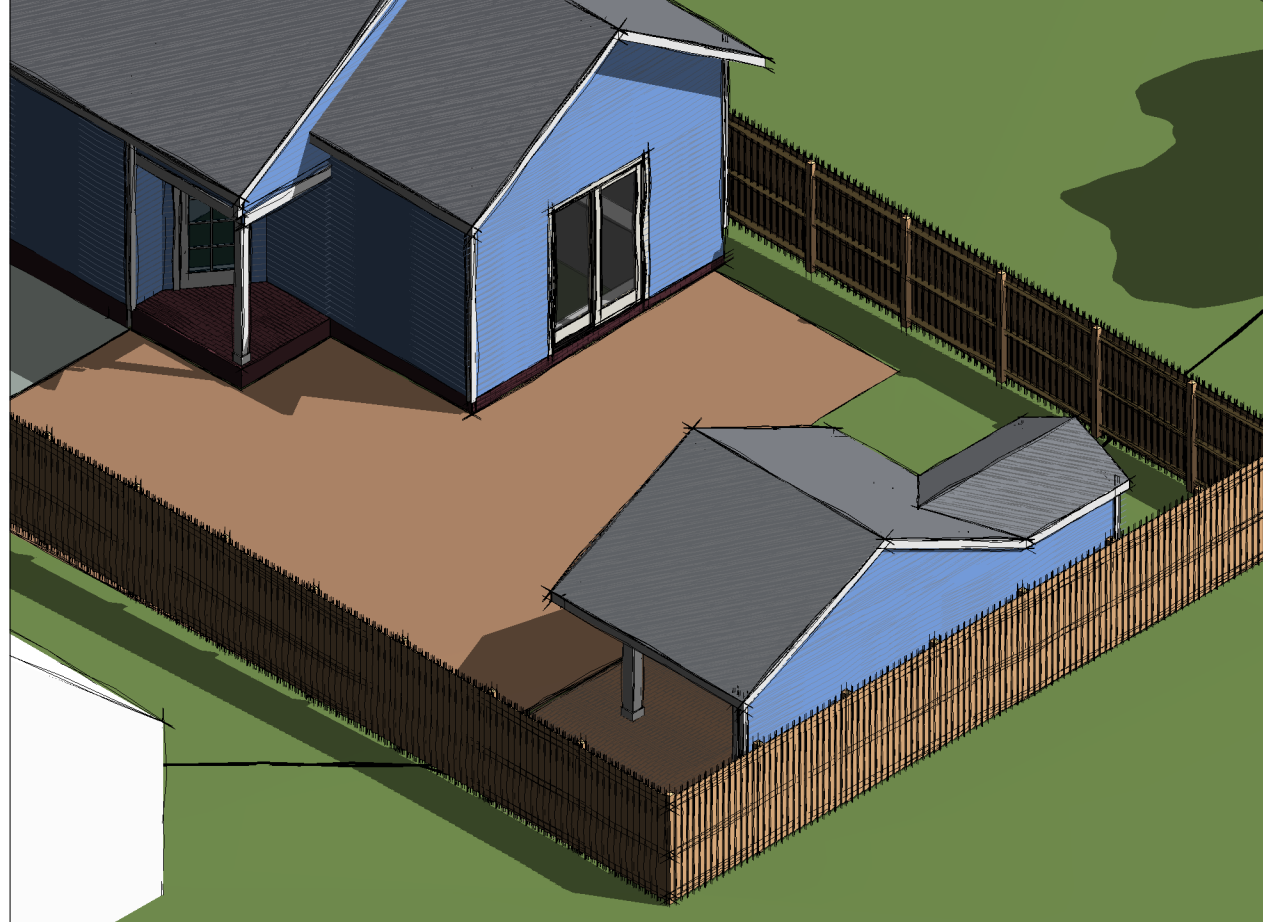
① AXOMETRIC SE



② AXOMETRIC SW



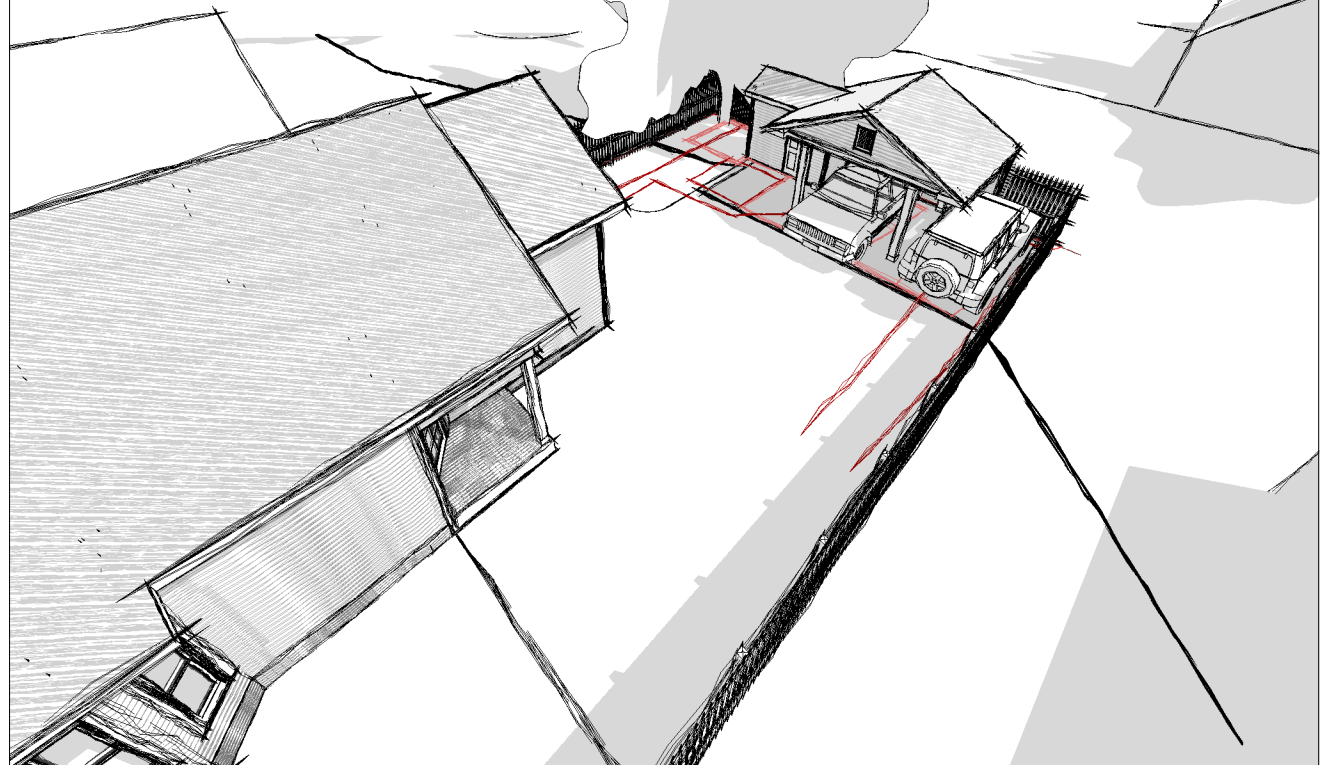
③ AXOMETRIC NW



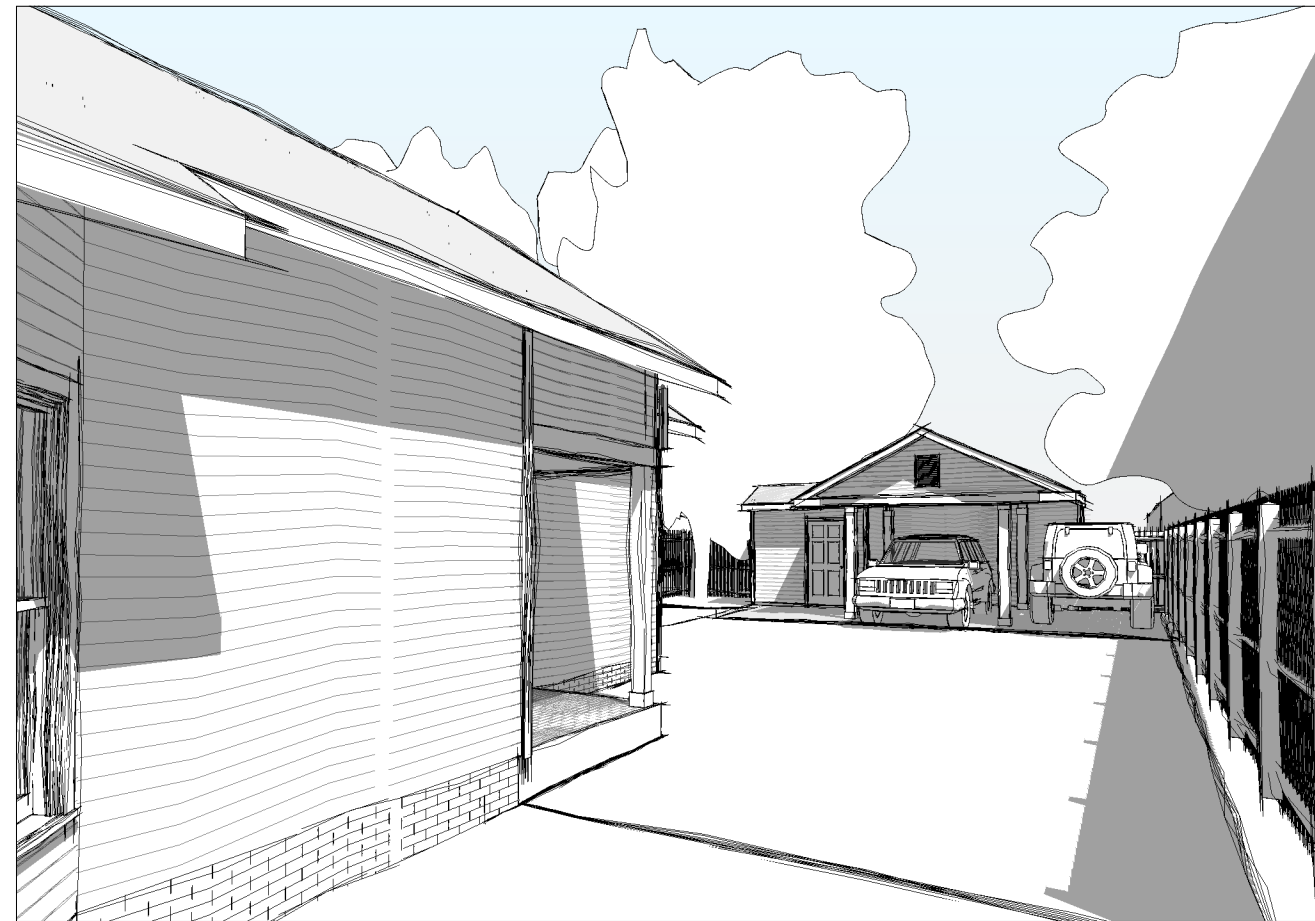
④ AXOMETRIC NE



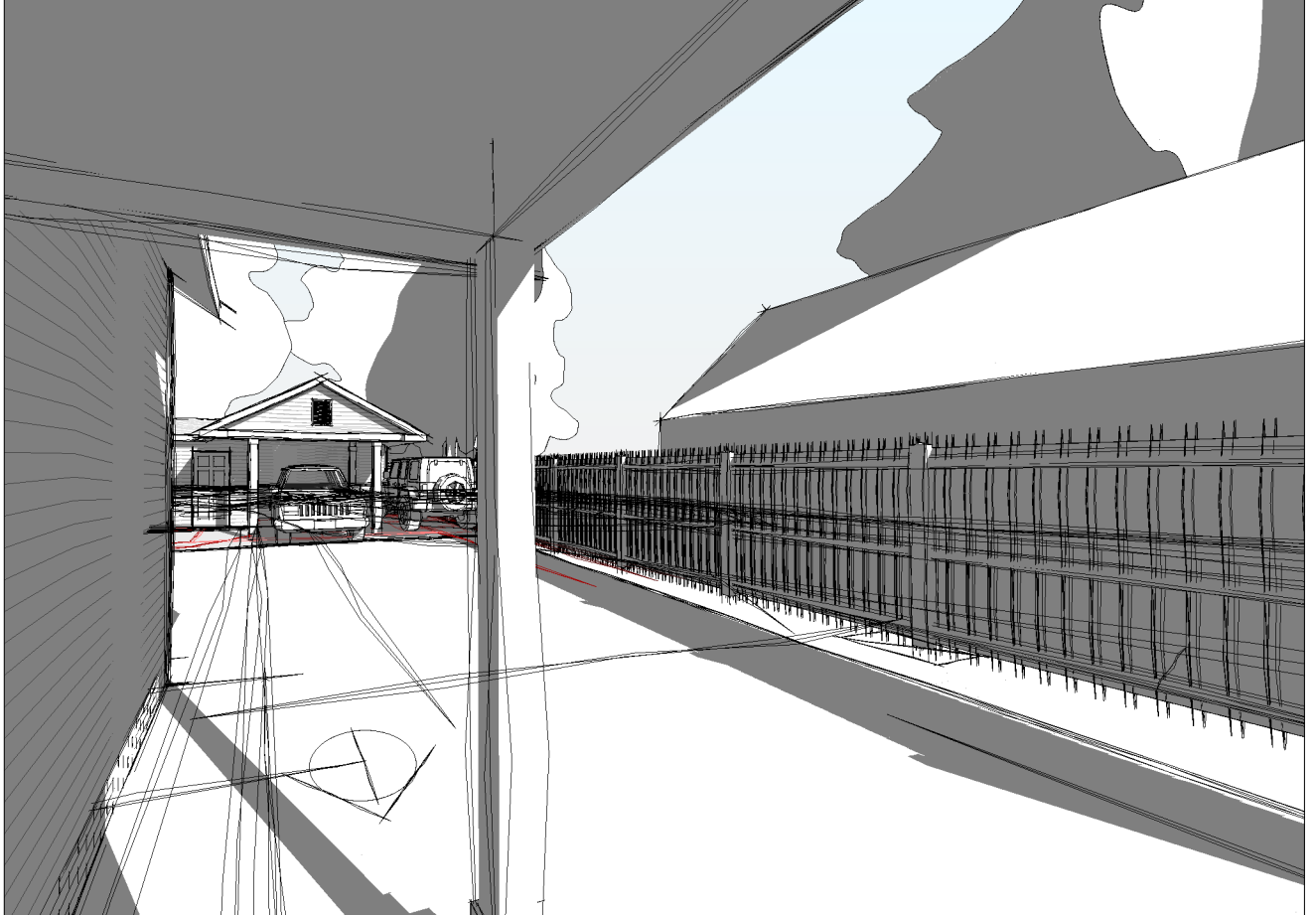
1 SKETCH



2 SKETCH 2



3 SKETCH 3



4 SKETCH BACK DOOR

DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 JV@jvealarch.com
AL 32036 FL # 13055

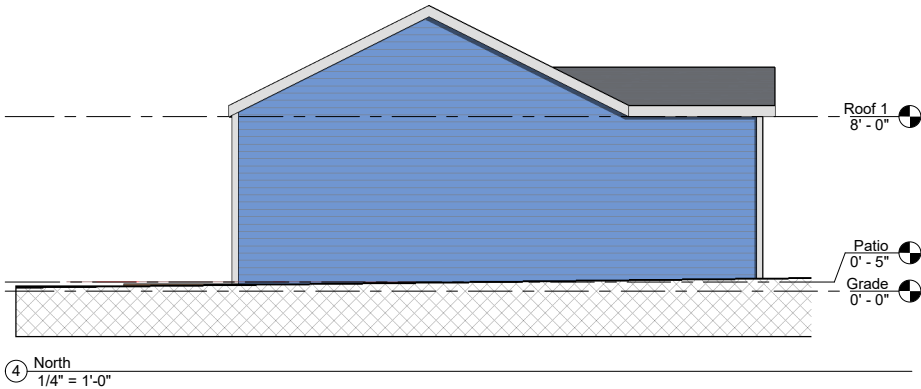
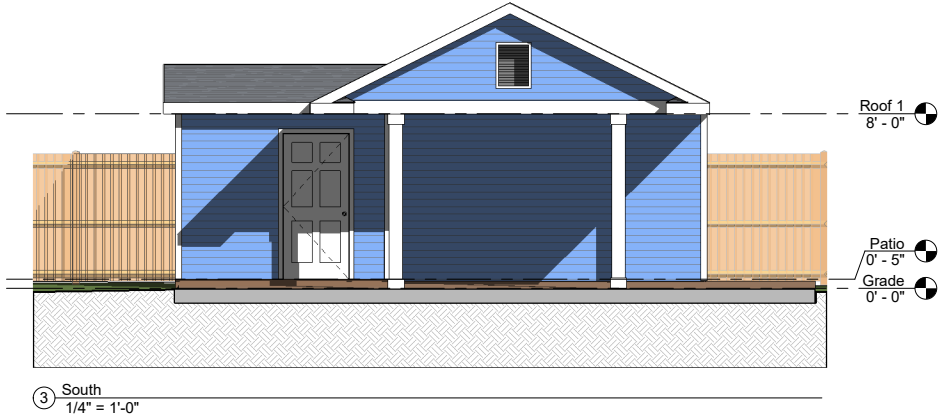
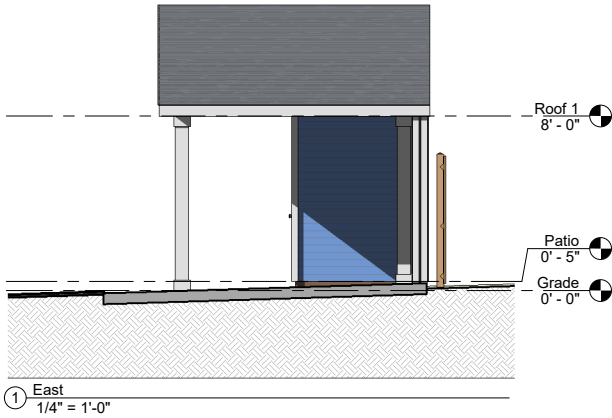
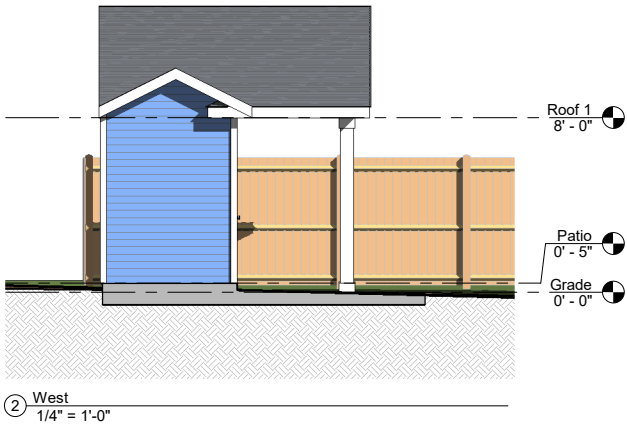
ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 JVEALARCH

DRAWN BY:

A5

OF
DN



DATE:
01-10-20
02-19-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 JV@jvealarch.com
FL # 13055
AL 32636

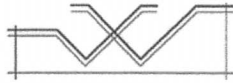
ADDITION TO
AHERN RESIDENCE
830 EAST LA RUE STREET PENSACOLA, FLORIDA

BID SET
NOT FOR
CONSTRUCTION
© 2020 JVEAL, ARCH.

DRAWN BY:

A6

OF
DN



J. Veal, Architect

08-12-20

Ahern Carport – Materials / Products & Colors

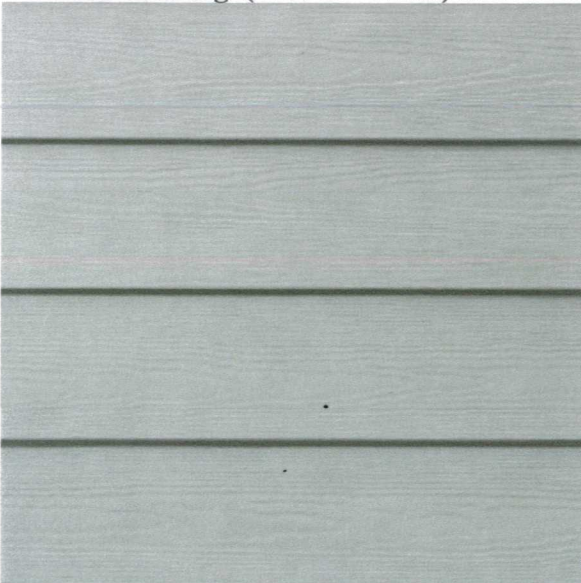
page 1

Wood Novelty Siding (to match existing).....



7"Boards w/ 5"exp. (to match exist)... Ben Moore 797 "Athens", match existing

Hardie Siding (North Wall).....



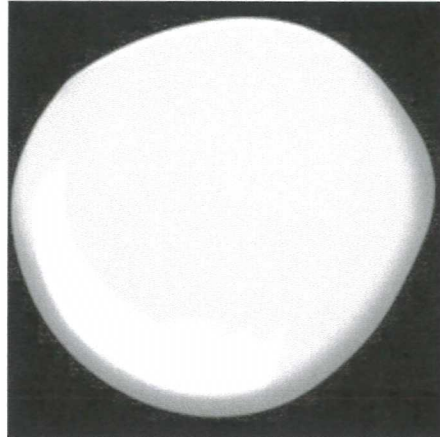
7"Boards w/ 5"exp. (to match exist)...

Ben Moore 797 "Athens",

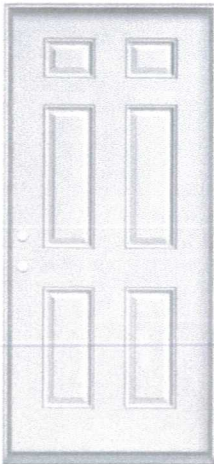
Door / Window Casing, Corner Boards & Trim – PT Pine Trim.....



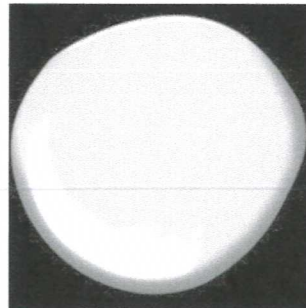
Door / Window Casing, Corner Boards.... Ben Moore 879 “White Opulence”



Storage Room Door.....



Masonite Primed Outswing



Ben Moore 879 “White Opulence”

Exposed Stem Wall.....

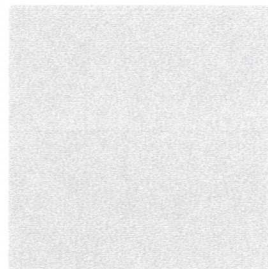


Cement Wash on Stem Wall....

Carport Ceiling & Soffits.....



Hardie Board Ceiling.....



Ben Moore HC-1590 "Paper White"

Porch Pavers



Reuse Existing Brick from Rear Foundation Wall

Exterior Lighting - Wall Bracket



Quoizel Canyon 9.88-in H Matte Black Medium Base (E-26) Outdoor

Architectural Shingles – Timberline



GAF Timberline – HD White, Lifetime 340# Architectural Shingles

Property Line Fence.....



Vertical P.T. Boards w/ Post Caps & Horizontal Rail - unpainted



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00442

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 2
615 E. Belmont Street
Old East Hill Preservation District / Zone OEHR-2
Contributing Structure

RECOMMENDATION:

Morgan Spear is requesting approval for the following modifications and additions to a contributing structure:

1. Install white-painted wood railings to the front porch;
2. Resurface and re-stabilize the front porch floor with concrete;
3. Resurface and re-stabilize the front porch stairs with brick;
4. Replace the concrete pathway with matching brick; and
5. Install a permeable ribbon driveway from N. 7th Avenue into the rear yard to accommodate off-street parking.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-10(C)(7) *OEHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*

X original
 ___ update

HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Version 1.1: 3/89

Site 8 ES

Recorder #

SITE NAME Nobles Family, House
 HISTORIC CONTEXTS Post-reconstruction
 NAT. REGISTER CATEGORY District
 OTHER NAMES OR MSF NOS None
 COUNTY Escambia OWNERSHIP TYPE corporatēcommercial
 PROJECT NAME West-East Hill Survey: S&R DHR NO _____
 LOCATION (Attach copy of USGS map, sketch-map of immediate area)
 ADDRESS 615 East Belmont St. CITY Pensacola
 VICINITY OF / ROUTE TO West-East Hill neighborhood, SE corner of E. Belmont
St. between N. 6th Ave. and N. 7th Ave.
 SUBDIVISION East King Tract BLOCK NO 2 LOT NO 60
 PLAT OR OTHER MAP county appraisers atlas sheet #68
 TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
 IRREGULAR SEC? x Y n LAND GRANT _____
 USGS 7.5' MAP Pensacola 1970 PR 1987
 UTM: ZONE _____ EASTING _____ NORTHING _____
 COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
 BUILDER: F _____ M _____ L unknown
 CONST DATE 1896 CIRCA C RESTORATION DATE(S): _____
 MODIFICATION DATE(S): _____
 MOVE: DATE _____ ORIG LOCATION _____
 ORIGINAL USE(S) private-residence
 PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
 PLAN: EXTERIOR irregular
 INTERIOR _____
 NO.: STORIES 1 OUTBLDGS 0 PORCHES 1 DORMERS 0
 STRUCTURAL SYSTEM(S) balloon wood framing
 EXTERIOR FABRIC(S) asbestos shingles covering clapboard
 FOUNDATION: TYPE piér MATLS brick
 INFILL none
 PORCHES n/porch/wrought iron columns/3/n
 ROOF: TYPE gable SURFACING composition shingles
 SECONDARY STRUCS. gable, porch
 CHIMNEY: NO 0 MTLs n/a LOCNS n/a
 WINDOWS dhs, 6/6 wood; fixed, 6; transom, 2; dhs, 4/4 wood
 EXTERIOR ORNAMENT none observed
 CONDITION fair SURROUNDINGS residential
 NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings; oaks, palm

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)
 ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
 SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
 SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

* * *DHR USE ONLY* * * * * DHR USE ONLY * *
 *
 * DATE LISTED ON NR *
 * KEEPER DETERMINATION OF ELIG.(DATE): -YES -NO *
 * SHPO EVALUATION OF ELIGIBILITY(DATE): -YES -NO *
 * LOCAL DETERMINATION OF ELIG.(DATE): -YES -NO *
 * OFFICE *
 * * *DHR USE ONLY* * * * * DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T L Brosnahan
 DATE: MO 8 YR AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)

LOCATION OF NEGATIVES Historic Pensacola Preservation Board

NEGATIVE NUMBERS 91N117 WEH (frames 18-19)



M A P
 Street/plat map, not
 USGS

Belmont

REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

615 E. Belmont Street



**Architectural Review Board Application
Full Board Review**

Application Date: July 30, 2020

Project Address: 615 E. Belmont St.
Applicant: Roman + Morgan Spear
Applicant's Address: 615 E. Belmont St.
Email: morgankspear@gmail.com Phone: 407.832.0313
Property Owner: Spear LLC.

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

- ① Install wood porch, approx. 36" high from porch deck.
- ② Resurface porch deck with concrete to level + re-stabilize deck.
- ③ Resurface porch stairs at a safer angle + resurface with brick.
- ④ Replace concrete pathway with matching brick (front path)
- ⑤ Install 20'L x 17'W ribbon driveway along NE property line

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Morgan Spear
Applicant Signature

July 30, 2020
Date

615 E BELMONT STREET



Product specifics/description:

- 1) Install wood porch
 - Existing: No porch
- 2) Resurface and re-stabilize front porch deck with concrete
 - Existing: Painted concrete. Left side of porch slopes 2-3 inches from remainder of porch
- 3) Resurface porch stairs to be at a safer angle, while resurfacing it with brick
 - Existing: painted, extremely unlevelled concrete
- 4) Resurface front pathway to porch stairs with matching brick
 - Existing: broken concrete path

Existing Front View



Proposed Front View with Railings



Proposed Porch: Install wood porch around entire front porch and stairway, leaving an appropriate egress from the stairs to the front door. Balusters will face front porch.

- Balusters are 32" tall. Gap between deck and bottom railing will be approximately 2 inches.
- Height of porch from deck to top railing will be approximately 36 inches.
- Top and bottom rails and balusters are to be pressure treated lumber, painted white.

Porch inspiration:

Brick Stairs



Porch Railings with appropriate egress and stair railing



Proposed Porch Railings:



\$38.98

★★★★☆ 80
[View Q&A](#)

Severe Weather Pressure Treated Wood
Pressure Treated Wood Deck Rail Kit with
Balusters

Item #489068 Model #HRS6T15EL

- Southern yellow pine molded for a smooth feel and a finished look
- Severe Weather Above Ground pressure treated exterior wood protected by Ecolife (EL2)...
- Ecolife (EL2) provides built-in water repellency that reduces surface cracking and checking compared...

Manufacturer Color/Finish: Pressure treated wood



Series Name	N/A
Manufacturer Color/Finish	Pressure treated wood
Color/Finish Family	Brown
Package Quantity	1
Warranty	Limited lifetime
Baluster Material	Pine
Pressure Treated	✓

Maximum Opening (Inches)	3.5
Minimum Opening (Inches)	3
Wood Species	Pine
Balusters Included	✓
Material	Wood
Type	Deck rail kit

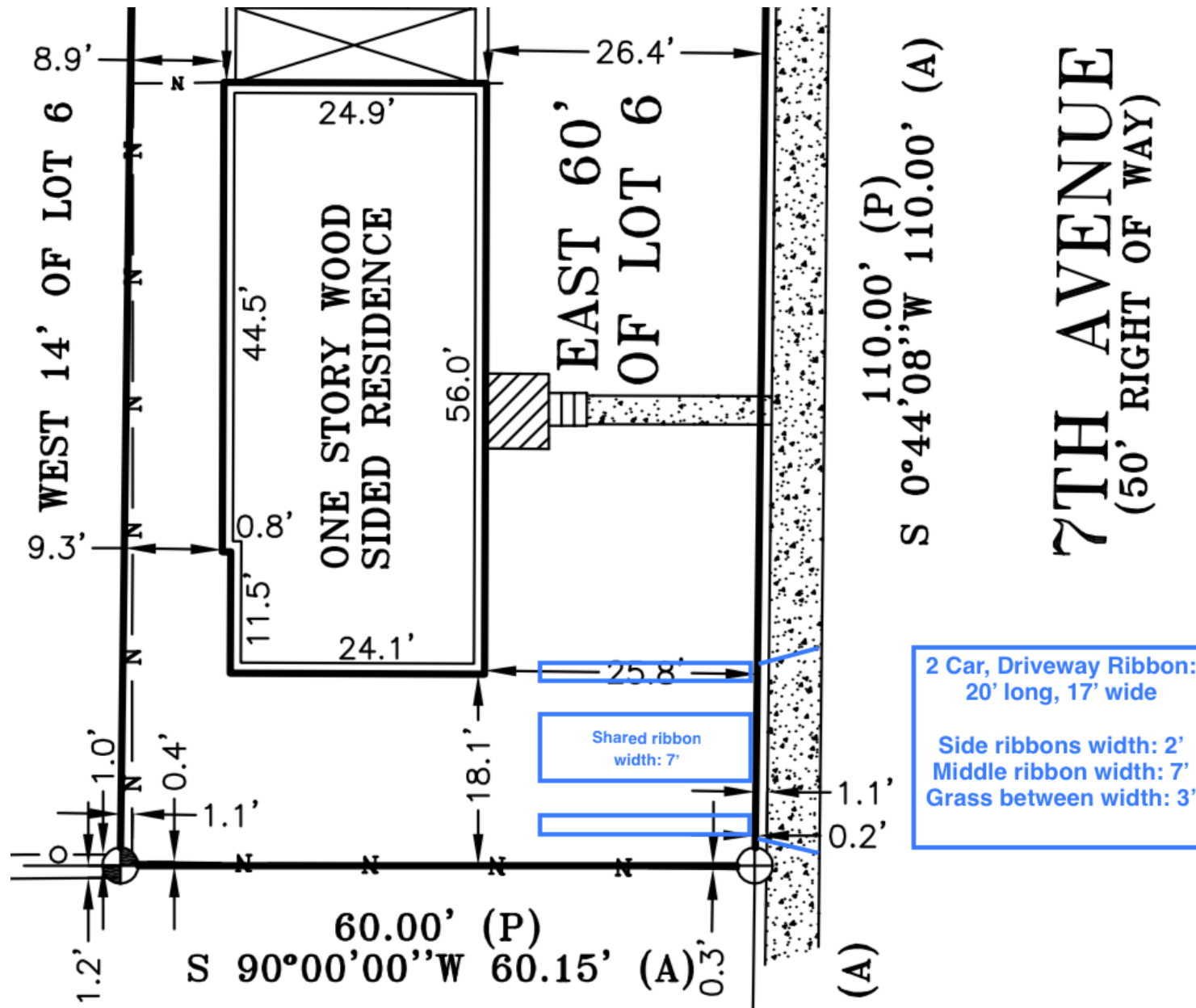
Proposed Porch Resurfacing: Resurface & re-stabilize porch with concrete for an even surface. Resurface front stairs and pathway to sidewalk from current concrete to brick.



Proposed Driveway: Install a two-car ribbon driveway along South East property line.

Driveway will be 20' long and 17' wide, consisting of 3 separate strips, with both side strips being 2' wide, the center shared strip being 7' wide, and the grass in between being 3' wide.

Driveway material will be of brick matching the front stairs or permeable turfstone (whichever is approved).



Driveway Option 1: Permeable Concrete Grid Paver (preferred option)



Turfstone Gray Concrete Paver (Common: 24-in x 16-in; Actual: 24-in x 16-in)

Item #411157 Model #506535

- Ideal to overlay or create a new patio or walkway
- Traditional gray color
- High-tech design controls and stabilizes soil erosion

Driveway Option 2: Concrete Pavers (color would match with proposed front porch brick walkway and stairs)



RumbleStone Square 7 in. x 7 in. x 1.75 in. Cafe Concrete Paver

★★★★★ (113) [Write a Review](#) [Questions & Answers \(22\)](#)

- Can be used as a paver or a wall block for ultimate versatility
- A tumbling process creates the look of weathered cut stone
- Works with other Rumblestone blocks to form decorative patterns



\$1.48

Buy 288 or more \$1.33



Save up to \$100^o on your qualifying purchase.
[Apply for a Home Depot Consumer Card](#)

Color/Finish: Cafe



Existing Rear/Side View



Proposed Rear/Side View with Ribbon Driveway
Removing Elm Tree (tree declared dead by certified arborist)





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00443

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 3
412 W. Gonzalez Street
North Hill Preservation District / Zone PR-1AAA
Contributing Structure

RECOMMENDATION:

Brenda McCastle is requesting approval to rebuild a front porch and carport. Exterior work to both began as minor repairs and unexpectedly resulted in the removal of the structures. An Abbreviated Review to rebuild the porch and carport was referred to the full board since the scope of work exceeded minor repairs, and structural plans for the reconstruction was requested. The proposed porch and carport will match the past structures and both will be built using with in-kind materials. The replacement windows for this scope of work (3) will be 3/1 double hung aluminum-clad wood windows. A request to replace all windows was brought to the Board in November 2019. At that meeting, 3/1 clad windows were deemed acceptable (pending an Abbreviated Review) if 4/1 windows proved to be too costly or unavailable.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-10(B)(6) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*

Sec. 12-2-10(B)(4)(b)(3) *NHPD, Procedure for review*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==

Site No. 75 898 1009 ==
Site Name Kalishman, Morris House 830 == Survey Date 8009 820 ==
Address of Site: 412 W Gonzalez St. Pensacola, Fl. 32501 905 ==
Instruction for locating N side Gonzalez between Reus and DeVilliers 813 ==
Location: Belmont Tract 54 block no. 28, 29 lot no. 868 ==
County: Escambia 808 ==
Owner of Site: Name: Dailey, William B. and Elizabeth A. ;
Address: 412 W. Gonzalez St. 902 ==
Pensacola, Fl. 32501 832 ==
Type of Ownership Private 848 == Recording Date 8009
Recorder:
Name & Title: Gantzhorn, Alan; Hawley, Nancy ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence 818 ==
Check One Check One or More
☐ Excellent 863 == ☒ Altered 858 ==
☒ Good 863 == ☐ Unaltered 858 ==
☐ Fair 863 == ☒ Original Site 858 ==
☐ Deteriorated 863 == ☐ Restored () (Date:) 858 ==
☐ Moved () (Date:) 858 ==
Present Use Residence 850 ==
Dates: Beginning + 1932 844 ==
Culture/Phase American 840 ==
Period 20th Century 845 ==
916 ==

NR Classification Category: District

Threats to Site:

Check One or More
☐ Zoning () 878 == ☐ Transportation () 878 ==
☐ Development () 878 == ☐ Fill () 878 ==
☐ Deterioration () 878 == ☐ Dredge () 878 ==
☐ Borrowing () 878 ==
☐ Other (See Remarks Below): 878 ==
910 ==

Areas of Significance: Architecture

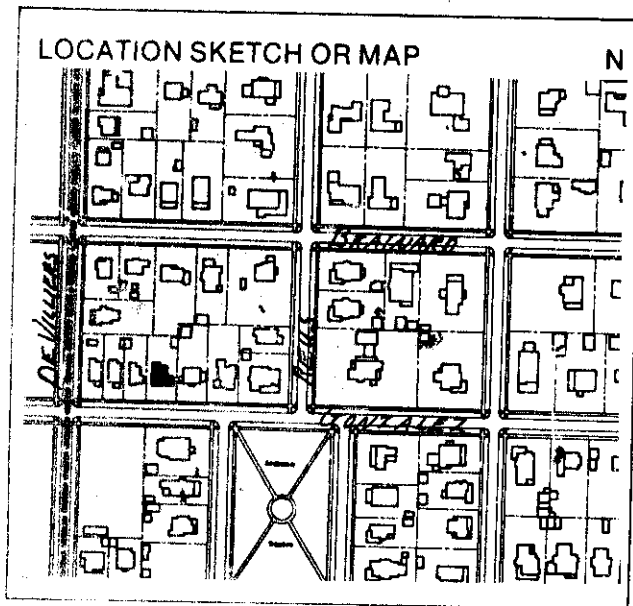
Significance:

An elegant example of masonry vernacular styles
characteristic of the 1930's.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 ==

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Masonry Vernacular 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) Brick: common bond 854 ==
 STRUCTURAL SYSTEM(S) Masonry 856 ==
 PORCHES S/ carriage porch with extension to front dooe, grouped
tuscan columns 942 ==
 FOUNDATION: Continuous: brick 942 ==
 ROOF TYPE: Gables on hip 942 ==
 SECONDARY ROOF STRUCTURE(S): Porch, gable 942 ==
 CHIMNEY LOCATION: W end, exterior 942 ==
 WINDOW TYPE: DHS, 4/1, wood # fixes, single light 942 ==
 CHIMNEY: Brick 882 ==
 ROOF SURFACING: Composition shingle: butt 882 ==
 ORNAMENT EXTERIOR: none 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude: " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
2S	30W	19

UTM Coordinates:

Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P80.30 Fr.18 860 ==

Contact Print



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1932 CIRCA Xyes no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES yes Xno Dates Orig. addr.
 ALTERATIONS yes no Dates Nature
 ADDITIONS yes no Dates Nature
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates)
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) M. KALISHMAN (ORIGINAL; WILLIAM B. DAILEY (1970- CURRENT))

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? yes no insuff. info | Local Designation Category
 Individually elig. for Nat. Register? yes no insuff. info |
 Potential contributor to NR district? yes no insuff. info |

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.)

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)**CROSS REFERENCES**

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available)

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R19, F31-32

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

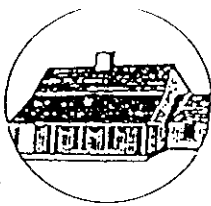
FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DEH USE ONLY		OFFICIAL EVALUATIONS				DEH USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY	y	n	pe	n	Date	
	SHPO-NR ELIGIBILITY	y	n	pe	n	Date	
DELIST DATE	LOCAL DESIGNATION					Date	
	Local office						

* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Original
☒ Update

Site #8 ES00898
Recorder #
Field Date 5/4/95
Form Date 7/5/95

SITE NAMES (addr. if none) MORRIS KALISHMAN HOUSE [MULT. LIST. #8]
SURVEY NORTH HILL [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 412 W. GONZALEZ ST.
CROSS STREETS nearest/between BETW. N. REUS AND N. DE VILLIERS ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9010-028-054
SUBDIVISION NAME NORTH HILL BLOCK 54 LOT NO. 28-29
OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 25 S RANGE 30 W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
UTM: ZONE 16 17 EASTING 1000000 NORTHING 1000000
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

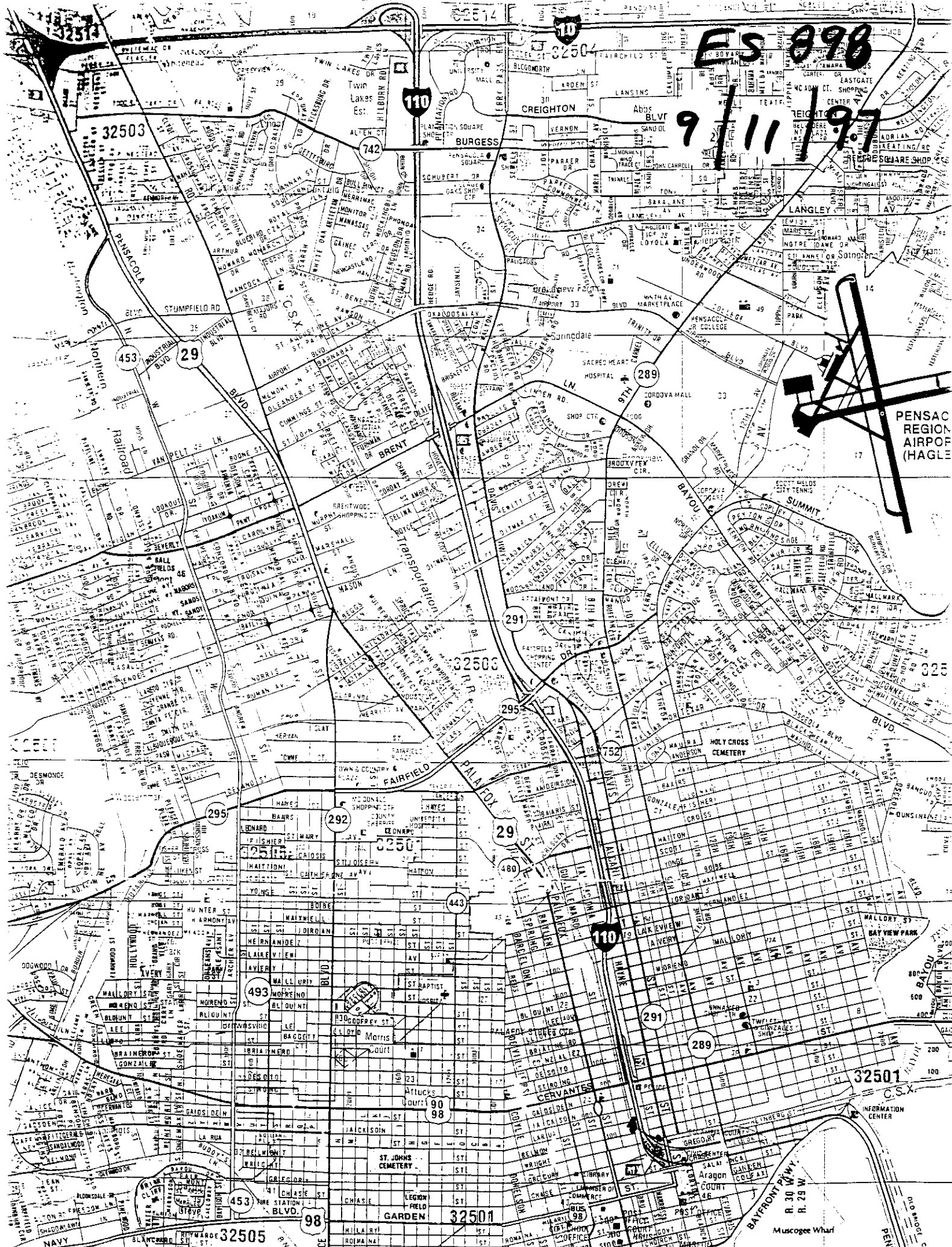
STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 1
STRUCTURAL SYSTEMS MASO
FOUNDATION: Types CONT Materials BRIC
EXTERIOR FABRICS BRIC
ROOF: Types GAHP Materials SHCO
Secondary strucs. (dormers etc.) GA
CHIMNEY: No. 1 Materials BRIC LOCATIONS W. EXTERIOR
WINDOWS (types, materials, and placements) DHS, 4/1, WOOD AND FIXED, SINGLE
LIGHT

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations S/CARRIAGE PORCH W/EXIT TO
Porch roof types ERONT DOOR, GROUPED TUSCAN COLUMNS
EXTERIOR ORNAMENT EXPOSED RAFTERS, BRACKETS

INTERIOR PLAN
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) ☐ commercial ☒ residential ☐ institutional ☐ rural

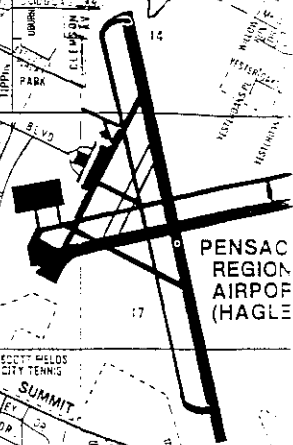
ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



ES 898

9/11/97



PENSAC
REGION
AIRPORT
(HAGLE)

32501

32503

32503

32505

32505

32501

32501

32503

32503

32505

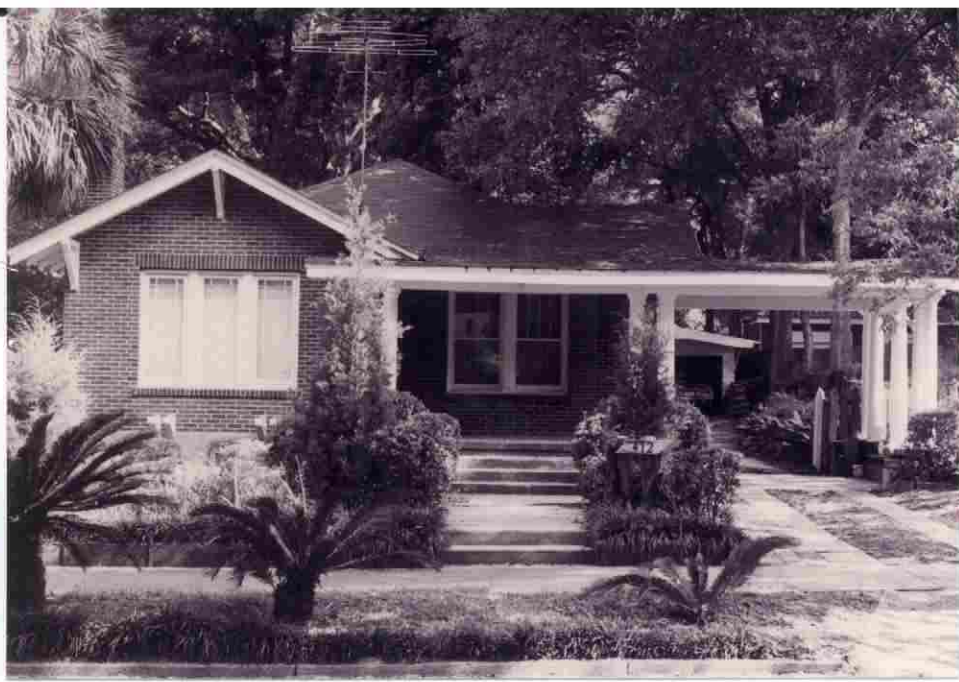
32505

32501

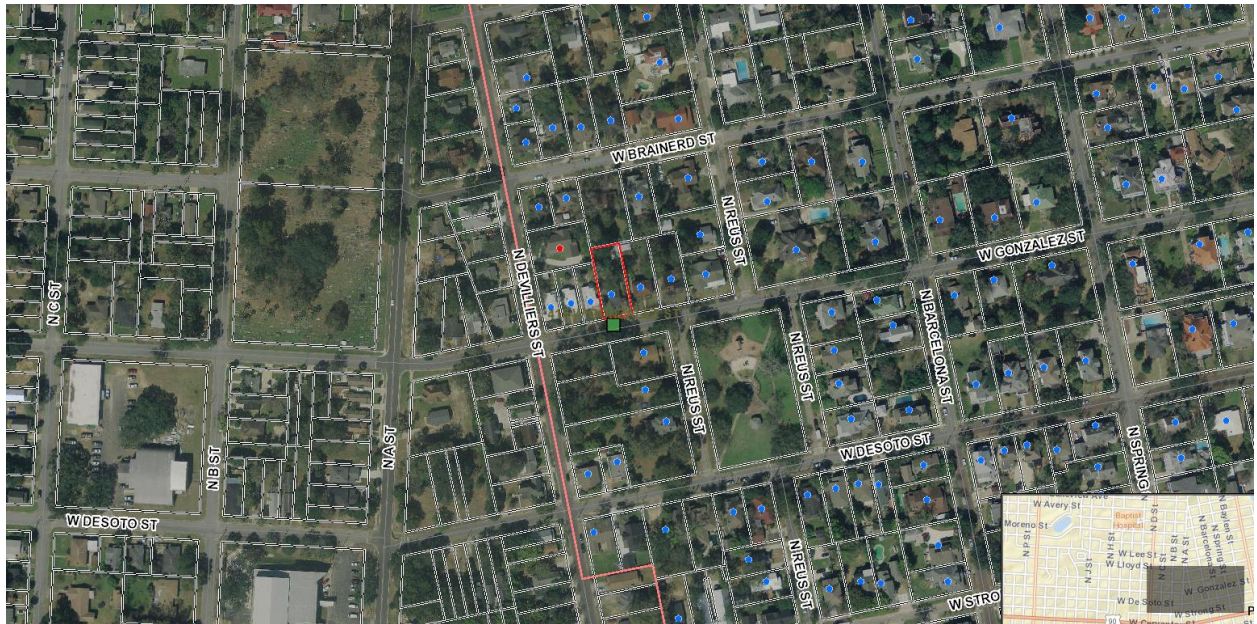


PENSACOLA

ES00890



412 W. Gonzalez Street



Walcott Adams Verneville (WAV) Architects, Inc., is requesting approval to enclose a recent rear addition on a contributing structure. This request was denied by the Board in October 2019.

Mr. Perera presented to the Board and stated they took the Board's comments into consideration with new impact-rated casement window units built within and between the architectural elements of the porch, not with large scale doors but with segments of glazing and operable windows between the columns. Vice Chairperson Crawford felt the revisions were done nicely and showcased the porch detailing while allowing the new construction. Board Member Mead stated the revisions were a nice response to the October concerns, and the Juliette window effect was met quite well. Vice Chairperson Crawford asked how they were treating the underside, and Mr. Perera advised they planned to insulate in the future. Board Member Villegas asked about the functionality of the windows, and Mr. Perera stated the casement windows opened out. The height is determined by where the decorative brackets begin. The colors would be Stone White to match the existing French doors. Board Member Salter asked about the portion of wall opposite the chimney, and Mr. Perera indicated it would be sided and painted to match the existing structure. **Board Member Fogarty made a motion to approve, seconded by Board Member Mead. With no audience speakers, the motion carried unanimously.**

Item 4	412 W. Gonzalez Street	NHPD
Contributing Structure		PR1-AAA

Action taken: Approved with abbreviated review.

Derek Huey is requesting approval to replace all existing windows (a total of 19) on a contributing structure.

Mr. Huey presented to the Board. Vice Chairperson Crawford asked if the triples on the front were original, and Mr. Huey advised they were, and the remaining windows were a different grill style but original. Advisor Pristera stated the oldest photos were from the '70s and suggested 4 over 1 was appropriate in matching the original. Vice Chairperson Crawford explained the level of discussion of detail was due to the style of the contributing structure. Mr. Huey advised there was extensive termite damage to the house and windows where they ate through the wall and frames primarily in the front and porch area. Board Member Mead advised 3 over 1 was acceptable, but there was still a problem with the triples. Advisor Pristera asked if the manufacturer could not obtain 4 over 1 windows, and Mr. Huey said they were looking and were open to that. Advisor Pristera indicated if the cost would be too expensive or those choices not available, the 3 over 1 was acceptable. **Board Member Mead made a motion to approve with the 4 over 1 windows with the allowance if research indicates 3 over 1 is the only reasonable alternative, they could be approved with an abbreviated review, and that the triple windows be fixed glass without mullions.**

Ms. McCastle explained currently moisture was getting into the home without the windows being in place and wondered about the damage and timeline for approval. Board Member Mead explained it would depend on the research time, but the abbreviated review would proceed to an architect for review and approval. Vice Chairperson Crawford advised they would be on the lookout for this project and offer a quick decision on this contributing structure.

Item 5	820 E. La Rua Street	OEHPD
Contributing Structure		OEHC-1

Action taken: ***This item has been removed from this agenda***

Item 6	200 BLK S. 9th Ave	PHD
New Construction		HC-1 / Brick Structures

Action taken: ***This item has been removed from this agenda***

June Abbreviated Review



Architectural Review Board Application Abbreviated Review

Application Date: 6/24/2020

Project Address: 412 W. GONZALEZ ST, 32501

Applicant: SKYREACH CONSTRUCTION, LLC

Applicant's Address: 268 OLDE POST RD, NICEVILLE, FL 32578

Email: INFO@SKYREACHCONSTRUCTION.COM **Phone:** 210-854-4770

Property Owner: BRENDA MCCASTLE

(If different from Applicant)

District: PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

There is a \$25 Application Fee for the following project types:

- ☐ Change of Paint Color(s) Body: _____
Trim: _____
Accent: _____
- ☐ New/Replacement Sign(s) Sign Type: _____
Dimensions: _____
Colors: _____
- ☒ Minor Deviation to an Approved Project / Change of Roofing Material Description: REBUILD CARPORT "BOARD-FOR-BOARD" AS BUILT PREVIOUSLY. WE ARE REPAIR ROTTED DAMAGE.

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

[Signature] This is a request for emergency repairs and 6/25/2020
ARB Secretary Signature not a deviation to an approved project. Date

This request was reviewed and approved by the following members of the Architectural Review Board:

[Signature] 6/25/2020
Architect Signature / Date

Comments: Refer to full board review and include architectural and structural plans for the reconstruction of the porch and window repair or replacement.

Comments: _____

UWFHT Representative Signature / Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

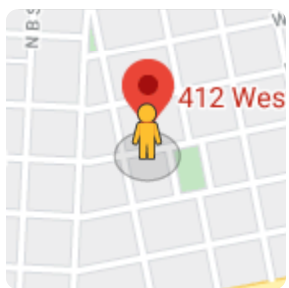


Image capture: May 2013 © 2020 Google

Pensacola, Florida



Street View



REQUESTING ABBREVIATED REVIEW TO REBUILD CARPORT "BOARD-FOR BOARD" AS PREVIOUSLY BUILT. WE ARE REPAIRING ROTTED WOOD ON THE STRUCTURE.

June Abbreviated Review

Stop work order photograph.



June Abbreviated Review



**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**


Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

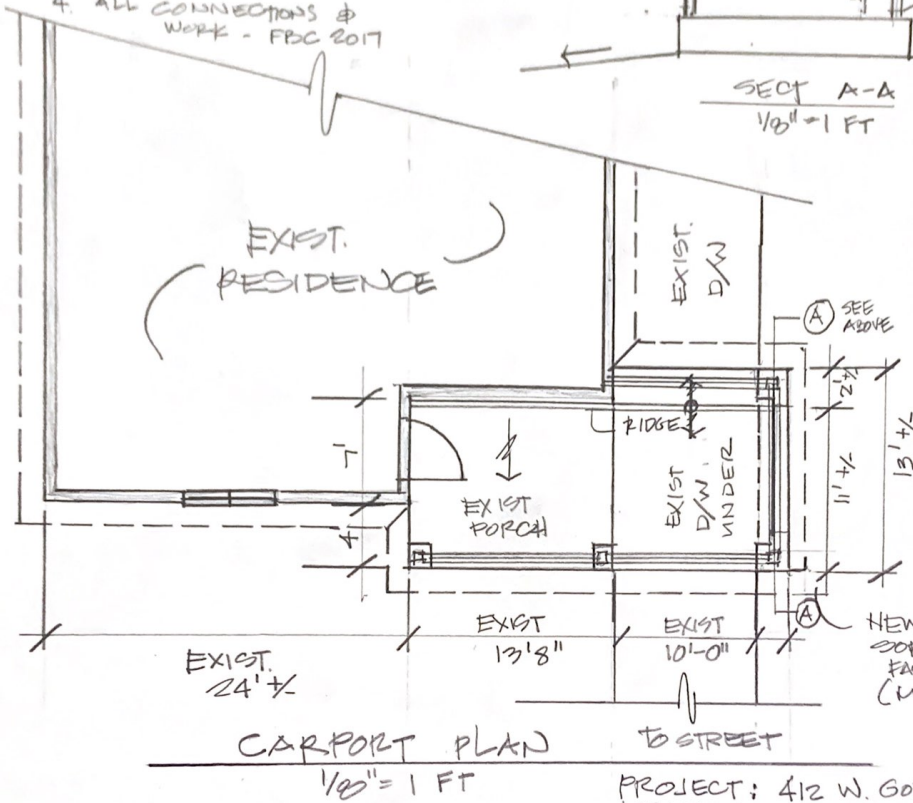
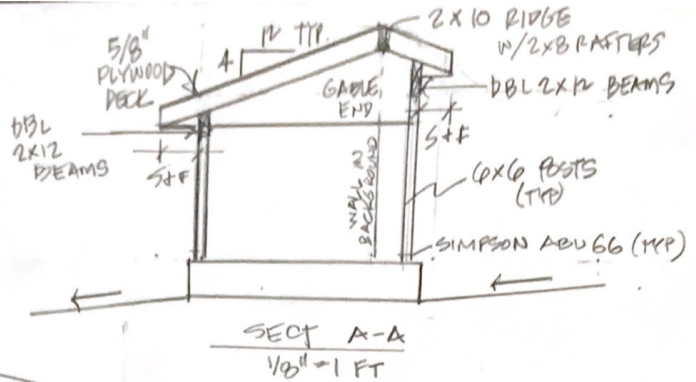


Applicant Signature

Date

NOTES

1. ALL LUMBER SHALL BE NO. 2 PINE TREATED
2. ALL CONNECTORS SHALL BE GALVANIZED
3. ROOFING - SHINGLE TO MATCH HOUSE
4. ALL CONNECTIONS & WORK - FBC 2017



[Signature]
7/2/2020

PROJECT: 412 W. GONZALEZ ST.
LOCATION: PENSACOLA, FL 32501



Chris Jones - Escambia County Property Appraiser

Account: 131450000
Refno: 0005009010028054
OName1: MCCASTLE BRENDA
MailingAddr: 412 W GONZALEZ ST+PENSACOLA, FL 32501
Situs: 412 W GONZALEZ ST
LastSale: 10/9/2019
LastSalePr: 128000
DORCd: SINGLE FAMILY RESID
acreage: 0.2066
BldCnt: 1
TotHeatArea: 1220
SecMapId: CA093
ComplexType: S
ComplexDscr: BELMONT TRACT
Zoned: PR-1AAA
MLSNbr:
TaxAuth: PENSACOLA CITY LIMITS
PicCnt: 1
Schools: GLOBAL LEARNING ACADEMY|WORKMAN|PENSACOLA

Street View



6/27/16



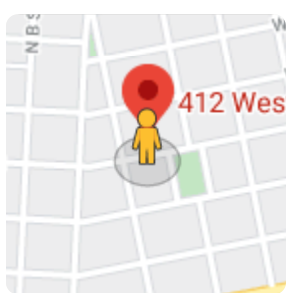


Image capture: May 2013 © 2020 Google

Pensacola, Florida



Street View



REQUESTING ABBREVIATED REVIEW TO REBUILD CARPORT "BOARD-FOR BOARD" AS PREVIOUSLY BUILT. WE ARE REPAIRING ROTTED WOOD ON THE STRUCTURE.

Atlas GlassMaster® Hearthstone Gray 3-Tab Shingles (32.5 sq ft)

30-Year Warranty

Model Number: 1516673 | Menards® SKU: 1516673



Online Price

EVERYDAY LOW PRICE

11% MAIL-IN REBATE Good Through 7/25/20

Variation: Hearthstone Gray

43 People have purchased this product in the past 30 days

* Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®.



FREE Ship To Store

[Enter Your ZIP Code](#) for store information



Shipping & Delivery

Not Available Online
Contact a store for delivery options

BILL TO:

SHIP TO:

QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
5638750	7/28/2020	Load Date Not Set	Quote Not Ordered	Julia Snow
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT
SKYREACH-412 W GONZALEZ				

LineItem #	Description	Net Price	Extended
1-1	Rough Opening: 24 1/4 X 61 3/4, Frame: 23 1/4 X 61 1/4	\$1,136.76	\$2,273.52
Qty: 2	Wrapping - Clear Opening Calculations 19.547 X 26.219, Clear Opening		
Room Location:	Area: 3.56		
A	Product Unit 1:Mira Premium Impact Double Hung		
Note:	Dimensions Custom, Frame Size 23.25 X 61.25		
	Color Exterior = White, Interior = Natural , Balance = White/Beige		
	Unit Type EZ Tilt		
	Unit Performance H-LC50 (DP +50/-50), Energy Star - Southern, U-Factor = 0.38, SHGC = 0.19, VLT = 0.35, CPD = PWG-M-96-00876-00001		
	Glass Unit 1: Low-E SC/Argon, Double Glazed, Warm Edge (WE), Metal		
	Unit 1 Lower, 1 Upper: Annealed		
	Grilles Unit 1 Bottom: None		
	Unit 1 Top: 7/8" SDL w/Shadow Bar, Colonial, Exterior = White, Interior = Natural Wood, 3W1H		
	Hardware White, 1 Lock		
	Screen Full Screen, White, Shipped Separately		
	Wrapping - Exterior Casing None		
	Wrapping - Jamb Extension 4 9/16"		



LineItem #	Description	Net Price	Extended
1-2	Unit 1 Screen, Size: 23.25 x 61.25, Screen Color: White, Screen Width: 21.5 Screen Height: 59.25	\$38.08	\$76.16

Qty: 2

Room Location:

None Assigned

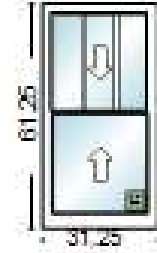
Note:



Replacement windows for this request outlined in red. Others will follow via Abbreviated Review per Board order 11/2019.

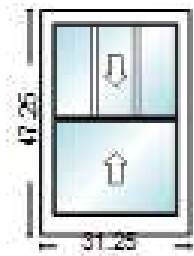
QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
5638750	7/28/2020	Load Date Not Set	Quote Not Ordered	Julia Snow
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT
SKYREACH-412 W GONZALEZ				

LineItem #	Description	Net Price	Extended
2-1	Rough Opening: 32 1/4 X 61 3/4, Frame: 31 1/4 X 61 1/4	\$1,255.41	\$15,064.92
Qty: 12	Wrapping - Clear Opening Calculations 27.547 X 26.219, Clear Opening		
Room Location:	Area: 5.02		
C	Product Unit 1:Mira Premium Impact Double Hung		
Note:	Dimensions Custom, Frame Size 31.25 X 61.25		
	Color Exterior = White, Interior = Natural , Balance = White/Beige		
	Unit Type EZ Tilt		
	Unit Performance H-LC50 (DP +50/-50), Energy Star - Southern, U-Factor = 0.38, SHGC = 0.19, VLT = 0.35, CPD = PWG-M-96-00876-00001		
	Glass Unit 1: Low-E SC/Argon, Double Glazed, Warm Edge (WE), Metal		
	Unit 1 Lower, 1 Upper: Annealed		
	Grilles Unit 1 Bottom: None		
	Unit 1 Top: 7/8" SDL w/Shadow Bar, Colonial, Exterior = White, Interior = Natural Wood, 3W1H		
	Hardware White, 2 Locks		
	Screen Full Screen, White, Shipped Separately		
	Wrapping - Exterior Casing None		
	Wrapping - Jamb Extension 4 9/16"		



LineItem #	Description	Net Price	Extended
2-2	Unit 1 Screen, Size: 31.25 x 61.25, Screen Color: White, Screen Width: 29.5 Screen Height: 59.25	\$41.63	\$499.56
Qty: 12			
Room Location:			
None Assigned			
Note:			

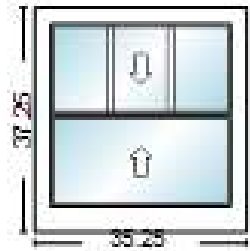
LineItem #	Description	Net Price	Extended
3-1	Rough Opening: 32 1/4 X 47 3/4, Frame: 31 1/4 X 47 1/4	\$1,075.29	\$3,225.87
Qty: 3	Wrapping - Clear Opening Calculations 27.547 X 19.219, Clear Opening		
Room Location:	Area: 3.68		
D	Product Unit 1:Mira Premium Impact Double Hung		
Note:	Dimensions Custom, Frame Size 31.25 X 47.25		
	Color Exterior = White, Interior = Natural , Balance = White/Beige		
	Unit Type EZ Tilt		
	Unit Performance H-LC50 (DP +50/-50), Energy Star - Southern, U-Factor = 0.38, SHGC = 0.19, VLT = 0.35, CPD = PWG-M-96-00876-00001		
	Glass Unit 1: Low-E SC/Argon, Double Glazed, Warm Edge (WE), Metal		
	Unit 1 Lower, 1 Upper: Annealed		
	Grilles Unit 1 Bottom: None		
	Unit 1 Top: 7/8" SDL w/Shadow Bar, Colonial, Exterior = White, Interior = Natural Wood, 3W1H		
	Hardware White, 2 Locks		
	Screen Full Screen, White, Shipped Separately		
	Wrapping - Exterior Casing None		
	Wrapping - Jamb Extension 4 9/16"		



QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
5638750	7/28/2020	Load Date Not Set	Quote Not Ordered	Julia Snow
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT
SKYREACH-412 W GONZALEZ				

LineItem #	Description	Net Price	Extended
3-2	Unit 1 Screen, Size: 31.25 x 47.25, Screen Color: White, Screen Width: 29.5 Screen Height: 45.25	\$35.43	\$106.29
Qty: 3			
Room Location: None Assigned			
Note:			

LineItem #	Description	Net Price	Extended
4-1	Rough Opening: 36 1/4 X 37 3/4, Frame: 35 1/4 X 37 1/4	\$1,001.00	\$1,001.00
Qty: 1			
Room Location: E			
Note:			
	Wrapping - Clear Opening Calculations 31.547 X 14.219, Clear Opening Area: 3.12		
	Product Unit 1:Mira Premium Impact Double Hung		
	Dimensions Custom, Frame Size 35.25 X 37.25		
	Color Exterior = White, Interior = Natural , Balance = White/Beige		
	Unit Type EZ Tilt		
	Unit Performance H-LC50 (DP +50/-50), Energy Star - Southern, U-Factor = 0.38, SHGC = 0.19, VLT = 0.35, CPD = PWG-M-96-00876-00001		
	Glass Unit 1: Low-E SC/Argon, Double Glazed, Warm Edge (WE), Metal		
	Unit 1 Lower, 1 Upper: Annealed		
	Grilles Unit 1 Bottom: None		
	Unit 1 Top: 7/8" SDL w/Shadow Bar, Colonial, Exterior = White, Interior = Natural Wood, 3W1H		
	Hardware White, 2 Locks		
	Screen Full Screen, White, Shipped Separately		
	Wrapping - Exterior Casing None		
	Wrapping - Jamb Extension 4 9/16"		



LineItem #	Description	Net Price	Extended
4-2	Unit 1 Screen, Size: 35.25 x 37.25, Screen Color: White, Screen Width: 33.5 Screen Height: 35.25	\$32.77	\$32.77
Qty: 1			
Room Location: None Assigned			
Note:			

LineItem #	Description	Net Price	Extended
5-1	Rough Opening: 24 1/4 X 61 3/4, Frame: 23 1/4 X 61 1/4	\$1,327.27	\$1,327.27
Qty: 1			
Room Location: B			
Note:			
	Product Unit 1:Mira Premium Impact Double Hung Fixed Window - Sash Set		
	Dimensions Custom, Frame Size 23.25 X 61.25		
	Color Exterior = White, Interior = Natural		
	Unit Performance FW-LC50 (DP +50/-50), Energy Star - Southern, U-Factor = 0.36, SHGC = 0.22, VLT = 0.41, CPD = PWG-M-94-01941-00001		
	Glass Low-E SC/Argon, Double Glazed, Annealed, Warm Edge (WE), Metal		
	Wrapping - Exterior Casing None		
	Wrapping - Jamb Extension 4 9/16"		



QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
5638750	7/28/2020	Load Date Not Set	Quote Not Ordered	Julia Snow
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT
SKYREACH-412 W GONZALEZ				

Total Unit Quantity: 37

PROJECT	QUOTE
412 W Gonzalez	SkyReach
NOTES	
Order:	
Delivery:	
Job	
Comment:	

SUB-TOTAL:	\$23,607.36
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$0.00
TOTAL:	\$23,607.36

CUSTOMER SIGNATURE _____ DATE _____



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00444

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 4
407 E. Intendencia Street
Pensacola Historic District / Zone HR-1 / Wood Cottages
New Construction

BACKGROUND:

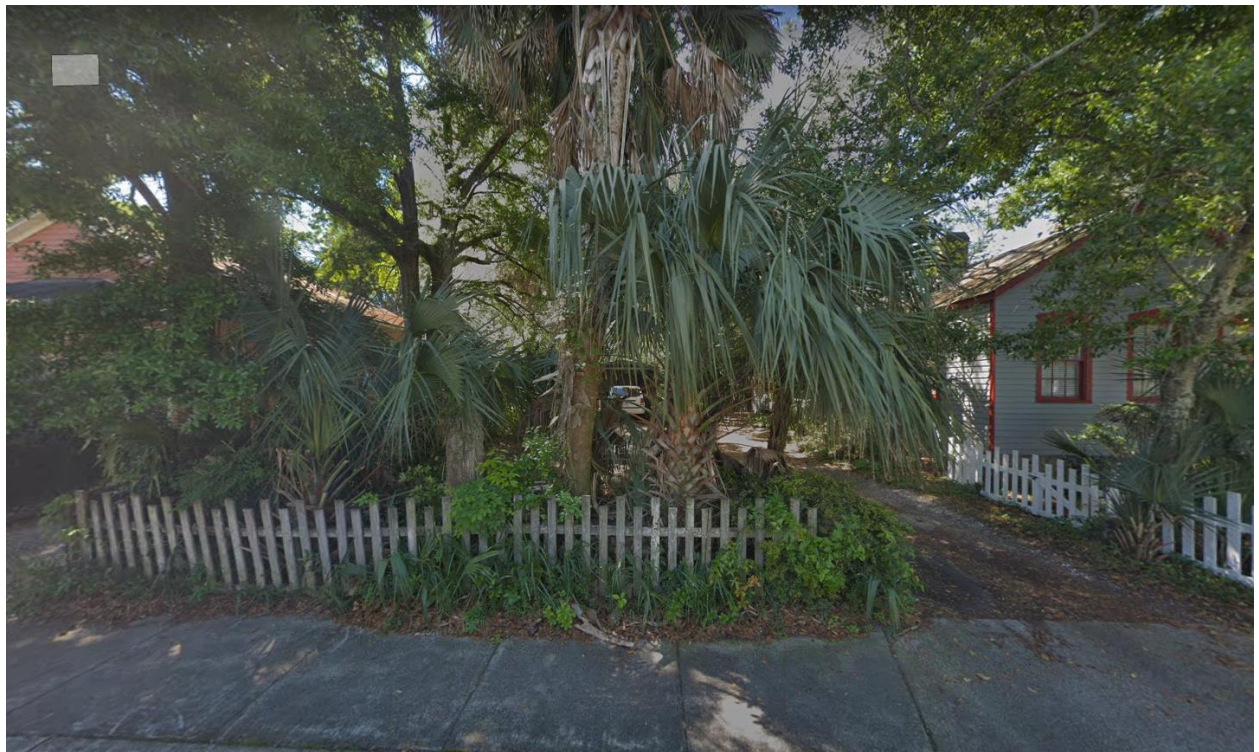
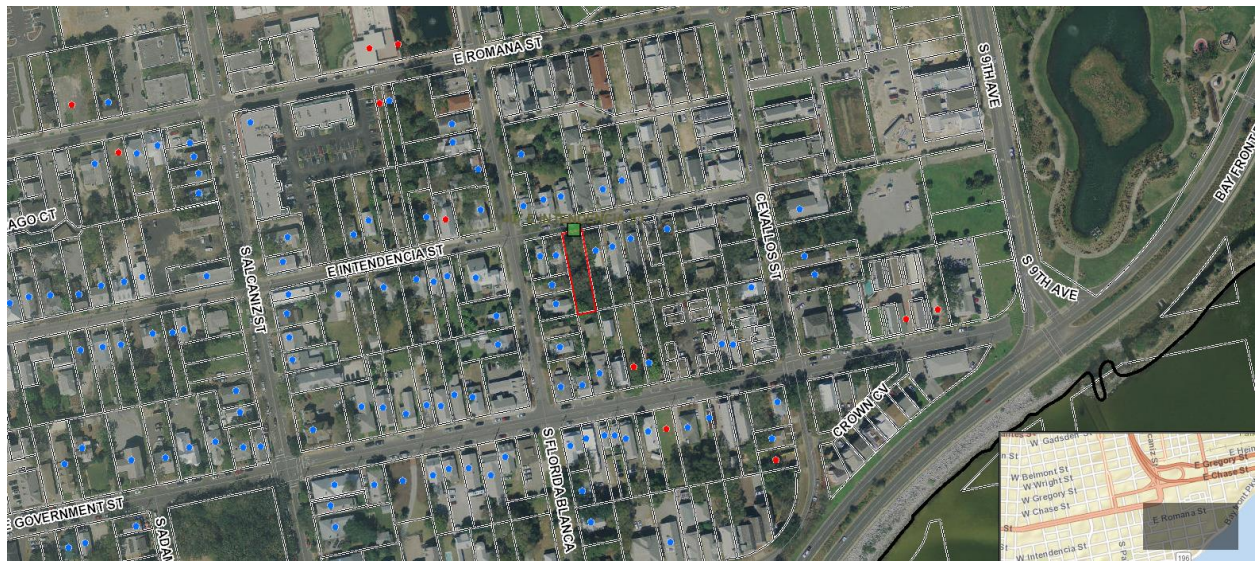
Damian Schrey, Highpointe DBR, LLC, is seeking final approval for the construction of a new single family residence and a detached garage with an accessory residential dwelling on the second level. This project received conceptual approval in August 2017 and a Variance to increase the maximum allowable height from 15 feet to 26 feet for an accessory residential dwelling located 3 feet from the property line. The structures are proposed to have Hardie board and batten siding, aluminum-clad wood windows on the front and vinyl windows on the side and front, fiberglass doors, and a 5V crimp metal roof. The proposed finish on the stem wall will be stucco on the sides and rear and brick on the porch area. The color palette was chosen from Sherwin Williams historic colors and include a "Debonair" blue body, "Origami White" trim and "Rockwood Medium Brown"-painted stem wall. The hardscape plan includes a concrete ribbon drive, a rear courtyard and driveway with concrete pavers and pool.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(8) *PHD, New Construction*
Figure 12-2.1 *Wood Cottages District - Streetscape, Type II*

407 E. Intendencia Street





PLANNING SERVICES


THE UPSIDE of FLORIDA

August 2017 Conceptual Packet

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM:  Brandi Deese, Assistant Planning Services Administrator

DATE: August 3, 2017

SUBJECT: New Business - Item 7
407 E. Intendencia Street
OEHPD / OEHR-2
New Construction

BACKGROUND

J.P. MacNeil, Architectural Affairs, Inc., is seeking conceptual approval for the construction of a new single family residence and a detached garage with an accessory residential dwelling on the second level. The structures are proposed to have Hardie board and batten siding, either Jeld-Wen vinyl windows or wood clad windows, fiberglass doors, fiberglass carriage door, and 5V crimp metal roof. The proposed finish on the stem wall will be stucco on the sides and rear and brick on the porch area. Wood painted shutters are proposed on the front façade of both structures.

Please find attached all relevant documentation for your review.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / www.cityofpensacola.com

August 2017 Conceptual Packet

City of
Pensacola
*America's First Settlement
And Most Historic City*

Architectural Review Board Application Full Board Review

Application Date: 7-26-17

Project Address: 407 E. Intendencia St., Pensacola, FL 32502

Applicant: J. P. MacNeil, Architect, of Architectural Affairs, Inc.

Applicant's Address: 105 E. DeSoto St., Pensacola, FL 32501

Email: jpm@architecturalaffairs.com **Phone:** 850-434-3700

Property Owner: Jason & Erica Richards

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Requesting conceptual approval and variance for new two-story residence and accessory
building that includes garage and accessory unit.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

7.27.17
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

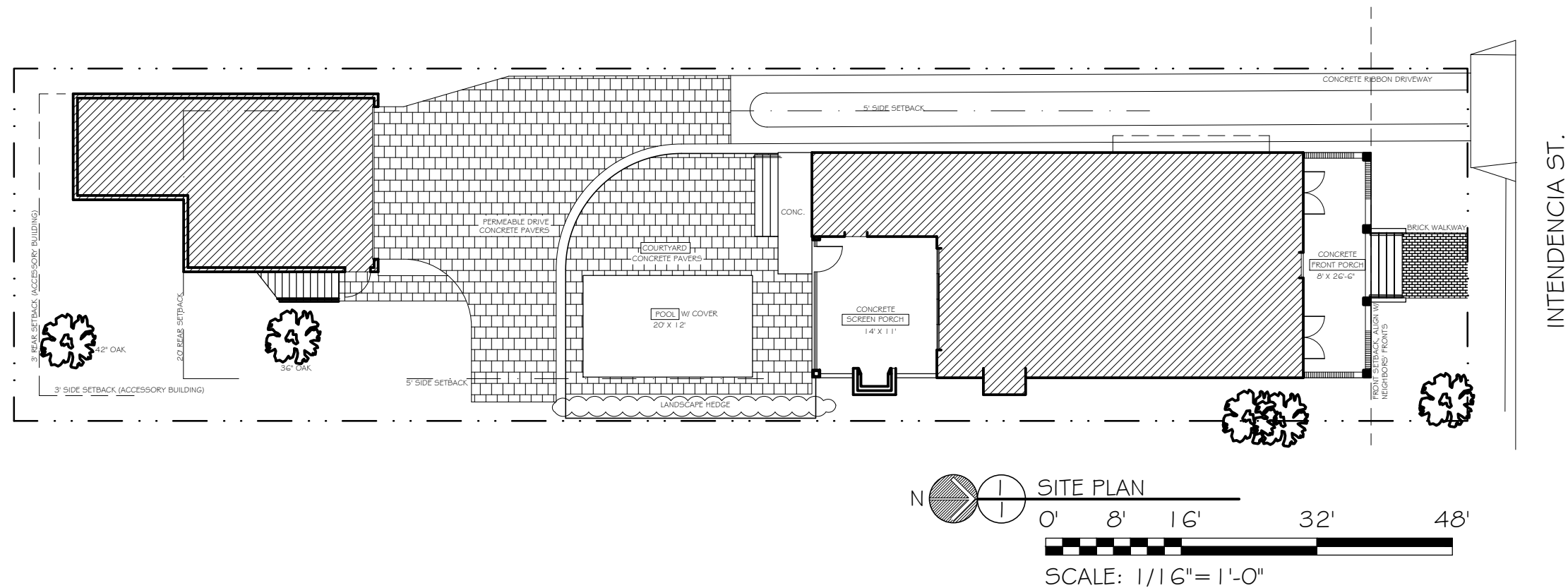
Richards Residence

407 East Intendencia Street, Seville
Pensacola, Florida

August 2017 Conceptual Packet

Index of Drawings

1. Title Sheet, Site Plan, & Index of Drawings
2. Principal Building Plans
3. Accessory Plans
4. Principal Building Elevations
5. Accessory Elevations



ARCHITECTURAL
affairs

AA-0003110 INC.
105 E. DE SOTO ST.
PENSACOLA, FL 32504
850-434-3700
architecturalaffairs.com

SHEET TITLE: TITLE SHEET, SITE PLAN, & INDEX

PROJECT: RICHARDS RESIDENCE
407 EAST INTENDENCIA ST., PENSACOLA, FL

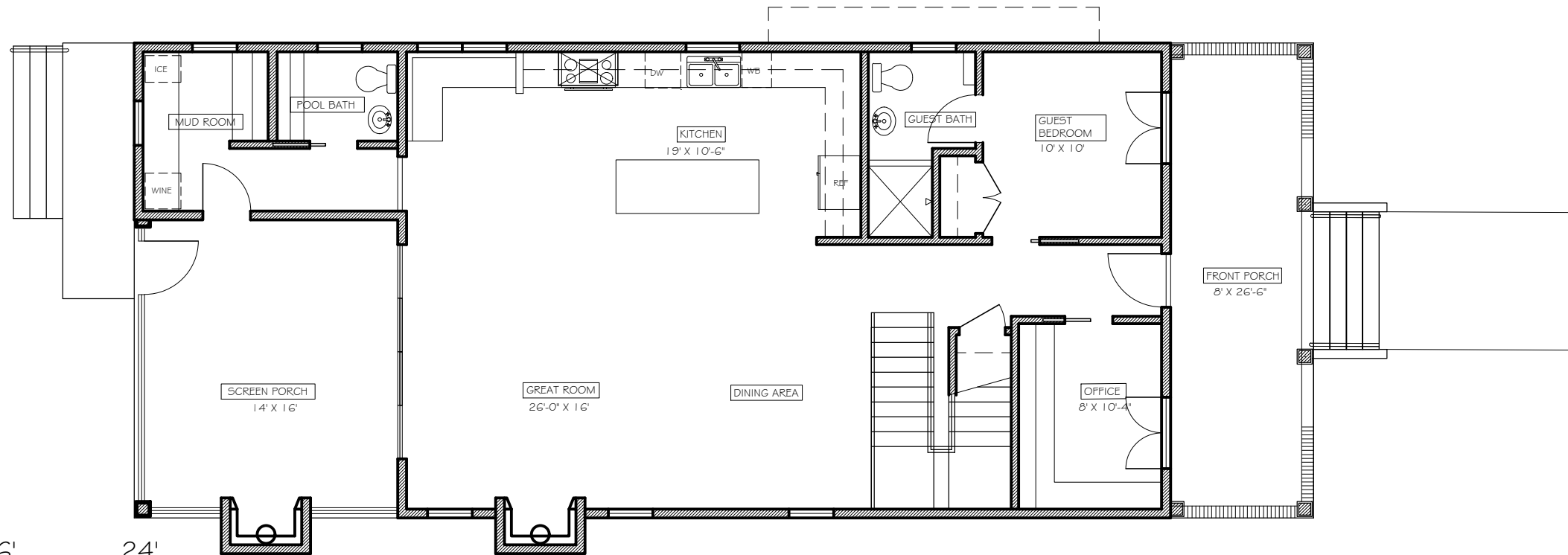
PROJECT NO:

DRAWING ISSUE:

August 2017 Conceptual Packet

0' 4' 8' 16' 24'

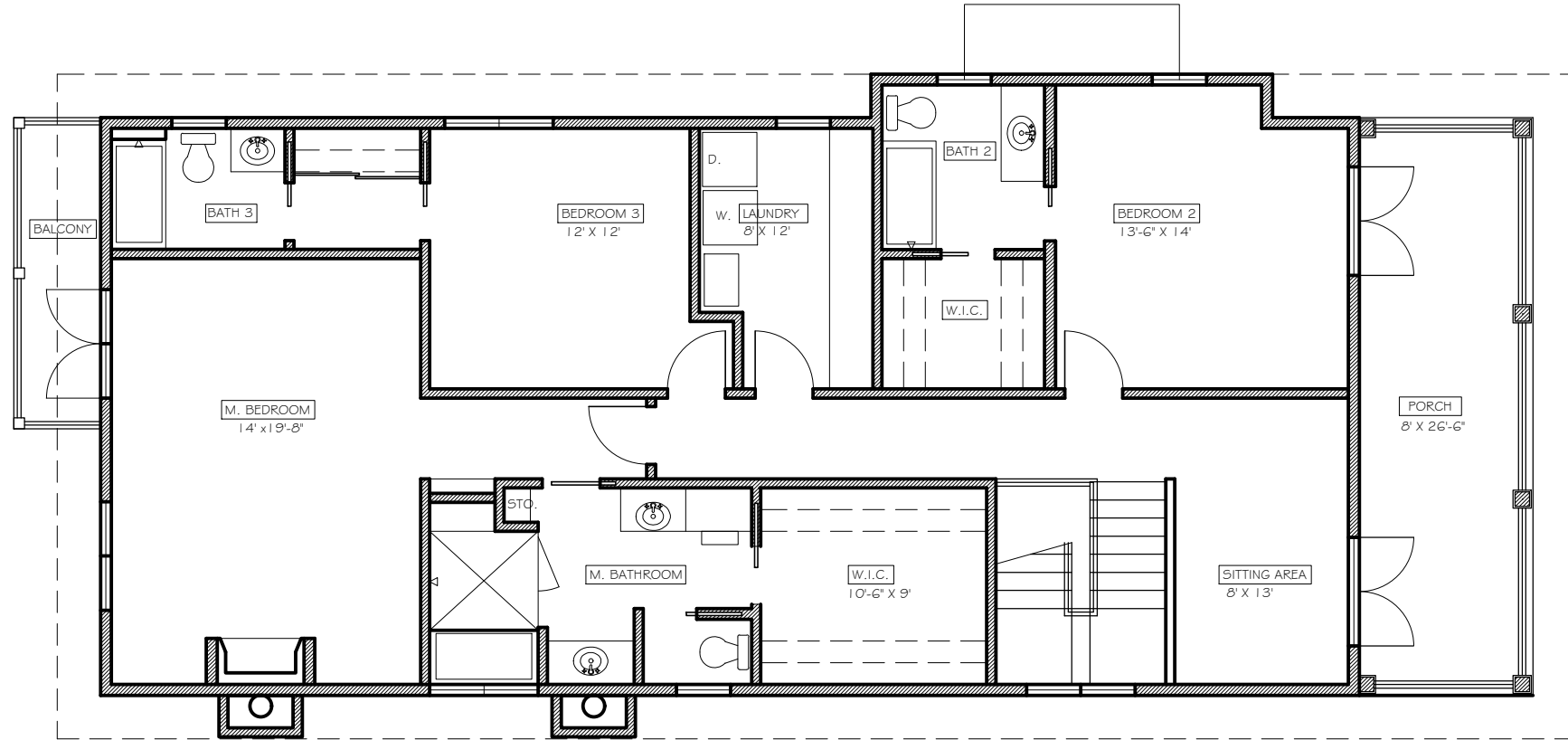
SCALE: 1/8" = 1'-0"



1st FLOOR PLAN

2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"



DATE: 7-26-17

SHEET TITLE:

PRINCIPAL BUILDING PLANS

PROJECT:

RICHARDS RESIDENCE
407 EAST INTENDENCIA ST., PENSACOLA, FL

PROJECT NO:

ARCHITECTURAL
affairs

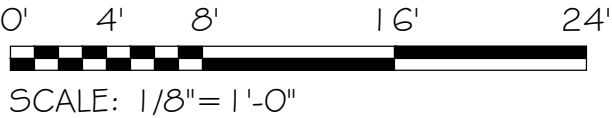
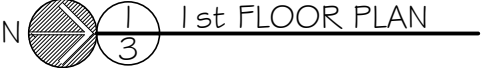
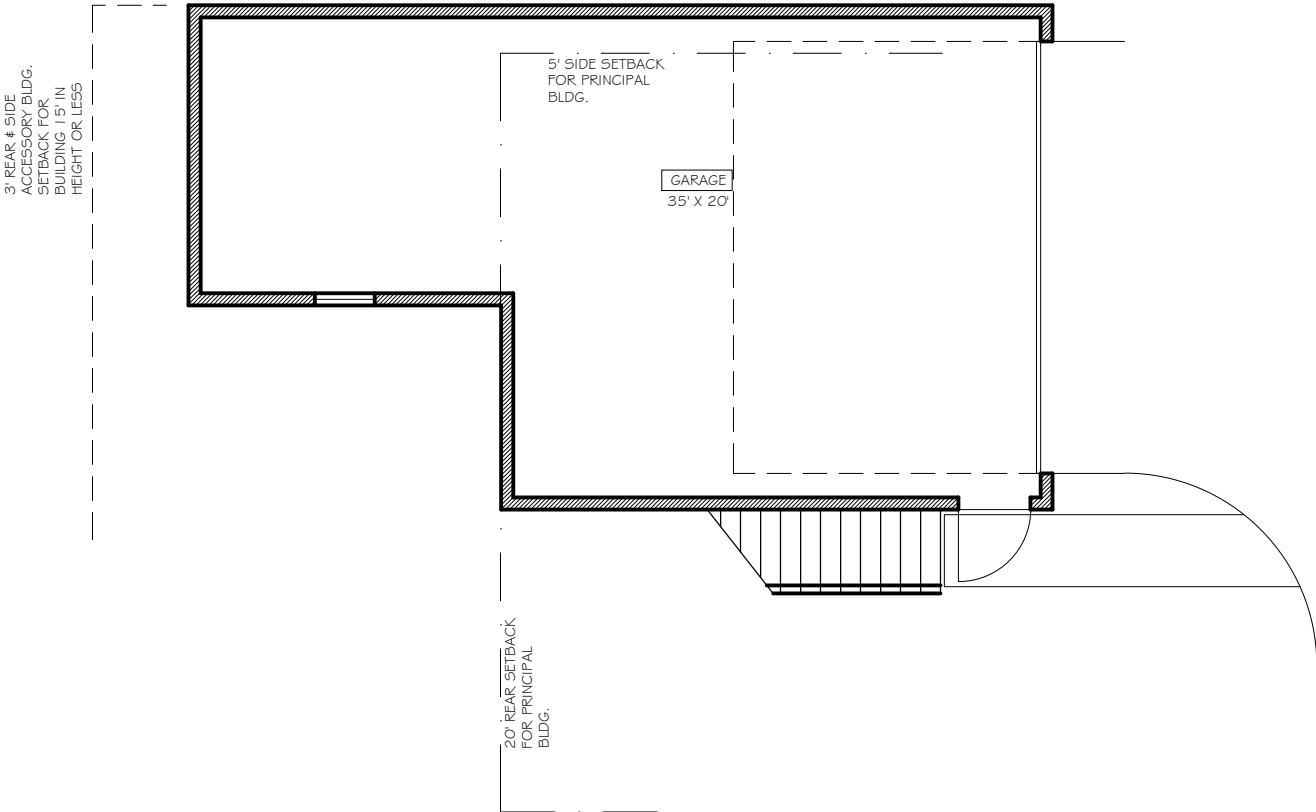
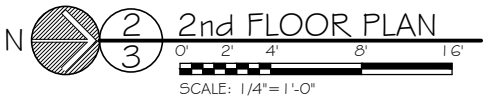
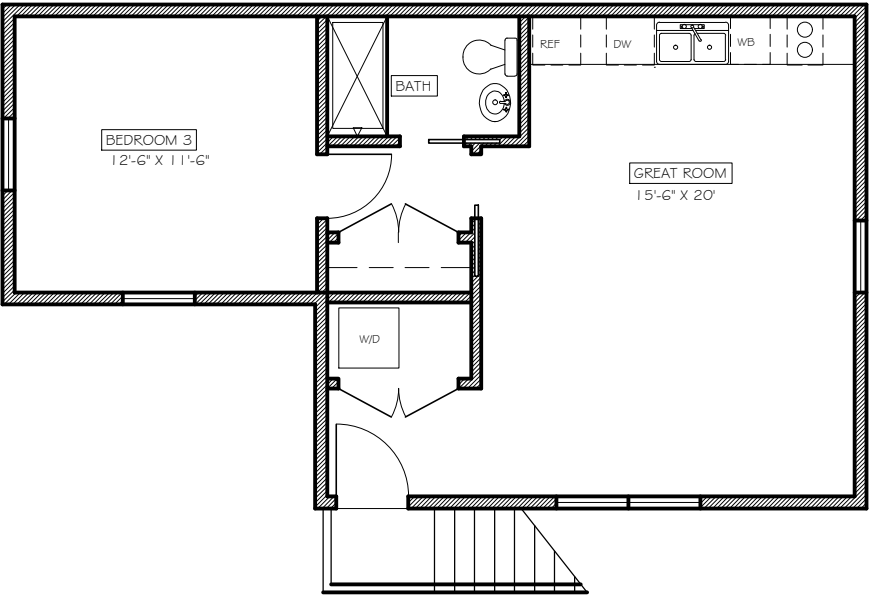
850-434-3700
architecturalaffairs.com
AA-0003110 INC.
105 E. DE SOTO ST.
PENSACOLA, FL 32504

DRAWING ISSUE:

August 2017 Conceptual Packet

PRINCIPAL BLDG.	1ST FLOOR	2ND FLOOR	TOTAL
PRINCIPAL BUILDING	1,297 S.F.	1,580 S.F.	2,877 S.F.
PORCHES	516 S.F.	270 S.F.	786 S.F.

ACCESSORY BLDG.	1ST FLOOR	2ND FLOOR	
GARAGE/WORKSHOP	645 S.F.	645 S.F.	1290 S.F.
ACCESSORY UNIT			



ARCHITECTURAL
affairs

AA-0003110 INC.
105 E. DE SOTO ST.
PENSACOLA, FL 32504

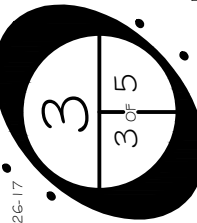
850-434-3700
architecturalaffairs.com

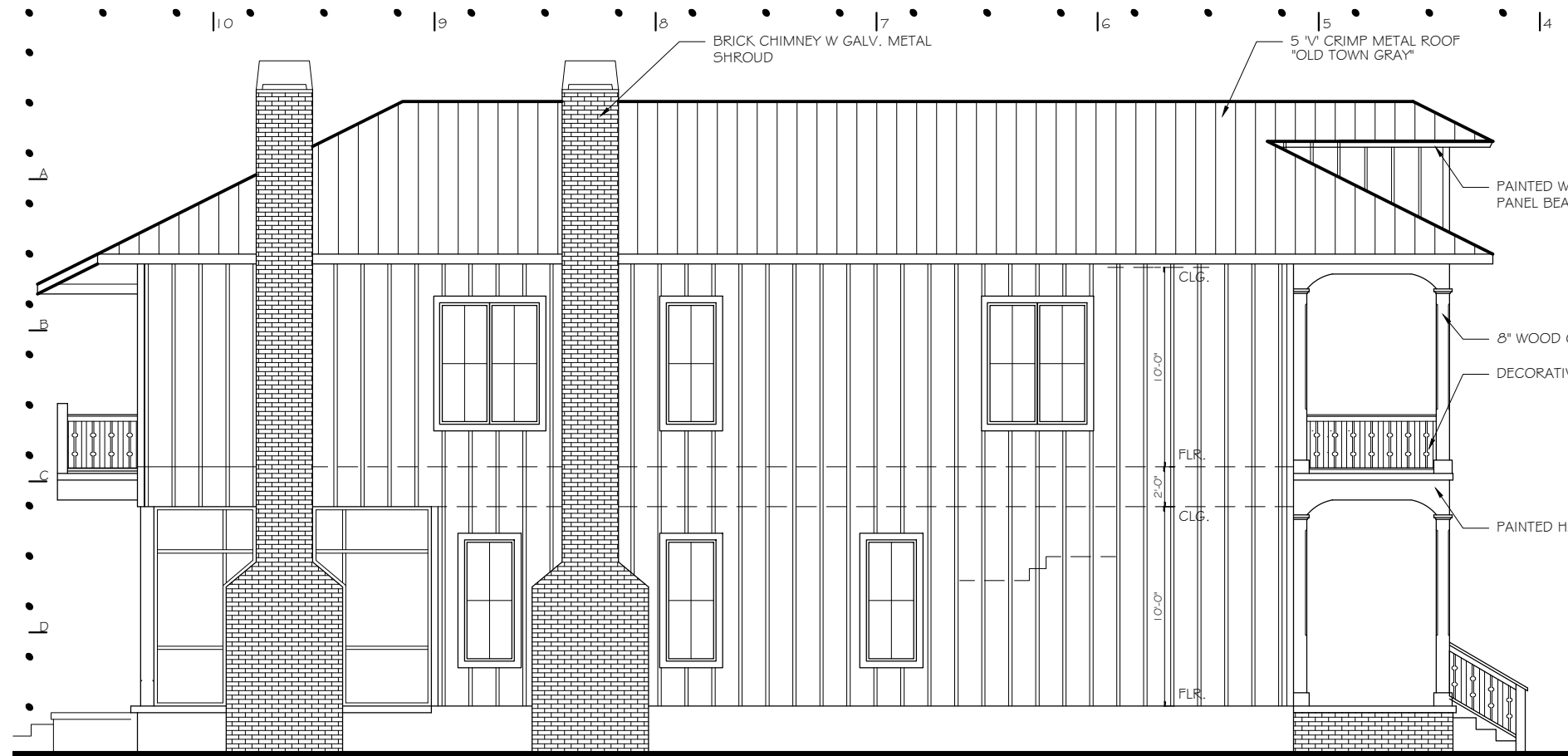
DATE: 7-26-17

SHEET TITLE: ACCESSORY BUILDING PLANS

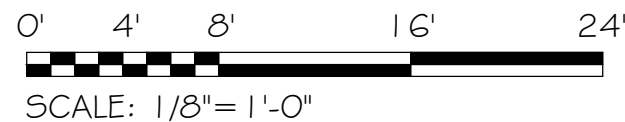
PROJECT: RICHARDS RESIDENCE
407 EAST INTENDENCIA ST., PENSACOLA, FL

PROJECT No:

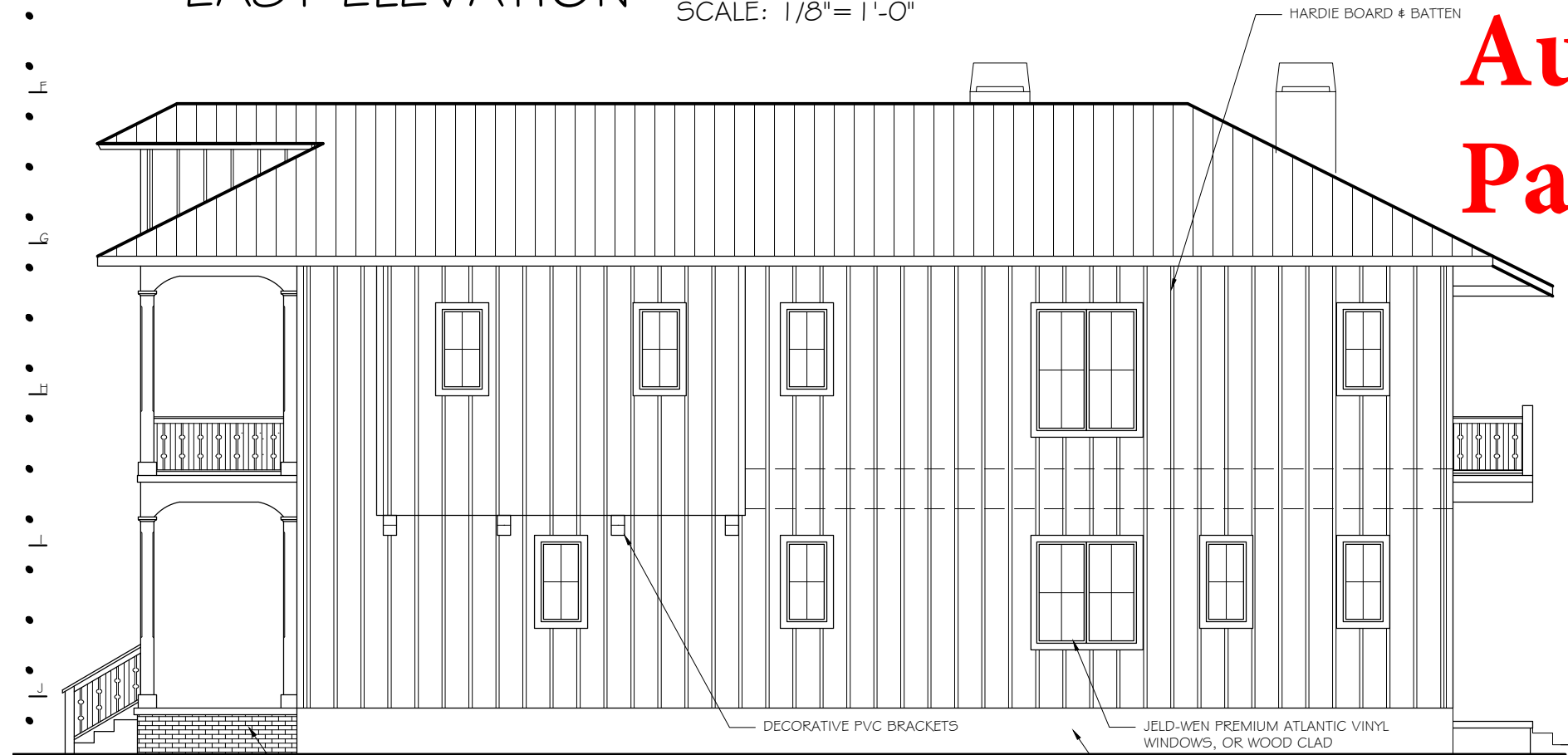




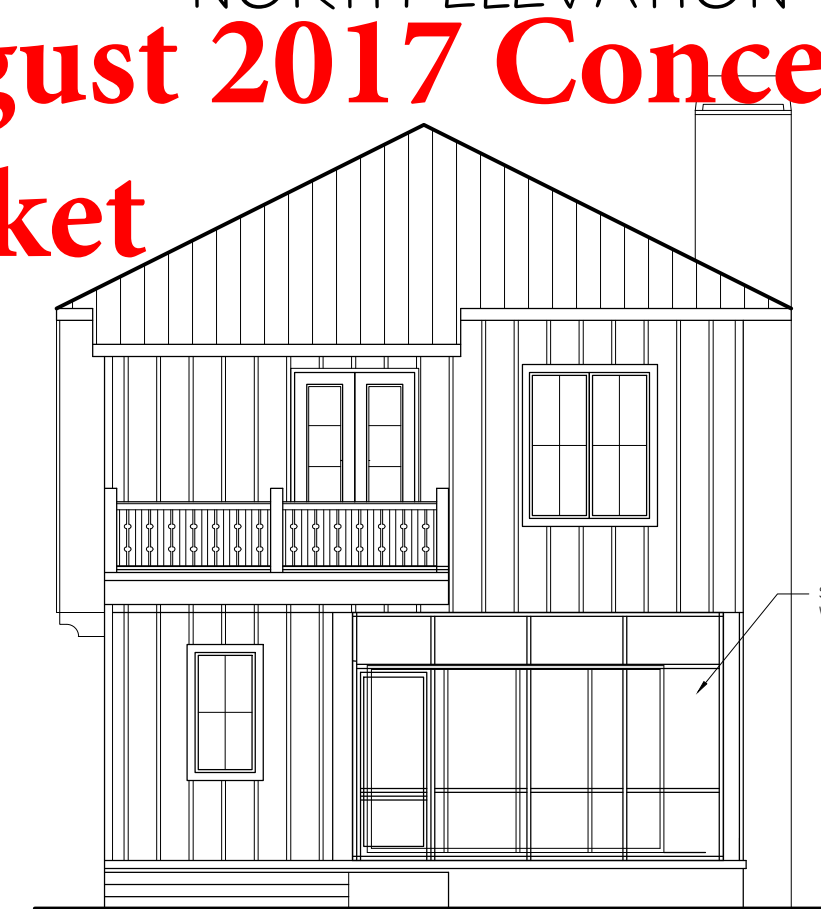
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

PRINCIPAL BUILDING
EXTERIOR ELEVATIONS

August 2017 Conceptual
Packet

ARCHITECTURAL
affairs

AA-0003110 INC.
105 E. DE SOTO ST.
PENSACOLA, FL 32501
850-434-3700
architecturalaffairs.com

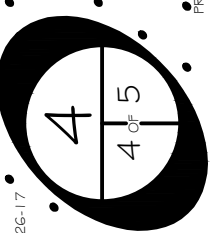
PRINCIPAL BUILDING ELEVATIONS

RICHARDS RESIDENCE
407 EAST INTENDENCIA ST., PENSACOLA, FL

DATE: 7-26-17

PROJECT:

PROJECT NO:

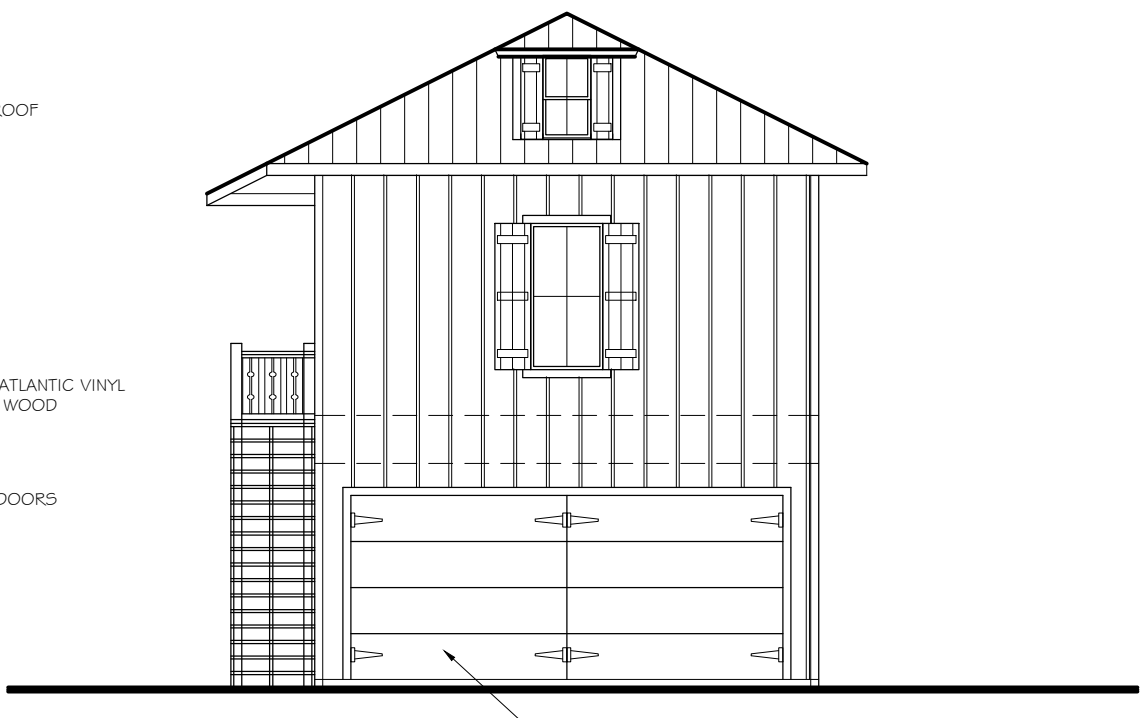


10 9 8 7 6 5 4 3 2 1

A B C D E F G H J

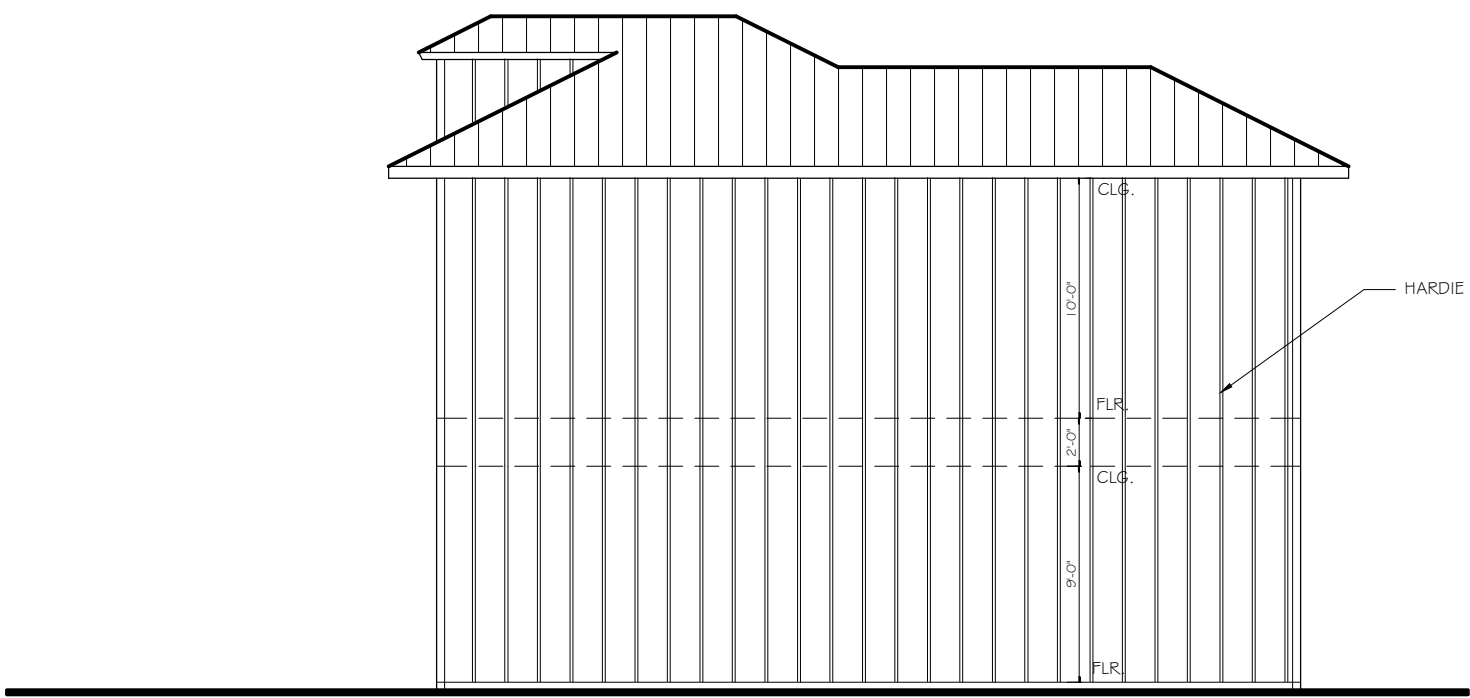


EAST ELEVATION

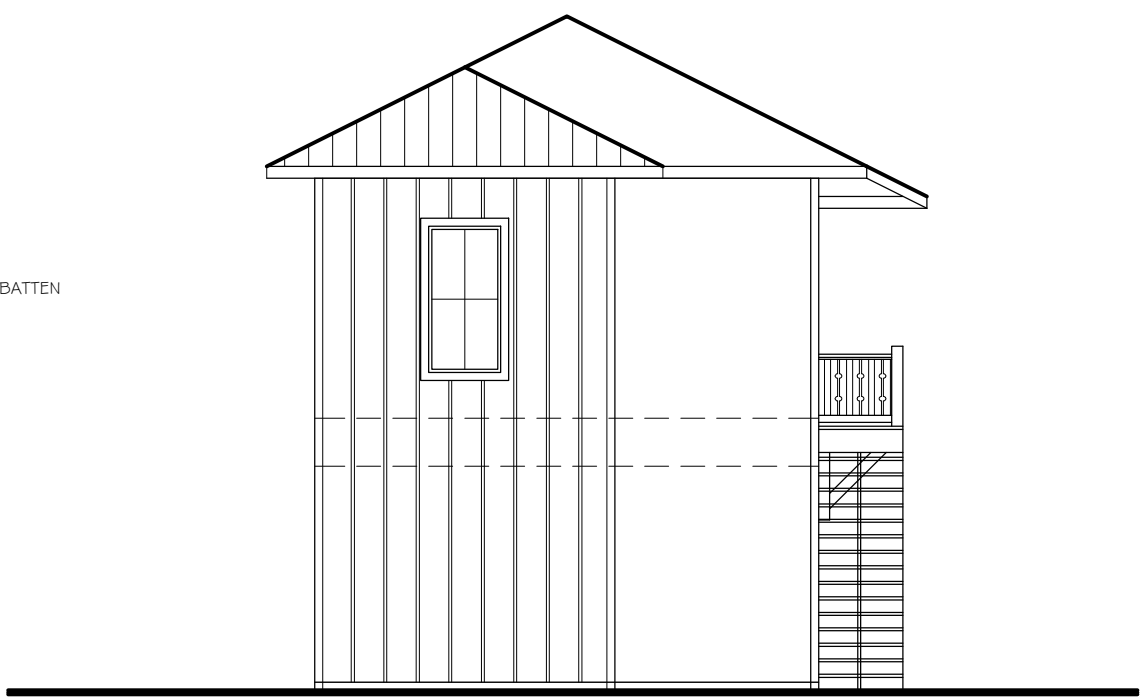


NORTH ELEVATION

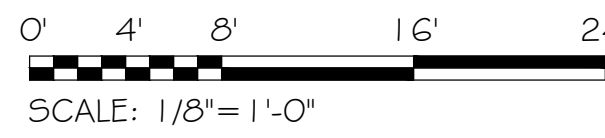
August 2017 Conceptual Packet



WEST ELEVATION



SOUTH ELEVATION



ACCESSORY BUILDING
EXTERIOR ELEVATIONS

1
5

DRAWING ISSUE:

ARCHITECTURAL
affairs

850.434.3700
architecturalaffairs.com

AA-0003110 INC.
105 E. DE SOTO ST.
PENSACOLA, FL 32504

DATE: 7-26-17

SHEET TITLE: ACCESSORY BUILDING ELEVATIONS

PROJECT: RICHARDS RESIDENCE
407 EAST INTENDENCIA ST., PENSACOLA, FL

PROJECT NO:

5
5 of 5

Chairman Quina pointed out the new addition would consist of the master bedroom and bath with a back porch. Regarding the roof, Mr. Gleaton advised they could go up higher with the pitch, but then it would be visible. Ms. Gleaton advised the existing footprint is original, with the back porch enclosed. She advised the current windows were aluminum and they were considering Anderson A-series for the new area and eventually the entire house. Mr. Mead was not keen on the asymmetry but did not have a better solution. He pointed out the existing shed addition and suggested they preserve the gable end with the eave treatment.

Mr. Crawford made a motion for conceptual approval, seconded by Mr. Mead. Mr. Townes was concerned with the roof slope since this was a contributing structure, but this would only be visible to the neighbors. On the addition, he would like to see a clean break from what was the contributing structure to what was the addition. **The motion then carried unanimously.** The Board then discussed the accessory building requirements.

Item 4

714 E. Belmont St

OEHPD

New Construction

OEHR-2

Action taken: Approved with comments

Steve Irby is seeking approval for a new single family residence with detached garage. The proposed residence will be located within the footprint of the original structure and has been designed in such a manner to reflect the historical nature of the neighborhood. Proposed materials include PGT windows, old heart pine custom entry door, cement fiberboard siding, and asphalt shingles; color palettes have been selected from Benjamin Moore. The LDC reference is Section 12-2-10 C (8).

Perry Malone presented to the Board. Chairman Quina pointed out the East Hill comments requested the window muntins not be flat, and if the garage location could be pushed back so a vehicle parked in front of the garage would not block the sidewalk. Mr. Malone stated they had actually moved the garage forward. The windows would have simulated divided light to resemble the old windows. Mr. Irby stated the house was moved to the east to allow for a courtyard to the west. Mr. Mead was concerned with the garage placement and suggested it be moved closer to the street to allow parking in the garage, resulting in a shorter driveway and more yard. This would also meet the concerns of East Hill. Mr. Malone stated the placement was with the idea of having some room away from the sidewalk for vehicles to park and allow for a connector from the garage. He also explained the roof would be asphalt shingles. He also indicated the plans did not have detail on the columns, but the columns would keep to the cottage style architecture. Chairman Quina asked if the details would be provided to the contractor and inspector. Mr. Malone explained he was the contractor and would build the columns onsite, but detail drawings could be prepared for permitting. Mr. Townes addressed the front elevation hip end on the addition which pops out and a hip end on the porch; he pointed out everything was gabled except for the porch.

Mr. Townes then made a motion to approve with continuing the shed on the east elevation, seconded by Mr. Jones. Mr. Malone asked if that requested style of shed was more prevalent in the neighborhood. Mr. Townes stated he saw the porch having its own roof structure, with the more gabled look matching the dormer which pops out and matching the gable ends of the house. **Mr. Crawford amended the motion to suggest the garage door be carriage style; Mr. Malone and Mr. Townes were agreeable to the amendment. The motion then carried unanimously.**

Item 5

407 E. Intendencia St

PHD

Variance

HR-1 / Wood Cottages

Action taken: Approved with comments

J.P. MacNeil, Architectural Affairs, Inc., is requesting a Variance to increase the maximum height of an accessory residential dwelling unit located 3 feet from the property line from 15 feet to 28 feet. The applicant has shifted the accessory building toward the west side of the property to preserve the two Heritage trees located on the eastern side of the lot. LDC 12.2.10 A (8), 12.2.52 C (4) and 12.12.2(2) apply.

Ms. MacNeil stated the reason for placement was for preservation of the trees. Chairman Quina explained that the height proposed will be somewhere over 5' from the property line by Code compliance. Ms. Deese clarified that with every additional foot of height, the setback would be one additional foot (Section 12.2.52). The scale is different based on whether it is an accessory residential or just accessory such as a garage. Mr. Quina explained the reason for the variance was to protect the oak trees.

Susan Senkarik, a neighbor, advised she was not philosophically opposed to the request and appreciated the provisions for the trees, however, her sewer line runs out to Intendencia. If the applicant was to take the garage and build it offsite and place it on the property, there would be no problem for the sewer; the construction might be risky in disturbing the sewer line. Mr. Mead assured her that any licensed contractor would have to verify everything underground before proceeding.

Joe Bernard wanted to address the sewer line issue. He stated if the 3' variance was approved, it would only apply to the portion of the garage on the southwest corner. Chairman Quina clarified it was the west elevation for the garage that would be affected. Mr. Bernard indicated he had no problem with the request. Ms. MacNeil stated ECUA would make the determination.

Glen Hudson stated he was on the east side of the property and was opposed to variances in the historic district. He advised the lots did not run true to the street. Chairman Quina pointed out the building would be closer to his property if the variance was not granted.

Mr. Townes was looking at a way to mitigate with the floor to ceiling height of the second floor at 10' and the garage height at 9'. Ms. Erica Richards, the owner, advised she would be open to a reduction. Mr. Crawford explained they could get the 10' height with shaped trusses. Mr. Richards stated he would be agreeable with 8' for the garage and 9' for the second floor.

Mr. Townes made a motion to approve the variance based upon a reduction of the building height by 2' – the variance would then be from 13' to 11', seconded by Ms. Campbell. Upon questioning, Ms. Deese stated based on the Code, there were very specific findings. Chairman Quina explained the findings were in the application for a variance which outlined four items. **The motion then carried unanimously.**

Item 6

407 E. Intendencia St

PHD

Demolition

HR-1 / Wood Cottages

Action taken: Approved

J.P. MacNeil, Architectural Affairs, Inc., is seeking approval for the demolition of a non-contributing accessory structure. Ms. MacNeil presented to the Board. Mr. Hudson advised the structure was 20 years old.

Mr. Jones made a motion to approve, seconded by Mr. Townes, and it carried unanimously.

Item 7

407 E. Intendencia St

PHD

New Construction

HR-1 / Wood Cottages

Action taken: Conceptual Approval

J.P. MacNeil, Architectural Affairs, Inc., is seeking conceptual approval for the construction of a new single family residence and a detached garage with an accessory residential dwelling on the second level.

Ms. MacNeil asked about wood or vinyl windows and advised the garage door would be one instead of two separate doors since the garage is only 21' wide. Ms. Deese stated the requirements for wood windows was based on whether the new construction was interpreted by the Board as a historical design – with historical design, they should use like materials. Chairman Quina explained wood could be considered on the primary façade with other materials on the secondary facades. Ms. MacNeil indicated they preferred wood clad. Mr. Mead advised his interpretation of the plan was that it was to look like a historic structure; it had good form and appropriate details.

Erica Parker stated the goal was wood on the front door with something else on the sides and rear. Mr. Jones asked about the grade, and Ms. MacNeil advised it would be 18" – 24" with more steps on the front than the rear since the property slopes upward. Mr. Jones asked if it should be 3' off grade to match historical structures. Ms. MacNeil stated the height as shown is workable but they could go higher. Mr. Crawford pointed out the proposed concrete porch being addressed in Seville, and Mr. Townes stated it was with a pier type foundation as opposed to a stem wall with a slab (aesthetic requirement). Chairman Quina pointed out this project is a very contemporary two-story, based on a more traditional style developed over time and not a historic replica. Ms. Campbell liked the open non-rail and raising the elevation would require railings. Mr. Townes pointed out nothing in the Code mandates the structure has to be historic, and the Board was saying this house does not replicate historic; it is more modern which takes it out of the historic category.

Ms. Senkarik stated the property had not flooded but with that much concrete, it might be a problem. Because of the way the lot is sloped, the water would run down to Intendencia. Mr. Crawford clarified that it was completely off grade. Chairman Quina stated the City Engineer would evaluate the site plan for the runoff to Intendencia. Mr. Townes advised the purpose of the pier foundation was that the water could go underneath. Ms. MacNeil indicated they would also be using permeable pavers with a sand base and ribbon driveway.

Mr. Jones made a motion for conceptual approval, seconded by Ms. Campbell, and it carried unanimously.

Item 8

208-210 S. Palafox

PHBD

Contributing Structure

C-2A

Action taken: Approved with comments

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for the addition of a new covered outdoor seating space with a bar in conjunction with a renovation. The project also includes the addition of two external coolers at the eastern end of the building. The proposed scope of work includes the conversion of the existing commercial building into primarily a restaurant; a small office with a separate entrance will be created at the northeast corner of the building. The new covered outdoor seating area is proposed to be located in the existing parking area at the northwest corner of the building and will be adjacent to the sidewalk. New storefront windows will be added above the bar and a storefront entrance will be added to connect the indoor and outdoor spaces directly. The flooring material is proposed to be pavers and will include a walkway to the "World of Beer" outdoor space. The exterior features of the covered seating area will complement the adjacent "World of Beer" and string lights will be located above the service alley and connect the two areas. LDC reference 12.2.21 (F).

Ms. Beggy presented to the Board and furnished revisions to the project. The siding was indicated as Hardie. Chairman Quina suggested the railing along the east side be higher to obscure the parking view along Palafox. Mr. Sallis clarified that this would be a phased project, taking the entire parking lot and making it a park. However, he stated they could not construct a fence at this time since patrons use that outdoor space.



Application Date: 8/1/2020

District: ☒ PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

☐ Residential Homestead – \$50.00 hearing fee

☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Requesting final approval of new two-story residence and accessory building that includes garage and accessory unit.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Date _____

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

RICHARDS RESIDENCE

407 E. INTENDENCIA ST. PENSACOLA FL. 32502

DRAWING INDEX:

- C1 - SITE PLAN**
A1 - HOUSE ELEVATIONS
A2 - HOUSE ELEVATIONS
A3 - HOUSE 1st FLOOR PLAN & 2nd FLOOR PLAN
A4 - HOUSE FOUNDATION & 1st FLOOR FRAMING PLAN
A5 - HOUSE 2nd FLOOR FRAMING PLAN & ROOF TRUSS PLAN
A6 - GARAGE ELEVATIONS
A7 - GARAGE 1st FLOOR PLAN & 2nd FLOOR PLAN
A8 - GARAGE FOUNDATION & 1st FLOOR FRAMING PLAN
A9 - GARAGE 2nd FLOOR FRAMING PLAN & ROOF TRUSS PLAN
A10 - DETAILS
A11 - DETAILS
E1 - HOUSE ELECTRICAL PLAN
E2 - GARAGE ELECTRICAL PLAN
S1 - STRUCTURAL DETAILS
S2 - STRUCTURAL DETAILS
S3 - STRUCTURAL DETAILS

SQUARE FOOTAGE

BUILDING AREA:
HOUSE:
1st FLOOR LIVING: 1142 SF
2nd FLOOR LIVING: 1395 SF
TOTAL LIVING SF: 2537 SF
COVERED PORCH: 705 SF
PORCH & STEPS: 137 SF
TOTAL ALL AREAS: 3379 SF

GARAGE:
GARAGE SPACE: 645 SF
2nd FLOOR LIVING: 645 SF
TOTAL UNDER ROOF: 1290 SF
STAIRS: 63 SF

BUILDING INFORMATION:

FBC 2017

OCCUPANCY (FBC 310.5):
R3 - SINGLE FAMILY RESIDENCE

GENERAL NOTES:

1. SPECIFICATIONS

Site - It is recommended that the services of a registered land surveyor be employed for the proper placement of the structure in relation to property lines, setback lines, easements, variances, etc.

Codes - Construction shall comply with all applicable national, state and local building codes. It is the responsibility of the Contractor and subcontractors to insure compliance with said codes and modify the specifications as needed to comply with such codes.

Measurements - Verify all dimensions and conditions before proceeding with construction. Noted dimensions take precedence.

Workmanship - Workmanship shall conform to the best and highest standards of quality in each trade and shall include all items of fabrication, construction and installation. All work shall be completed by skilled licensed and insured tradesmen and mechanics. Installation of all equipment and materials shall be in strict accordance with manufacturers recommendations.

Insurance - Builders Risk Insurance shall be maintained by the contractor or homeowner during the course of construction until final acceptance by the owner. All subcontractors shall provide building contractor with proof of license, insurance and workman's compensation. All subcontractors shall provide and be solely responsible for necessary barricades and safety precautions, and strictly adhere to all governing codes on safety, including the OSHA Act.

Square Footage - Interior finished square footage figures represent heated and cooled floor area only and do not include additional area for two-story or vaulted spaces, garages, decks, porches or any other unfinished areas.

Structural - Framing subcontractor is responsible for verifying location of all interior load bearing walls and shall insure their proper construction according to structural engineering sheets.

Mechanical - Mechanical contractor responsible for laying out ducts and sizing HVAC units.

2. JOB SITE

Subcontractors to keep premises clean. Remove all construction debris upon completion of work. No smoking is permitted within the residence. No loud music is permitted on the jobsite.

Electrician to provide at least 4 120V outlets for job site power.

Plumber to provide at least one temporary water source for the duration of the project.

3. PLANS, ERRORS, OMISSIONS AND CHANGES

The designer assumes no responsibility for plan/construction errors or omissions. Report all discrepancies to the designer prior to any work or material order.

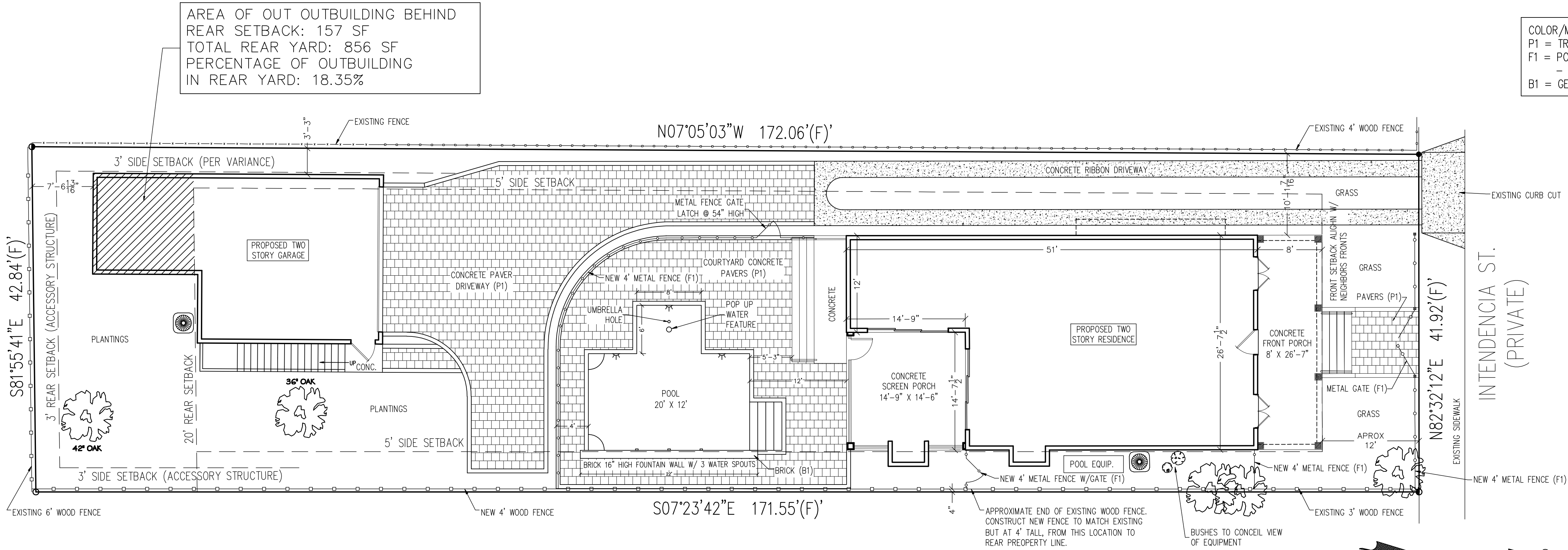
It is the responsibility of the contractor to bring any errors to the attention of the designer before the application phase of construction has begun to allow us to correct the drawings.

Caution must be exercised in making any changes to these plans. Only qualified designers, structural engineers, architects or contractor should attempt modifications. The designer is not responsible for any changes made to these plans without the authorization of the designer.

Escambia County Property Appraiser
000S009001001156

Full Legal Description
W 42 FT OF LT 156 BLK 19 OLD CITY TRACT OR 7434 P 1247 CA 70

COLOR/MATERIAL KEY:
P1 = TREMOR OLD TOWN OAKRUN
F1 = POWDER COATED METAL FENCE
- BLACK
B1 = GENERAL SHALE - SPALDING



SITE PLAN

SCALE: 1/8" = 1'

© copyright
HIGH-POINT DBR LLC.
2020 All Rights Reserved
THESE DRAWINGS ARE THE PROPERTY OF HIGH-POINT DBR LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF HIGH-POINT DBR LLC. THESE DRAWINGS ARE INTENDED FOR THE USE OF THE RESIDENTS OF THE RESIDENCE ON THE LOT AS SHOWN IN THESE DRAWINGS. ANY OTHER USE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF HIGH-POINT DBR LLC IS UNAUTHORIZED AND WILL RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/8"=1'

REVISED:			
----------	--	--	--

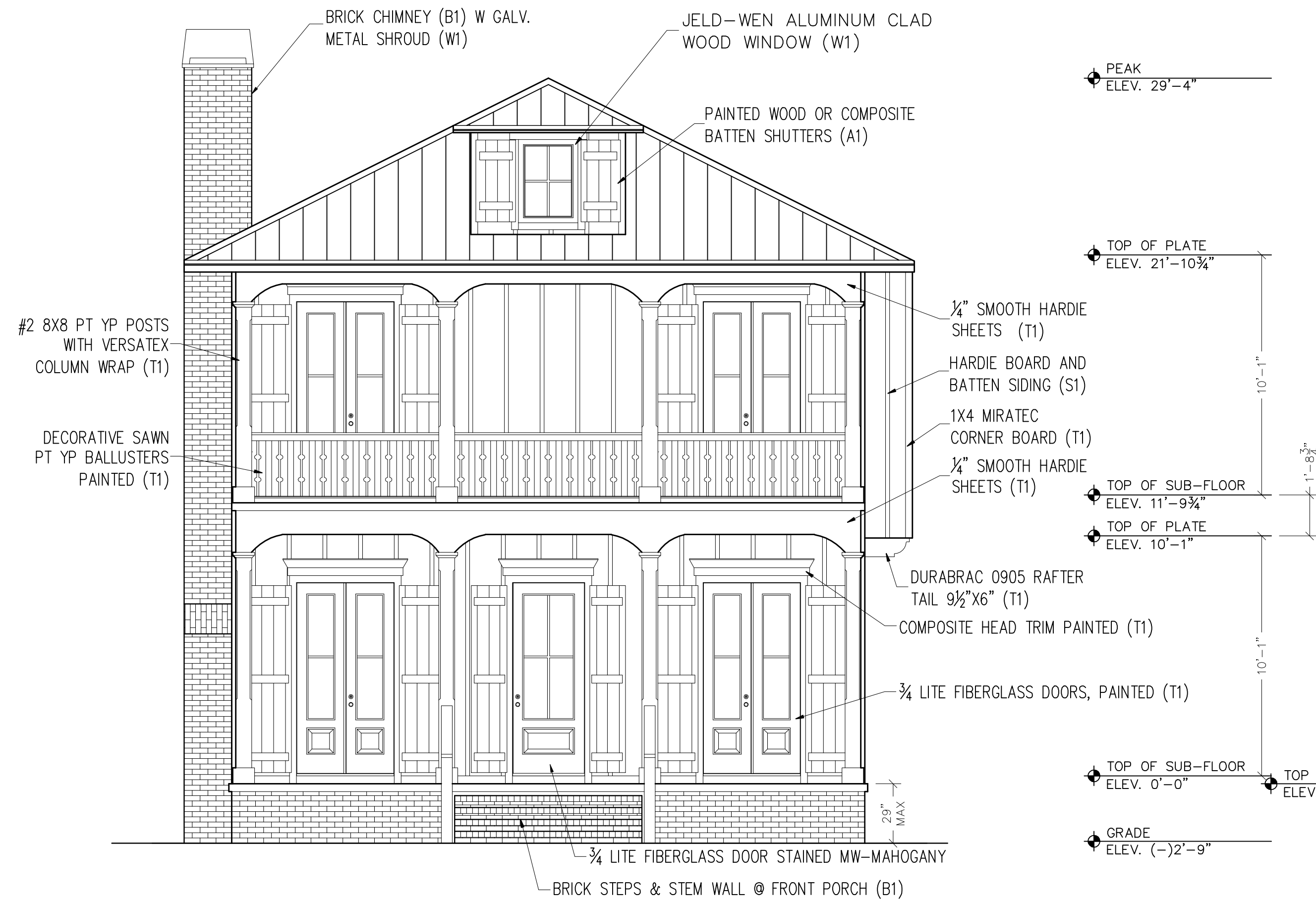
DESIGNER: DAMIAN J. SCHREY	DATE: 06/10/2020	SCALE: 1/8" = 1'	PAGE: OF
----------------------------	------------------	------------------	----------

SITE PLAN AND TITLE PAGE	RICHARDS RESIDENCE 407 E. INTENDENCIA ST. PENSACOLA, FL. 32502
--------------------------	--

DESIGN - BUILD - RESTORE RESIDENTIAL & COMMERCIAL	913 E. GONZALEZ ST. PENSACOLA, FL. 32503 OFFICE: (850) 455-0509 FAX: 850-455-0511
--	--



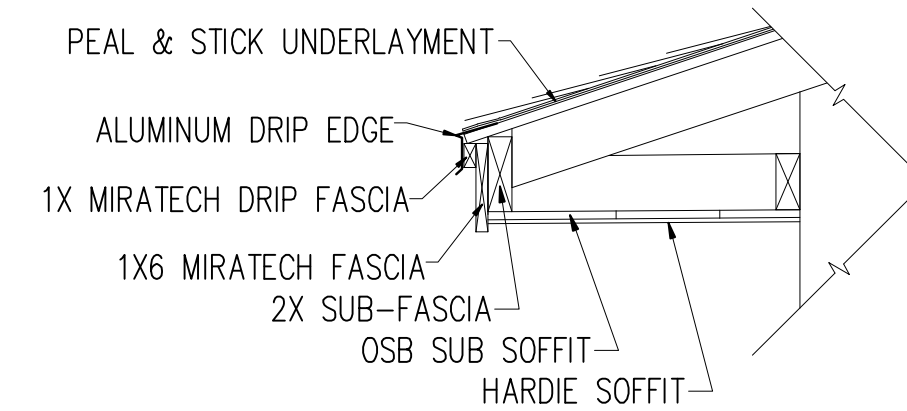
SHEET
C1



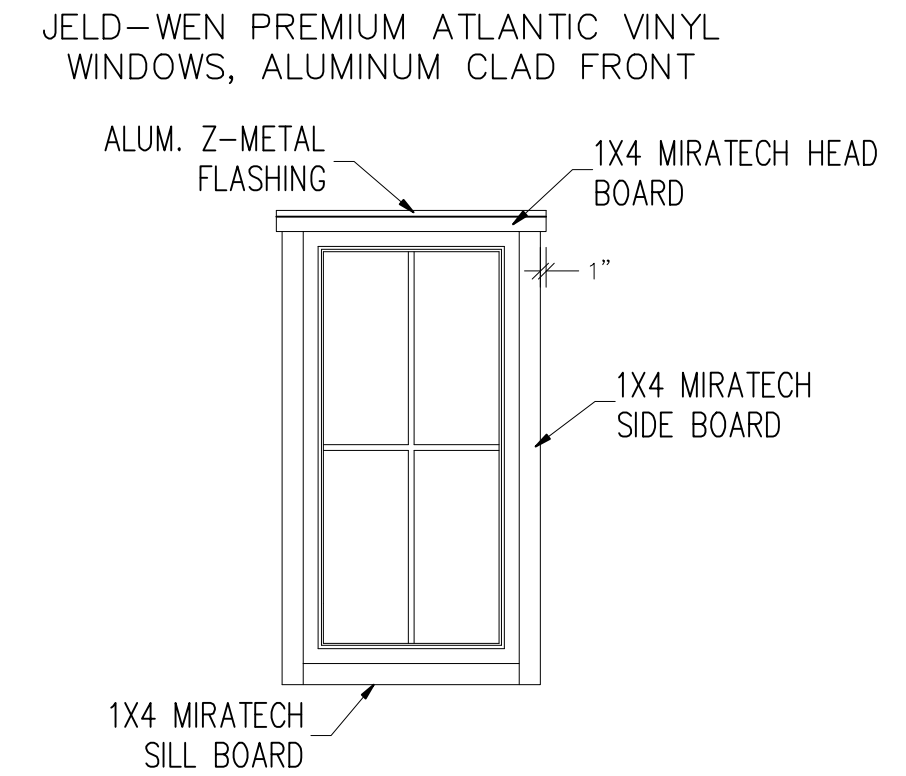
FRONT (NORTH) ELEVATION
SCALE: 1/4"=1'



RIGHT SIDE (WEST) ELEVATION
SCALE: 1/4"=1'



TYPICAL SOFFIT AND FASCIA DETAIL
SCALE: NTS



WINDOW TRIM DETAIL
SCALE: NTS

COLOR/MATERIAL KEY:
T1 = HCSW4007 ORIGAMI WHITE
S1 = HCSW3324 DEBONAIR
S2 = SW2807 ROCKWOOD
MEDIUM BROWN
A1 = SW2840 HAMMERED SILVER
W1 = JELD-WEN CHESTNUT BRONZE
B1 = GENERAL SHALE - SPALDING
R1 = METAL SALES 5V CRIMP
- OLD TOWN GRAY

© copyright
HIGH-POINT DBR, LLC.
2020 All Rights Reserved
THIS DRAWING IS THE PROPERTY OF
HIGH-POINT DBR, LLC. AND
MAY NOT BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY
ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF HIGH-POINT DBR, LLC.
UNAUTHORIZED USE WILL RESULT IN LEGAL
ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/4"=1'

REVISIONS:			

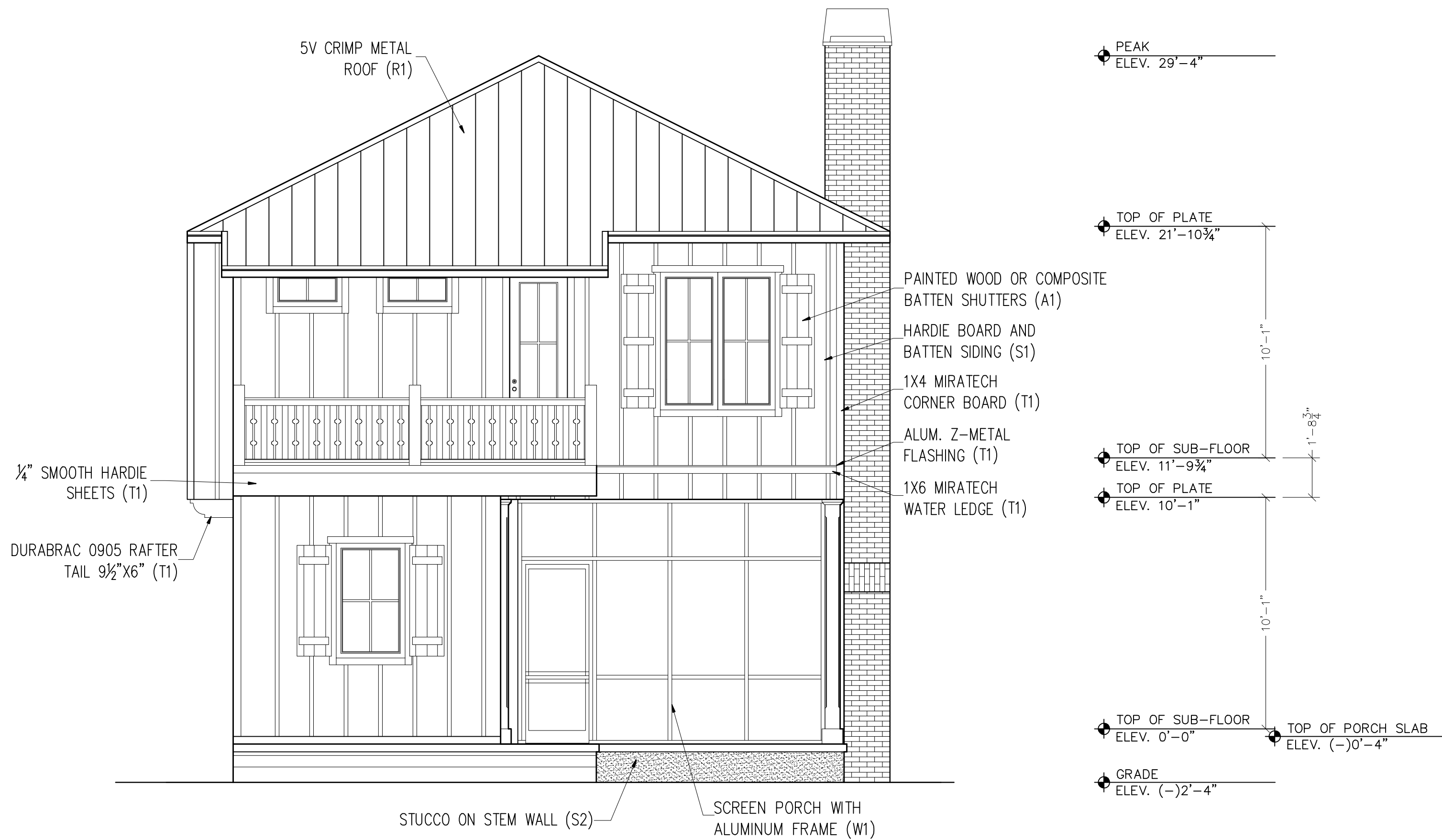
DESIGNER: DAMIAN J. SCHREY	DATE: 06/10/2020	SCALE: 1/4" = 1'	PAGE: OF
----------------------------	------------------	------------------	----------

MAIN HOUSE ELEVATIONS	RICHARDS RESIDENCE 407 E. INTENDENCIA ST. PENSACOLA, FL 32502
-----------------------	---

DESIGN - BUILD - RESTORE RESIDENTIAL & COMMERCIAL	913 E. GONZALEZ ST. PENSACOLA, FL 32503 OFFICE: (850) 455-0509 FAX: 850-455-0511
--	---



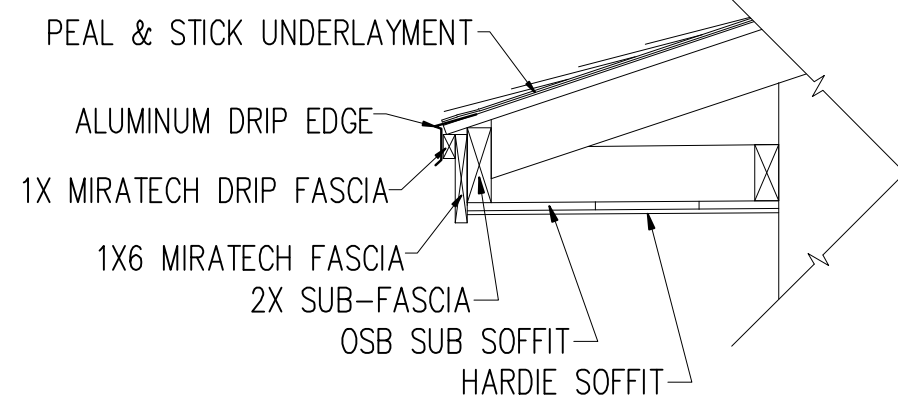
SHEET
A1



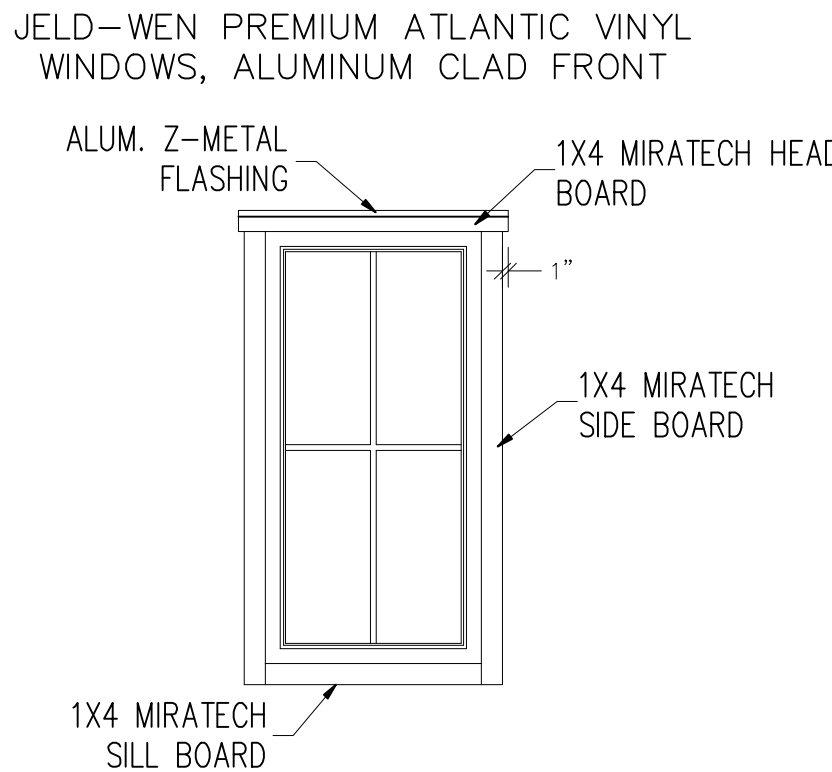
REAR (SOUTH) ELEVATION
SCALE: 1/4"=1'



LEFT SIDE (EAST) ELEVATION
SCALE: 1/4"=1'



TYPICAL SOFFIT AND FASCIA DETAIL
SCALE: NTS



WINDOW TRIM DETAIL
SCALE: NTS

COLOR/MATERIAL KEY:
T1 = HCSW4007 ORIGAMI WHITE
S1 = HCSW3324 DEBONAIR
S2 = SW2807 ROCKWOOD
MEDIUM BROWN
A1 = SW2840 HAMMERED SILVER
W1 = JELD-WEN CHESTNUT BRONZE
B1 = GENERAL SHALE - SPALDING
R1 = METAL SALES 5V CRIMP
- OLD TOWN GRAY

© copyright
HIGHPOINTE DBR LLC.
2020 All Rights Reserved
THIS DRAWING IS THE PROPERTY OF
HIGHPOINTE DBR LLC AND
MAY NOT BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING
PHOTOCOPYING, RECORDING, OR
BY ANY INFORMATION STORAGE
RETRIEVAL SYSTEM, WITHOUT
PERMISSION IN WRITING FROM
HIGHPOINTE DBR LLC. ANY
UNAUTHORIZED USE WILL RESULT IN LEGAL
ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/4"=1'

REVISIONS:	

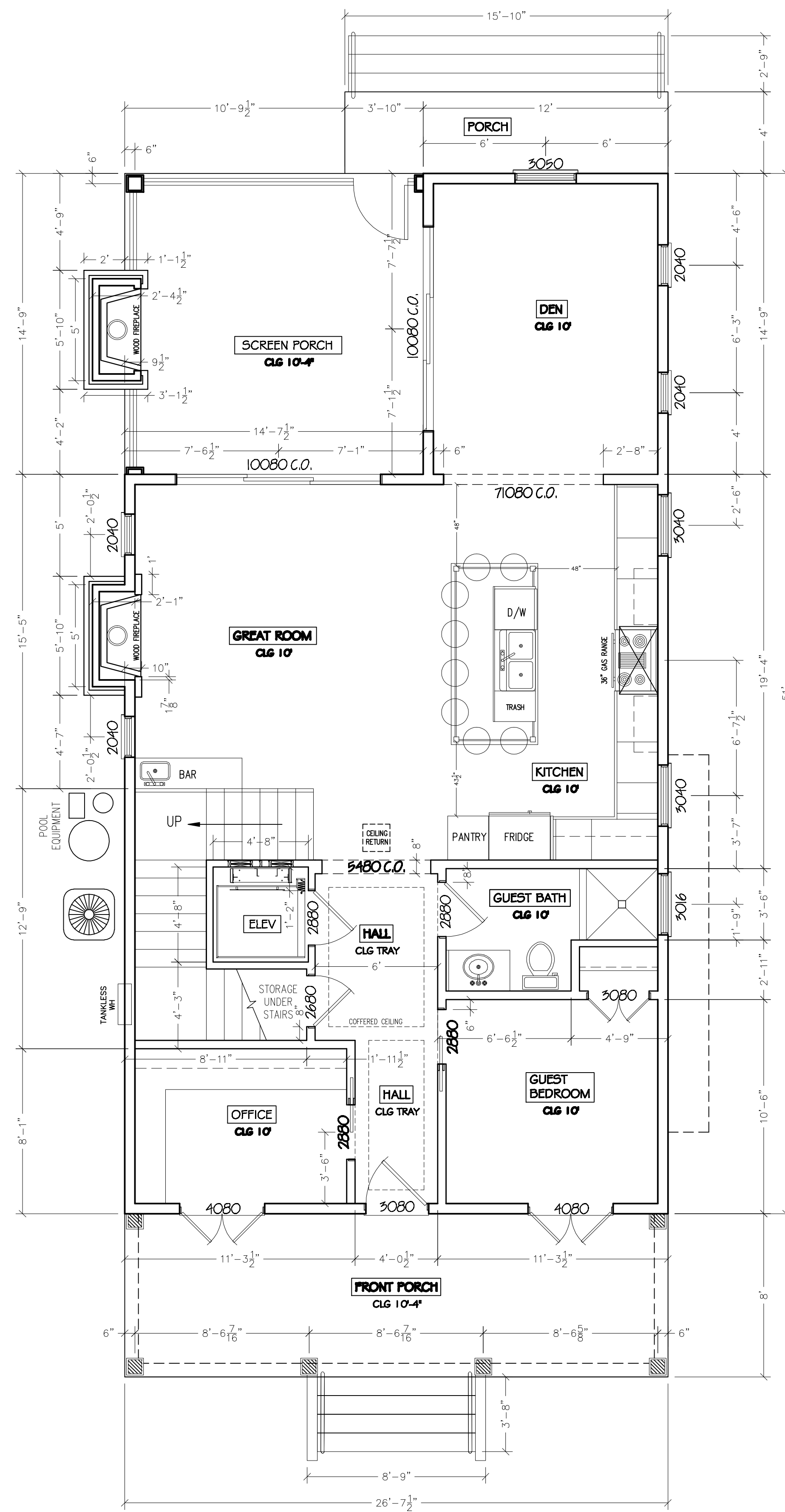
DESIGNER: DAMIAN J. SCHREY	DATE: 06/10/2020
SCALE: 1/4" = 1'	PAGE: OF

MAIN HOUSE ELEVATIONS	RICHARDS RESIDENCE 407 E. INTENDENCIA ST. PENSACOLA, FL 32502
-----------------------	---

DESIGN - BUILD - RESTORE RESIDENTIAL & COMMERCIAL	913 E. GONZALEZ ST. PENSACOLA, FL 32503 OFFICE: (850) 455-0509 FAX: 850-455-0511
--	---

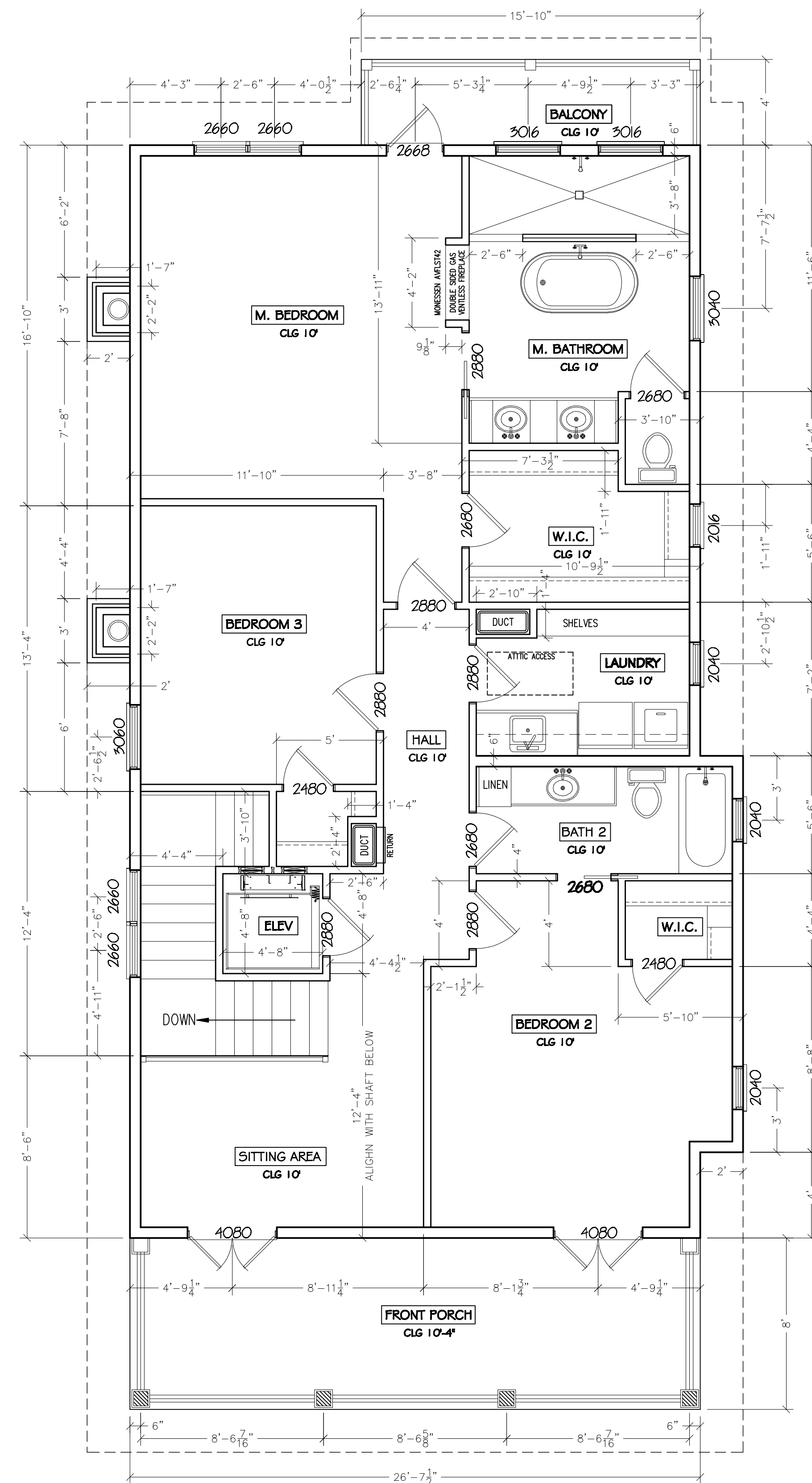


SHEET
A2



1st FLOOR PLAN

SCALE: 1/4"=1'



2nd FLOOR PLAN

SCALE: 1/4"=1'

NOTE: HVAC AIR HANDLER
IN ATTIC ABOVE HALL

© copyright
HIGHLIGHT DBR LLC.
2020 All Rights Reserved
THESE DRAWING ARE PROPERTY OF
HIGHLIGHT DBR LLC. AND
MAY NOT BE USED OR REPRODUCED
WITHOUT THEIR WRITTEN PERMISSION.
THESE DRAWINGS ARE INTENDED FOR
CONSTRUCTION OF NO MORE THAN ONE
RESIDENCE ON THE LOT AS GIVEN IN
THE LEGAL DESCRIPTION ON SHEET C1.
ANY UNAUTHORIZED USE WILL RESULT IN LEGAL
ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/4"=1'

REVISIONS:

DESIGNER: DAMIAN J. SCHREY

DATE: 06/10/2020


SCALE: 1/4" = 1'

PAGE: OF

MAIN HOUSE FLOOR PLANS

**DESIGN - BUILD - RESTORE
RESIDENTIAL & COMMERCIAL**

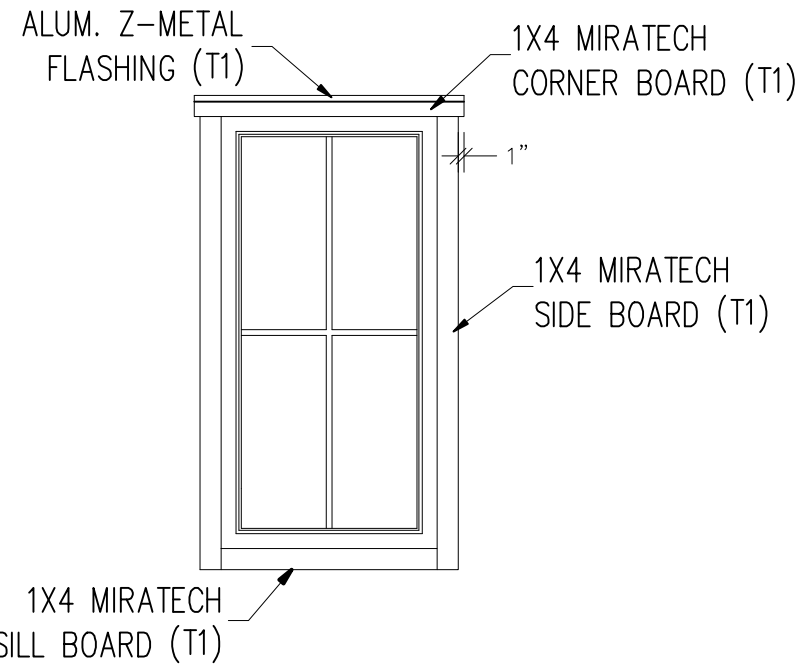
913 E. GONZALEZ ST.
PENSACOLA, FL. 32503
OFFICE: (850) 455-0509
FAX: 850-455-0511



SHEET

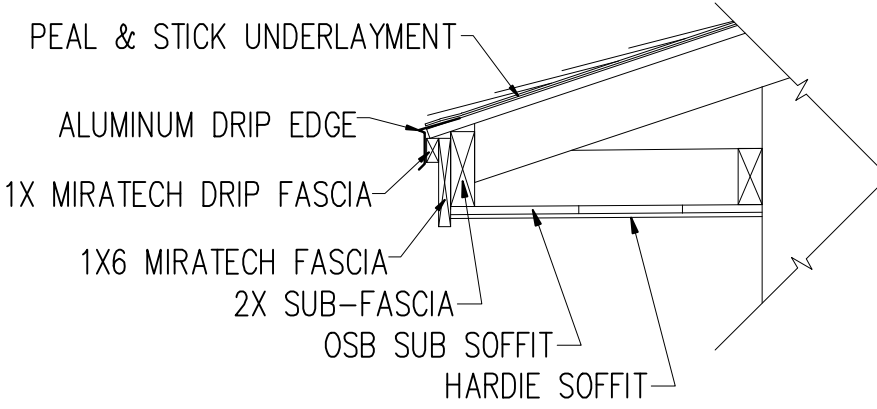
A3

JELD-WEN PREMIUM ATLANTIC VINYL WINDOWS, OR WOOD CLAD



WINDOW TRIM DETAIL

SCALE: NTS



TYPICAL SOFFIT AND FASCIA DETAIL

SCALE: NTS

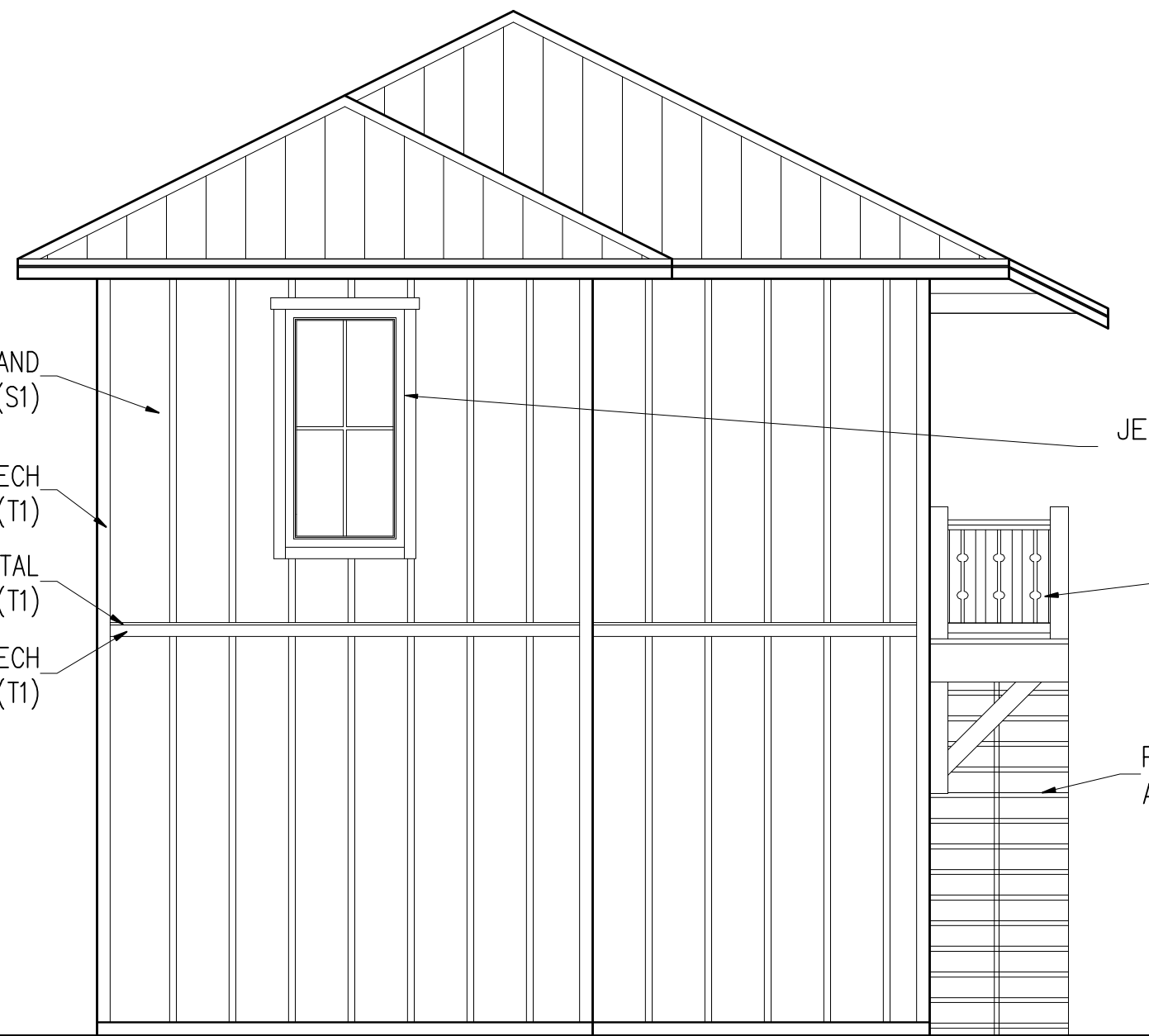
PEAK
ELEV. 25'-6"

TOP OF PLATE
ELEV. 19'-6 3/4"

TOP OF PLATE
ELEV. 10'-5 3/4"
TOP OF PLATE
ELEV. 9'-1"

TOP OF SLAB
ELEV. 0'-0"
GRADE
ELEV. (-)8"

HARDIE BOARD AND BATTEN SIDING (S1)
1X4 MIRATECH CORNER BOARD (T1)
ALUM. Z-METAL FLASHING (T1)
1X6 MIRATECH WATER LEDGE (T1)



REAR (SOUTH) ELEVATION

SCALE: 1/4"=1'

PAINTED WOOD OR COMPOSITE BATTEN SHUTTERS (A1)

HARDIE BOARD AND BATTEN SIDING (S1)
1X4 MIRATECH CORNER BOARD (T1)
ALUM. Z-METAL FLASHING (T1)
1X6 MIRATECH WATER LEDGE (T1)

RAYNOR MASTERPIECE PAINTED INSULATED STEEL CARRIAGE STYLE GARAGE DOOR WITH STRAPS AND HANDLES (T1)

FRONT (NORTH) ELEVATION

SCALE: 1/4"=1'

5V CRIMP METAL ROOF (R1)

PEAK
ELEV. 25'-6"

TOP OF PLATE
ELEV. 19'-6 3/4"

TOP OF PLATE
ELEV. 10'-5 3/4"
TOP OF PLATE
ELEV. 9'-1"

TOP OF SLAB
ELEV. 0'-0"
GRADE
ELEV. (-)8"

COLOR/MATERIAL KEY:
T1 = HCSW4007 ORIGAMI WHITE
S1 = HCSW3324 DEBONAIR
S2 = SW2807 ROCKWOOD MEDIUM BROWN
A1 = SW2840 HAMMERED SILVER
W1 = JELD-WEN CHESTNUT BRONZE
B1 = GENERAL SHALE - SPALDING
R1 = METAL SALES 5V CRIMP - OLD TOWN GRAY

RIGHT SIDE (WEST) ELEVATION

SCALE: 1/4"=1'

5V CRIMP METAL ROOF (R1)



ALUM. Z-METAL FLASHING (T1)
1X6 MIRATECH WATER LEDGE (T1)
2/3 LITE FIBERGLASS DOORS (T1)

LEFT SIDE (EAST) ELEVATION

SCALE: 1/4"=1'

© copyright
HIGH-POINT DBR, LLC.
2020 All Rights Reserved
THIS DRAWING IS THE PROPERTY OF
HIGH-POINT DBR, LLC. AND
MAY NOT BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING
PHOTOCOPYING, RECORDING, OR
BY ANY INFORMATION STORAGE
AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF
HIGH-POINT DBR, LLC. ANY
UNAUTHORIZED USE WILL RESULT IN
LEGAL ACTION UNDER THE COMMONWEALTH ACT.

SCALE
1/4"=1'

REVISIONS:

DESIGNER: DAMIAN J. SCHREY

DATE: 06/10/2020

SCALE: 1/4" = 1'

PAGE: OF

GARAGE ELEVATIONS

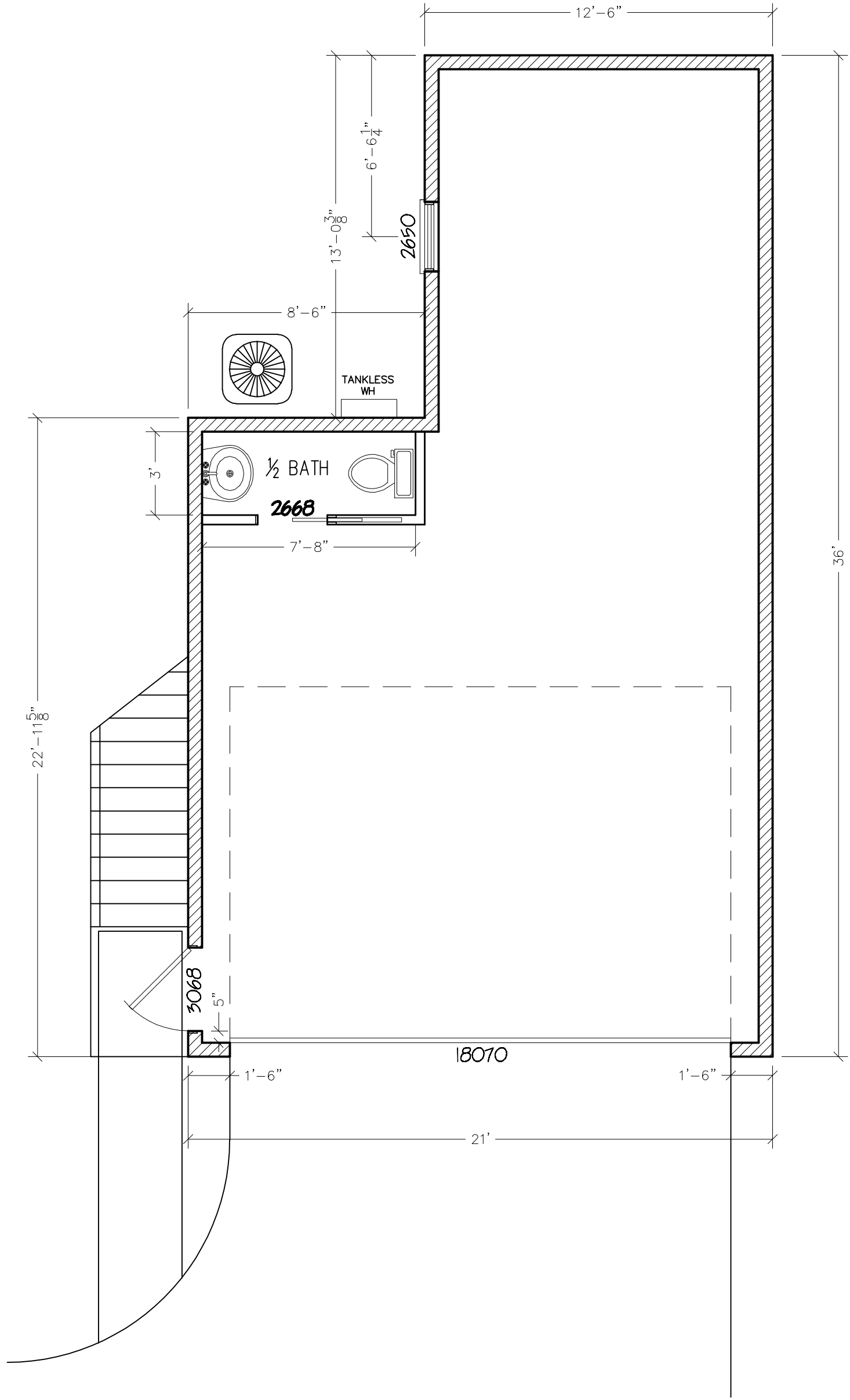
DESIGN - BUILD - RESTORE
RESIDENTIAL & COMMERCIAL

RICHARDS RESIDENCE
407 E. INTENDENCIA ST.
PENSACOLA, FL 32502
1ST FLOOR PLAN

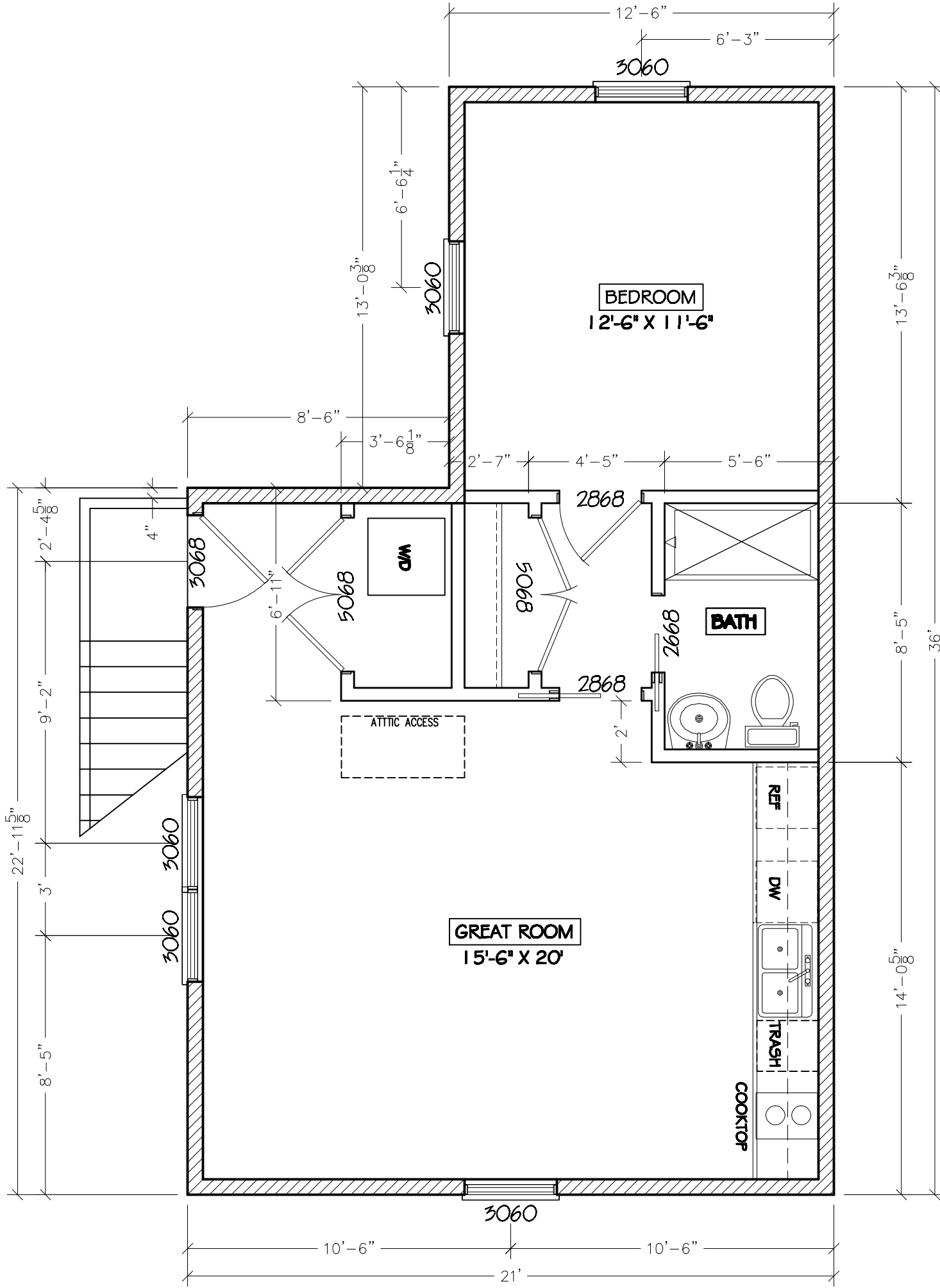
HIGH-POINT DBR
DESIGN BUILD RESTORE

SHEET

A6



GARAGE 1st FLOOR PLAN
SCALE: 1/4"=1'



GARAGE 2nd FLOOR PLAN
SCALE: 1/4"=1'

© copyright
HIGH-POINTE DBR LLC.
2020 All Rights Reserved
THESE DRAWINGS ARE THE PROPERTY OF
HIGH-POINTE DBR LLC AND
MAY NOT BE USED OR REPRODUCED
WITHOUT THE WRITTEN PERMISSION OF
HIGH-POINTE DBR LLC. THESE
DRAWINGS ARE INTENDED FOR
RESIDENTIAL USE ONLY. ANY
UNAUTHORIZED USE WILL RESULT IN LEGAL
ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/4"=1'

REVISIONS:

DESIGNER: DAMIAN J. SCHREY
DATE: 06/10/2020
SCALE: 1/4" = 1'
PAGE: OF

GARAGE FLOOR PLANS
RICHARDS RESIDENCE 407 E. INTENDENCIA ST. PENSACOLA, FL 32502 1ST FLOOR PLAN

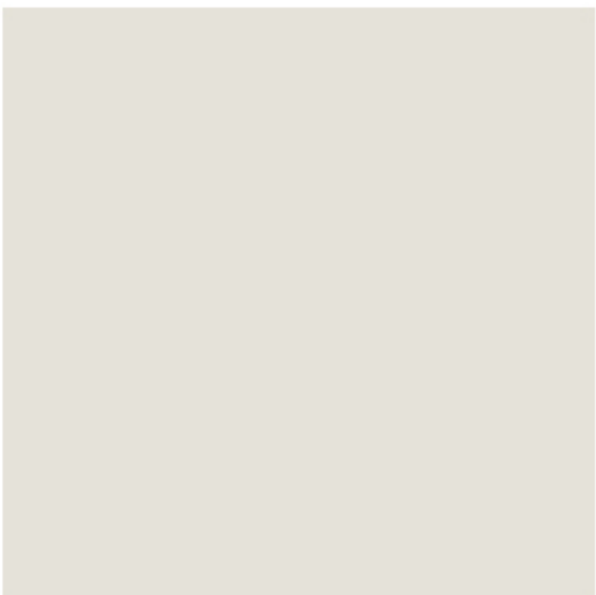
DESIGN - BUILD - RESTORE
RESIDENTIAL & COMMERCIAL
913 E. GONZALEZ ST.
PENSACOLA, FL 32503
OFFICE: (850) 455-0509
FAX: 850-455-0511



SHEET
A7



S1-HGSW3324 Debonair



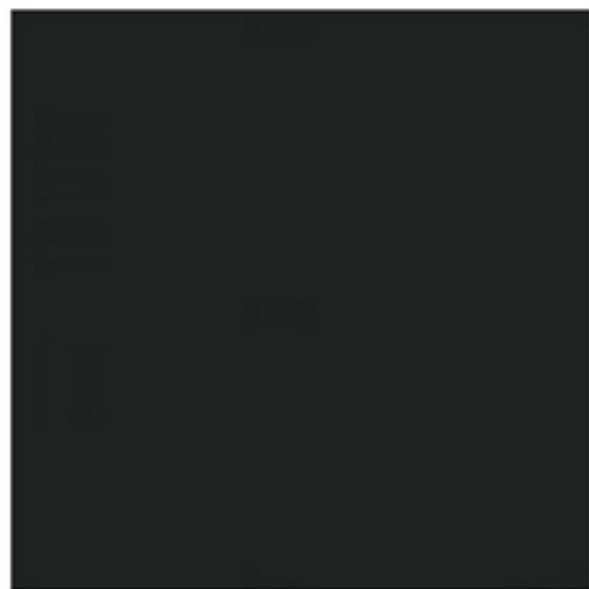
T1-HGSW4007 Origami White



S2-SW2807 Rockwood Med. Bwn



A1-SW2840 Hammered Silver



W1-JW Chestnut Bronze



Front Door-MW Gel-Mahogany



B1-General Shale-Spalding



P1-Tremron-Old Town-Oakrun



R1-Old Town Gray



Neopor® Graphite Enhanced Thermal Insulation for JELD-WEN® Entry Doors

JELD-WEN® thermal door cores made from BASF Neopor® rigid thermal insulation leverage a BASF patent that allows BASF to integrate graphite into the Neopor cell structure. The high-purity graphite reflects radiant heat and significantly improves insulation capacity. The compelling advantage: exceptional and stable long-term thermal insulation performance. Neopor is "Innovation in Insulation."

- Properties of JELD-WEN Door Core made of Neopor:
- NFRC Listed R-value = 5.1 / in at 35°F
 - Does not contain fluorocarbons (CFCs, HCFCs, HFCs)

- Benefits from the use of Neopor:
- Long-term stable R-value
 - Meets ENERGY STAR® requirements*
 - Neopor is GreenGuard® Certified for Indoor Air Quality
 - Expansion agent, pentane, has low Global Warming Potential and Zero Ozone Depletion Potential
 - Neopor has low water absorption and is dimensionally stable throughout typical temperature range
 - Neopor Rigid Thermal Insulation is produced under rigid quality standards



© 2013 BASF



For more information about Neopor, scan the QR code or contact us at:

Website: www.neopor.basf.us
E-mail: neopor-us@basf.com



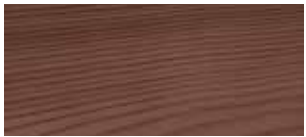
Neopor® is a registered trademark of BASF SE.
JELD-WEN® is a registered trademark of JELD-WEN, Inc., Oregon, USA.
ENERGY STAR® is a registered trademark of the US Department of Energy.
*Energy performance ratings will vary with glass selection

Greenguard® is a registered trademark of Greenguard.
NFRC NATIONAL FENESTRATION RATING COUNCIL® APPROVED is a registered trademark of the National Fenestration Rating Council.

Architectural and Design-Pro Fiberglass Door Stain Kit



Stain Color Options Available



Dark Mahogany



Mocha



Teak Natural



Moorish Teak



Chestnut

JELD-WEN Fiberglass Door Stain Kits are easy to use. The stain and top coat provide lasting beauty and increased protection to your door. The Stain Kit comes with everything required to stain and finish one fiberglass door and two sidelights or one double door unit. Contact your local JELD-WEN dealer for availability.

Stain colors shown are photographs and intended as a general guideline.
The final stain color will vary with the fiberglass specie chosen and the number of stain coats applied.

The JELD-WEN website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.



THE JELD-WEN PROMISE

JELD-WEN products can create lasting value for your home. We are so confident that you will be pleased with our Fiberglass Exterior Doors, that each one carries our industry-leading warranty. Here are just some of the highlights of our warranty...

The Exterior Door Limited Warranty includes:

- » Limited lifetime coverage against defects in material and workmanship for Architectural, Design-Pro and Smooth-Pro fiberglass door slabs
- » Limited lifetime coverage against wood cellular failure on AuraLast® Pine door frames

JELD-WEN manufactures and sells both individual door slabs and complete door systems. This warranty does not cover parts or components not sold by JELD-WEN.

NOTE: The above information is a summary of key provisions of the **JELD-WEN Interior and Exterior Door Slab and System Limited Warranty** effective May 1, 2012. For a complete copy of the current warranty, including important limitations and exclusions, see your sales associate or refer to www.jeld-wen.com.



Official window and door provider of Major League Soccer



JELD-WEN is proud to support a better way to build

©2014, 2013, 2011 JELD-WEN, inc.; Door designs and this publication are owned by JELD-WEN, inc. and are protected under the U.S. Copyright Act and other intellectual property laws. All trademarks, service marks, logos and the like (whether registered or unregistered) are owned or controlled by JELD-WEN, inc. or others. Unauthorized use or duplication of JELD-WEN intellectual property is prohibited.

JELD-WEN reserves the right to change product specifications without notice. Please check our website, jeld-wen.com, for current information.

10-598 04/14 (HPS 5M)



Exterior Doors
Fiberglass Door Features
Architectural | Design-Pro | Smooth-Pro



ARCHITECTURAL COLLECTION JW

Traditional fiberglass technology produces faux graining resulting in an artificial wood door appearance. JELD-WEN's Architectural Collection utilizes an exclusive technology to create the most realistic woodgrain appearance in the industry. Starting with a hand-crafted wood door where each piece of wood is carefully selected, an exact replica of that door is created. Every unique and intricate characteristic from the original wood door is transferred to the final product. Like real wood, the grain is captured in the surface and not above it . . . so real you won't be able to tell the difference.

- » Strikingly realistic woodgrains crafted from actual wood doors
- » Extremely long-lasting and stable, the perfect choice for nearly any climate
- » Graphite enhanced BASF Neopor® core for improved energy efficiency, exclusive to JELD-WEN
- » Available in a variety of architecturally-correct decorative and clear glass options
- » 6'8" and 8'0" heights
- » Lifetime limited warranty

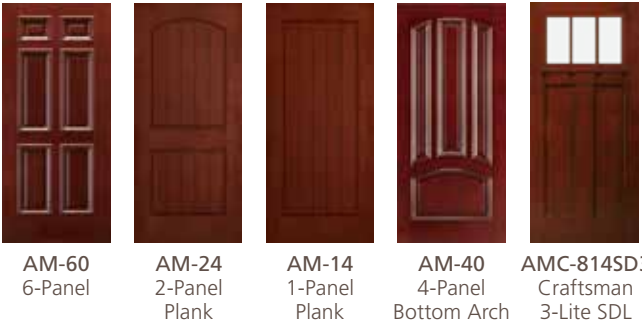
Woodgrain Textures



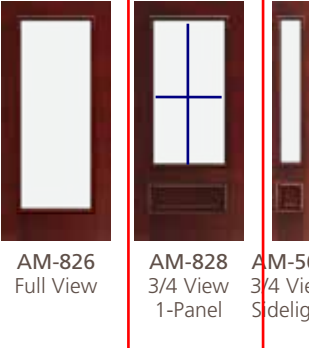
Architectural Door Designs

(for the complete door offering, check with your JELD-WEN Sales Representative)

Mahogany Woodgrain



Mahogany Woodgrain



Walnut Woodgrain



Fir Woodgrain



DESIGN-PRO DESIGNS JW

Design-Pro Fiberglass doors feature the beautiful appearance of Mahogany, Oak or Fir woodgrains. Engineered for energy-efficiency and low-maintenance, Design-Pro doors readily accept stain for a beautiful and long-lasting finish.

- » Extremely long-lasting and stable, the perfect choice for nearly any climate
- » Large selection of glass inserts
- » Direct Glaze available in Craftsman and Beadboard doors and sidelights
- » 6'8", 7'0" and 8'0" heights
- » Graphite enhanced BASF Neopor® core for improved energy efficiency, exclusive to JELD-WEN
- » Lifetime limited warranty

Woodgrain Textures



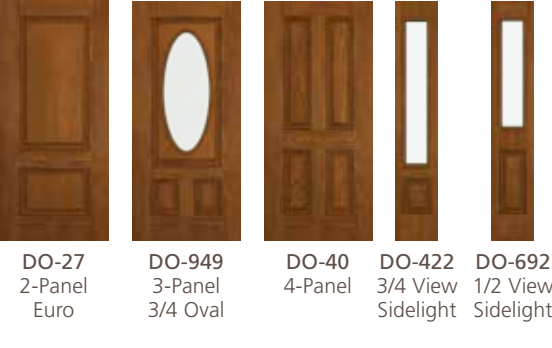
Design-Pro Door Designs

(for the complete door offering, check with your JELD-WEN Sales Representative)

Mahogany Woodgrain



Oak Woodgrain



1-3/4" Door

- Woodgrain fiberglass facing
- Square edge design
- Composite capped LVL stiles and rails
- Composite top and bottom rails
- Innovative BASF Neopor® core
- 12" lock block
- 20-minute fire rating construction available



Fir Woodgrain



SMOOTH-PRO DESIGNS JW

The Smooth-Pro line offers a complete selection of affordable fiberglass designs and contemporary styles. Smooth-Pro doors provide the look of traditional painted wood doors with the added benefits of energy efficiency and a no-dent, low-maintenance surface.

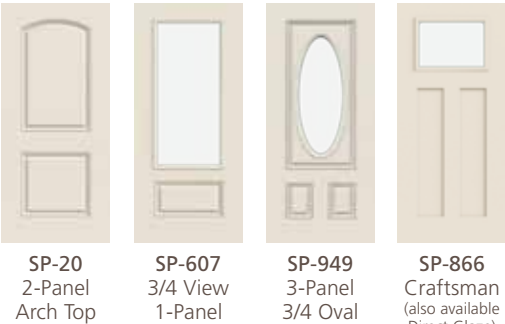
- » Clean, classic lines creating the look of a traditional wood door
- » Extremely long-lasting and stable, the perfect choice for nearly any climate
- » Graphite enhanced BASF Neopor® core for improved energy efficiency, exclusive to JELD-WEN
- » Manufactured with a light brush stroke on the face of the door for superior paint adherence
- » Accommodates most standard glass inserts and is available with Direct Glaze designs
- » 6'8", 7'0" and 8'0" heights
- » Lifetime limited warranty

Texture



Smooth-Pro Door Designs

(for the complete door offering, check with your JELD-WEN Sales Representative)

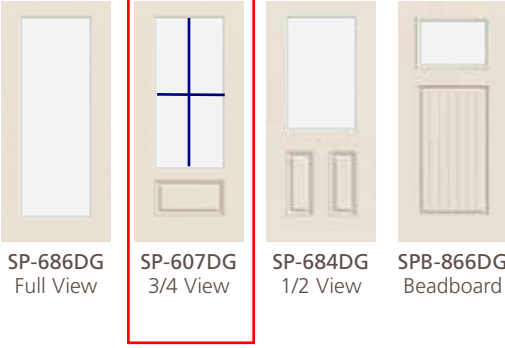


1-3/4" Door

- Smooth fiberglass facing
- Square edge design
- Composite capped LVL stiles and rails
- Composite top and bottom rails
- Innovative BASF Neopor® core
- 12" lock block
- 20-minute fire rating construction available



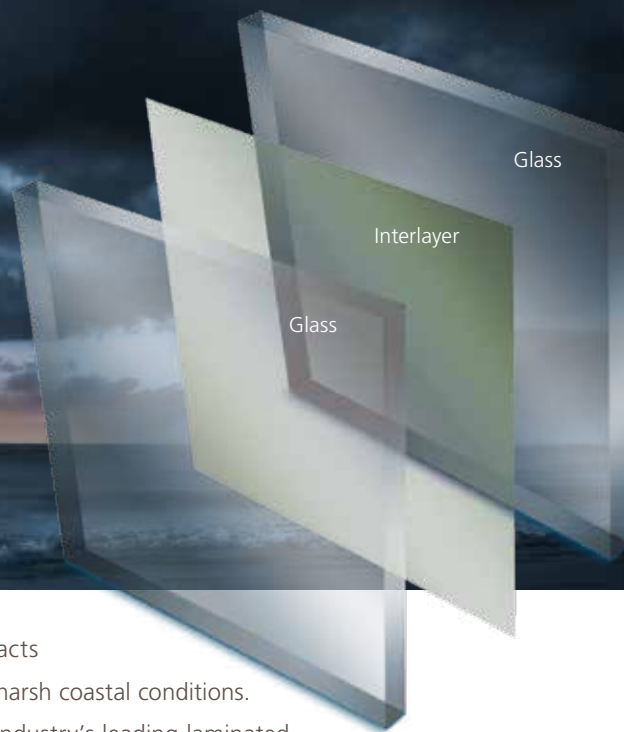
Direct Glaze



IMPACT RESISTANT GLASS



www.jeld-wen.com/impactgard



This glass stands up to strong impacts from wind-borne debris as well as harsh coastal conditions.

In fact, ImpactGuard® features the industry's leading laminated glass technology that can withstand a nine-pound piece of lumber striking it head-on at approximately 34 miles per hour. It also reduces sound transmission, blocks up to 95 percent of harmful UV rays and enhances home security.



Left shows a standard window, right shows how ImpactGuard resists the impact from wind borne debris.



Safe Impact-Resistance

During a severe storm, a broken window can affect a home's structural integrity (see illustrations). Windows and patio doors with ImpactGuard protection are designed to resist impacts so even if the glass cracks, the fragments will adhere to the interlayer, so the shards remain within the frame. ImpactGuard protection also meets the nation's toughest building codes.



Sound Decreased Sound Transmission

Unwanted outdoor noise is noticeably dampened with ImpactGuard glass.



Secure Forced-Entry Resistance

Windows and patio doors with ImpactGuard protection resist forced entry. Because the interlayer separating the panes helps resist a potential intruder's glass cutter, break-ins are less likely.

The JELD-WEN website is your ultimate resource for learning about our windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.



THE JELD-WEN PROMISE

JELD-WEN products create lasting value for your home. We are so confident that you will be pleased with our Vinyl Windows and Patio Doors, that each one carries our industry-leading warranty. Here are just some of the highlights of our warranty...

The Vinyl Window & Patio Door Lifetime Limited Warranty Includes:

- » Limited lifetime coverage against defects in material and workmanship for most product components (such as insulating glass, vinyl and metal components, and hardware) for as long as you own and occupy your home.
- » 10-year coverage on blinds and shades between the glass
- » 10-year coverage on colored exterior
- » Coverage is transferable for 10 years

NOTE: The above information is a summary of key provisions of the **JELD-WEN Vinyl Window & Patio Door Lifetime Limited Warranty** effective July 1, 2010. For a complete copy of the current warranty, see your sales associate or refer to www.jeld-wen.com.



Each one of our windows and patio doors is built to last. All of our vinyl windows and patio doors come with our lifetime limited warranty.



© 2013, 2012, 2011, 2010, 2009 JELD-WEN, inc.; Door designs and this publication are owned by JELD-WEN, inc. and are protected under the U.S. Copyright Act and other intellectual property laws. Unauthorized use or duplication is prohibited. All trademarks, service marks, logos and the like (whether registered or unregistered) are owned or controlled by JELD-WEN, inc. or others. Unauthorized use or duplication is prohibited.

JELD-WEN reserves the right to change product specifications without notice. Please check our website, jeld-wen.com, for current information.

11-737 12/13 (HPS 3M)



Premium Atlantic Vinyl

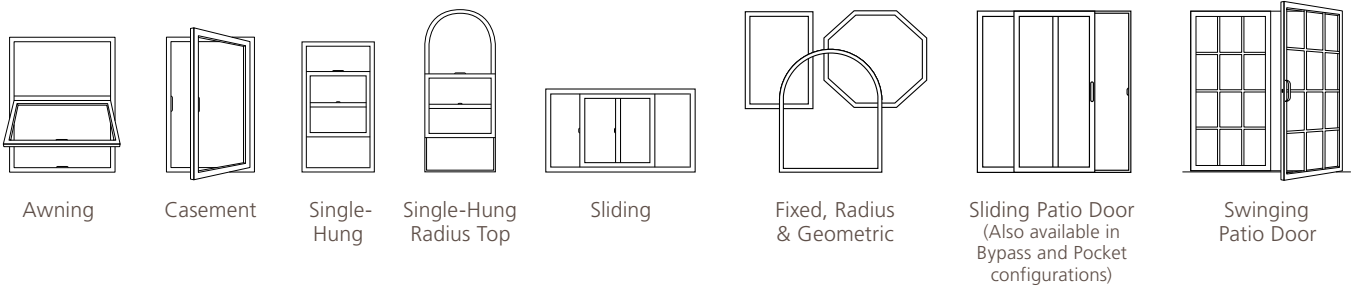
Window & Patio Door Features

Awning | Casement | Single-Hung | Sliding
Fixed, Radius & Geometric | Patio Door



DEFINING DESIGN DETAILS

Window and Patio Door Styles



Vinyl Colors*



**Actual colors may vary from samples displayed.*
***Exterior only. Interior is white.*

Divided Lites



Frame Options

Integral Nailing Fin
Formed as part of the frame for strength and stability.

J-channel
Allows siding to be tucked out of sight for a clean line.

Brickmould
An exterior casing providing a boundary between siding and frame.

Box Frame
Places directly into existing window frame for easy installation.

Face Flange
Used for installation into wood buck in concrete block construction.

Flange Extender
(Flush Fin) 2-3/8"

Blinds Between the Glass (BBG)†

These blinds are thermally sealed between the glass - so there's no need for dusting.

They easily raise, lower and tilt to give you control of light and privacy.

†Available in sliding door configurations with 3'0" x 6'8" panels



TEXTURED & TINTED GLASS

Textured Glass

Let light in while maintaining privacy with textured glass.



Obscure

Tinted Glass

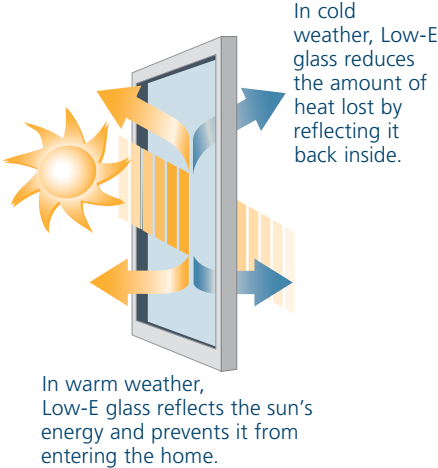
Tinted glass reduces glare, and is ideal for areas that get a lot of direct sunlight in the summer.



ENERGY SAVING GLASS

Low-E and LoE³-366 Insulating Glass

High-performance Low-E insulating glass comes standard and helps lower fading of interior furnishings, and reduces condensation. It also delivers greater visible light transmittance than tinted glass. We offer optional LoE³-366, which provides even more protection against heat loss and fading, as well as greater energy savings. Most windows and patio doors with Low-E glass are ENERGY STAR® qualified. ENERGY STAR products help Americans save energy, save money and reduce their carbon footprints. ENERGY STAR criteria for windows are based on the U-factor and Solar Heat Gain Coefficient (SHGC) combinations that provide significant energy efficiency for a given climate zone. It's easy! Just tell your JELD-WEN dealer you want JELD-WEN windows that are ENERGY STAR qualified for your climate zone.



For more information, visit www.jeld-wen.com/energyefficiency.

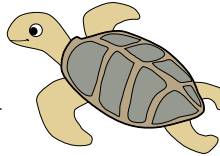


Many JELD-WEN windows and doors are ENERGY STAR qualified. Homeowners can save energy—and money—by replacing old windows with ENERGY STAR qualified windows and pay a 7-15 percent lower household energy bill. Lower energy consumption also reduces greenhouse gas emissions from power plants and shrinks a home's carbon footprint. JELD-WEN has been an ENERGY STAR partner since 1998.

LoE²-240 - Meets Turtle Lighting Code

Each May through October on the coast of Florida, sea turtles make their way up the beaches to lay their eggs. About two months later, their hatchlings emerge and head towards natural light sources that reflect off the water (such as the moon or stars) in order to make their way to the sea. Today though, many hatchlings instead head further inland to their deaths; confused by the lights of beach front homes and properties.

Because of the sea turtles' endangered status, Florida building codes require new construction with a direct line-of-sight to the beach to install glass with a visible light transmission (VLT) of 45% or less. LoE²-240 has a VLT of 40% and not only meets this code, but exceeds it.



Neat® Glass (Available on LoE³-366 only)

With this glass option you a gain natural cleaning convenience. By harnessing the sun's UV rays (even when the sky is cloudy) to loosen dirt from the glass, rainwater can easily rinse away grime. No manual activation is required.



Traditions Series™



Masterpiece™

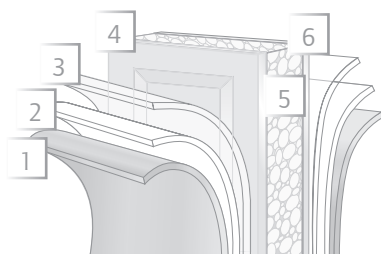


A Look That Is Tough to Resist

Raynor Masterpiece combines all the features homeowners want. It's eye-catching, deeply embossed woodgrain texture adds instant curb appeal to any home, while its two-sided steel design keeps your home safe and secure. Best of all, our EnduraCote™ Hardware System is standard, so the entire package, door and hardware, is warranted "For As Long As You Own Your Home."

Masterpiece™

Masterpiece is made from rugged, galvanized steel inside and out. Its two-sided steel design encases a core of thermally bonded, CFC-free, expanded polystyrene insulation. A full 2" thick, Masterpiece features sandwich-style construction made from high-strength, impact-resistant steel and provides thermal protection at an 10.25 R-value.



1. baked-on finish
2. epoxy primer
3. galvanized layer
4. high-strength steel
5. polystyrene insulation
6. high-strength steel



Masterpiece, White, Colonial with Regency Black Colonial Windows

Colors

Solid Color Options



*Features the Kynar® paint process, which provides extended UV protection against fading.

The swatches shown on monitors and printed materials may vary from the actual color. For a true representation of the color, visit your local Raynor Dealer.

Standard Limited Warranty**

Door Sections

"For As Long As You Own Your Home" against rust

Hardware

"For As Long As You Own Your Home" against defects in material and workmanship

Springs

"For As Long As You Own Your Home" against defects in material and workmanship

**Limited Warranty: Visit www.raynor.com/products for complete Limited Warranty details.

Door Designs

Carriage House, Colonial, Flush Beadline, Flush, Ranch:

Heights: 4'9" to 5'3" in 2" increments, 6'4", 6'6", 6'8", 6'10", 7', 8', 8'1", to 8'9" in 2" increments, 9'7", 9'9", 9'10", 10'

Widths*: 4' to 18' in 1" increments

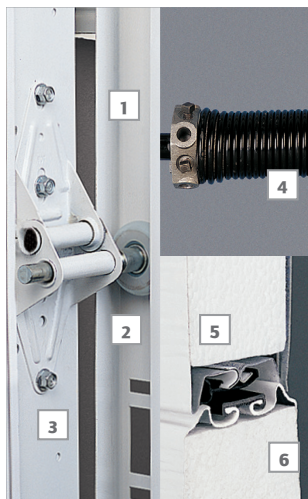
*Some select widths may not be available.



Designed to Weather the Elements

Masterpiece has heavy-duty, hot-dipped, galvanized steel sections with an epoxy primer and baked-on polyester finish, which resists rust and impact denting. To assure durable, long-lasting performance, Masterpiece offers standard features including:

1. EnduraCote™ Hardware System provides a clean, finished look for track
2. Nylon-encased, steel wheel, ball bearing rollers
3. Painted-white endstile
4. Black, powder coat painted springs and torsion bar
5. Section joint seal to prevent weather infiltration
6. Vinyl thermal break between interior and exterior skins.



Window Options**

Frosted Beveled Glass with Caming*



Antique Black Ranch



Oval/Diamond Black Ranch

Frosted Beveled Glass



Diamond Colonial



Diamond Ranch



Prairie Colonial



Prairie Ranch

Clear Beveled Glass



Diamond Colonial



Diamond Ranch



Prairie Colonial



Prairie Ranch

Caming colors



Black

**Also available in clear, obscure, insulated and tempered glass. Contact your Raynor dealer for further details.

Snap-In Inserts



Plain Ranch



Stockton Ranch



Cascade Ranch



Sunburst Ranch



Sunray Ranch



Berkshire Ranch



Stockbridge Ranch



Stockton Colonial



Cascade Colonial



Sunburst Colonial



Plain Colonial



Prairie Ranch



Arched Stockton Ranch



Cathedral Colonial



Sherwood Colonial

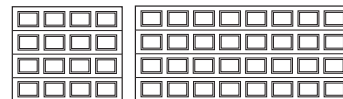
Note: Windows are shown in one-car configurations, with the exception of Sunray Ranch and Berkshire Ranch.

Panel Options*

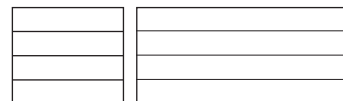
Colonial, Flush & Carriage House

Heights: 4'9"-5'1" in 1" increments, 5'3", 5'6", 5'7", 5'9", 6', 6'4"-7' in 1" increments, 7'2", 7'3", 7'6" to 7'9" in 1" increments, 8'-9' in 1" increments, 9'2", 9'3", 9'6"-10' in 1" increments
Widths: 4'-18' in 1" increments

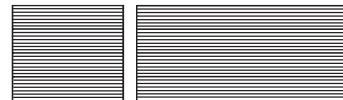
Colonial



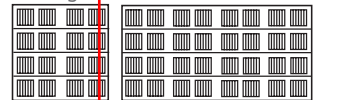
Flush



Flush Beadline



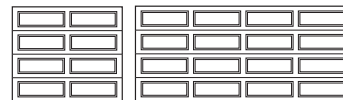
Carriage House



Ranch

Heights: 4'9"-5'1" in 1" increments, 5'3", 6'4"-7' in 1" increments, 8', 8'1", 8'2", 8'3", 8'5"-8'9" in 1" increments, 9'10", 10'
Widths: 4'-18' in 1" increments

Ranch



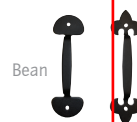
*Actual appearance may vary. Some select widths may not be available.

Hardware Options

Optional Decorative Hardware

The hardware appears hand-forged, adding a historically-accurate dimensional quality. Choose from Bean or Fleur-de-Lis designs.

Handles



Bean

Fleur-de-Lis

Straps



Bean

Fleur-de-Lis

Openers

Raynor offers a full line of residential openers, featuring a variety of horsepower and configuration options. Our residential opener offerings have been carefully structured, providing an ideal solution for any residential application demand. Ask your Authorized Raynor Dealer about our residential openers, and select the ideal Raynor opener for your home.

Wind Load System

Raynor Masterpiece is an ideal product for meeting the demands of the most rigorous Wind Load or impact rating guidelines. Raynor Wind Load Systems meet or exceed the Florida Building code and are tested to ANSI/DASMA 108 & 115. Additionally, Raynor Masterpiece garage doors can be configured to comply with Miami-Dade product requirements (TAS 201, TAS 202, TAS 203) and are available in both post and non-post designs, giving our customers flexibility in choosing between an assisted or unassisted hurricane-ready system.

Limited Warranty*

Masterpiece is covered by our industry-leading, "For As Long As You Own Your Home," section limited warranty against rust, to the original purchaser of the product. Masterpiece is also backed by a 6-year track and hardware warranty, and a 3-year spring limited warranty. See your Raynor Dealer for complete details.

*Visit www.raynor.com/products for complete Limited Warranty details.



Follow Us



P.O. Box 448, 1101 East River Rd.
Dixon, IL 61021-0448
1-800-4-RAYNOR (472-9667)

Exclusively Distributed by:





Custom Wood Windows & Patio Doors

Exterior Clad Colors and Finishes



VIBRANT STRENGTH



Our wood and clad-wood windows and patio doors are crafted from solid pine AuraLast® wood. It protects against wood decay, water saturation and termites and is supported by a Lifetime Limited Warranty. Learn more at www.jeld-wen.com/auralast.



Withstanding the elements while maintaining beauty can be easier than it seems. All you need are the right materials. Enter Custom Wood clad-wood windows and patio doors. They come standard with brilliant color finishes that feature a commercial-grade 70% Polyvinylidene Difluoride (PVDF) that meets the AAMA 2605 requirements. This feature allows our finishes to deliver one of the highest levels of protection in the industry—outperforming silicone polyester, urethane, powder and acrylic coatings. We guarantee this with our 20-year Limited Warranty against chalking and fading. So you can count on these reliable finishes to stay strong, vivid and worry-free for many years to come.

Table of Contents

Clad Finish Options	4
Cladding Characteristics	6
AAMA Specifications	8
Care and Maintenance.....	10

ENCHANTING FINISHES

Metal Clad Colors

Our Custom Wood windows and patio doors with clad-wood exteriors are available in a large array of color finishes. We offer 41 standard colors*, as well as custom color matching for a truly personalized look. For added visual interest, select two different colors for your window (one for the frame, one for the sash).

Standard colors are shown in the swatches below. To obtain a custom color, send us a sample of the color you desire painted on a piece of aluminum, and our lab experts will create a customized match. No minimum order is required.



41 exterior metal clad colors with a 70% PVDF finish

Brilliant White	French Vanilla	Desert Sand	Bone White	White	Cambridge White	Ivory	Mocha Cream	Champagne	Heirloom White
Smoke	Arctic Silver	Dark Chocolate	Mesa Red	Pueblo Tan	Haverstraw	Garnet			
Rosewood	Scarlet Haze	Redwood	Clover Mist	Hartford Green	Hunter Green	Dark Ivy			
Ivy	Mosaic Green	Sea Foam	Teal	Black Emerald	Chestnut Bronze				
Black Licorice	Sage Brown	Buckskin	Bronze	Dark Buckskin	Capri Blue				
Cascade	Deep Summer	Hudson Blue	Liberty Blue	Wedgewood					



Color swatches are for representation only and may not match our clad colors exactly.

**Some colors may require additional lead time.*



Copper Cladding

With our copper cladding options, you can enjoy a look that constantly changes, yet remains beautiful. This architectural element features an appearance that fluctuates based upon region, exposure to moisture and interaction with various elements in the atmosphere. These stages of oxidation create a variety of different natural looks which will appear over time.

Copper cladding is available on the window sash component or patio door panel only, so you can select a contrasting or complementary metal clad color for the frame. Along with Bright Copper cladding, we offer Speckled Patina Copper and Hand-Rubbed Patina Copper for the look of aged copper without the wait.

Copper Cladding

1. Speckled Patina Copper
2. Hand-Rubbed Patina Copper
3. Bright Copper



OUR TRUE COLORS

Chalking and Fading Resistance

The color finishes we use on our clad-wood windows and patio doors are designed to stay truer and brighter than other finish options. The commercial-grade 70% PVDF resin system ensures our products will steadfastly resist chalking and fading for years.

Chalking is caused when the resin systems at the surface of a finish begin to degrade, primarily due to ultraviolet (UV) exposure. The resin loses its ability to properly adhere to the surface. When this occurs, the particles become white in appearance, which creates a chalky look. Fading happens when substances in the environment attack the pigment in the finish, causing the cladding color to change.

In contrast, our 70% PVDF resin system features the carbon-fluorine bond, which is one of the strongest molecular bonds in existence. Therefore, it resists chalking and fading better than either polyester or siliconized polyester finishes, and our warranty guarantees it won't chalk or fade for 20 years.

New finish



Acrylic

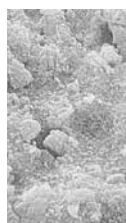


Silicone Polyester

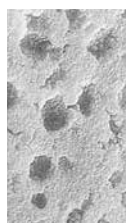


JELD-WEN Custom with 70% PVDF

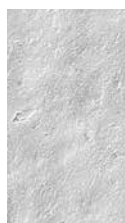
Exposed for 160 months



Acrylic



Silicone Polyester



JELD-WEN Custom with 70% PVDF

A COMPLETE SHIELD

Types of Cladding

Custom Wood windows with clad-wood exteriors have both extruded aluminum cladding and roll-formed cladding. Window and patio door frames and door panels have extruded aluminum cladding for increased structural integrity. Window sashes have roll-formed cladding. This cladding method allows us to add a protective layer to the sash, while sustaining the wood content of the window. In short, our windows and patio doors are designed to feature more wood than other clad products in the industry.



THE COLORS OF SUCCESS

The commercial-grade 70% PVDF finish we use meets or exceeds the stringent AAMA (American Architectural Manufacturers Association) 2605 paint standard*. AAMA 2605 is a specification that sets standards for a variety of performance areas, as well as overall hardness, durability and color retention. To earn an AAMA 2605 grade, Custom Wood components, including our roll-formed sash cladding, must meet or exceed this performance criteria. The following information includes some of the most vital AAMA tests and the criteria products must meet to achieve the AAMA 2605 paint standard.

Impact Resistance

Film must continue to adhere when a load is applied directly to the surface with an impact tester.

Abrasion Resistance

The abrasion coefficient value of the coating must be a minimum of 40. This value is derived by the equation abrasion coefficient minus liters per mil equals V/T (where V is the volume of sand used in the testing procedure and T is the thickness of the coating).

Muriatic Acid Resistance

After undergoing this 15-minute spot test, there must be no blistering or visual changes when examined by the unaided eye.

Mortar Resistance

Mortar must dislodge easily from the painted surface after it is applied as part of a 24-hour pat test.

Nitric Acid Resistance

The tested surface should display no more than 5 ΔE units (Hunter) of color change when it is compared with a surface that has not been exposed to the acid.

Detergent Resistance

There should be no loss of adhesion, no blistering and no significant visual change in appearance (when examined by the unaided eye) after a 3 percent solution of detergent and distilled water is applied to the surface for 72 hours.

Window Cleaner Resistance

After testing the surface with a glass cleaner solution, there must be no blistering or noticeable change in appearance when viewed with the unaided eye. Also, no film should be removed.

Humidity Resistance

There must be only minimal blistering after the surface has been placed in a heat and humidity cabinet for 4,000 hours.

Salt Spray Resistance

There must be only 1/32" to 1/16" of creepage and minimum blistering after the surface is exposed to a 5 percent salt solution for 4000 hours.

South Florida Weathering

There is a series of tests for finishes that will be exposed to South Florida weathering conditions. These tests measure color retention, chalk resistance, gloss retention and erosion resistance. After testing, the film should display no more than 5 ΔE units (Hunter) of color change, minimal chalking, greater than 50 percent gloss retention (after 10 years), and less than 10 percent film loss due to erosion.

**With the exception of the extruded criteria*



AAMA Paint Specifications

	AAMA 2603	AAMA 2604	AAMA 2605
South Florida Weathering			
Color Retention	1 year - "slight" fade	5 years - fade = 5 Δ E	10 years - fade = 5 Δ E
Chalk Resistance	1 year - "slight" chalk	5 years - chalk = 8	10 years - chalk = 8
Gloss Retention	No specification	5 years - 30% retention	10 years - 50% retention
Erosion Resistance	No specification	5 years - 10% loss	10 years - 10% loss
Pretreatment System	Chrome or Chrome-free	Chrome or Chrome-free	Chrome or Chrome-free
Accelerated Testing			
Salt Spray	1,500 hours	3,000 hours	4,000 hours
Humidity	1,500 hours	3,000 hours	4,000 hours

(Effective June 2013)

CARE AND MAINTENANCE HIGHLIGHTS

Note: The following information provides limited “highlights” for care and maintenance of your clad finish. For complete care and maintenance information, please visit the resource section of our website at www.jeld-wen.com.

Metal cladding provides both beauty and durability. It features a paint film surface which resists cracking, flaking, peeling and blistering under normal conditions and use*. In addition, the adhesion and flexibility of clad coatings resist chipping and scratching.

We’ve provided several tips for cleaning aluminum-clad surfaces. First, we recommend that you do not clean these surfaces in direct sunlight or in temperatures that are either very hot or very cold. Avoid scouring, excessive rubbing and overcleaning. And do not use abrasive cleaners or tools that may scratch the cladding or glass. Surfaces should be cleaned twice a year (or monthly in coastal, industrial and very dry areas).

For Light Cleaning:

1. Rinse surface with clean water from top to bottom.
2. Clean with mild soap and water using a sponge or soft brush.
3. Immediately rinse thoroughly with clean water. Sponging while rinsing may be helpful. It is important that the cleaning solution does not dry on the surface.
4. Air dry or wipe dry with a soft, dry cloth.

Touch-up Paints

Metal-clad surfaces on windows and patio doors do not require painting or finishing. However, paints that match our clad colors are available for touching up scratches or other minor blemishes.

For Moderate to Heavy-duty (non-water soluble) Cleaning:

Use our recommended cleaning agents (For a full list refer to jeld-wen.com) to remove heavy soils such as oil, grease, sealants, dried concrete stains, tar, rust and graffiti. After using cleaning agents, clean the area with soap and water to remove any traces of the remaining agent.

**Clad products installed within one mile of a saltwater source (or other corrosive environment) require additional and specific maintenance requirements. Please refer to our full care and maintenance instructions at www.jeld-wen.com.*

Caution: For your safety, never mix cleaners or agents, and always follow manufacturer warnings and instructions. Test any cleaner in a small, inconspicuous area before using. Use only in small amounts, wear protective clothing and goggles, and provide proper ventilation. Do not use near open flames, sparks or electrical motors.

OUR RELIABILITY PROMISE

JELD-WEN® products create lasting value for your home. We are so confident that you will be pleased with our clad-wood windows and patio doors, that each one carries our industry-leading warranty. This limited warranty includes:

- Lifetime Limited coverage against defects in material and workmanship for most product components (such as insulating glass, metal and wood components, and hardware)
- Lifetime Limited coverage for AAMA 2605 finishes
- Lifetime Limited coverage on AuraLast® pine against wood decay and termite damage
- Skilled labor coverage for warranty repairs for 2 years
- Coverage is transferable for 10 years

NOTE: The above information is a summary of key provisions of the JELD-WEN® Wood and Metal-Clad Wood Window & Patio Door Limited Warranty. For a complete copy of the warranty, see your dealer/distributor or refer to www.jeld-wen.com.

ABOUT JELD-WEN

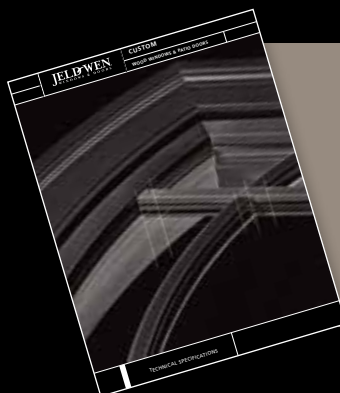
Since 1960, when JELD-WEN began with one Oregon millwork plant, we've been dedicated to crafting windows and doors that enhance the beauty and functionality of your home. Today we continue that tradition with products that are durable and worry-free. Our extensive product offering is available globally through multiple distribution channels, including retail home centers, wholesale distributors and building products dealers.

We strive to conduct our business with the highest ethical standards. That includes providing our customers with superior products, establishing solid relationships in the communities where we live and work, and conserving valuable resources.

JELD-WEN's goal is to be the industry leader in environmentally responsible practices and to conduct our business in a manner that demonstrates environmental stewardship. At JELD-WEN, we believe that a healthy environment and healthy business practices go hand in hand.

The JELD-WEN website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.

JELD-WEN
WINDOWS & DOORS



To see the complete Custom Wood Window & Patio Door Technical Specifications visit www.JELD-WEN.com to download a PDF.



Official window and
door provider of
Major League Soccer



JELD-WEN is proud to support
a better way to build

[PRODUCTS ▾](#)

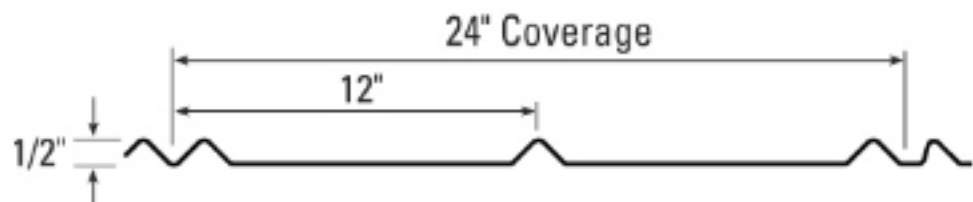
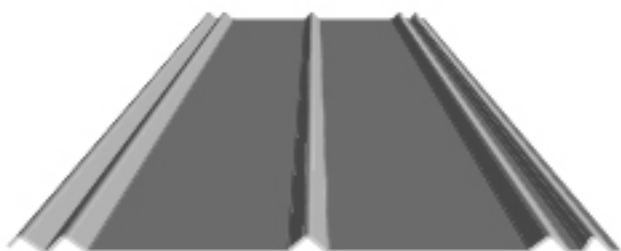
[PROJECTS ▾](#)

[INDUSTRIES ▾](#)

[ARCHITECTS ▾](#)

[CONTRACTORS ▾](#)

[RESOURCES ▾](#)



[+ ADD TO E-SUBMITTAL LIST](#)

5V-CRIMP

Roof

Panel Coverage: 24"

Rib Height: 1/2"

Standard Gauges: 26 ga., 29 ga.

Optional Gauge: .032" ga.

With a traditional "V" rib, 5V-Crimp offers details designed to conceal its fasteners to provide a stunning metal roof with a clean appearance.

Available Materials: Aluminum, Steel

Available Substrate: Solid Substrate

Fasteners: Exposed

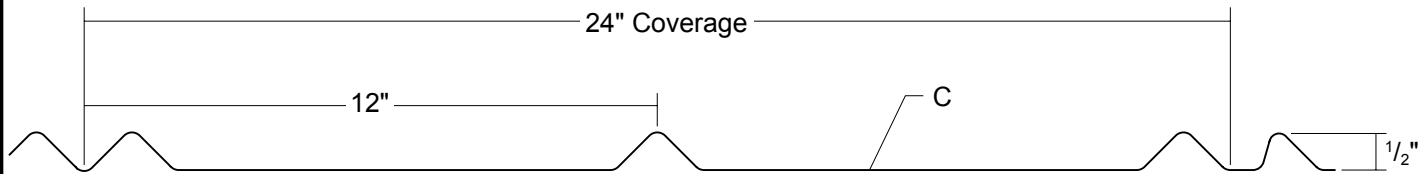
Standard Finishes: Acrylic Coated Galvalume®, MS Colorfast45®

Enter your **ZIP code** to see the colors available in your area.



5V-CRIMP

**Condensed
Technical
Reference**



**ARCHITECTURAL
RESIDENTIAL
PANEL**

**EXPOSED
FASTENED**

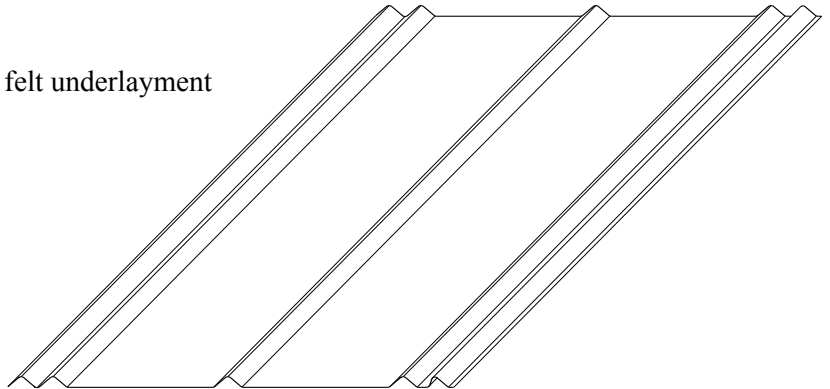
**24"
COVERAGE**

**MINIMUM
SLOPE
3:12**

**SOLID WOOD
SUBSTRATE**

PANEL OVERVIEW

- ▶ Finishes: MS Colorfast45® and Acrylic-Coated Galvalume®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®
AZ50 per ASTM A 792 for painted Galvalume®
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 26 ga standard; 24 ga optional
- ▶ 24" panel coverage, 1/2" rib height
- ▶ Panel Length: Minimum: 5'; Maximum: 45' recommended
- ▶ Residential, 'V' rib roof system
- ▶ Minimum roof slope: 3:12
- ▶ Applies over plywood with minimum 30# felt underlayment



TESTING AND APPROVALS

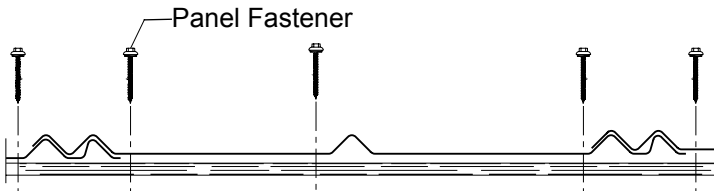
- ▶ UL 2218 Impact Resistance - Class 4
- ▶ UL 790 Fire Resistance Rating - Class A, per building code
- ▶ UL 263 Fire Resistance Rating - per assembly
- ▶ UL 580 Uplift Resistance - Class 90 Constructions: #579 and #453
- ▶ Texas Windstorm - Evaluation RC-160
- ▶ 2017 FBC Approvals - FL14645.2, FL14645.3 and FL14645.4
- ▶ Miami-Dade County, Florida NOA 13-0627.02 expires 6/29/2018

ms metal sales
manufacturing corporation

5V-CRIMP

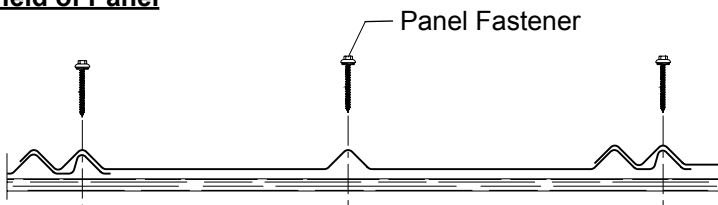
Condensed Technical Reference

FASTENING PATTERN

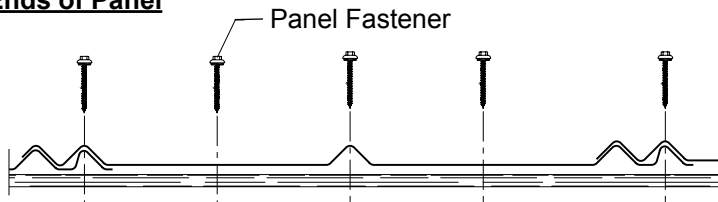


ALTERNATE FASTENING PATTERN

Field of Panel



Ends of Panel



FASTENER INFORMATION

Overdriven fasteners will cause panel distortions.

Fasteners should extend 1/2" or more past the inside face of the support material.

Thick panels (ex. 18 ga) or supports (ex. 1/2" steel) may require predrilling of holes for screws.

Panel Fastener:

Attaching to Wood:

#10-14 Wood Screw

#10-14 XL Wood Screw

Trim Fastener:

1/4"-14 x 7/8" Stitch Screw

1/4"-14 x 7/8" XL Stitch Screw

SECTION PROPERTIES

ALLOWABLE UNIFORM LOADS, psf For various fastener spacings

Ga	Width in	Yield ksi	Weight psf	Top In Compression		Bottom In Compression		Outward Load					
				Ixx in ⁴ /ft	Sxx in ³ /ft	Ixx in ⁴ /ft	Sxx in ³ /ft						
								0.5'	1'	1.5'	2'	2.5'	3'
26	24	50	0.78	0.0025	0.0070	0.0015	0.0055	197	100	71	62	50	42
24	24	50	1.02	0.0030	0.0089	0.0020	0.0073	197	100	71	62	50	42

1. Theoretical section properties have been calculated per AISI 2016 'North American Specification for the Design of Cold-Formed Steel Structural Members'. Ixx and Sxx are effective section properties for deflection and bending.
2. Allowable load is calculated in accordance with AISI 2016 specifications considering bending, shear, combined bending and shear and deflection. Allowable load considers the 3 or more equal spans condition. Allowable load does not address web crippling, fasteners, support material or load testing. Panel weight is not considered.
3. Deflection consideration is limited by a maximum deflection ratio of L/180 of span.
4. Allowable loads do not include a 1/3 stress increase for wind.

ms metal sales
manufacturing corporation

metalsales.us.com

Anchorage, AK 866.640.7663
Bay City, MI 888.777.7640
Deer Lake, PA 800.544.2577
Denver, CO 800.289.7663

Detroit Lakes, MN 888.594.1394
Fontana, CA 800.782.7953
Fort Smith, AR 877.452.3915
Independence, MO 800.747.0012

Jacksonville, FL 800.394.4419
Jefferson, OH 800.321.5833
Mocksville, NC 800.228.6119
Nashville, TN 800.251.8508
Rock Island, IL 800.747.1206
Rogers, MN 800.328.9316

Seattle, WA 800.431.3470
Sellersburg, IN 800.999.7777
Sioux Falls, SD 888.299.0024
Spokane, WA 800.572.6565
Temple, TX 800.543.4415
Woodland, CA 800.759.6019

PVDF Paint System

				
Snowdrift White (W81)	Linen White (81)	Sandstone (W51)	Parchment (W74)	Taupe (74)
				
Khaki (88)	Medium Bronze (H4)	Weathered Copper (W50)	Mansard Brown (133)	Dark Bronze (50)
				
Ash Grey (25)	Old Town Grey (W25)	Old Zinc Grey (W29)	Slate Grey (W38)	Matte Black (106)
				
Aged Copper (65)	Patina Green (W58)	Hemlock Green (M7)	Classic Green (66)	Felt Green (W66)
				
Patriot Red (73)	Terra Cotta (W72)	Colonial Red (W75)	Brandywine (P8)	River Teal (59)
				
Metallic Silver (K7) ¹	Champagne Metallic (168) ¹	Mistique Plus (W31) ¹	Copper Penny (W92) ¹	Antique Patina (M1) ¹
				
Tahoe Blue (W71)	Ocean Blue (35)	Regal Blue (W35)	Galvalume® (41) Non-painted Finish 25 Year Warranty	



All Colors Meet or Exceed
ENERGY STAR® Steep Slope
Requirements

¹ Metallic Colors, up-charge
will apply

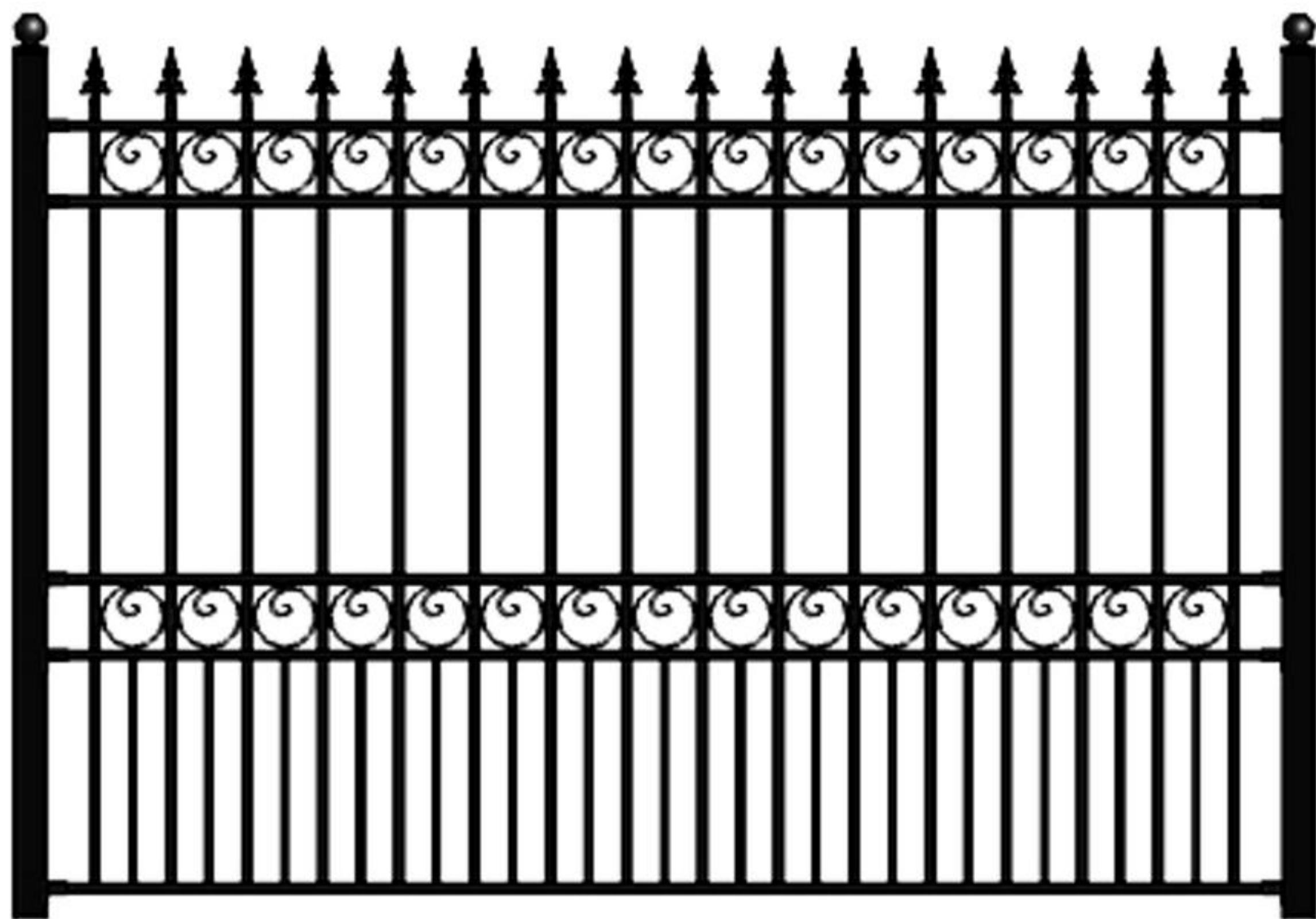
Visit metalsales.us.com for valuable tools and resources.

45 Year Paint Warranty

All colors carry a 45 year limited paint warranty.
Color selections are close representations but are limited by
printing and viewing conditions. Actual samples are available by request.

24 GAUGE



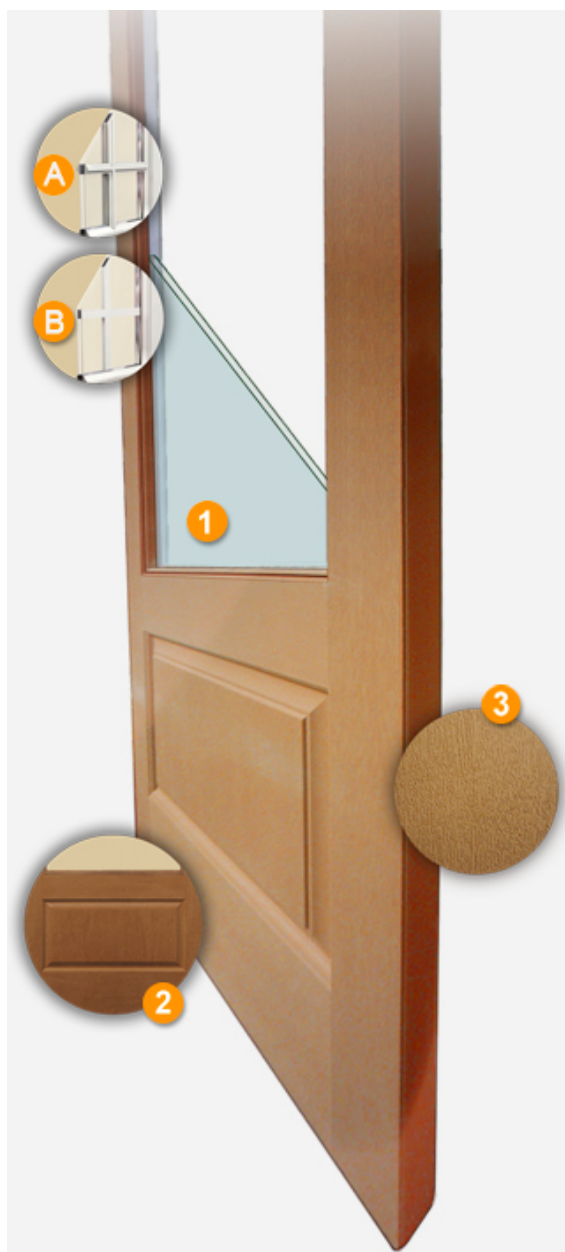


[About Us](#)[Neuma Benefits](#)[Products](#)[Resources](#)[Find a Dealer](#)[Contact](#)[Hinged Patio Doors](#)[Vented Sidelight Patio Doors](#)**3/4 Lite Patio Doors****Design Features**[Gliding Patio Doors](#)[Transoms](#)[Impact Series](#)[Glazing Options](#)[Neuma Classic Doors](#)[Hinged Door Certifications](#)[Gliding Door Certifications](#)[Transom Certifications](#)[Overview](#)**[Design Features](#)**[Specification](#)[Warranty](#)

3/4 Lite Patio Doors Design Features

[Design Features](#)

Design Features



Smooth White interior and exterior finish is standard on all doors, including the 3/4 lite panel.

A. Simulated Divided Lites - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

B. Grilles Between the Glass - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1** Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2** Embossed architectural design detail on exterior and interior of the panel.
- 3** Special order pre-finish options feature a refined Mahogany wood grain.

[\[top\]](#)

Search

| [Terms of Use](#) |

©2014 Nanya Corporation, all rights reserved.

Manufacturer of fiberglass patio doors
 **NAN YA PLASTICS CORP. USA**









FRENCH QUARTER®

ORIGINAL BRACKET

This Bevolo® original was designed in the 1940s by world renowned architect A. Hays Town and Andrew Bevolo Sr. This Original French Quarter® lantern adorns many historic buildings across the country. The light can be used with a wide range of architectural styles. It is available in natural gas, liquid propane, and electric.

Standard Lantern Sizes		
Height	Width	Depth
14.0"	9.3"	9.3"
18.0"	10.5"	10.5"
21.0"	11.5"	11.5"
24.0"	13.3"	13.3"
27.0"	14.5"	14.5"
*30"	17.5"	17.5"
*36"	21.5"	21.5"

*Oversized lights are not returnable



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00445

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 5
33 W. Garden Street
Palafox Historic Business District / Zone C-2A
Demolition of Non-Contributing Structure

RECOMMENDATION:

George Williams is requesting approval for the demolition of an existing bank drive-thru and associated structures. In its place, the applicant is proposing to construct a new two-story bank building.

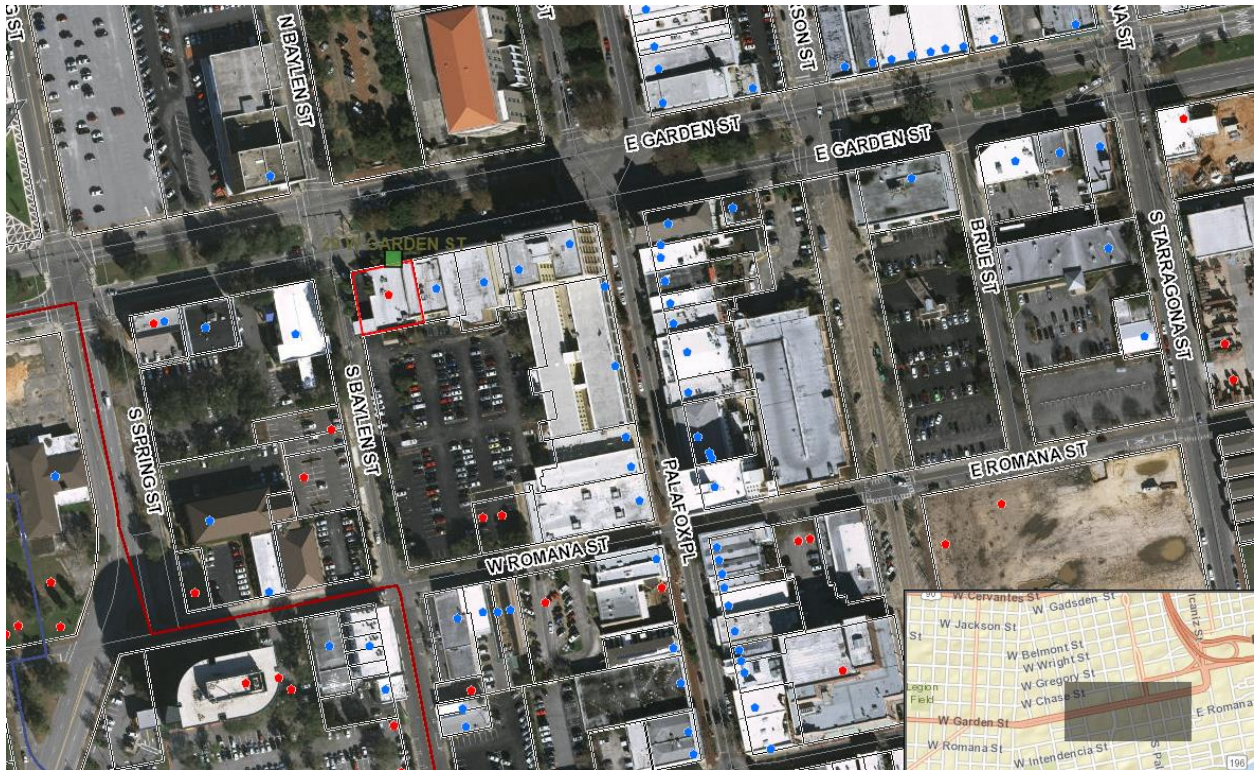
This item is under consideration with Item 6.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-21(F)(2)(c) *PHBD, Razing or demolition of existing buildings*
Sec. 12-2-10(A)(10) *PHD, Other demolition permits*

30 W. Garden Street



Mead clarified his motion was that the proposal was inconsistent with 12-2-10(A)(8) and 12-2.2 with regard to integration and consistency with the standards set forth in PHD.

Item 9 **1304 N. Barcelona Street** **NHPD**
Contributing Structure **PR-1AAA**

Action taken: Approved with abbreviated review.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for exterior modifications and additions to a contributing structure. Mr. Sallis presented to the Board and stated that North Hill appreciated the design and detail of the proposed renovations. Mr. Pristera addressed the gothic fencing, and Mr. Sallis advised a document from the City had indicated among the styles to choose from, Gothic was the most decorative that matched. Ms. Shadiya pointed out the adjacent property also had the Gothic fencing, and they wanted to maintain that style. Mr. Salter pointed out the horizontal pool house fencing, and Mr. Sallis advised his client's style was contemporary, and anything inside the fence, they wanted contemporary. He clarified there were different types of fencing on the property, with a high budget main fence on the corner that consists of masonry pylons and metal, and the picket style fence matches the windows. All of the fencing along Barcelona would not be visible because of existing vegetation. The painted wooden fence was at the rear property line and not on the corner. He explained the side yard and pool area was constructed for entertainment with the idea that a significant amount of guests would come from street parking directly to the pool yard, so they wanted to make that entrance clear. Mr. Mead stated with the gate, to possibly use some kind of return like the rear yard view where the door drops into the window band. Chairman Quina suggested making it more contemporary. Mr. Pristera asked about the lot coverage and setbacks, and Mr. Harding explained everything was in compliance. **Mr. Mead made a motion to approve with an abbreviated review on the gate element. Mr. Salter seconded the motion, and with no speakers, the motion carried unanimously.**

Item 10 **109 W. Romana Street** **PHBD / GCD**
Contributing Structure **C-2A**

Action taken: Approved with abbreviated review.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval of exterior modifications to a contributing structure including a change of paint color, the installation of windows on the front and side elevations, and replacement side doors. Mr. Sallis presented to the Board and stated new clients would operate their businesses within this warehouse. He explained they wanted more light with more windows; the two main window additions would be along the Romana street front; they also wanted two additional windows along the west façade which faces the parking lot and the One Pensacola Plaza building. He explained they would continue to paint the building white, with the doors and windows being dark bronze to contrast the white. Mr. Salter addressed the window muntins on Romana Street and was not sure the windows needed more division for this building style. **Mr. Mead made a motion to approve as revised with the addition of a paint treatment to make the front façade on the Romana door more visually harmonious with the new window treatments and remove the muntins which can go through an abbreviated review. Ms. Fogarty seconded the motion, and with no speakers, it carried unanimously.**

Item 11 **30 W. Garden Street** **PHBD**
New Construction **C-2A**

Action taken: Conceptual Approval with comments.

George Williams is seeking *conceptual* approval for a new two story bank building on the corner lot currently occupied by the Beach Bank drive-through lanes. Ms. Wiczorek addressed the Board and

stated they preferred to push the building to the property line and create a bookend for the block. She stated parking was on the back side, so the entry would be on the south side. There is an egress door on the north side of the building, but no entry on Garden Street. The bank wanted the control point to be on the parking side. There will be sidewalks on Garden and Baylen with plantings and a bus stop. The structure would be brick and glass, with the north and west sides being a more modern look. She furnished a canopy illustration. Mr. Salter pointed out they were placing the final piece in this block, and there was the opportunity to do something which does not have to relate to other buildings and encouraged more exploration into what this could mean to this block. With every building in the block having an entrance on Garden Street, it was a concern that this one did not, and he asked as the project developed to reconsider since downtowns were established for walking; he encouraged moving the entrance back to Garden Street. Chairman Quina appreciated the bank locating at this corner but agreed that this could be a flashier bookend. He also pointed out common lines with the adjacent buildings that could apply to the windows and the brick. Ms. Campbell-Hatler agreed with reconsidering the entry on the front. Ms. Wiczorek indicated she could pass along the comments of the Board. Depending on how this project moves forward, Mr. Harding explained the Board would also have to approve the demolition of the existing structure. **With no speakers, Mr. Salter made a motion for conceptual approval with comments noted to be considered as the project is developed. Mr. Mead seconded the motion, and it carried unanimously.**
(Item 12 was pulled and the Board moved to Item 16 to accommodate Mr. Yee in Item 13)

Item 16

217 E. Zaragoza Street

PHD

Contributing Structure

HC-1 / Brick Structures

Action taken: Approved with abbreviated review.

The UWF Historic Trust is requesting approval to build a 12'x16' storage shed adjacent to the Quina-Singh House. Mr. Pristera explained the shed would accommodate gasoline-powered equipment which could be a temporary solution until they find another location. This would allow easy access to the equipment and would not be visible from the Historic Village but would be visible from Main Street. Even though the shed would not have deep foundations, the archaeologists suggested keeping it close to Main Street. He also explained they wanted to match the Quina-Singh property. Ms. Campbell-Hatler indicated the shed was lovely. Ms. Fogarty asked about the elevation on Main Street, and Mr. Pristera advised they could use faux shutters with the metal roof. **Mr. Mead made a motion to approve with the addition of the metal roof consistent with the Quina-Singh House with the addition of two faux dual-leaf shutters on the Main Street facing side and otherwise details to match the Quina-Singh House to be submitted in an abbreviated review. Mr. Salter stated regarding the window proportion between the proposed design and the example, he felt that the example shed was more in keeping with the style of the area. Mr. Mead agreed but also thought they needed to make sure they were tying into the Singh structure, and this could be in an abbreviated review. Mr. Salter seconded the motion, and it carried unanimously.**

Item 13

100 BLK W. Garden Street

PHBD

New Construction

C-2A

Action taken: Conceptual Approval with comments.

Jordan Yee is requesting *conceptual* approval for a two-story commercial development. The future site will be located in the south half of an existing parking lot on the northeast corner of Garden and Spring Streets. Mr. Salter recused himself from the item since he was involved with the project. Mr. Yee presented to the Board and stated they wanted conceptual approval for a food hall to be located in a vacant parking lot. He pointed out the adjacent buildings were built in the 1970s, and this was an urban



**Architectural Review Board Application
Full Board Review**

Application Date: 7/30/2020

Project Address: Corner of Garden Street and Baylen Street

Applicant: Goodwyn, Mills and Cawood (George Williams)

Applicant's Address: 720 Bayfront Parkway, Suite 200, Pensacola, FL 32502

Email: george.williams@gmcnetwork.com **Phone:** (850) 462-3038

Property Owner: One Pensacola Plaza, LLC

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

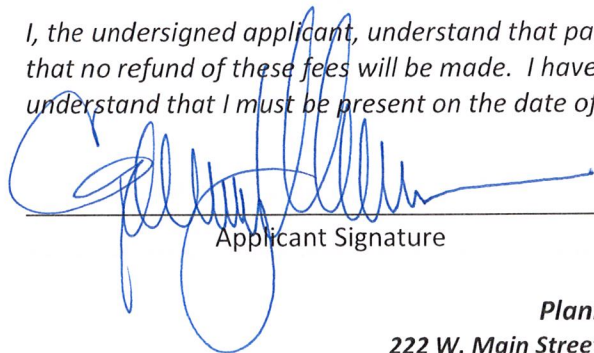
- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

New 2-story bank building located on corner lot. Building replaces existing drive-thru. Requires demolition of existing drive-thru.

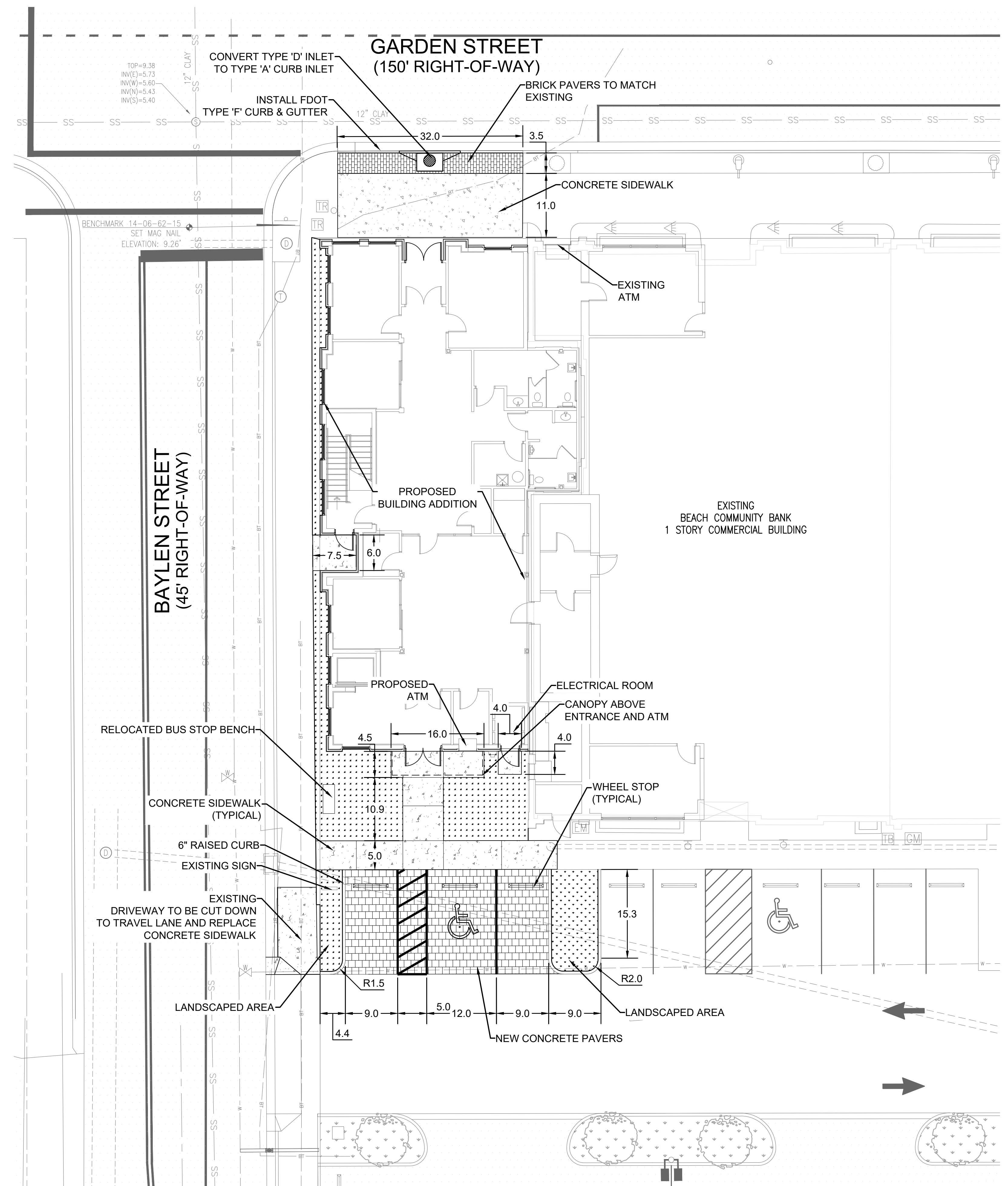
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

7/30/30

Date

[illegible]

**BEACH COMMUNITY BANK
GARDEN STREET & BAYLEN STREET**

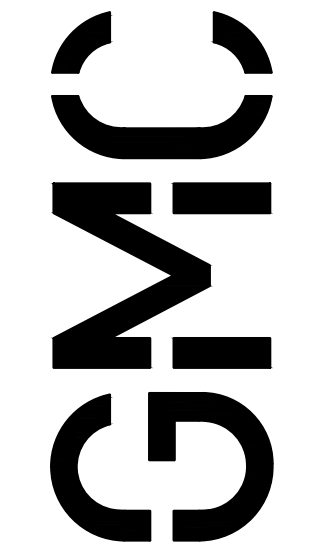
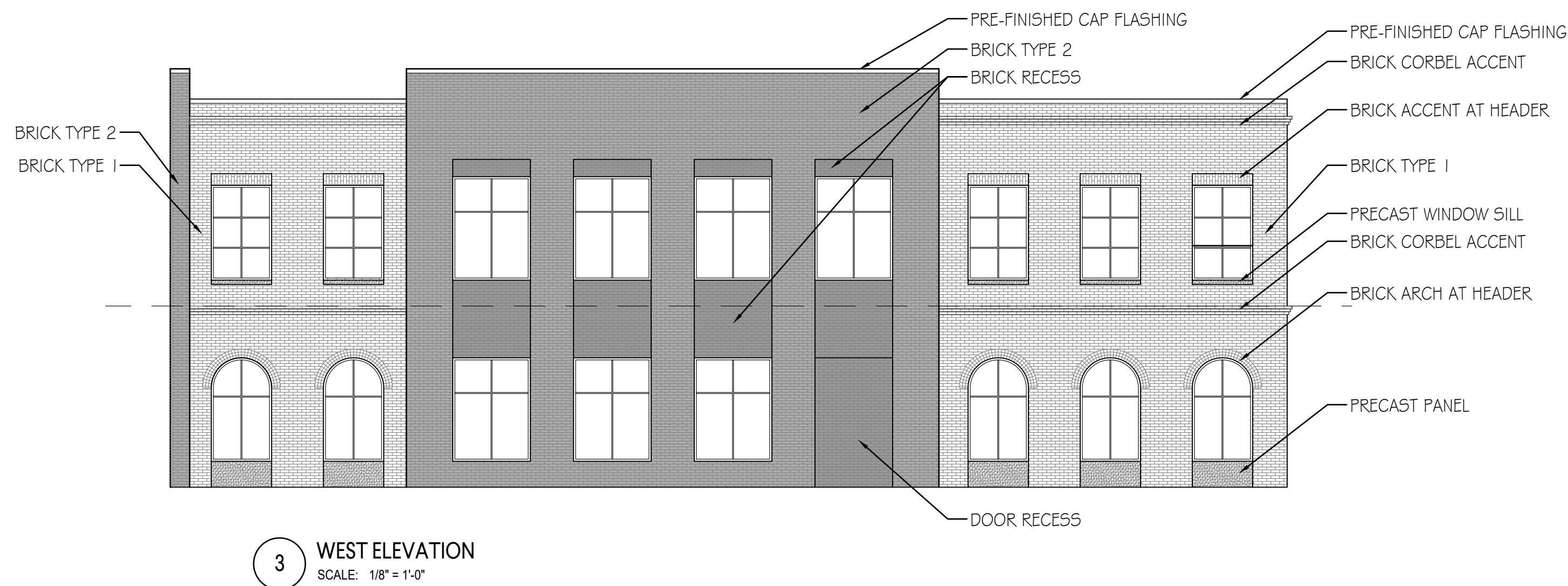
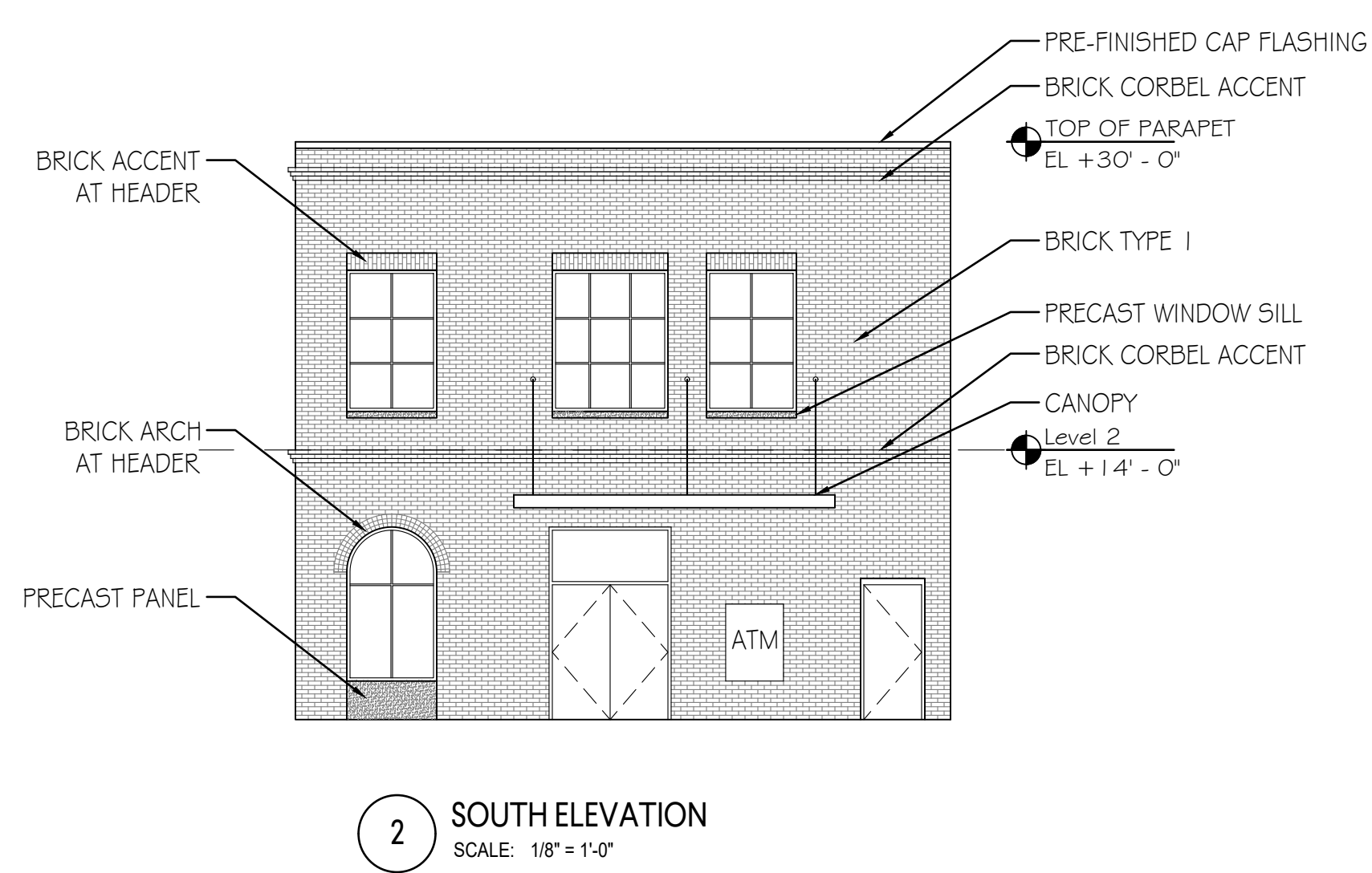
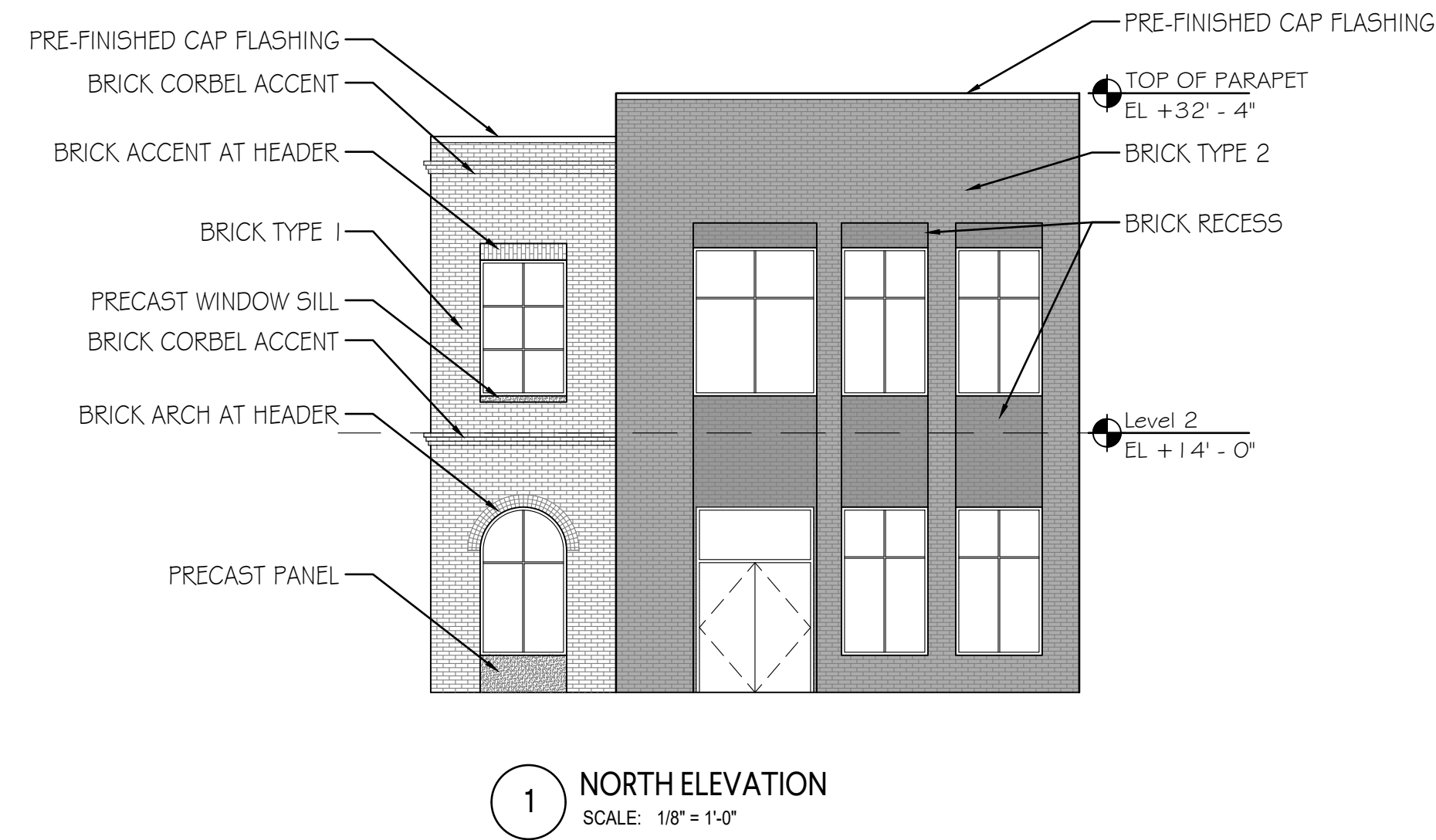
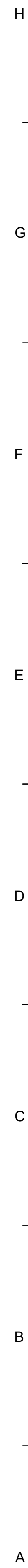
CIVIL SITE LAYOUT

PROJ. START DATE: JULY, 2020		SCALE HORIZONTAL: TBD VERTICAL: N/A	<div> C-200 DRAWING NUMBER A REVISION </div>
MCE PROJ. #	07610.0003		
DRAWN	GTP		
DESIGNED	GTP		
CHECKED	GPH		
PROJ. MGR.	GPH		

STATUS:



A1.2



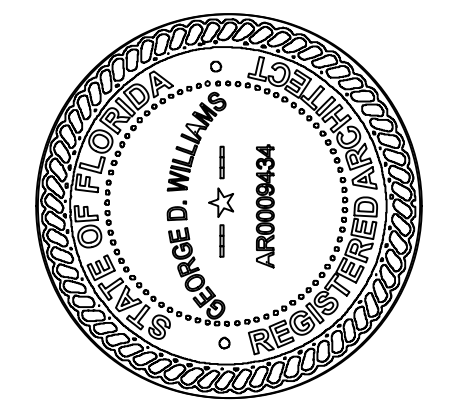
720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850.432.0706
G M C N E T W O R K . C O M
COA: AA26000557

	ISSUE DATE
	ISSUE 07/30/2020
	DRAWN BY: K.W.
	CHECKED BY: G.W.

NEW BANK BUILDING

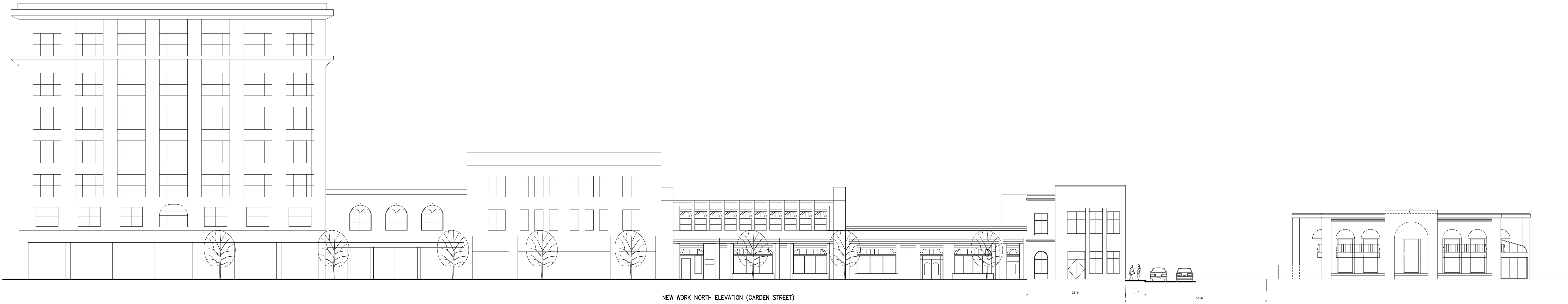
Garden Street and Baylen Street
Pensacola, FL

GMC Project #APEN 190083



EXTERIOR ELEVATIONS

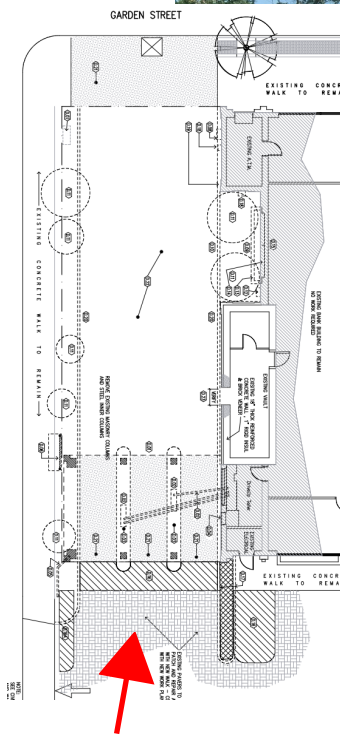
A2.0



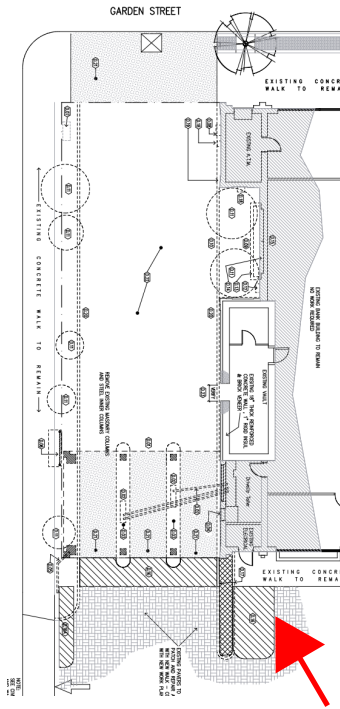
NEW WORK NORTH ELEVATION (GARDEN STREET)



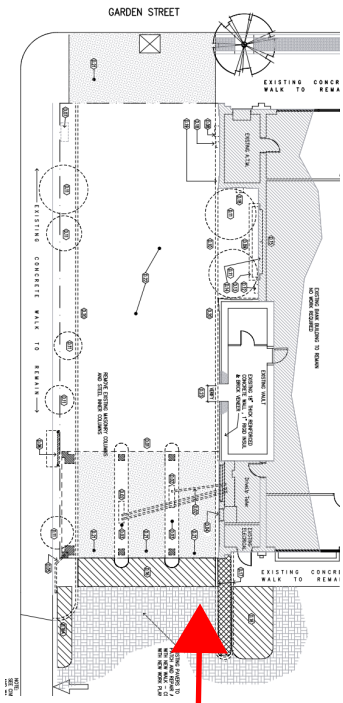
Existing Beach Bank Drive Thru Teller



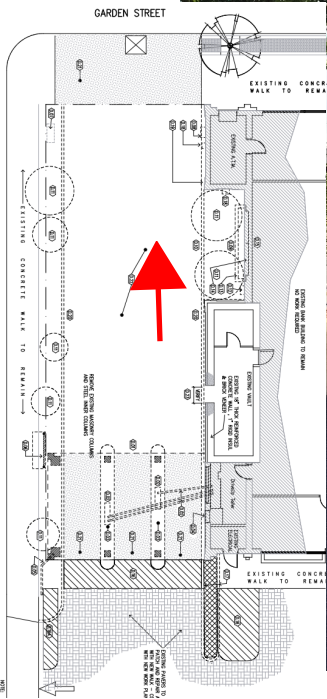
Existing Beach Bank Drive Thru Teller



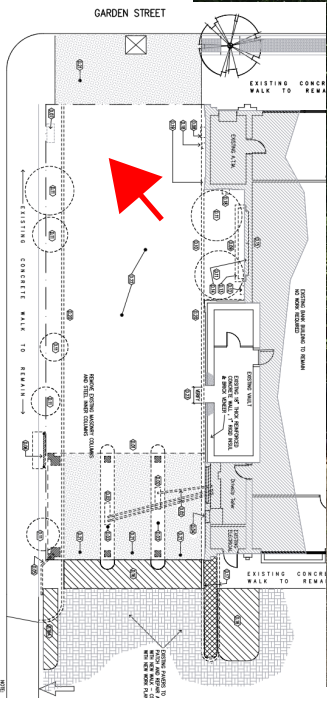
Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller

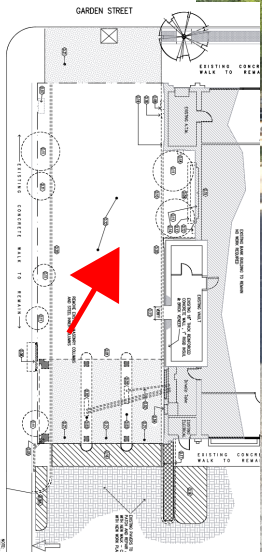
Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller



Existing Beach Bank Drive Thru Teller



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00446

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 6
33 W. Garden Street
Palafox Historic Business District / Zone C-2A
New Construction

BACKGROUND:

George Williams is seeking final approval for a new two-story bank building which will replace the existing drive-thru. This project received conceptual approval in September 2019 with the Board's comments to be considered as the project developed. The proposed building will have a brick façade with a brick corbel accent along sections of the building. The windows and store fronts are proposed to be aluminum with applied muntins and both brick arches and accents will be used for window headers. A canopy will also be installed on the building's rear along with improvements to the hardscape and landscape.

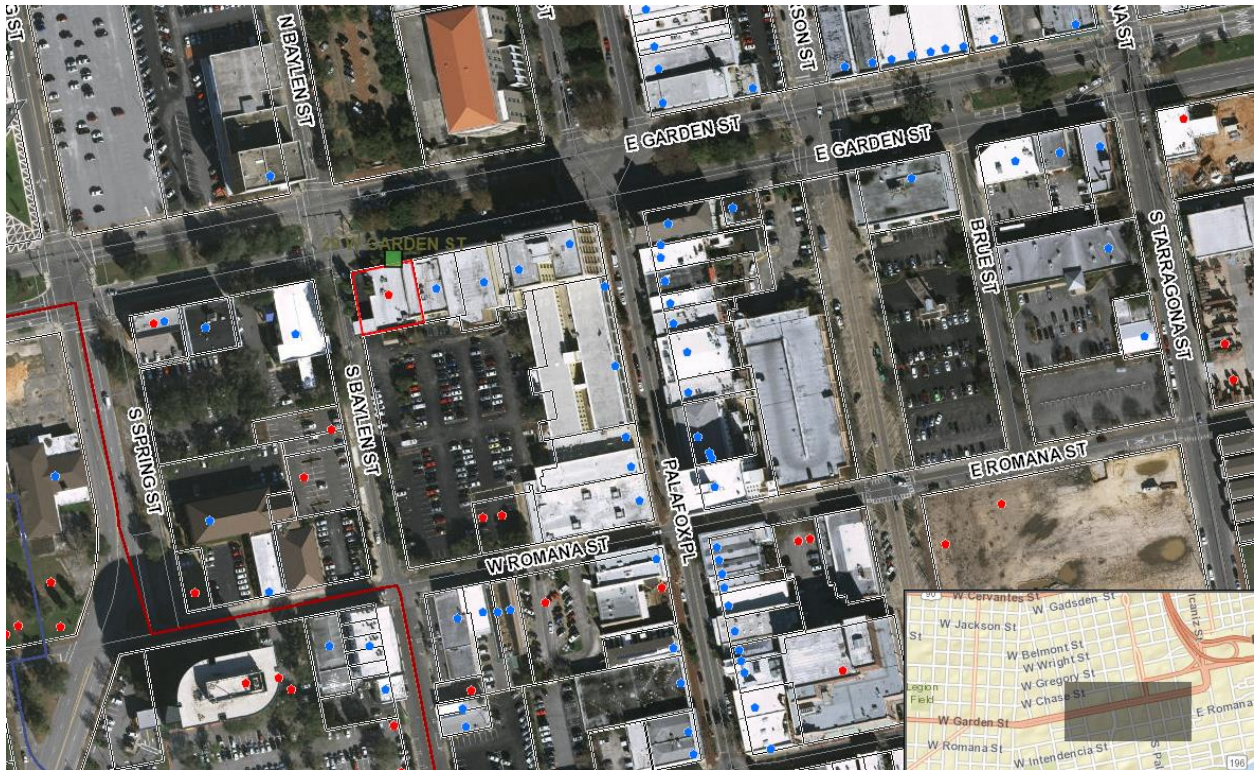
This item is under consideration with Item 5.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-21 *Palafox Historic Business District*
Sec. 12-2-21(E)(2) *PHBD, General conditions, procedures and standards*
Sec. 12-2-21(F)(2) *PHBD, Decision guidelines*
Sec. 12-2-21(F)(4)(b) and (c) *PHBD, Building fronts, rears and sides and Windows*

30 W. Garden Street



September 2019 Packet

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: *GH* Gregg Harding, Historic Preservation Planner

DATE: September 11, 2019

SUBJECT: **New Business - Item 11**
30 W. Garden Street
PHBD / C-2A
New Construction

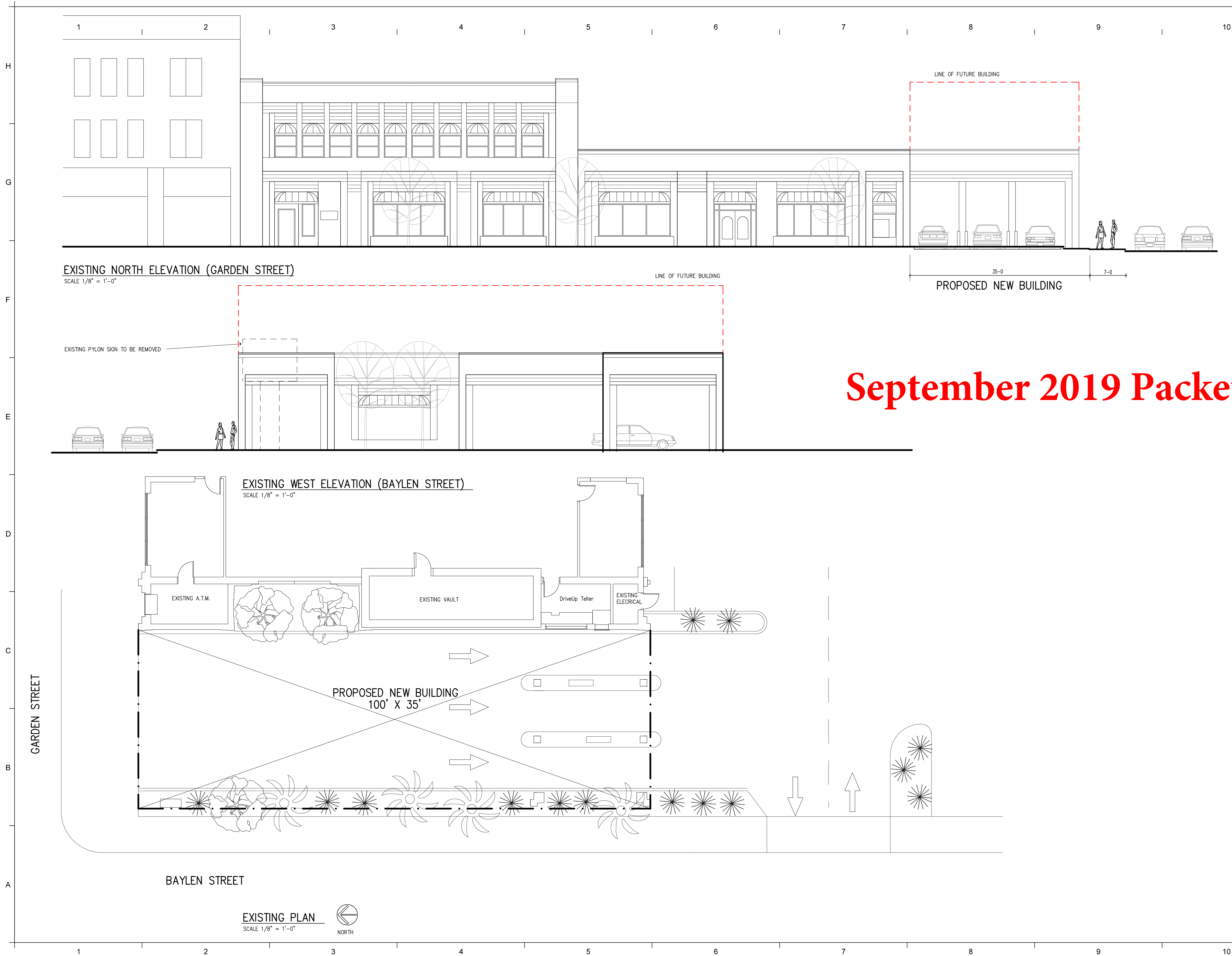
BACKGROUND

George Williams is seeking *conceptual* approval for a new two story bank building on the corner lot currently occupied by the Beach Bank drive-through lanes. The proposed building will be faced with brick with glazed storefronts on the north and west elevations.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21 *Palafax Historic Business District*
Sec. 12-2-21 (E)(2) *PHBD, General conditions, procedures and standards*
Sec. 12-2-21 (F)(2) *PHBD, Decision guidelines*
Sec. 12-2-21 (F)(4)(b) and (c) *PHBD, Building fronts, rears, and sides and Windows*



September 2019 Packet

GMC

720 Bayfront
Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
GMCNETWORK.COM

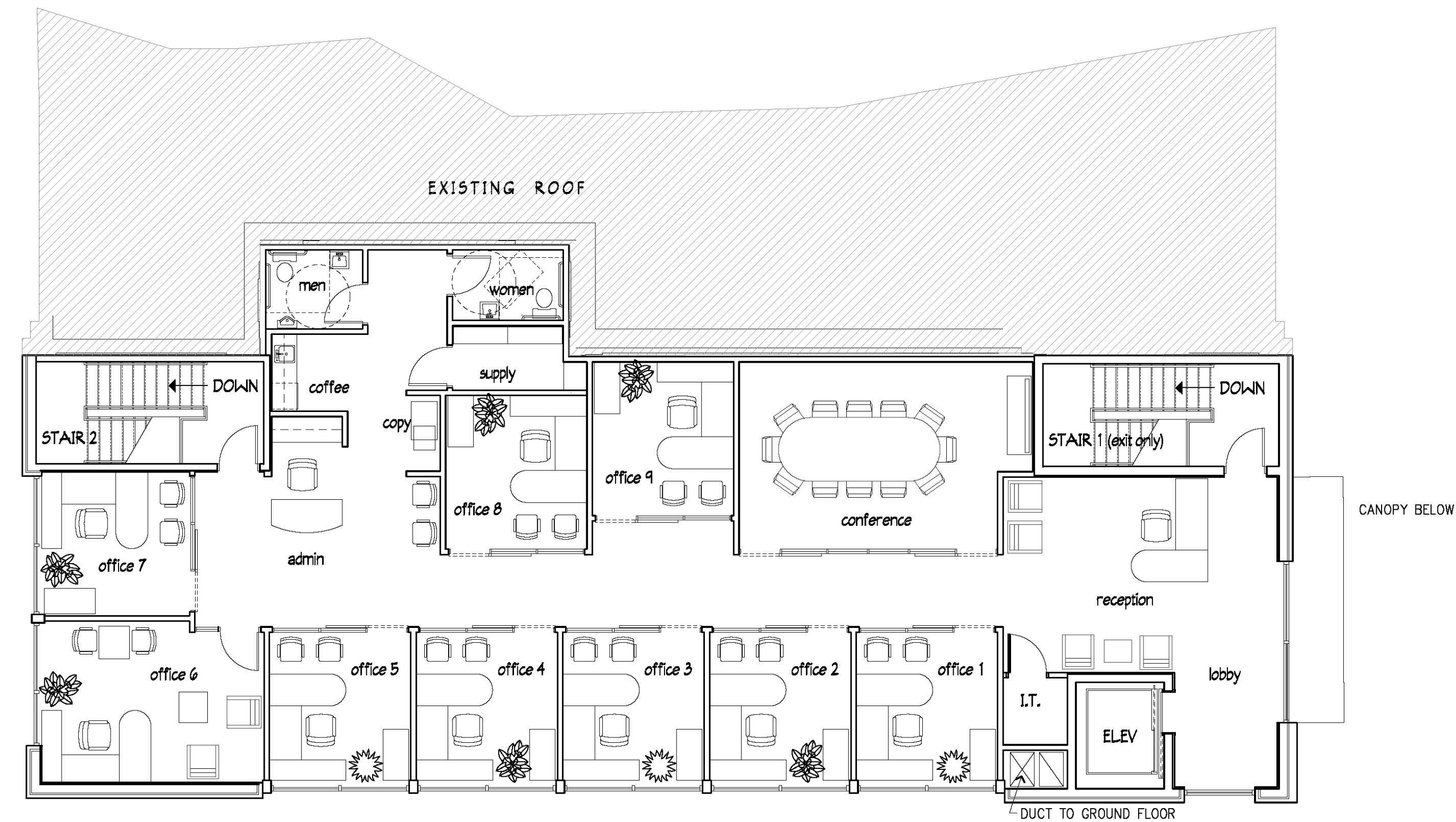
ISSUE	DATE
01	08-30-2019
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

New Bank Building
Garden Street and Baylen Street
Pensacola, Florida

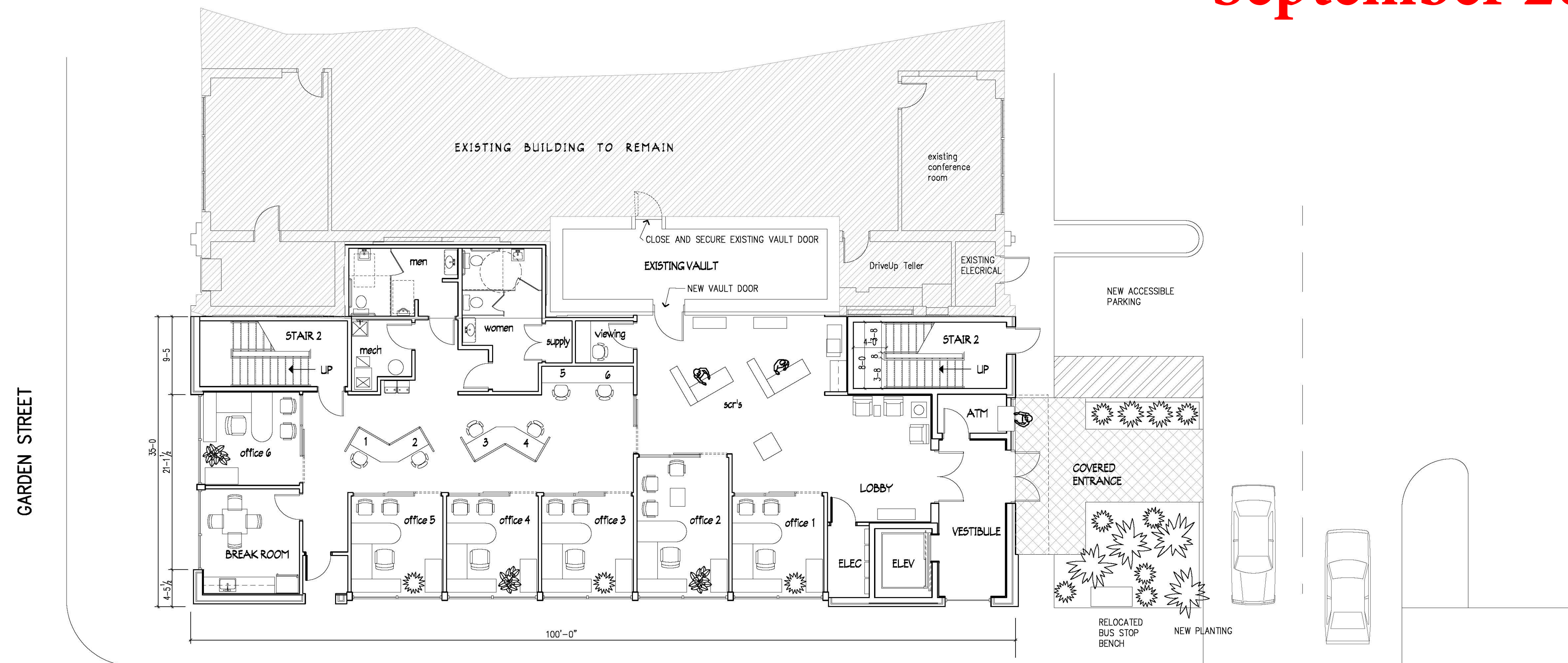
GMC Project #
PROJECT # 2878

Existing Building

A1.0
sheet 001 of 003



NEW WORK SECOND LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"




NEW WORK GROUND LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"



BAYLEN STREET

September 2019 Packet



720 Bayfront
Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
GMCNETWORK.COM

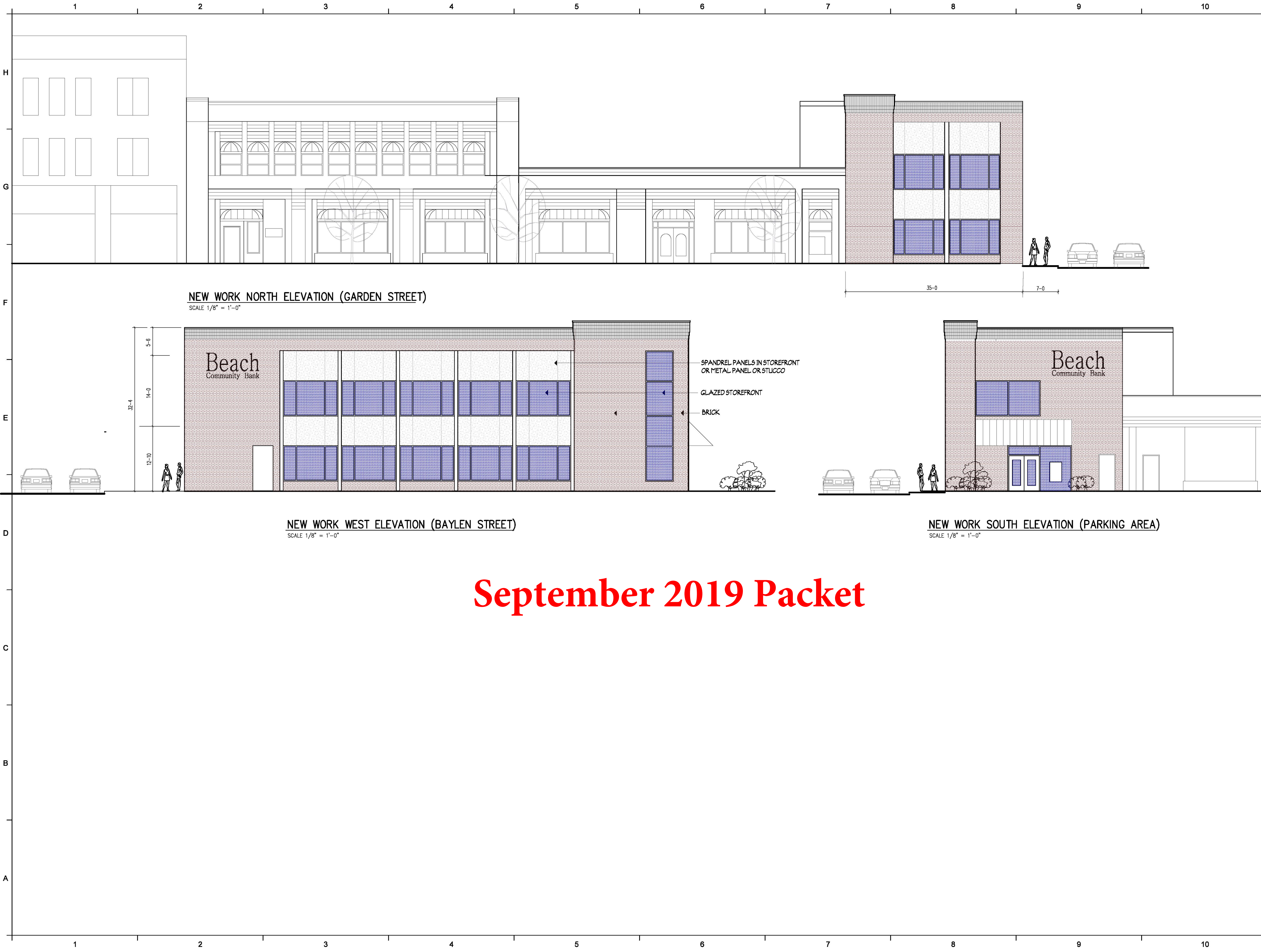
ISSUE	DATE
	08-30-2019
DRAWN BY:	geo
CHECKED BY:	GDW

New Bank Building
Garden Street and Baylen Street
Pensacola, Florida

GMC Project #
PROJECT # 2878

New Work Floor Plans

A1.2 of 003



New Work Exterior Elevations

New Bank Building

Garden Street and Baylen Street

Pensacola, Florida

A1.3

sheet 003 of 003

720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
GMCNETWORK.COM

DATE

08-30-2019

ISSUE

08-30-2019

DRAWN BY:

GDW

CHECKED BY:

GMC

GMC Project #

PROJECT #

Mead clarified his motion was that the proposal was inconsistent with 12-2-10(A)(8) and 12-2.2 with regard to integration and consistency with the standards set forth in PHD.

Item 9 **1304 N. Barcelona Street** **NHPD**
Contributing Structure **PR-1AAA**

Action taken: Approved with abbreviated review.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for exterior modifications and additions to a contributing structure. Mr. Sallis presented to the Board and stated that North Hill appreciated the design and detail of the proposed renovations. Mr. Pristera addressed the gothic fencing, and Mr. Sallis advised a document from the City had indicated among the styles to choose from, Gothic was the most decorative that matched. Ms. Shadiya pointed out the adjacent property also had the Gothic fencing, and they wanted to maintain that style. Mr. Salter pointed out the horizontal pool house fencing, and Mr. Sallis advised his client's style was contemporary, and anything inside the fence, they wanted contemporary. He clarified there were different types of fencing on the property, with a high budget main fence on the corner that consists of masonry pylons and metal, and the picket style fence matches the windows. All of the fencing along Barcelona would not be visible because of existing vegetation. The painted wooden fence was at the rear property line and not on the corner. He explained the side yard and pool area was constructed for entertainment with the idea that a significant amount of guests would come from street parking directly to the pool yard, so they wanted to make that entrance clear. Mr. Mead stated with the gate, to possibly use some kind of return like the rear yard view where the door drops into the window band. Chairman Quina suggested making it more contemporary. Mr. Pristera asked about the lot coverage and setbacks, and Mr. Harding explained everything was in compliance. **Mr. Mead made a motion to approve with an abbreviated review on the gate element. Mr. Salter seconded the motion, and with no speakers, the motion carried unanimously.**

Item 10 **109 W. Romana Street** **PHBD / GCD**
Contributing Structure **C-2A**

Action taken: Approved with abbreviated review.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval of exterior modifications to a contributing structure including a change of paint color, the installation of windows on the front and side elevations, and replacement side doors. Mr. Sallis presented to the Board and stated new clients would operate their businesses within this warehouse. He explained they wanted more light with more windows; the two main window additions would be along the Romana street front; they also wanted two additional windows along the west façade which faces the parking lot and the One Pensacola Plaza building. He explained they would continue to paint the building white, with the doors and windows being dark bronze to contrast the white. Mr. Salter addressed the window muntins on Romana Street and was not sure the windows needed more division for this building style. **Mr. Mead made a motion to approve as revised with the addition of a paint treatment to make the front façade on the Romana door more visually harmonious with the new window treatments and remove the muntins which can go through an abbreviated review. Ms. Fogarty seconded the motion, and with no speakers, it carried unanimously.**

Item 11 **30 W. Garden Street** **PHBD**
New Construction **C-2A**

Action taken: Conceptual Approval with comments.

George Williams is seeking *conceptual* approval for a new two story bank building on the corner lot currently occupied by the Beach Bank drive-through lanes. Ms. Wiczorek addressed the Board and

stated they preferred to push the building to the property line and create a bookend for the block. She stated parking was on the back side, so the entry would be on the south side. There is an egress door on the north side of the building, but no entry on Garden Street. The bank wanted the control point to be on the parking side. There will be sidewalks on Garden and Baylen with plantings and a bus stop. The structure would be brick and glass, with the north and west sides being a more modern look. She furnished a canopy illustration. Mr. Salter pointed out they were placing the final piece in this block, and there was the opportunity to do something which does not have to relate to other buildings and encouraged more exploration into what this could mean to this block. With every building in the block having an entrance on Garden Street, it was a concern that this one did not, and he asked as the project developed to reconsider since downtowns were established for walking; he encouraged moving the entrance back to Garden Street. Chairman Quina appreciated the bank locating at this corner but agreed that this could be a flashier bookend. He also pointed out common lines with the adjacent buildings that could apply to the windows and the brick. Ms. Campbell-Hatler agreed with reconsidering the entry on the front. Ms. Wiczorek indicated she could pass along the comments of the Board. Depending on how this project moves forward, Mr. Harding explained the Board would also have to approve the demolition of the existing structure. **With no speakers, Mr. Salter made a motion for conceptual approval with comments noted to be considered as the project is developed. Mr. Mead seconded the motion, and it carried unanimously.**
(Item 12 was pulled and the Board moved to Item 16 to accommodate Mr. Yee in Item 13)

Item 16

217 E. Zaragoza Street

PHD

Contributing Structure

HC-1 / Brick Structures

Action taken: Approved with abbreviated review.

The UWF Historic Trust is requesting approval to build a 12'x16' storage shed adjacent to the Quina-Singh House. Mr. Pristera explained the shed would accommodate gasoline-powered equipment which could be a temporary solution until they find another location. This would allow easy access to the equipment and would not be visible from the Historic Village but would be visible from Main Street. Even though the shed would not have deep foundations, the archaeologists suggested keeping it close to Main Street. He also explained they wanted to match the Quina-Singh property. Ms. Campbell-Hatler indicated the shed was lovely. Ms. Fogarty asked about the elevation on Main Street, and Mr. Pristera advised they could use faux shutters with the metal roof. **Mr. Mead made a motion to approve with the addition of the metal roof consistent with the Quina-Singh House with the addition of two faux dual-leaf shutters on the Main Street facing side and otherwise details to match the Quina-Singh House to be submitted in an abbreviated review. Mr. Salter stated regarding the window proportion between the proposed design and the example, he felt that the example shed was more in keeping with the style of the area. Mr. Mead agreed but also thought they needed to make sure they were tying into the Singh structure, and this could be in an abbreviated review. Mr. Salter seconded the motion, and it carried unanimously.**

Item 13

100 BLK W. Garden Street

PHBD

New Construction

C-2A

Action taken: Conceptual Approval with comments.

Jordan Yee is requesting *conceptual* approval for a two-story commercial development. The future site will be located in the south half of an existing parking lot on the northeast corner of Garden and Spring Streets. Mr. Salter recused himself from the item since he was involved with the project. Mr. Yee presented to the Board and stated they wanted conceptual approval for a food hall to be located in a vacant parking lot. He pointed out the adjacent buildings were built in the 1970s, and this was an urban



**Architectural Review Board Application
Full Board Review**

Application Date: 7/30/2020

Project Address: Corner of Garden Street and Baylen Street

Applicant: Goodwyn, Mills and Cawood (George Williams)

Applicant's Address: 720 Bayfront Parkway, Suite 200, Pensacola, FL 32502

Email: george.williams@gmcnetwork.com **Phone:** (850) 462-3038

Property Owner: One Pensacola Plaza, LLC

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

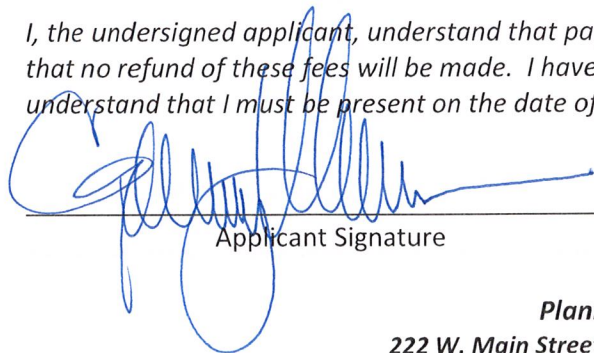
- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

New 2-story bank building located on corner lot. Building replaces existing drive-thru. Requires demolition of existing drive-thru.

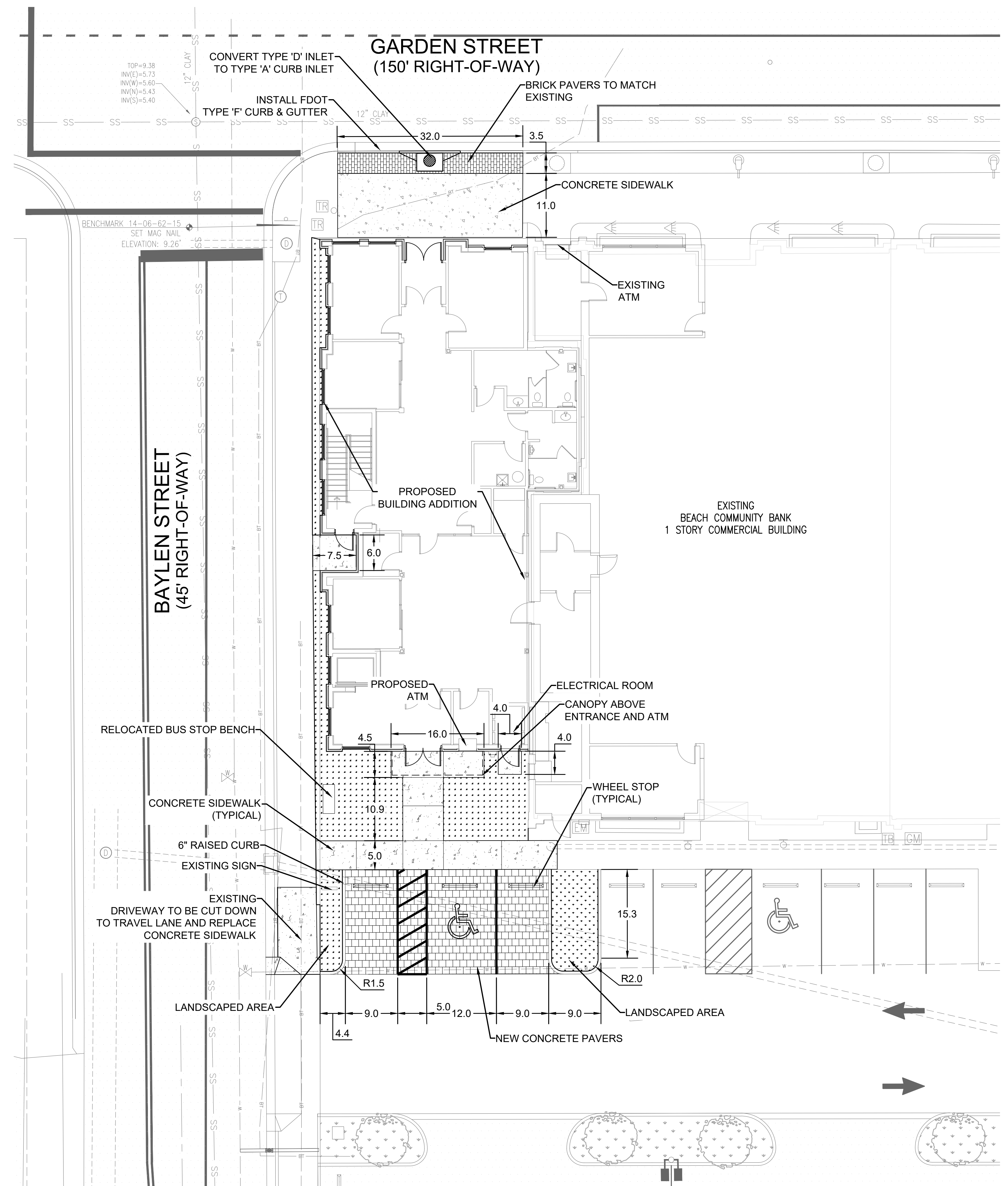
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

7/30/30


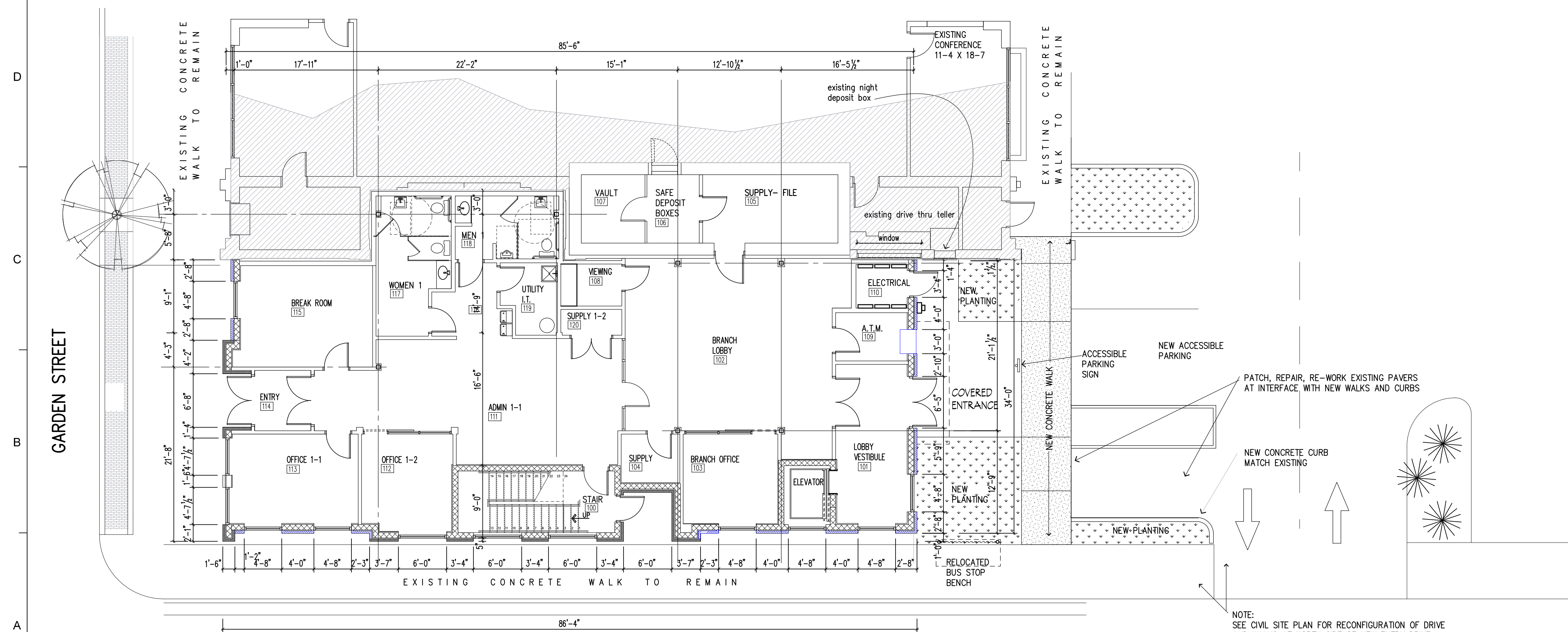
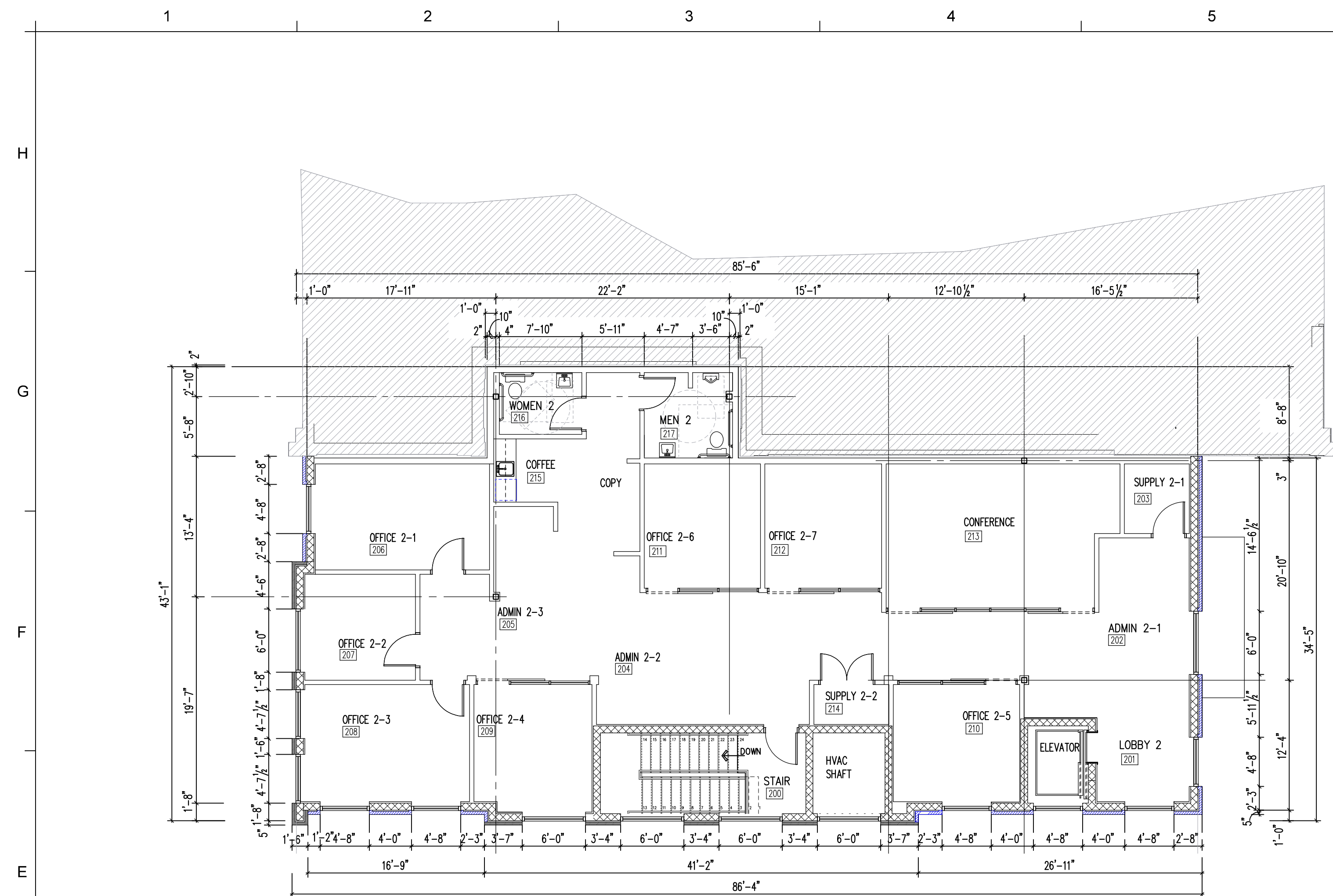
Date

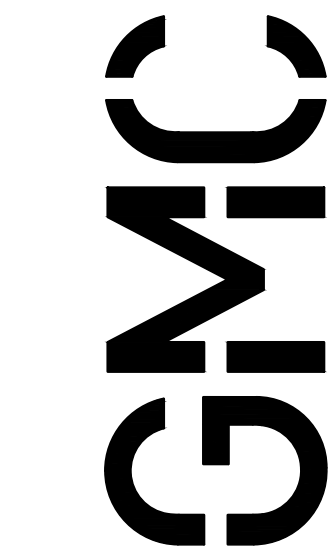
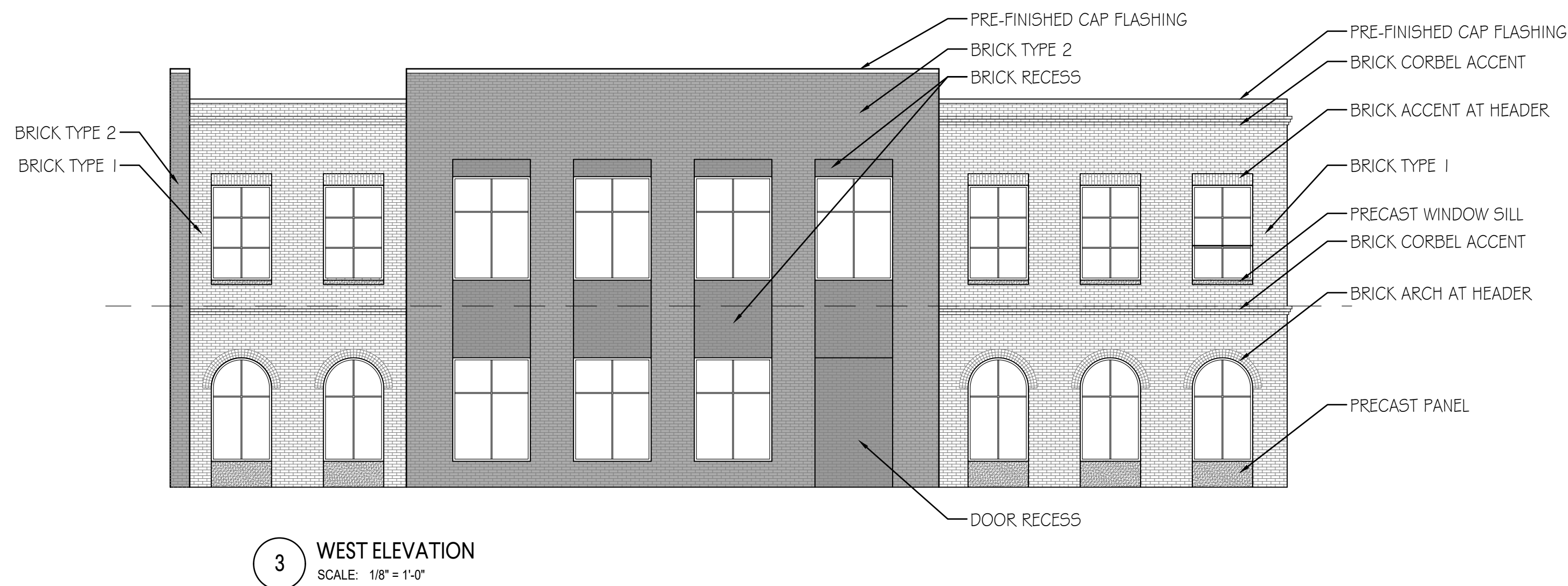
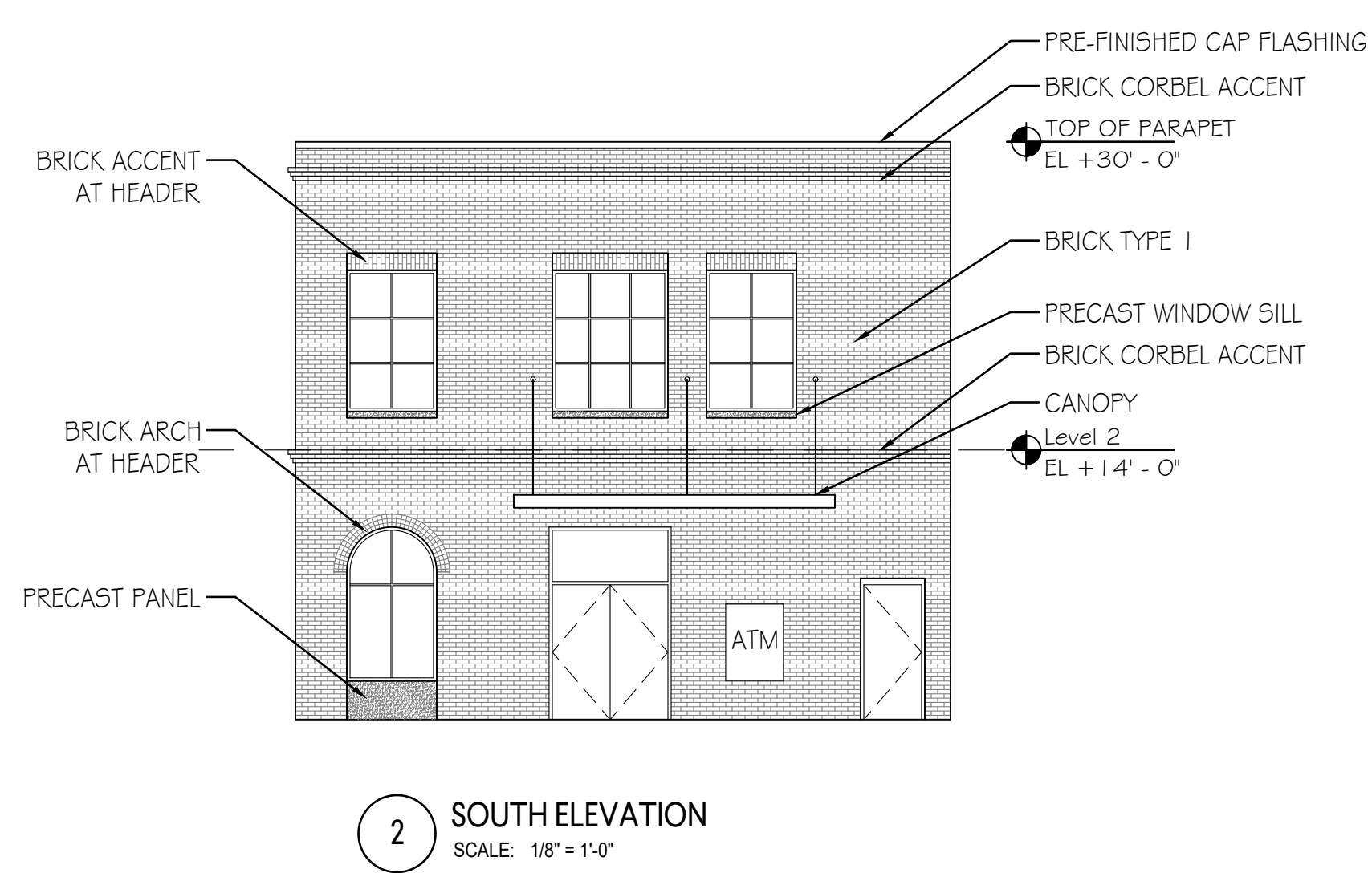
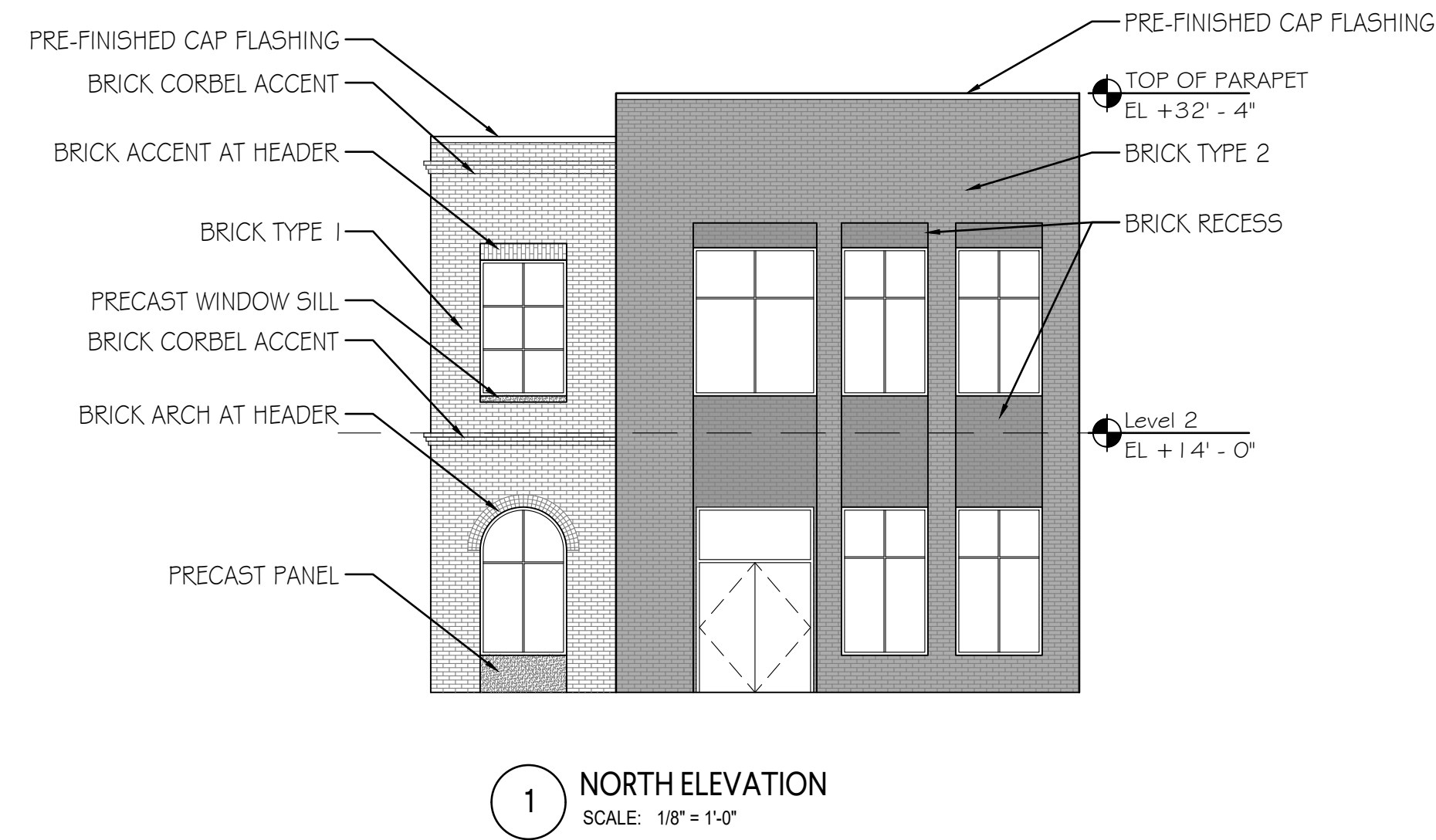
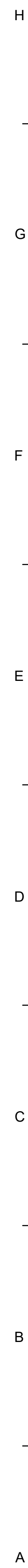
[illegible]

**BEACH COMMUNITY BANK
GARDEN STREET & BAYLEN STREET**

CIVIL SITE LAYOUT

PROJ. START DATE: JULY, 2020	SCALE	<div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">C-200</div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;">DRAWING NUMBER</div> <div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">A</div> <div style="border: 1px solid black; padding: 5px;">REVISION</div>
MCE PROJ. # 07610.0003	HORIZONTAL: <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: 80%;">TBD</div> VERTICAL: <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: 80%;">N/A</div>	
DRAWN GTP		
DESIGNED GTP		
CHECKED GPH		
PROJ. MGR. GPH		
STATUS:		





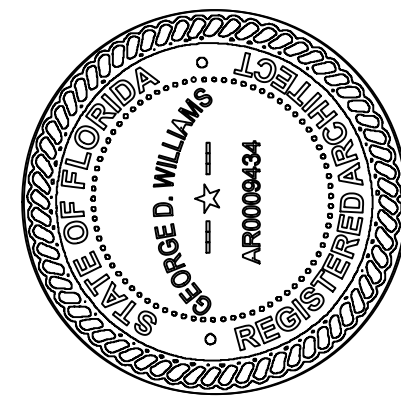
720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850.432.0706
GMNETWORK.COM
COA: AA26000557

ISSUE	DATE
ISSUE	07/30/2020
DRAWN BY:	K.W.
CHECKED BY:	G.W.

NEW BANK BUILDING

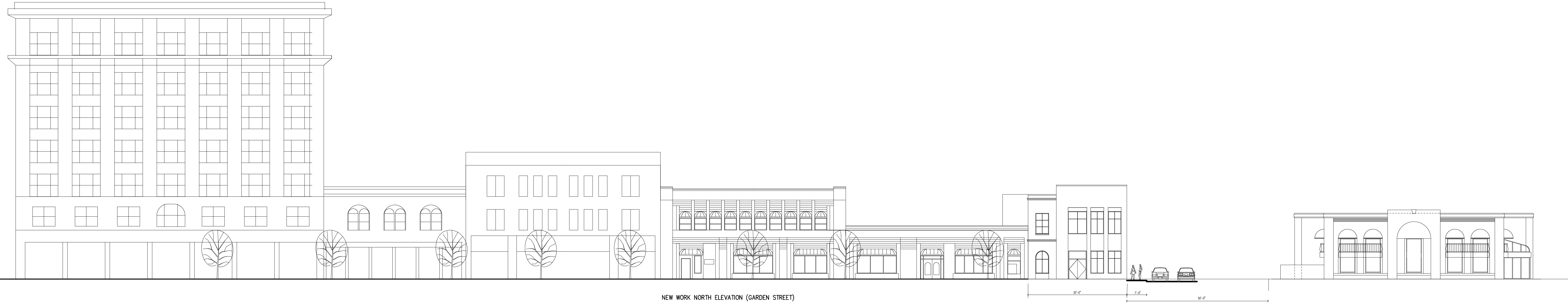
Garden Street and Baylen Street
Pensacola, FL

GMC Project #APEN 190083



EXTERIOR ELEVATIONS

A2.0



NEW WORK NORTH ELEVATION (GARDEN STREET)



Goodwyn Mills Cawood

720 Bayfront Parkway
Suite 200
Pensacola, FL 32502

T (850) 432-0706
F (850) 433-0508

www.gmcnetwork.com

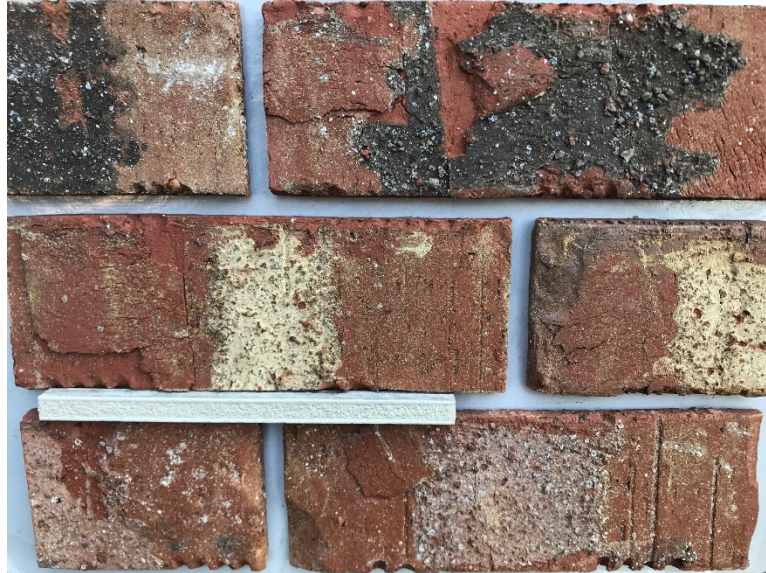
COA: AA26000557

City of Pensacola Architectural Review Board
New Bank Building, Corner of Garden Street and Baylen Street

Materials

Brick:

Type 1:



Brick in shade



Close-up of brick in shade

Mortar sample shown for reference, will be standard grey mortar

GMC



Brick in sun



Close-up brick in sun



Brick Type 2:



Brick in shade



Close-up brick in shade

Mortar sample shown for reference, will be custom matched to brick for monolithic look.

Brick color shown for reference, smooth finish will be used (sample ordered)

GMC



Brick in sun

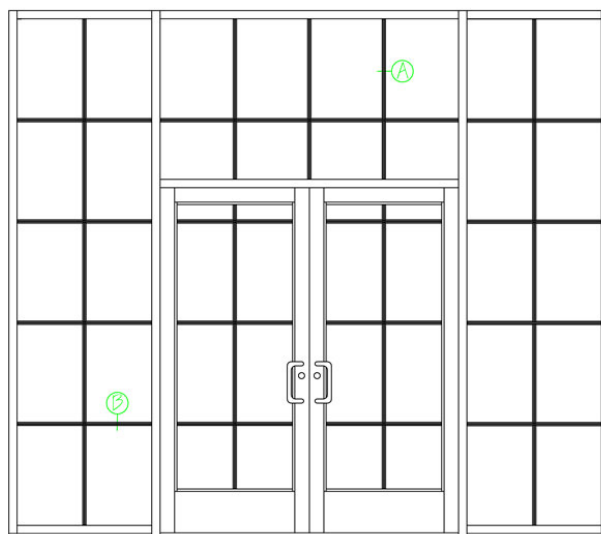


Close-up brick in sun



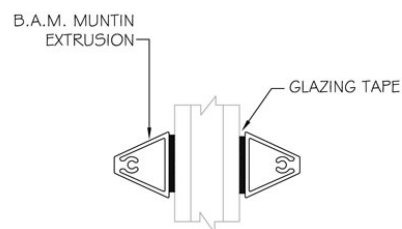
Windows/openings

To be aluminum storefront with architectural applied muntins for historical appearance
Color: Medium bronze



SAMPLE TAPE-APPLIED ELEVATION
APPLIED TO STOREFRONT

Sample elevation from Product Manufacturer



Detail elevation from Product Manufacturer showing extruded profile



Example of muntins product to be used



Photo of sample product



Canopy:

Final product to be determined upon pricing, Product will be pre-finished aluminum with flat soffit panel similar to Mapes Lumideck system



Example photo

Roof Coping

To be pre-finished aluminum to match storefront

ATM

Provided by Owner



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00447

Architectural Review Board

8/20/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/12/2020

SUBJECT:

New Business - Item 7
121 S. Palafox Street
Palafox Historic Business District / Zone C-2A
Contributing Structure

BACKGROUND:

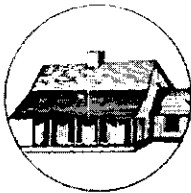
Tom Akin is requesting approval for approximately 65.84 square feet of exterior vinyl widow signage. Based on the business' street frontage, the applicant is allowed a combination of wall signage of no more than 83 square feet (10% of the street front elevation). Although window stickers are considered a type of permanent accessory sign, the applicant was not aware that ARB review would be required for this type of sign prior to installation. Since the existing windows are heavily tinted, the applicant is also unable to relocate the signs to the interior of the windows which would not require ARB review. An abbreviated review for this item was referred to the full board in July 2020 for a discussion on the appropriateness of the proposed signage and for a general discussion on vinyl window signage along Palafox Street.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-4-4(B)(1) *Sign, Advertising display area*
Sec. 12-2-21(F)(4)(a) *PHBD, Signs*

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site #8 **ES03704**
 Field Date 8-21-2011
 Form Date 9-20-2011
 Recorder # _____

Site Name(s) (address if none) 115-121 S. Palafox St Pensacola Fl 32502 Multiple Listing (DHR only) _____
 Survey Project Name Downtown Pensacola Historic Business District Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☐ structure ☒ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 115-121 Direction S Street Name Palafox (Place) Street Type Street Suffix Direction _____
 Address: 115-121 S Palafox (Place) Street
 Cross Streets (nearest / between) W side between E Intendencia St and E Romana St
 USGS 7.5 Map Name PENSACOLA USGS Date 2009 Plat or Other Map _____
 City / Town (within 3 miles) Pensacola In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 46 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 000S009001006199 Landgrant _____
 Subdivision Name Old City Tract Block 26 Lot 175-177
 UTM Coordinates: Zone ☒ 16 ☐ 17 Easting 479349 Northing 3364394
 Other Coordinates: X: 30.4114137 Y: -87.2150133 Coordinate System & Datum NAD83/WGS84
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Department store From (year): _____ To (year): _____
 Current Use Commercial From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature _____
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): R.H. Turner
 Ownership History (especially original owner, dates, profession, etc.) This building was built in 1959 by J.C. Penny's.

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe HPBD Architecture Review Board

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. Concrete block 3. ceramic tiles
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. parapet
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Fixed

Distinguishing Architectural Features (exterior or interior ornaments) _____

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____

SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date _____ Init. _____

KEEPER - Determined eligible: ☐ yes ☐ no Date _____

☐ Owner Objection

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Metal skeleton 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) _____

Porch Descriptions (types, locations, roof types, etc.) W. and S. recessed entry w/ round columns covered w/variegated ceramic tile.

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Built in 1959 to house J.C. Penny's department store and is typical of mid-century commercial architecture

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☒ Sanborn maps
☐ FL State Archives/photo collection ☒ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) WFHPI and PHBD Architectural Review Files

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Photographic reference numbers:
HPPB P.81.26 frames 31 and 32 and P.83.8 frames 13.

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Commercial vernacular structure typical in size and scale

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization _____
 Document description PHBD Architectural Review Files File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

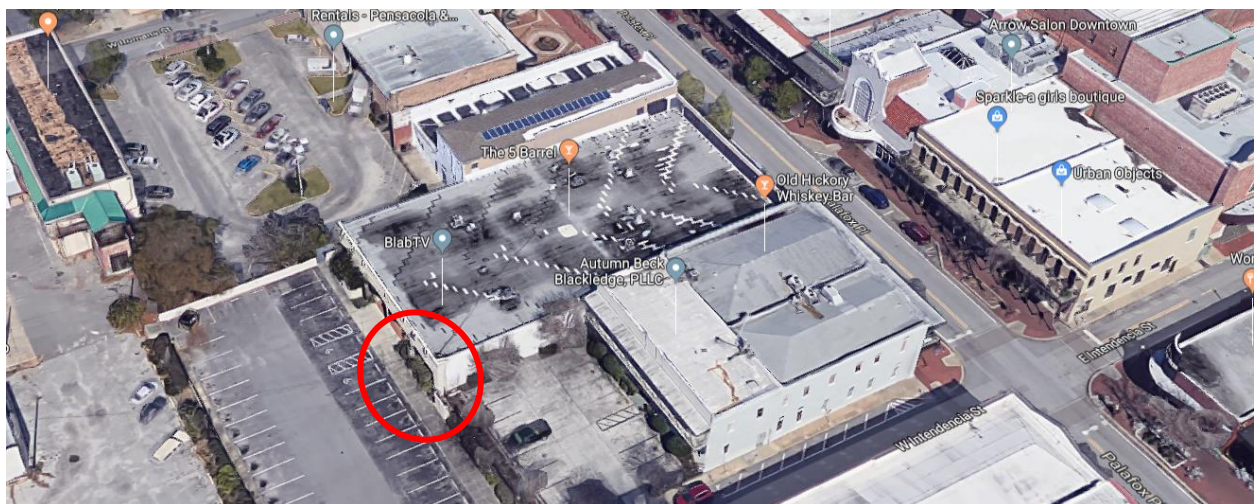
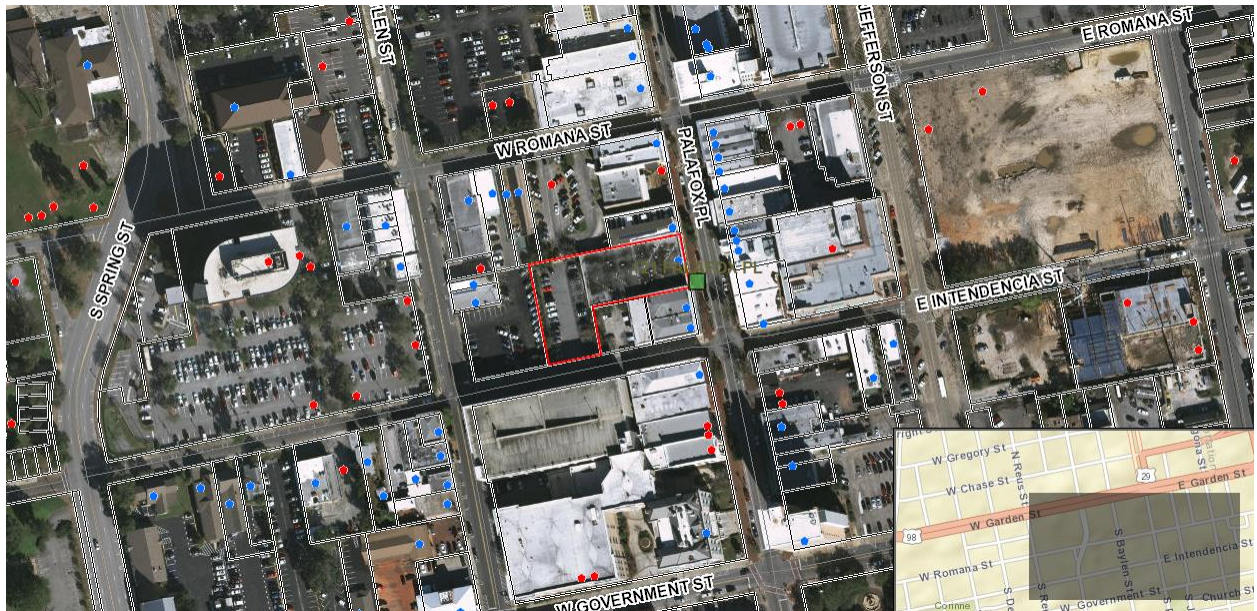
RECORDER INFORMATION

Recorder Name Cynthia A. Catellier 850-288-0189 Affiliation City of Pensacola/University of West Florida
 Recorder Contact Information 222 Main ST Donald W Kelly Planning Services Coordinator (850) 436-5655
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

121 S. Palafox Place



Architectural Review Board Application
Abbreviated Review

Application Date: 7/21/2020

Project Address: 121 S. PALM FOX STREET

Applicant: TOM AKIN

Applicant's Address: 121 S. PALM FOX STREET

Email: TOM@THE5BARREL.COM Phone: 850-225-2817

Property Owner: GOODSON CONSULTING & INVESTMENT, LLC
(If different from Applicant)

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD **ZONE C-2A**

There is a \$25 Application Fee for the following project types:

STAFF NOTES

☐ Change of Paint Color(s) Body: STICKERS ARE CONSIDERED ATTACHED
Trim: WALL SIGNAGE + "TEMPORARY"
Accent: ANY REPLACEMENT STICKERS IS TO
☒ New/Replacement Sign(s) Sign Type: BE REVIEWED BY ARB BEFORE
Dimensions: INSTALLATION.
Colors: _____
Description: VINYL STICKERS ON EXTERIOR WINDOWS
STICKERS MEASURE APPROX 65.8 SQ FT
+ LESS THAN 10% OF STREETFRONT (~ 890 SQ FT)
(Office Use)

- Minor Deviation to an Approved Project
- Change of Roofing Material
- Fence

This request was reviewed and meets the criteria for an Abbreviated Review.

[Signature]
ARB Secretary Signature

7/21/2020
Date

This request was reviewed and approved by the following members of the Architectural Review Board:

[Signature] 7.22.20
Architect Signature / Date

Comments: REFER TO FULL BOARD FOR DISCUSSION
OF APPROPRIATENESS OF PROPOSED SIGN TO DISTRICT
THEME AS WELL AS GENERAL VINYL SIGN DISCUSSION

Comments: _____

UWFHT Representative Signature / Date



121 PALAFOX PLACE

BREWERY
HAPPY HOUR

THE
5
BARREL
BREWERY • TAPROOM

BREWERY
HAPPY HOUR

BREWERY

5

TAPROOM

ATM

BREWERY
HOURS OF OPERATION

Room	Open
Bar	11am - 11pm
Kitchen	11am - 11pm
Beer	11am - 11pm
Wine	11am - 11pm
Food	11am - 11pm
Seating	11am - 11pm
Bar	11am - 11pm

5

BREWERY

5

TAPROOM

5

STE A

NOTICE

SUITE

Main Entrance in Re



**BREWERY
HAPPY HOUR**
TUESDAY THROUGH THURSDAY STARTING AT 4 PM
FRIDAY STARTING AT 2 PM

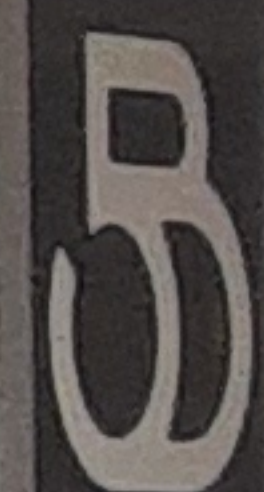
THE
5
BARREL
★ **5** ★
BREWERY • TAPROOM



**BREWERY
HOURS OF OPERATION**

Day	Hours
Monday	Closed
Tuesday	Open at 4 PM
Wednesday	Open at 4 PM
Thursday	Open at 4 PM
Friday	Open at 2 PM
Saturday	Open at 10 AM
Sunday	Open at 10 AM

BREWERY



Gregg Harding

From: Tom <tom@the5barrel.com>
Sent: Wednesday, July 22, 2020 12:18 PM
To: Gregg Harding
Subject: [EXTERNAL] Re: 121 S. Palafox Street / Abbreviated Review - Signage

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Gregg,

That was fast!!

When measuring the stickers, I tried to make it simple by measuring the widest section and the highest section. This kept the math simple, but it grossly overestimated the area of the stickers. I can probably use the design software to get actual vinyl square footage, but that seems like overkill here since I am not going over the 10% rule.

Measurements are below.

Let me know if you need anything else.

Tom

The first three listed are the stickers on the front facing windows. Left to right when facing the building from the road.

Brewery Happy Hour sticker
37 1/2" X 22"

Full 5 Barrel Logo
36" X 42"

Hours of Operation
25" X 33"

These measurements are for the stickers on and around the entrance to the brewery. This section of the building is set at a 45* angle from the facade.

5 Barrel (above doors)
30" X 38"

5B Logo on doors
24" X 22" Left door
24" X 22 " Right door

Taproom (Right of the doors)
103" X 20"

Brewery (Left of the doors)
103" X 20"

On Tue, Jul 21, 2020 at 1:04 PM Gregg Harding <GHarding@cityofpensacola.com> wrote:

Hey Tom,

Please see the below response from the ARB reviewer (that was fast!):

Gregg,

In order to verify the size, I will need some measurements. I see the staff notes indicate approximate size. Can you share that information or ask the applicant to provide further information?

At your convenience, can you provide me with the dimensions of the 3 stickers on the west wall (listed left to right may help) and then the 5 stickers on the entrance area. Thank you for your time and help.

Best,

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

gharding@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

Source: Escambia County Property Appraiser

[Restore Full Version](#)

General Information Reference: 000S009001010175 Account: 130334000 Owners: GOODSON CONSULTING AND INVESTMENT LLC Mail: 243 SABINE DR PENSACOLA BEACH, FL 32561 Situs: 121 S PALAFOX ST 32502 Use Code: OFFICE, 1 STORY Taxing Authority: DOWNTOWN, PENSACOLA CITY LIMITS Tax Inquiry: Open Tax Inquiry Window Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector	Assessments <table border="1"> <thead> <tr> <th>Year</th> <th>Land</th> <th>Imprv</th> <th>Total</th> <th>Cap Val</th> </tr> </thead> <tbody> <tr> <td>2019</td> <td>\$718,200</td> <td>\$392,518</td> <td>\$1,110,718</td> <td>\$1,046,767</td> </tr> <tr> <td>2018</td> <td>\$718,200</td> <td>\$372,223</td> <td>\$1,090,423</td> <td>\$951,607</td> </tr> <tr> <td>2017</td> <td>\$598,500</td> <td>\$266,598</td> <td>\$865,098</td> <td>\$865,098</td> </tr> </tbody> </table> <p style="text-align: center;">Disclaimer</p> <p style="text-align: center;">Tax Estimator</p> <p style="text-align: center;">File for New Homestead Exemption Online</p>	Year	Land	Imprv	Total	Cap Val	2019	\$718,200	\$392,518	\$1,110,718	\$1,046,767	2018	\$718,200	\$372,223	\$1,090,423	\$951,607	2017	\$598,500	\$266,598	\$865,098	\$865,098										
Year	Land	Imprv	Total	Cap Val																											
2019	\$718,200	\$392,518	\$1,110,718	\$1,046,767																											
2018	\$718,200	\$372,223	\$1,090,423	\$951,607																											
2017	\$598,500	\$266,598	\$865,098	\$865,098																											
Sales Data <table border="1"> <thead> <tr> <th>Sale Date</th> <th>Book</th> <th>Page</th> <th>Value</th> <th>Type</th> <th>Official Records (New Window)</th> </tr> </thead> <tbody> <tr> <td>04/29/2019</td> <td>8088</td> <td>837</td> <td>\$1,900,000</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>01/1994</td> <td>3499</td> <td>702</td> <td>\$100,000</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>02/1987</td> <td>2361</td> <td>508</td> <td>\$100</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>12/1986</td> <td>2331</td> <td>313</td> <td>\$340,000</td> <td>WD</td> <td>View Instr</td> </tr> </tbody> </table> Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller	Sale Date	Book	Page	Value	Type	Official Records (New Window)	04/29/2019	8088	837	\$1,900,000	WD	View Instr	01/1994	3499	702	\$100,000	WD	View Instr	02/1987	2361	508	\$100	WD	View Instr	12/1986	2331	313	\$340,000	WD	View Instr	2019 Certified Roll Exemptions None Legal Description THE NORTH 50 FEET OF LOT 175 AND OF THE EAST 44 FEET 6 INCHES OF LOT 176; THE WEST 35 FEET 6 INCHES OF LOT 176... Extra Features ASPHALT PAVEMENT CONCRETE WALKS LIGHTS
Sale Date	Book	Page	Value	Type	Official Records (New Window)																										
04/29/2019	8088	837	\$1,900,000	WD	View Instr																										
01/1994	3499	702	\$100,000	WD	View Instr																										
02/1987	2361	508	\$100	WD	View Instr																										
12/1986	2331	313	\$340,000	WD	View Instr																										

Parcel Information
Section Map Id:
[CA074](#)
Approx. Acreage:
 0.7122
Zoned:
 C-2A
Evacuation & Flood Information
[Open Report](#)

[Launch Interactive Map](#)

[View Florida Department of Environmental Protection \(DEP\) Data](#)

Buildings

Address:121 S PALAFOX ST, Year Built: 1900, Effective Year: 1995

Structural Elements

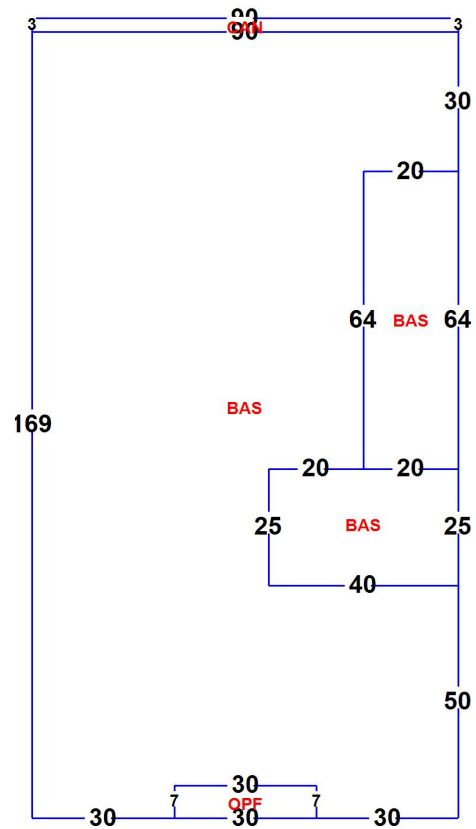
DECOR/MILLWORK-AVERAGE
DWELLING UNITS-0
EXTERIOR WALL-STUCCO OV BLOCK
FLOOR COVER-CARPET
FOUNDATION-SLAB ON GRADE
HEAT/AIR-CENTRAL H/AC
INTERIOR WALL-DRYWALL-PLASTER
NO. PLUMBING FIXTURES-12
NO. STORIES-1
ROOF COVER-BLT UP MTL/GYP
ROOF FRAMING-RIGID FRAME/BAR
STORY HEIGHT-16
STRUCTURAL FRAME-MASONRY PIL/STL

Areas - 15480 Total SF

BASE AREA - 15000

CANOPY - 270

OPEN PORCH FIN - 210



Images



1/7/20

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.