



City of Pensacola

Planning Board

Agenda

Tuesday, August 11, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Members of the public may attend and participate via live stream or phone. Monitor the City's website for up to date information.

Quorum / Call to Order

Approval of Meeting Minutes

20-00419 PLANNING BOARD MINUTES JULY 14, 2020

Attachments: Planning Board Minutes July 14 2020 DRAFT.pdf

Requests

20-00412 657 ARAGON ST - GATEWAY REVIEW DISTRICT - NEW TWO STORY S/F RESIDENCE

Attachments: 657 Aragon St Aesthetic Review Application

20-00413 671 CENTROS ST - GATEWAY REVIEW DISTRICT - NEW TWO STORY S/F RESIDENCE

Attachments: 671 Centros St. Aesthetic Review Application

20-00356 PROPOSED LDC AMENDMENTS - SEC. 12-2-27 (D)(2). - BAYOU TEXAR SHORELINE PROTECTION DISTRICT. SEC. 12-2-27 (F). - BAYOU TEXAR SHORELINE PROTECTION DISTRICT. SEC. 12-3-3 (G). - PARKING LOTS. SEC. 12-9-4. - EXEMPTIONS. SEC. 12-9-6 (E). - DESIGN STANDARDS FOR STORMWATER MANAGEMENT SYSTEM.

Attachments: LDC Shoreline Protection Amendments

Open Forum

Discussion

[20-00327](#) DISCUSSION ON PROPOSED AMENDMENTS TO THE TREE ORDINANCE

Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00419

Planning Board

8/11/2020

SUBJECT:

Planning Board Minutes July 14, 2020

Click or tap here to enter text.



MINUTES OF THE PLANNING BOARD

July 14, 2020

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Larson, Board Member Wiggins

MEMBERS VIRTUAL: Board Member Murphy, Board Member Sampson

MEMBERS ABSENT: Board Member Grundhoefer, Board Member Powell

STAFF PRESENT: Assistant Planning Director Cannon, Senior Planner Statler, Assistant City Attorney Lindsay (cell phone), Historic Preservation Planner Harding, Network Engineer Johnston, Digital Media Coordinator Rose

OTHERS VIRTUAL: Louis E. Harper

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from June 9, 2020.
- **New Business:**
 - 1. **Request for Vacation of Right-of-Way – 310 and 306 Bay Boulevard**
- Open Forum
- Discussion on the Proposed Amendment to the Tree Ordinance
- Adjournment

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:00 pm with a quorum present and explained the procedures of the virtual Board meeting.

Approval of Meeting Minutes

Vice Chairperson Larson made a motion to approve the June 9, 2020 minutes, seconded by Board Member Wiggins, and it carried unanimously.

New Business

REQUEST FOR VACATION OF RIGHT-OF-WAY – 310 AND 306 BAY BOULEVARD

The Planning Department received a request from Mary Catherine and Louis E. Harper III for a Vacation of Right-of-Way (ROW) of Bay Boulevard (a 20' right-of-way) on 310 Bay Boulevard (Lots 6, 7 and 8, Block 3, East Pensacola) and 306 Bay Boulevard (East half of Lot 3 and all of Lots 4 and 5). The applicant has stated the ROW is no longer needed as a public thoroughfare in that it does not provide access to any other public road or ROW and that it terminates on Lot 7, Block 3.

Chairperson Ritz explained he did not want to set a precedent for doing something besides splitting a right-of-way and giving it to the property owners on each side. His idea was that it needed to follow the standard for vacation of property so if the property was vacated, half would go to the property on the north and half to the property on the south. Staff advised the property vacated would be in front of 306 and 310 Bay Boulevard. Chairperson Ritz indicated that anyone going over the railroad tracks to obtain access to the water was actually trespassing.

Mr. Harper presented to the Board and agreed to get to the water, one would trespass on the railroad property and also agreed that the vacation would result in 10' to the property owner and 10' to the railroad. He pointed out that Bay Boulevard actually terminates in the center of his property and does not permit any access to a public road or any other means to get to another piece of property. Emergency vehicle access is now available on the north side via Chipley Avenue; the remaining portion of Bay Boulevard would provide his neighbors access to their property as well as allow access to the emergency vehicles. He also presented photos showing an asphalt driveway which was perceived as Bay Boulevard but was actually private property, with the right-of-way existing to the right and toward the water. He then presented a video showing the heavy brush landscape. Board Member Murphy asked if they would be building anything on the right-of-way and would the utility easements stay in place. It was determined they had no plans to build, and the gas utility easement would remain.

Dan Farley asked if the concrete table presented in the video was on Bayview or the right-of-way, and Chairperson Ritz explained it was on previously vacated property around 1988, and this request was for property to the west not vacated in the 1980s. He advised the easement was south between the asphalt driveway and the bluff and railroad. Mr. Farley stated in visiting this site, it would be challenging to be anywhere on that slope.

Michael Allen stated Bayview Boulevard had originally been platted around the entire perimeter of East Pensacola Heights. Over the years, it had been chipped away by landowners who purchased property without an easement being abandoned and then later applied. This time, the property owner acquired the property with an easement before building a house. He explained it appeared the City had reinstated a policy of giving away waterfront land that is an amenity to the interior landowners; he objected to this and encouraged the Board to look closely at the idea of giving away waterfront view or access to adjacent landowners without a compelling reason that it serves the public good. Board Member Wiggins explained that the City could not legally sell the right-of-way, and the landowner had to go through this process to acquire the land; it would also benefit the general public when the Board does things like this because it now becomes taxable land which goes into the coffers; it also is not giving them an access to the water which they don't already have. She also pointed out going across the existing railroad was

trespassing.

Harriet Allen advised this property was the only south facing right-of-way, and even though it is not a large amount of land, it would still be a great trail for walkers to enjoy the view. Also, it is a historically significant area with artifacts being discovered in the right-of-way on the other side of this property, and she was opposed to abandoning the right-of-way. Chairperson Ritz explained artifacts were not isolated to this piece of property.

(Ms. Johnson could not be reached by phone or email for input.)

Elizabeth Benchley, an archaeologist who participated in the survey of the right-of-way area under consideration, advised that the level areas of the right-of-way are an important part of the Tristan de Luna settlement site and offered to answer any questions.

Board Member Wiggins stated she had tried to canvass this area for a political candidate, and it was impossible to traverse, however, access to the water could be attained through Pickens Avenue. She did not have a problem with this vacation, and explained this could be a public safety issue in keeping people off the railroad tracks. With the 10' split, Chairperson Ritz also had no problem with the vacation.

Board Member Wiggins made a motion to approve, seconded by Vice Chairperson Larson. Vice Chairperson Larson was concerned that UWF would not have access to the archaeological area, and staff advised they would have access to the full width easement, and this request would be presented to Council for final decision on August 13. The motion then carried 4 to 1 with Vice Chairperson Larson dissenting.

Open Forum – None

Discussion on the Proposed Amendment to the Tree Ordinance

Board Member Murphy advised due to the Covid-19, they were still working on the method of conducting public workshops.

Adjournment – With no further business, Chairperson Ritz thanked the Board for its patience with the change in methods of physical and virtual participation and adjourned the meeting at 2:40 pm.

Respectfully Submitted,

Cynthia Cannon, AICP
Assistant Planning Director
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00412

Planning Board

8/11/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 8/4/2020

SUBJECT:

657 Aragon St - Gateway Review District - New Two Story S/F Residence

BACKGROUND:

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for a new 2-story single-family residence with a detached garage and courtyard located at 657 Aragon Street. The structure provides a front and rear balcony as well as a connecting roof between the residence and the detached garage.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.



Gateway Review Board Application

Project Address: 657 ARAGON ST PENSACOLA FL

Applicant: DALRYMPLE SALLIS ARCHITECTURE

Applicant's Address: 503 E. GOVERNMENT ST PENSACOLA, FL 32502

Application Date: 07/21/20 **Phone:** (850) 470-6399

Email: scott@dalsal.com **Fax:**

Property Owner: BARBARA MURRAY
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential – \$50.00 hearing fee
☐ Commercial – \$250.00 hearing fee

New two story 3,388 SF single family residence structure with detached garage and courtyard
located on lot 6 of Block "H". Building materials include brick veneer, metal brackets and shingle
roofs.

The structure provides a front and rear balcony as well as a connecting roof between the residence
and the detached garage.

Received preliminary review approval from AARB.

*Attach seven (7) copies of required information (see reverse side)

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.

Applicant Signature

Date

***Gateway Review Board Application
Full Board Review***

Procedure for review of plans:

- Plan submission: All development plans, including demolition, must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**
- Review and approval. *All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13.* At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.
- Final development plan. *If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development.* For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.
- Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the Board. This provision is made in an effort to save the applicant and the Board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the Board secretary and chairman, then the matter will be referred to the board for a decision.

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Gateway Review Board Application
Full Board Review

Submittal Instructions/Requirements Checklist:

- _____ **One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;**
- _____ **Eleven (11) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".**
- _____ **One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.**

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.

Gateway Review Board Application
Full Board Review

- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.
- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

Date: Monday, July 20, 2020

Project: 657 ARAGON ST
Pensacola, FL 32502

Recipient: Planning Board Review

Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Brick Veneer/Rowlock/Soldier	W. R. Taylor – Old Texas	Vintage White – Old Texas Collection
Windows and Doors	JELD-WEN	Chestnut Bronze
Steel Columns	Sherwin Williams	SW 7069 "Iron Ore"
Railings	Powder Coated Alum.	SW 7069 "Iron Ore"
Brackets/Arches	Powder Coated	SW 7069 "Iron One"
Connecting Walk Groove/natural		Grey Sealed Pine Tongue and
Shingle roofing	GAF	Charcoal
Fascias	Sherwin Williams	SW 7069 "Iron Ore"
Exterior Trim	Sherwin Williams	SW 7069 "Iron Ore"
Lighting	TBD	Black Metal
Pergola @Garage	Sherwin Williams	SW 7069 "Iron Ore"
Stucco	Sherwin Williams	SW 7069 "Iron One"
Awnings	Sherwin Williams	SW 7069 "Iron Ore"
Wood Fence/Gate	Sherwin Williams	SW 7020 "Black Fox"
Gutters and Downspouts	Sherwin Williams	SW 7069 "Iron Ore"
Porch Ceilings Groove/natural		Grey Sealed Pine Tongue and
Separation Wall (Exposed)	Stucco	SW 7636 "Origami White"

SHINGLE ROOF



Timberline® UHD Lifetime Ultra High Definition® Shingles
Color/Finish: Charcoal

BRICK



Vintage White Brick with White Mortar

PAINT COLORS



Stucco

Sherwin Williams:
SW 7069 "Iron Ore"



Privacy Fence

Sherwin Williams:
SW 7020 "Black Fox"



Powder Coating

Sherwin Williams:
SW 7069 "Iron Ore"



Party Wall

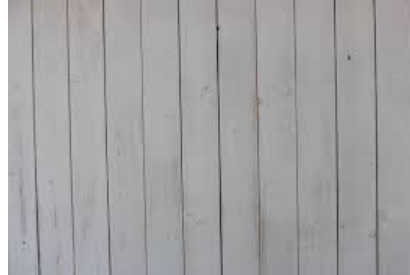
Sherwin Williams:
SW 7636 "Origami White"

LIGHTING



Exterior Sconce
Finish: Black Metal

WOOD



Porch Ceilings - Grey tone
Sealed Pine Tongue and Groove

WINDOWS



Model Overview

PROJECT TYPE
New construction and replacement

MAINTENANCE LEVEL
Moderate

WARRANTY
20 Year Warranty

COLORS & FINISHES
27 Exterior Colors
25 Interior Finish Options

SCREEN & TRIM OPTIONS
2 Exterior Trim Options

FRAME OPTIONS
Pocket Replacement Window

GLASS
Energy efficient, tinted, textured and protective.

DIVIDED LITES
Grilles between the glass.

HARDWARE
1 Lock Option in 9 finishes

CONSTRUCTION
Tilt Sash

MATERIALS
1 Wood Option



Mocha Cream



Desert Sand



Silver



Smoke



Stone



Flagstone



Cocoa



Surf



Sea Foam



Hunter Green



Moss



Warford Green



Cranberry



Maca Red



Stormy



Admiral



Navy



Steele Gray



Dark Chocolate



Chestnut Bronze



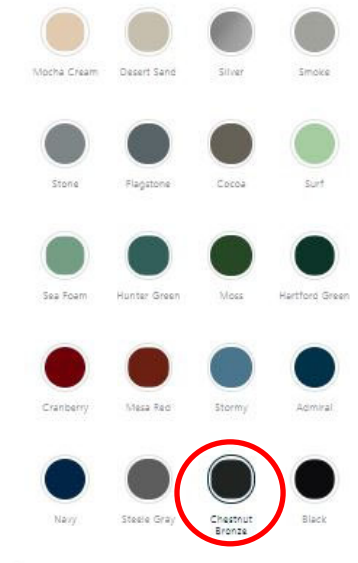
Tuscan Copperplate



Black

Siteline® Clad-Wood Window: Double-Hung Pocket
MODEL: Double Hung COLOR: Chestnut Bronze

DOORS



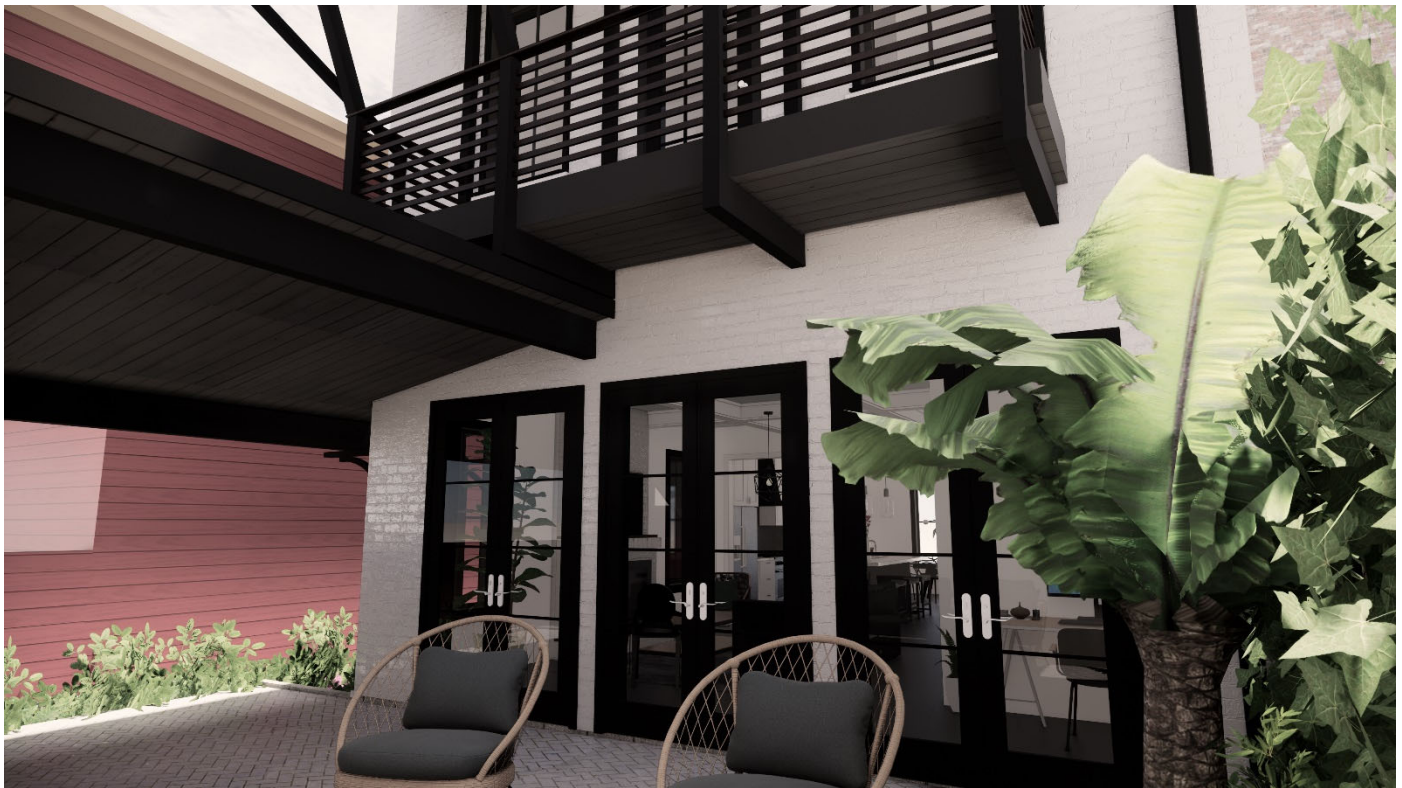
W-5500™ Clad-Wood
COLOR: Chestnut Bronze

Color Renderings



FRONT VIEW





COURTYARD VIEW



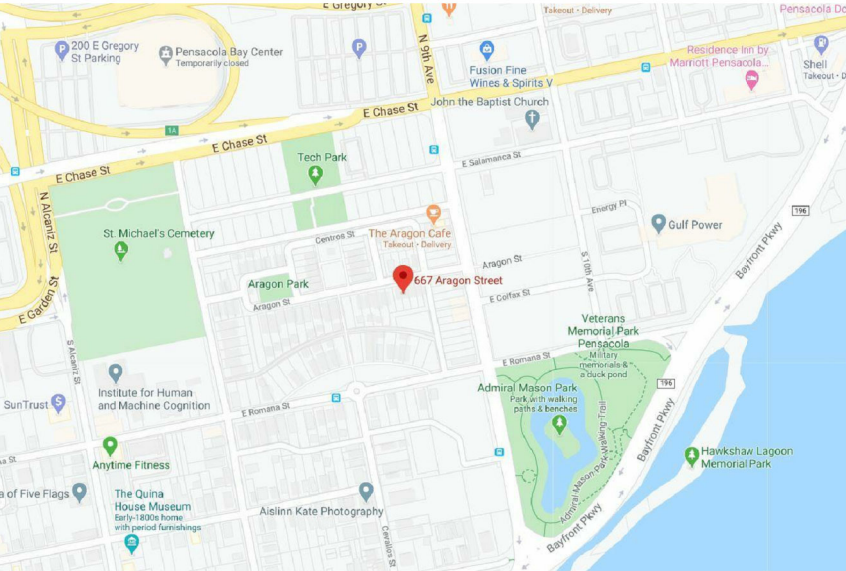


WEST ELEVATION

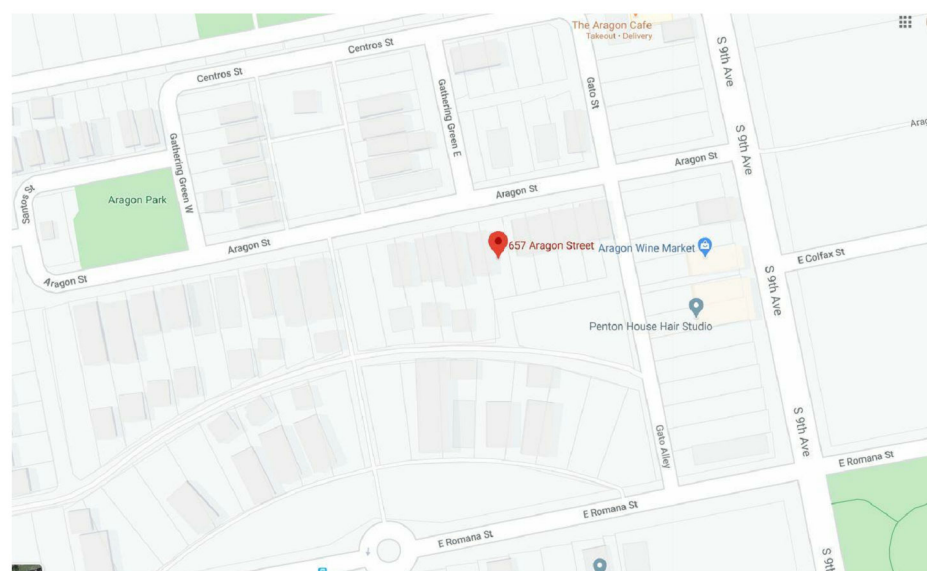
Murray Residence

NEW TWO STORY RESIDENCE WITH DETACHED GARAGE

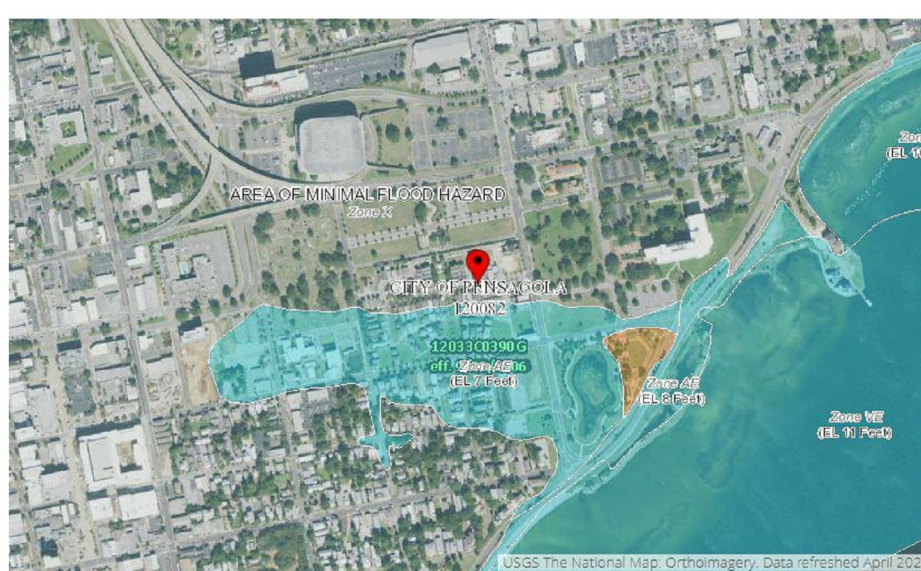
657 ARAGON ST - PENSACOLA, FL



VICINITY MAP



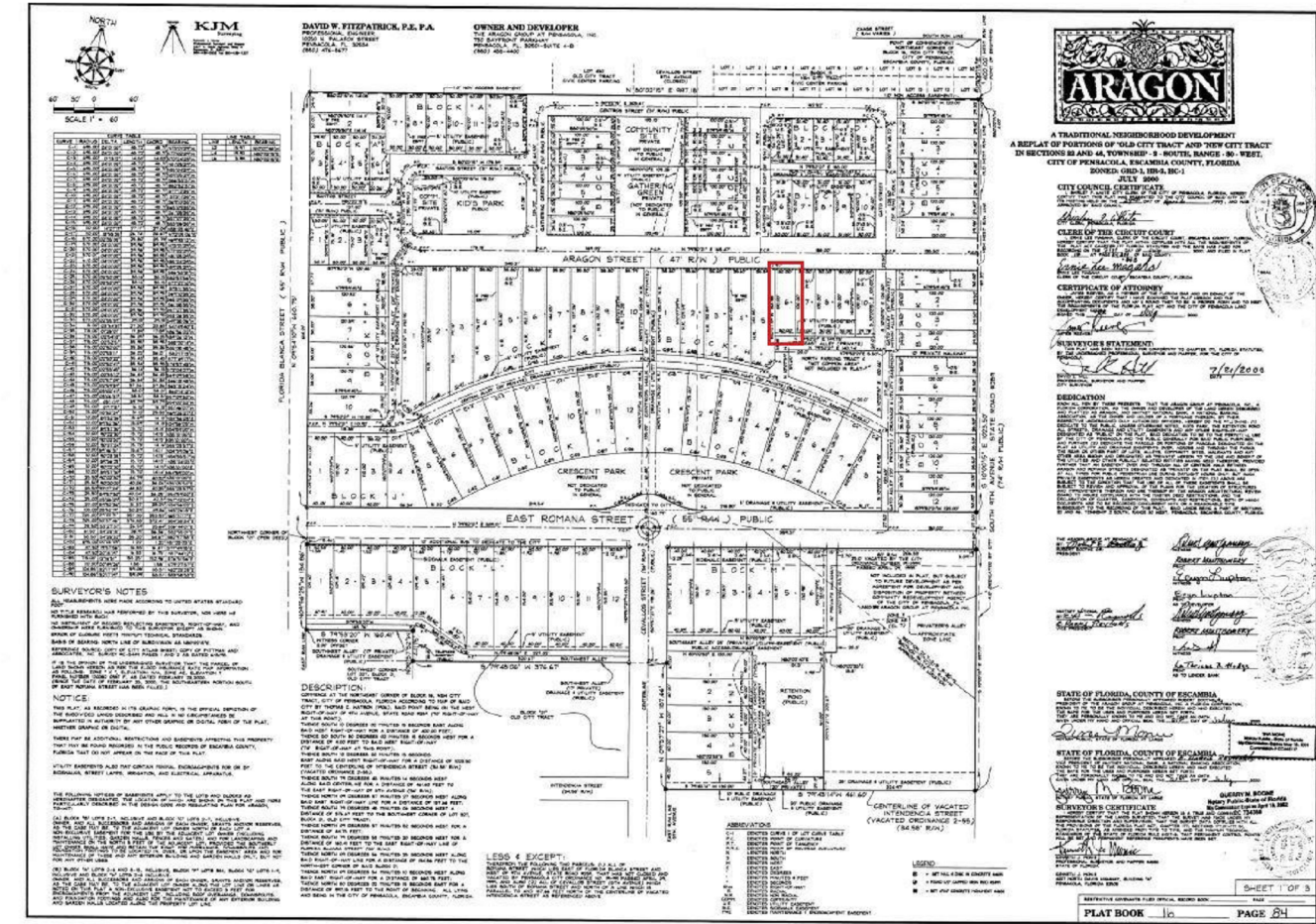
SITE MAP



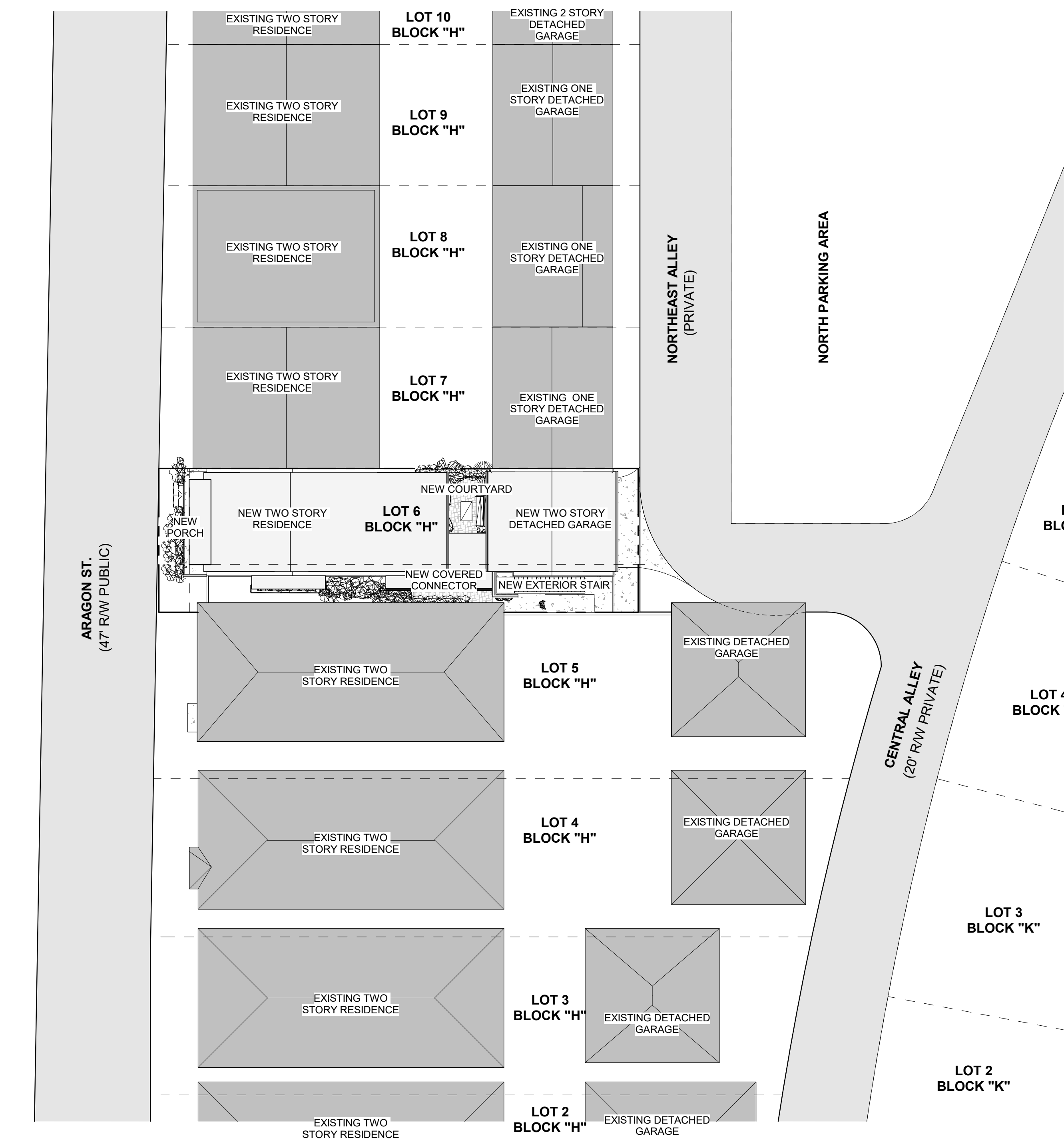
FEMA FLOOD MAP



VIEW FROM ARAGON ST.



ARAGON PLAT MAP



ARCHITECTURAL AREA SITE PLAN

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
G001	TITLE SHEET	
General		
A001	SITE & LANDSCAPE PLANS	
A101	NEW WORK FIRST FLOOR PLAN	
A102	NEW WORK SECOND FLOOR PLAN	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A203	BUILDING SECTIONS	
A204	BUILDING SECTIONS	
A205	GARAGE BUILDING SECTIONS	
A301	WALL SECTION	

BUILDING DATA

APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONE: GRD-1

FLOOD ZONE: AE - X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 34'-3.5"
NO. OF STORIES: 2

CONDITIONED AREA TOTALS		
Name	AREA	COMMENTS
GRADE		
GROUND FLOOR CONDITIONED	996 SF	CONDITIONED
SECOND LEVEL		
SECOND FLOOR CONDITIONED	996 SF	CONDITIONED
LOFT CONDITIONED	542 SF	CONDITIONED
TOTAL BUILDING AREA (CONDITIONED)	2,535 SF	

UNCONDITIONED AREA TOTALS		
Name	AREA	COMMENTS
GRADE		
GARAGE UNCONDITIONED	542 SF	UNCONDITIONED
FRONT PORCH UNCONDITIONED	91 SF	UNCONDITIONED
GARAGE ENTRY UNCONDITIONED	51 SF	UNCONDITIONED
SECOND LEVEL		
FRONT BALCONY UNCONDITIONED	60 SF	UNCONDITIONED
REAR BALCONY UNCONDITIONED	58 SF	UNCONDITIONED
GARAGE BALCONY UNCONDITIONED	51 SF	UNCONDITIONED
TOTAL BUILDING AREA (UNCONDITIONED)	853 SF	

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

ELEVATION REFERENCES		ANNOTATION REFERENCES	
3	ELEV. NO.	WALL TAG REFERENCE	
4	INTERIOR ELEVATION REFERENCE	WALL TYPE	
5	SHEET NO.	STC	
6	DETAIL NO.	FIRE RATING	
7	EXTERIOR ELEVATION REFERENCE	DOOR NUMBER REFERENCE	
8	SHEET NO.	DATUM ELEVATION	
9	DETAIL REFERENCE	CENTERLINE	
10	DETAIL REFERENCE	COLUMN GRID NUMBER	
11	DETAIL REFERENCE	Room name ROOM TAG	
12	DETAIL REFERENCE	CEILING HEIGHT - ABOVE FIN. FLOOR	
13	DETAIL REFERENCE	REVISION NUMBER REFERENCE	
14	DETAIL REFERENCE	REVISION NO.	

dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
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AR 0016385

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CERTIFICATION

CONSTRUCTION DOCUMENTS

Murray Residence

657 ARAGON ST - PENSACOLA, FL

DRAWN BY: SRJ
CHECKED BY: JSS

ISSUE DATE:
07-20-20

REVISIONS:
No. Desc. Date

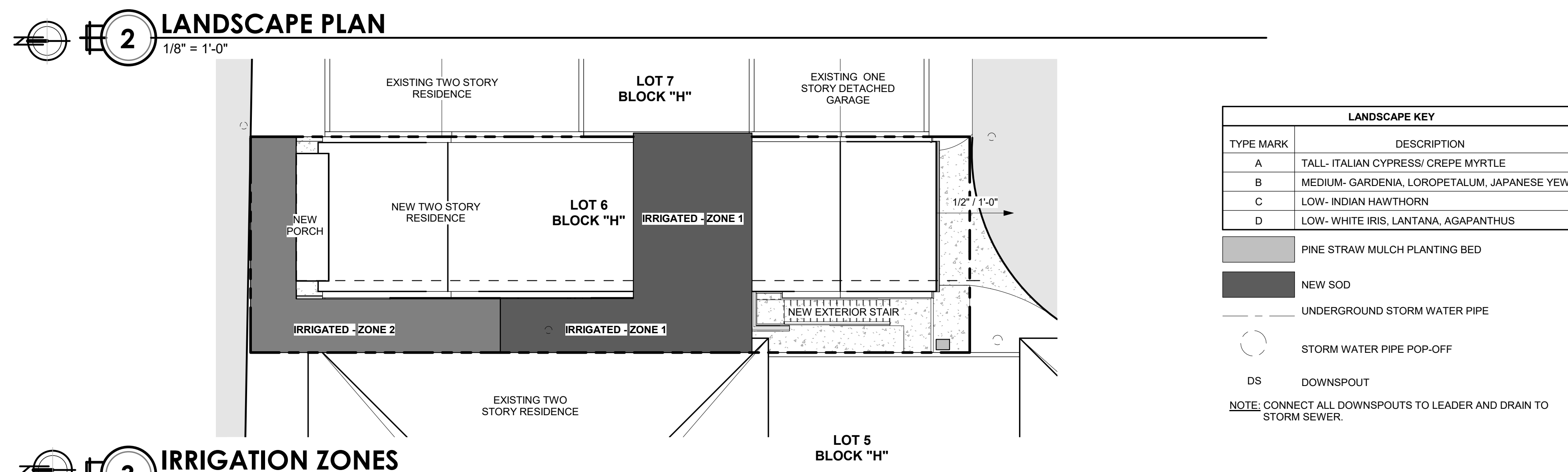
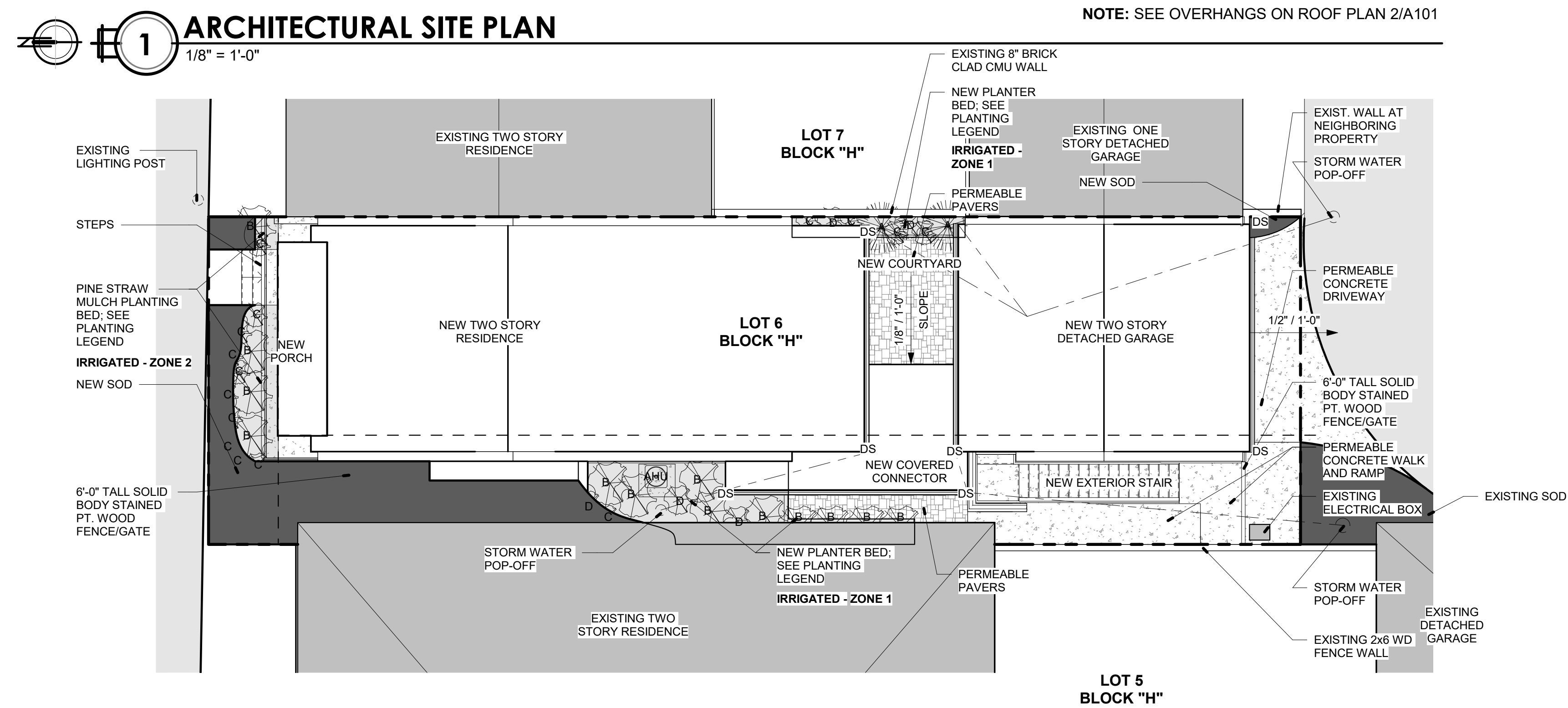
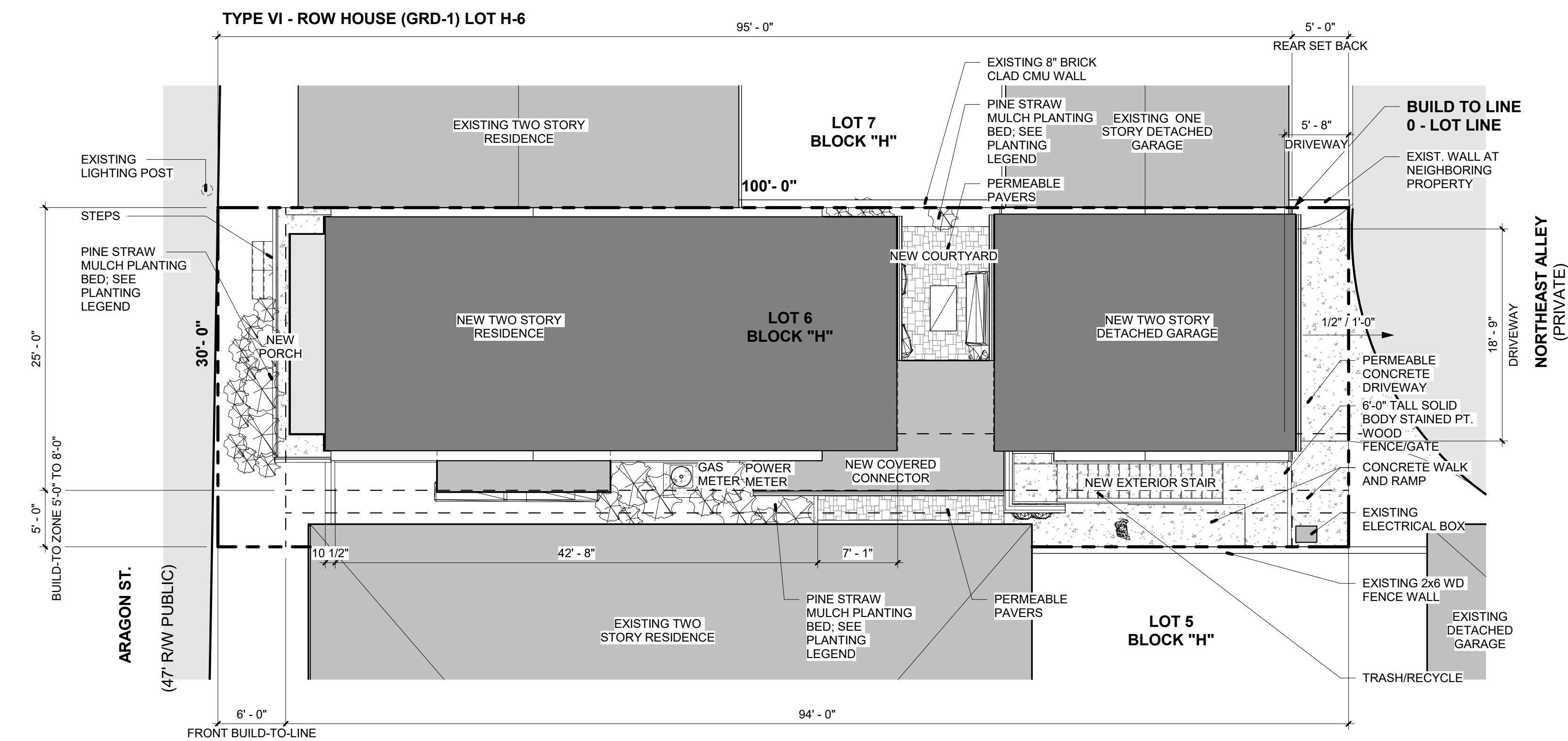
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TITLE SHEET

SHEET NO:

G001

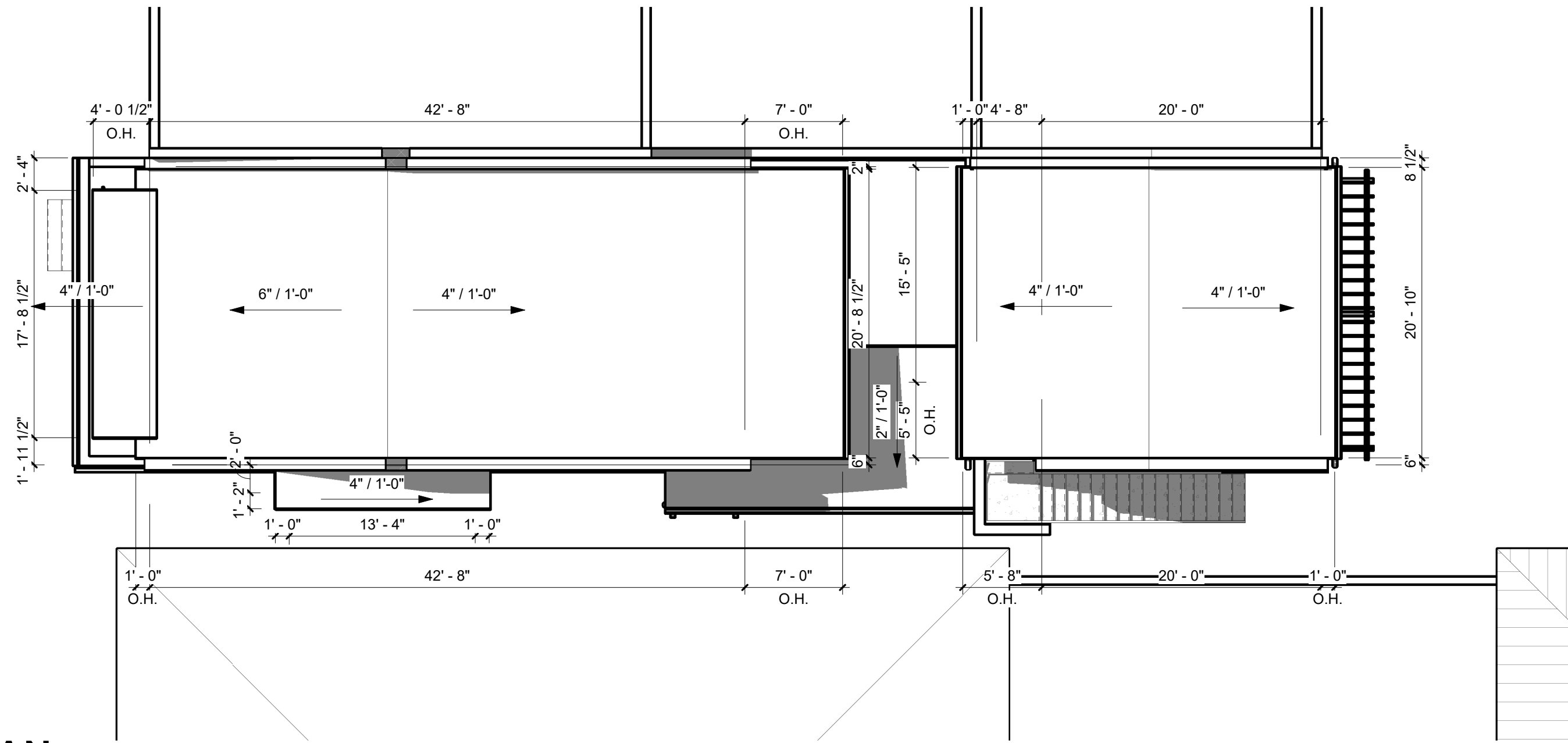
PROJECT NO:
20008



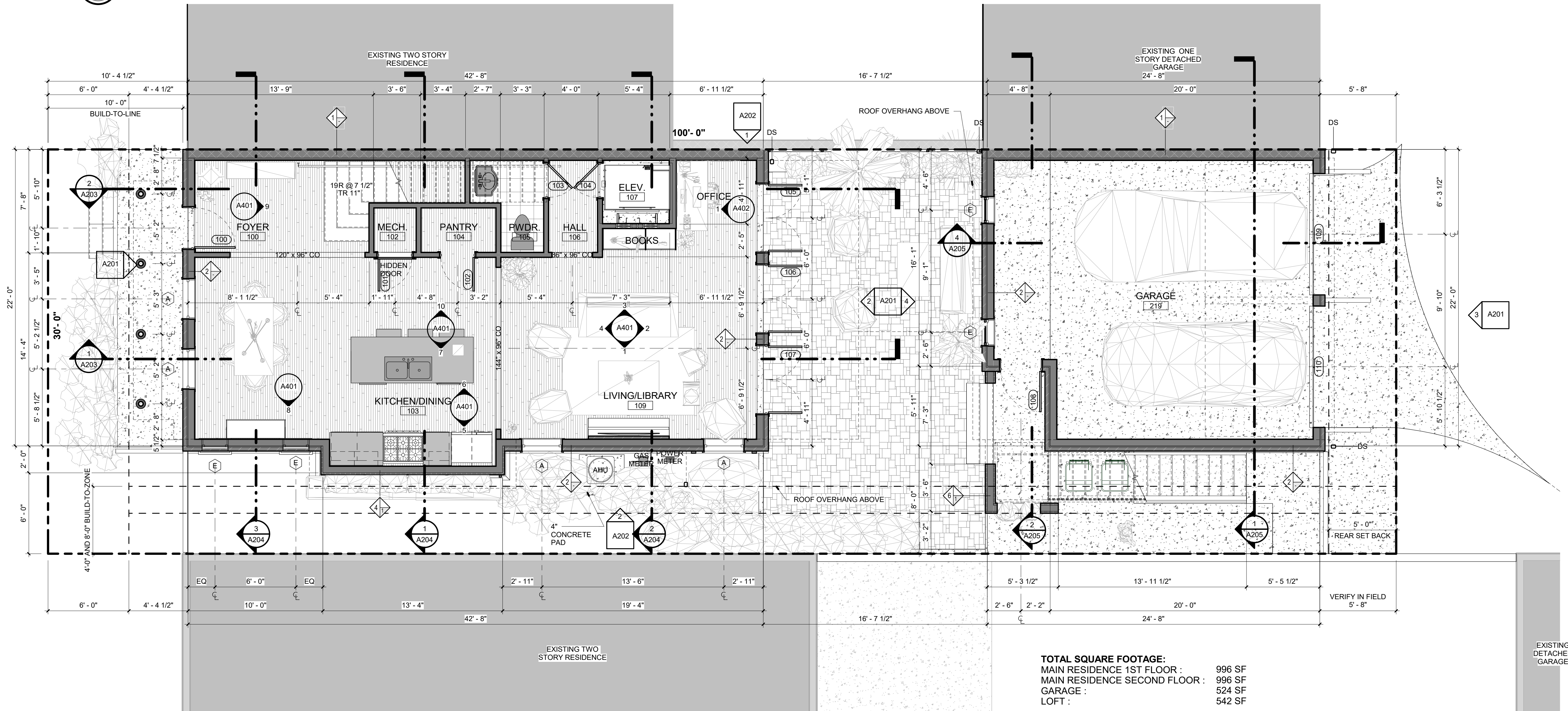
LOT COVERAGE CALCULATION:

TOTAL LOT AREA	3,000	SF
MAXIMUM IMPERVIOUS AREA 3,000 x 0.80 =	2,400	SF
BUILT FOOTPRINT		
IMPERVIOUS AREA:		
RESIDENCE:	996	SF
DETACHED GARAGE:	593	SF
FRONT PORCH:	91	SF
CONCRETE WALK:	135.58	SF
PERMEABLE CONCRETE DRIVE: 170 x .5	85	SF
PAVERS: 484 x .8 =	387.2	SF
	<u>2,287.78</u>	SF
TOTAL	2,287.78	SF OR 76%





2 ROOF PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.



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CONSTRUCTION
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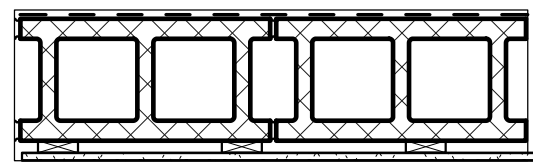
ISSUE DATE:
07-20-20

REVISIONS
No. Des. Date

SHEET TITLE:
**NEW WORK
FIRST FLOOR
PLAN**

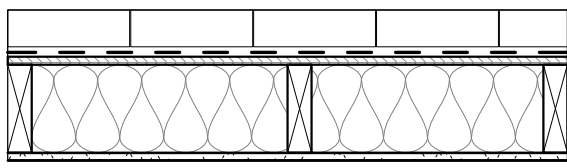
SHEET NO:
A101
PROJECT NO:
20008

WALL TYPES - LEGEND



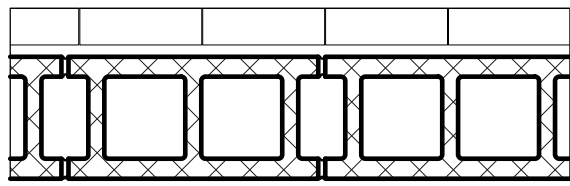
W-1: TYPICAL CMU PARTITION WALL

- WEATHER BARRIER
- CONCRETE MASONRY BLOCK
- WALL
- 1x3 FURRING STRIPS @12" O.C.
- 1/2" GYPSUM WALL BOARD



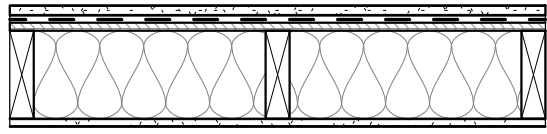
W-2: TYPICAL EXTERIOR 2x6 STUD WALL WITH BRICK VENEER

- (REFER TO WALL SECTIONS FOR EXTENT OF GWB AND INSULATION)
- BRICK VENEER
 - 1/2" AIR GAP
 - WEATHER BARRIER
 - 1/2" PLYWOOD
 - 2x6 WOOD STUDS @16" O.C. W/ MIN. R-19 BAT INSULATION
 - 1/2" GWB



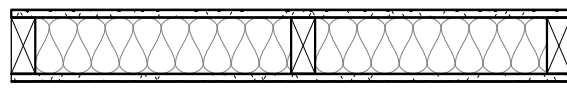
W-3: TYPICAL STEM WALL (EXPOSED)

- BRICK VENEER
- 1/2" AIR GAP
- CONCRETE MASONRY BLOCK
- WALL



W-4: TYPICAL 2x6 WOOD STUD W/ EXTERIOR STUCCO FINISH

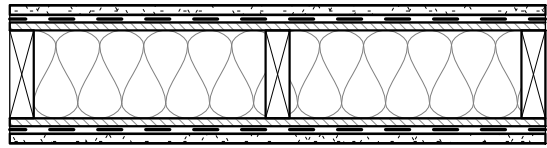
- 3 COAT APPLIED STUCCO
- LIQUID APPLIED WEATHER BARRIER
- 1/2" PLYWOOD
- 2x6 WOOD STUDS @16" O.C. W/ MIN. R-19 BAT INSULATION
- 1/2" GWB



W-5: TYPICAL INTERIOR 2x4 WOOD STUD WALL

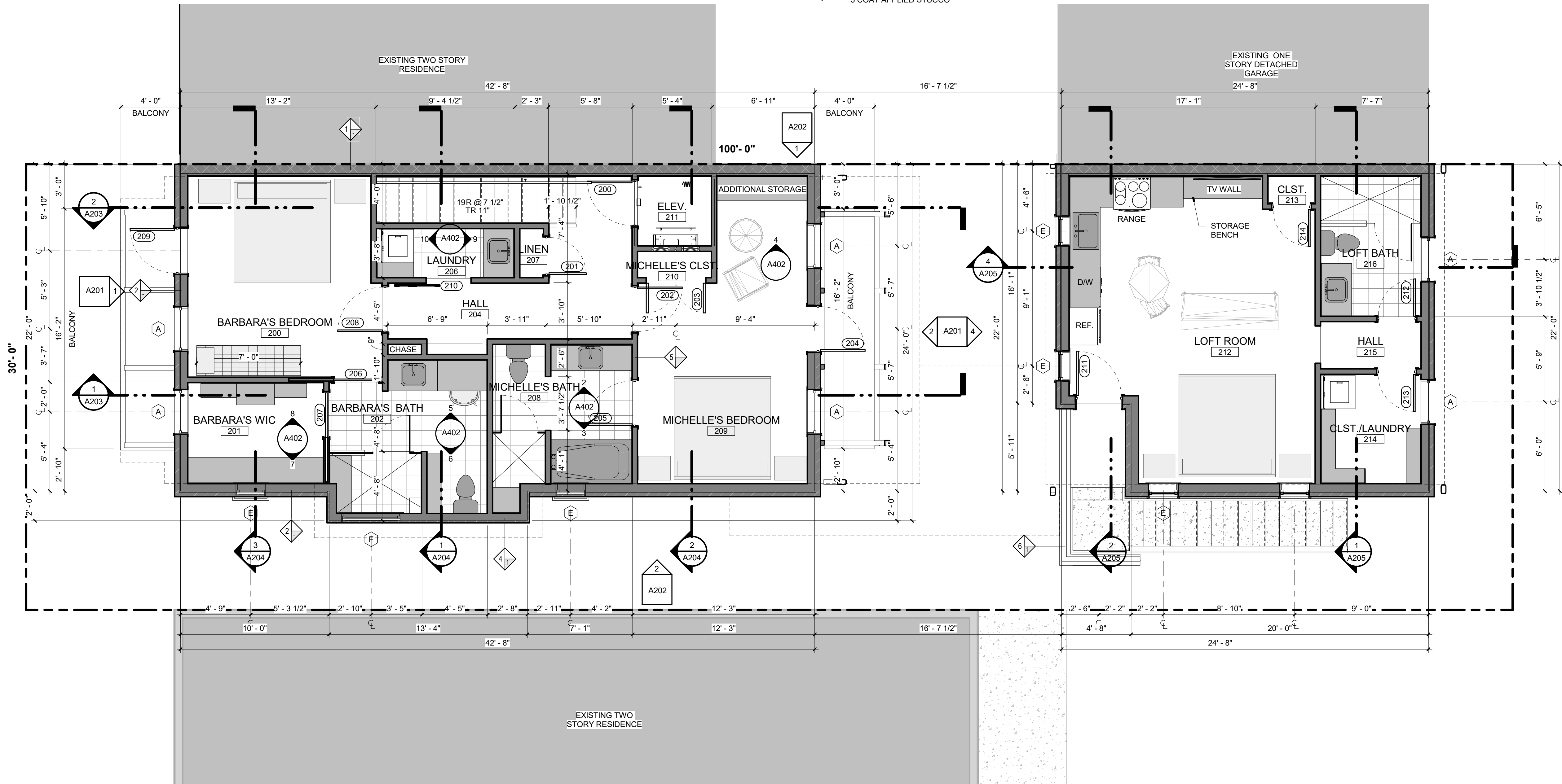
- 1/2" GWB
- 2x4 WOOD STUDS @16" O.C.
- 1/2" GWB

NOTE: PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.



W-6: TYPICAL 2x6 WOOD STUD W/ EXTERIOR STUCCO FINISH

- 3 COAT APPLIED STUCCO
- LIQUID APPLIED WEATHER BARRIER
- 1/2" PLYWOOD
- 2x6 WOOD STUDS @16" O.C. W/ MIN. R-19 BAT INSULATION
- 1/2" PLYWOOD
- LIQUID APPLIED WEATHER BARRIER
- 3 COAT APPLIED STUCCO



1 SECOND FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
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6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.

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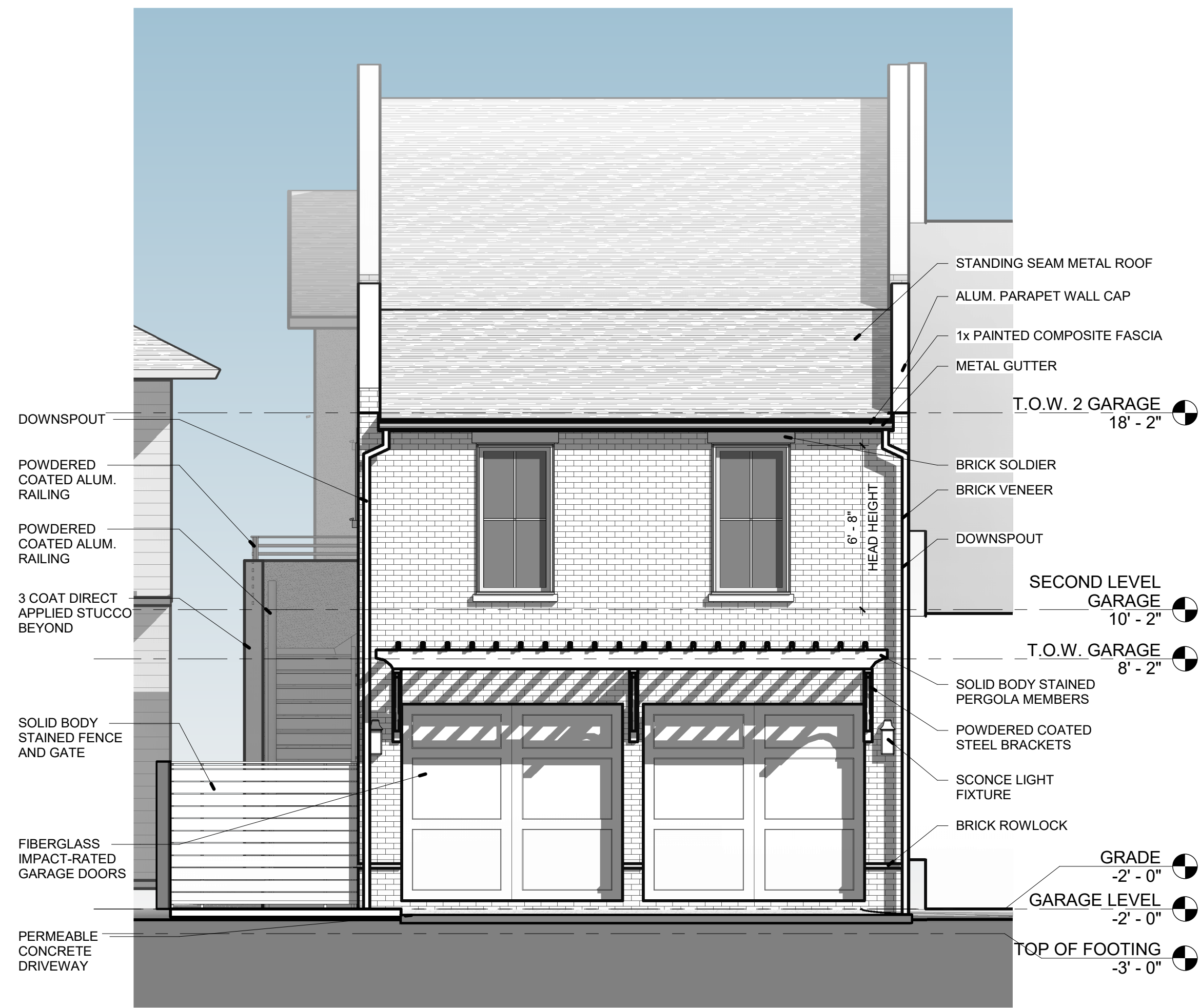
DRAWN BY: SRJ
CHECKED BY: JSS

ISSUE DATE: 07-20-20

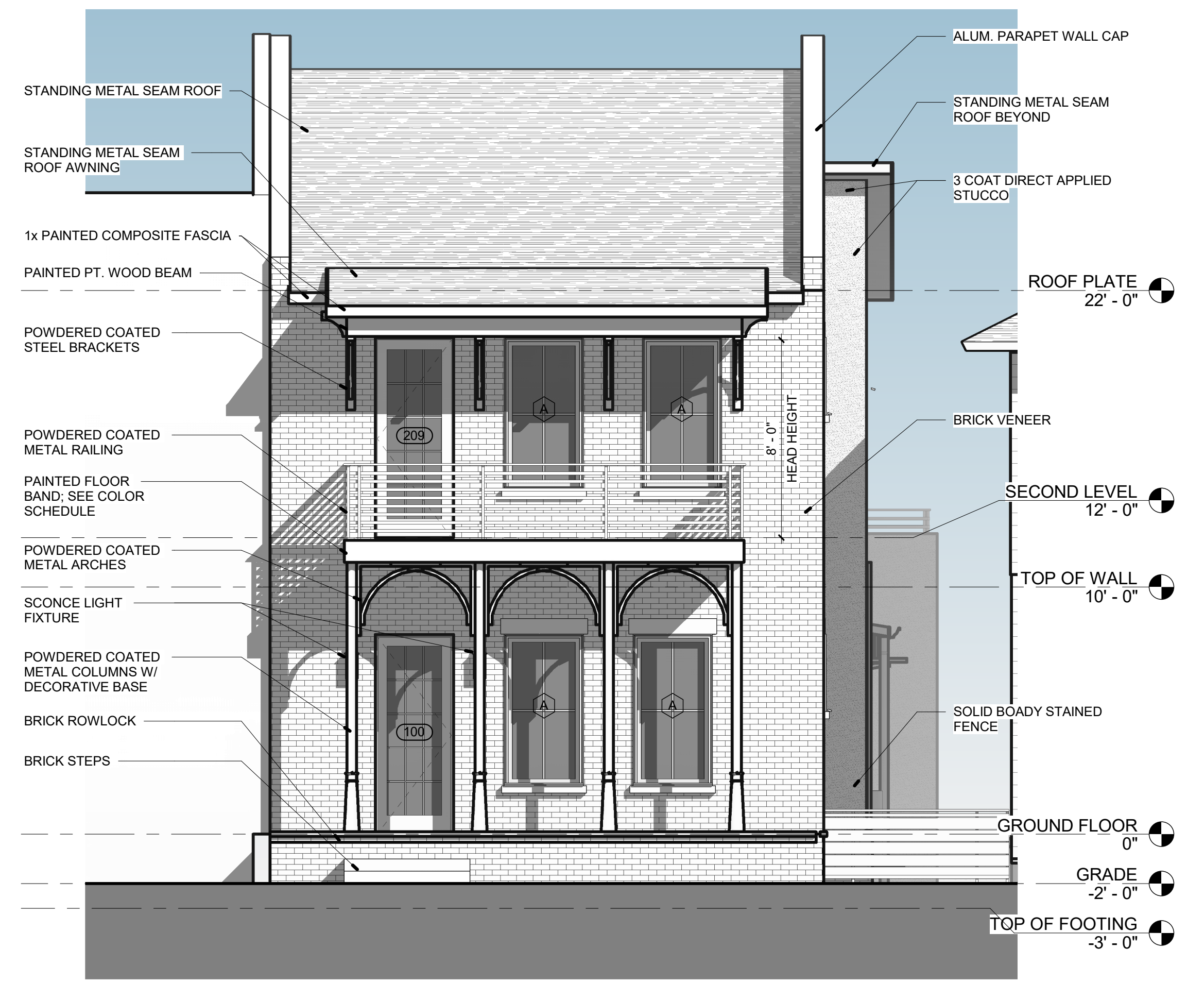
REVISIONS
No. Des. Date

SHEET TITLE:
**NEW WORK
SECOND
FLOOR PLAN**

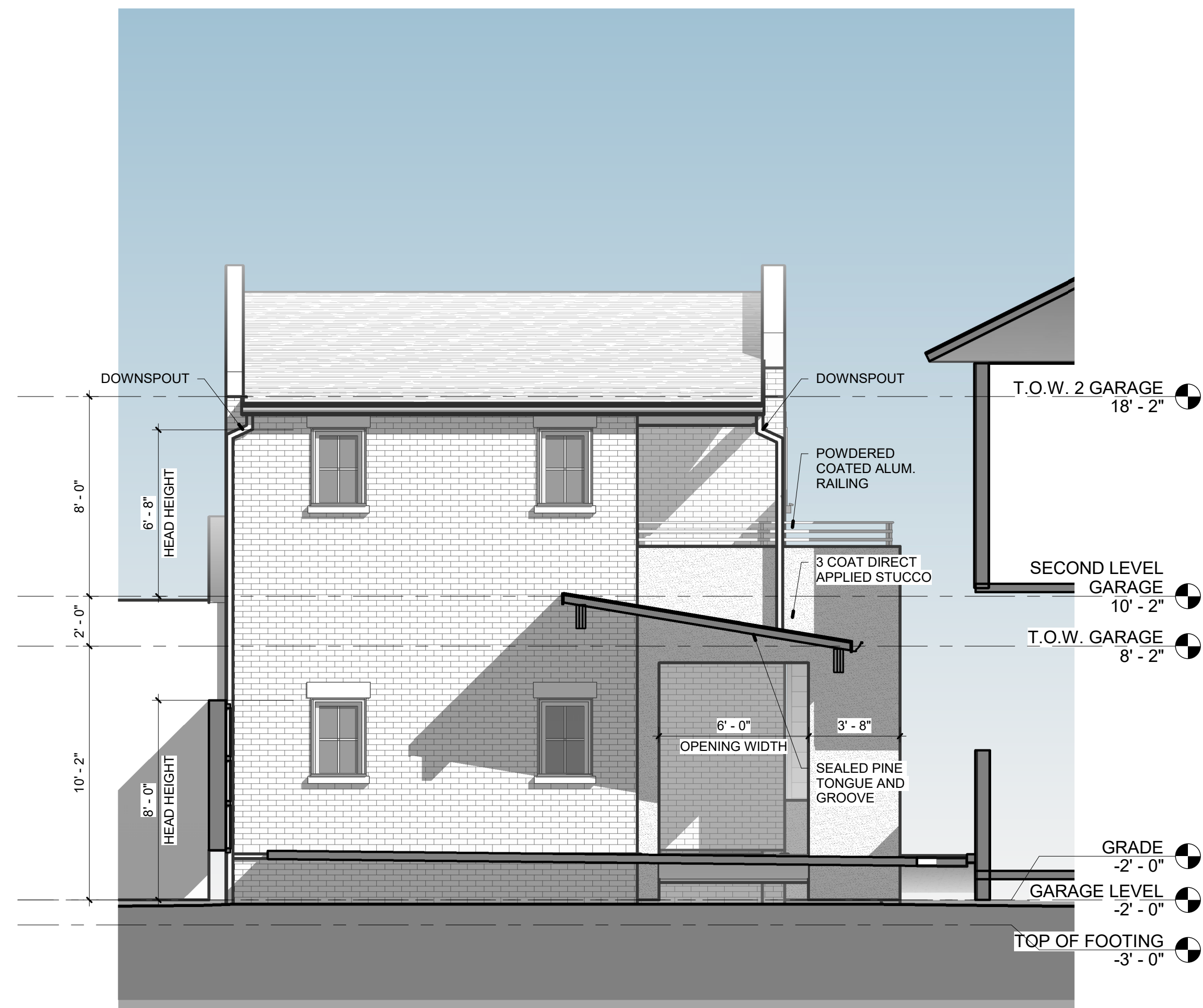
SHEET NO:
A102
PROJECT NO:
20008



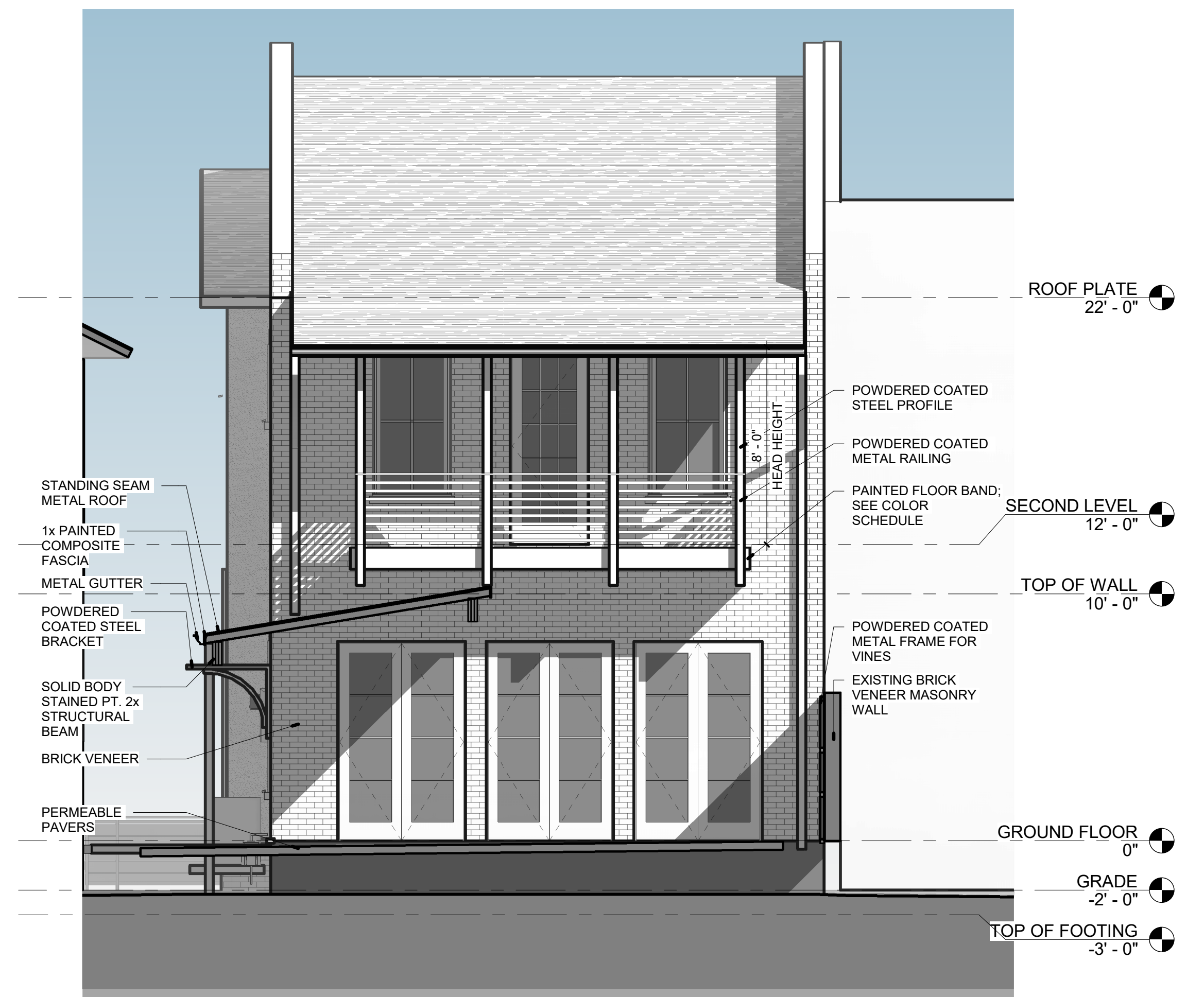
3 FRONT ELEV. - GARAGE
1/4" = 1'-0"



1 FRONT ELEVATION - RESIDENCE
1/4" = 1'-0"



4 REAR ELEV. - GARAGE
1/4" = 1'-0"



2 REAR ELEVATION - RESIDENCE
1/4" = 1'-0"



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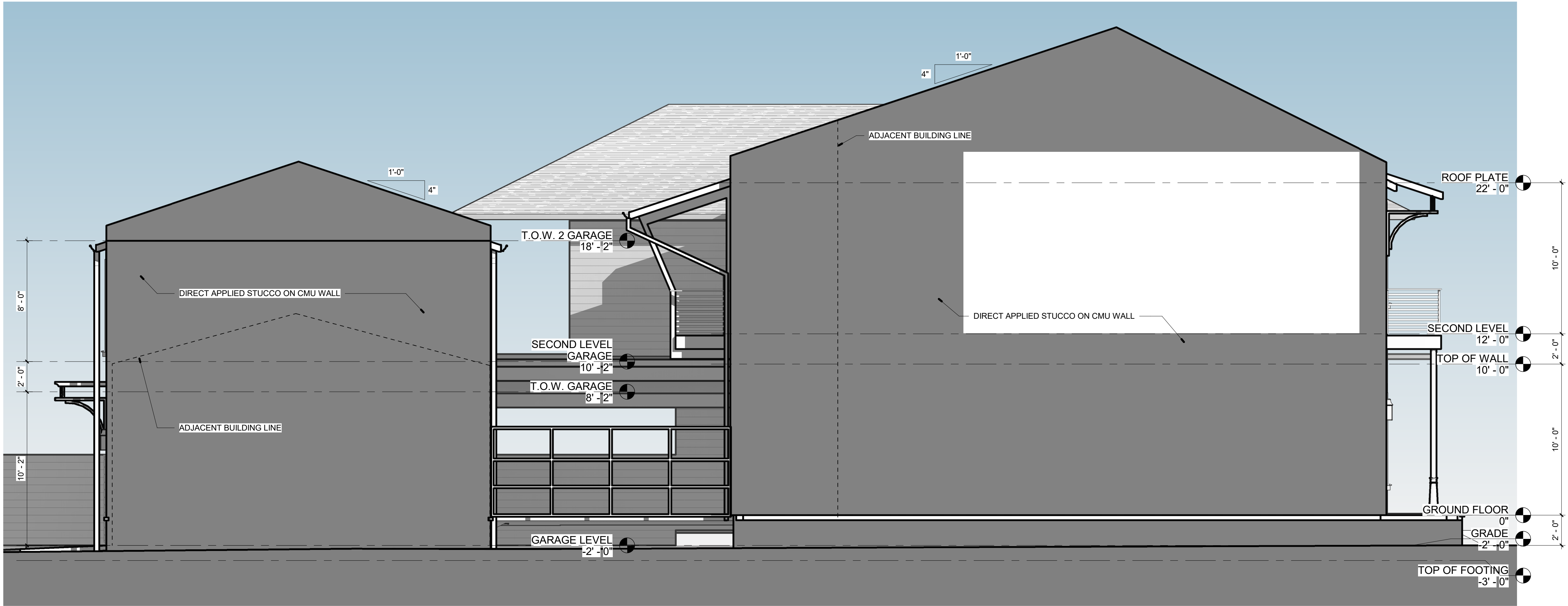
SHEET TITLE:

EXTERIOR ELEVATIONS

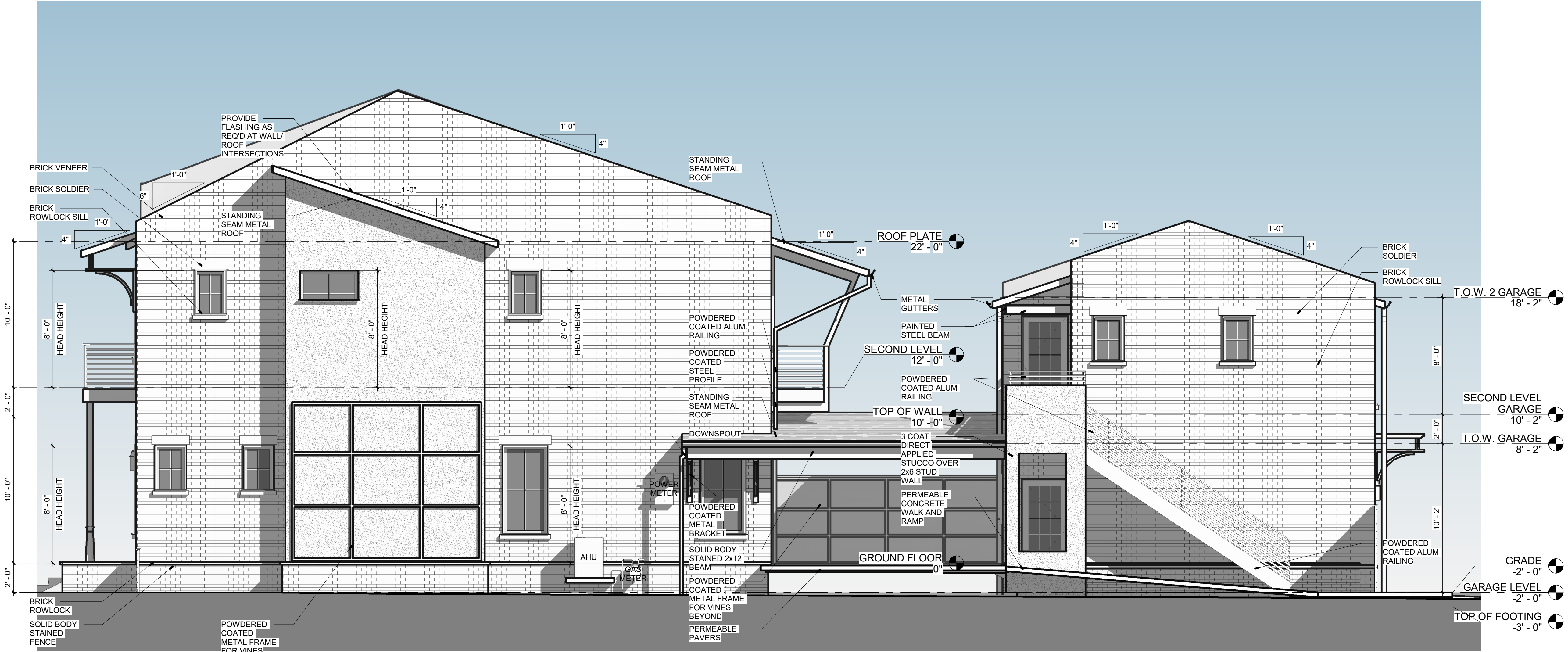
SHEET NO:

A201

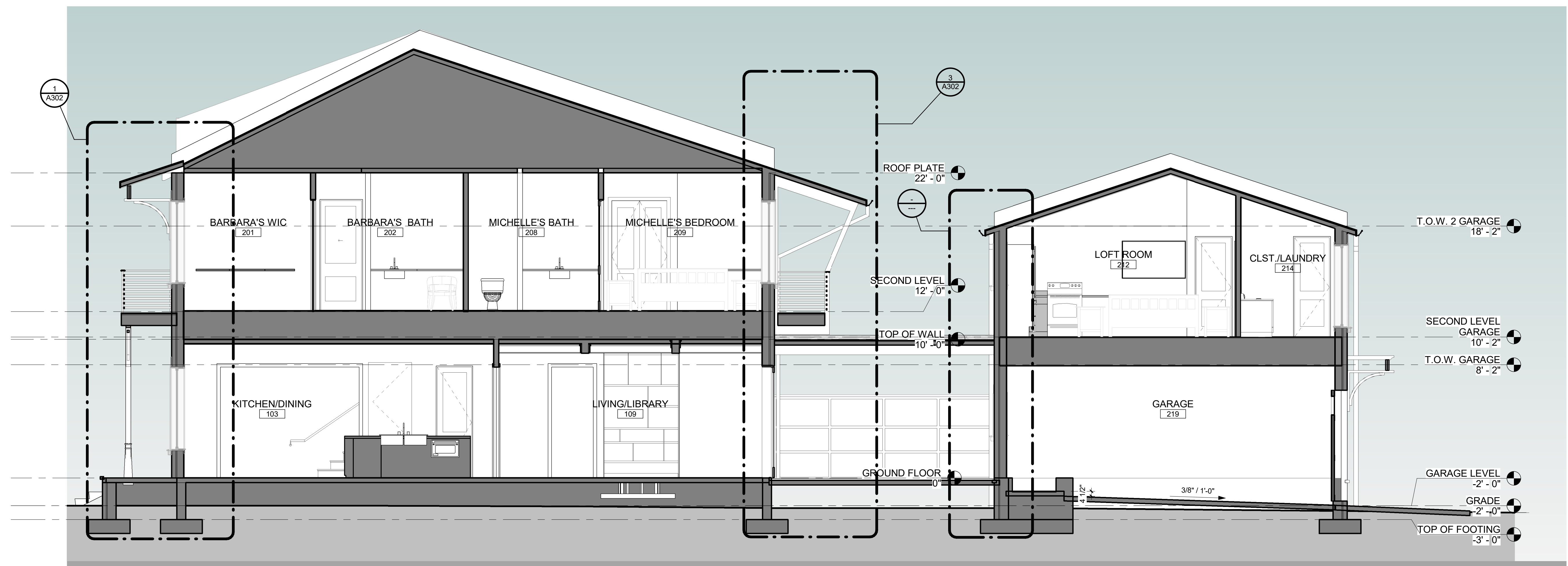
PROJECT NO: 20008



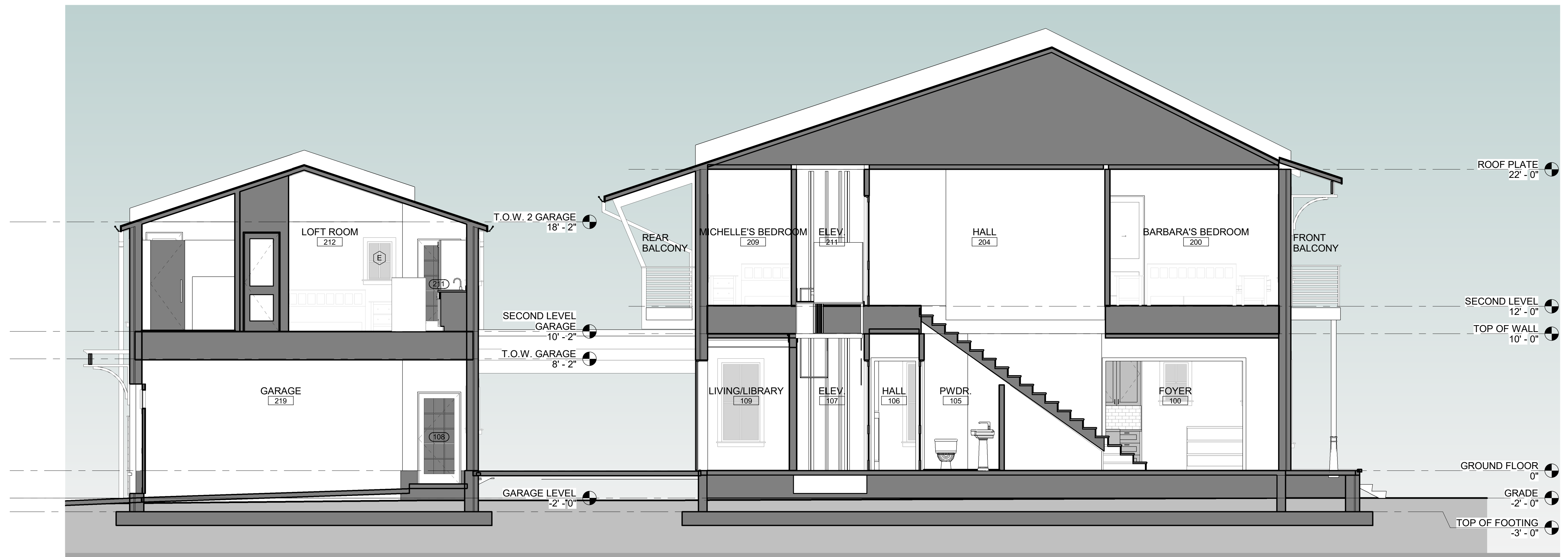
1 SIDE ELEVATION A
1/4" = 1'-0"



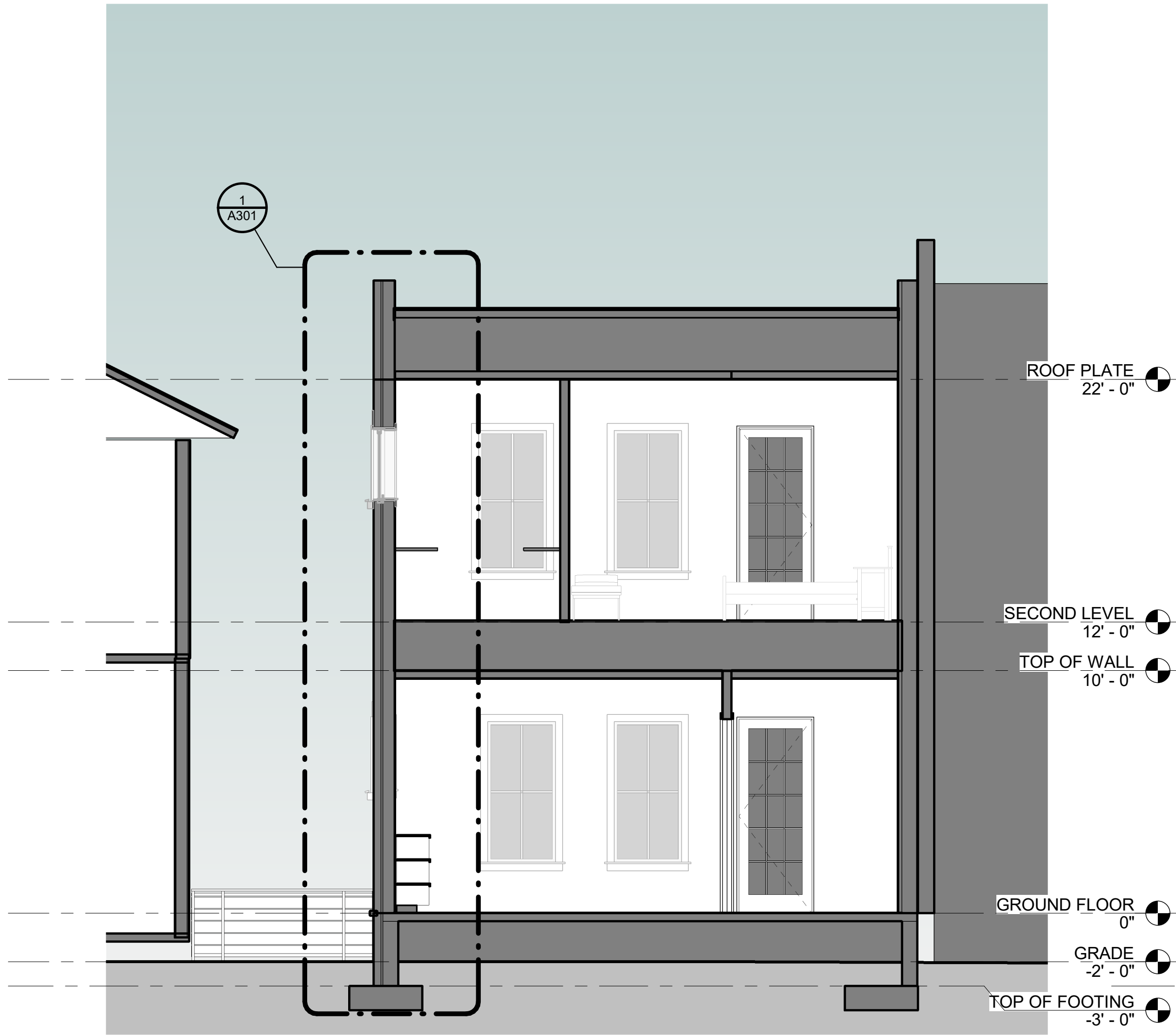
2 SIDE ELEVATION B
1/4" = 1'-0"



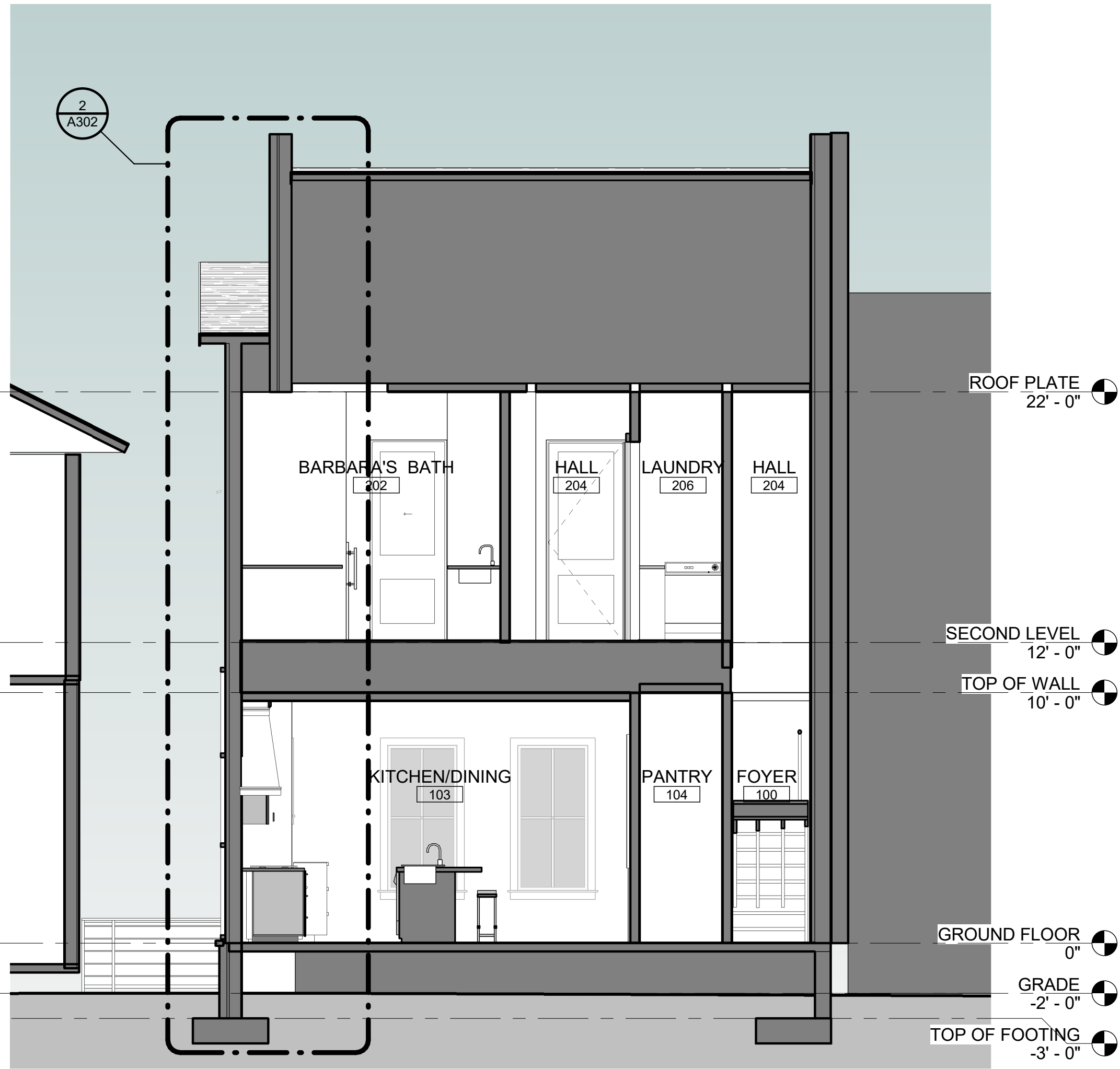
1 LONGITUDINAL SECTION A
1/4" = 1'-0"



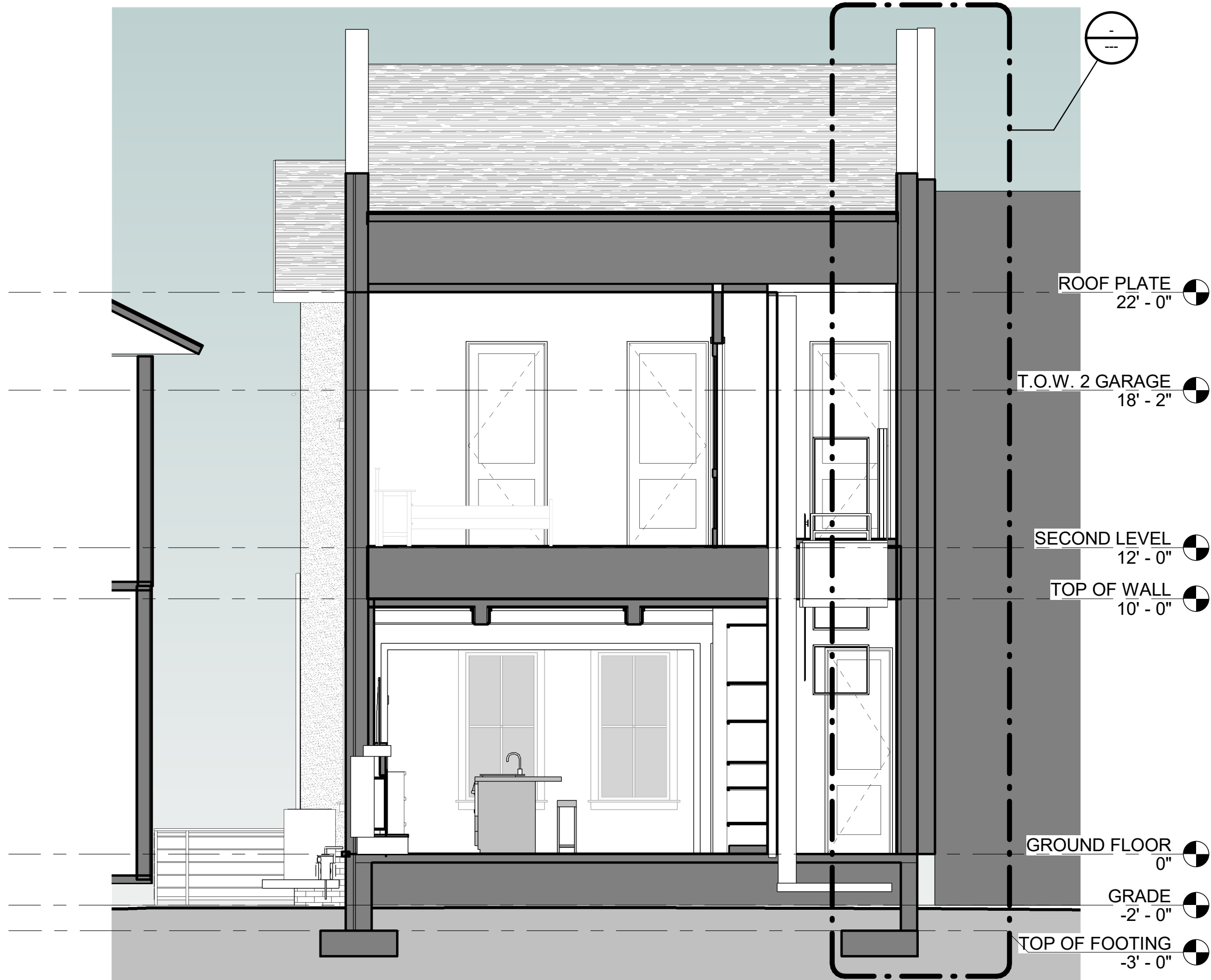
2 LONGITUDINAL SECTION B
1/4" = 1'-0"



3 TRANSVERSE SECTION B
1/4" = 1'-0"



1 TRANSVERSE SECTION A
1/4" = 1'-0"



2 TRANSVERSE SECTION C
1/4" = 1'-0"



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Murray Residence

657 ARAGON ST - PENSACOLA, FL

DRAWN BY:	CHECKED BY:
Author	JSS

ISSUE DATE:
07-20-20

REVISIONS	No.	Des.	Date

SHEET TITLE:

BUILDING SECTIONS

SHEET NO:

A204

PROJECT NO:
20008



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INSTRUCTION DOCUMENTS

OS/ AKAGUCHI - LINACOLA, IL

PROJECT NO: 008





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CONSTRUCTION DOCUMENTS

Murray Residence

657 ARAGON ST - PENSACOLA, FL

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ISSUE DATE: 07-20-20		
REVISIONS		
No.	Des.	Date

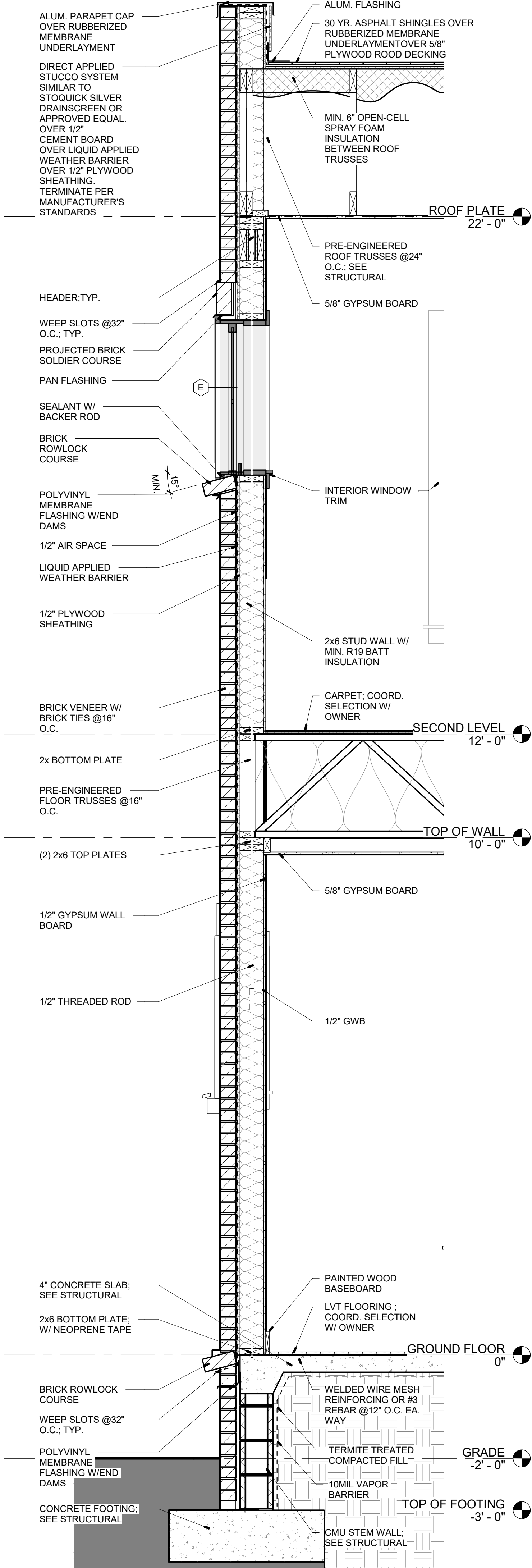
SHEET TITLE:

WALL SECTION

SHEET NO:

A301

PROJECT NO:
20008



RESIDENCE WALL SET. TYP. A



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00413

Planning Board

8/11/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 8/4/2020

SUBJECT:

671 Centros St - Gateway Review District - New Two Story S/F Residence

BACKGROUND:

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for a new 2-story single-family residence located at 671 Centros Street. The structure provides a front porch and balcony in addition to a rear courtyard with parking.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.



**Gateway Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential – \$50.00 hearing fee
- ☐ Commercial – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.

Applicant Signature

Date

***Gateway Review Board Application
Full Board Review***

Procedure for review of plans:

- Plan submission: All development plans, including demolition, must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**
- Review and approval. *All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13.* At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.
- Final development plan. *If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development.* For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.
- Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the Board. This provision is made in an effort to save the applicant and the Board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the Board secretary and chairman, then the matter will be referred to the board for a decision.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

***Gateway Review Board Application
Full Board Review***

Submittal Instructions/Requirements Checklist:

- _____ **One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;**
- _____ **Eleven (11) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".**
- _____ **One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.**

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.

Gateway Review Board Application
Full Board Review

- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.
- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

Date: Tuesday, July 21, 2020

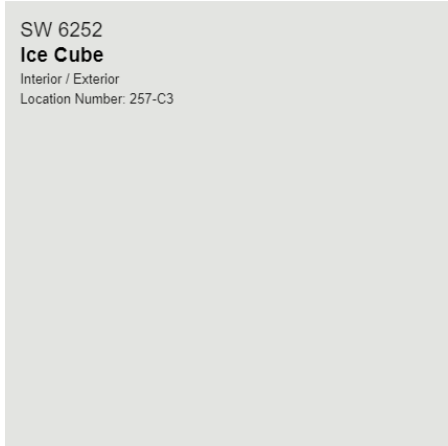
Project: 671 Centros St.
Pensacola, FL 32502

Recipient: Planning Board – City of Pensacola

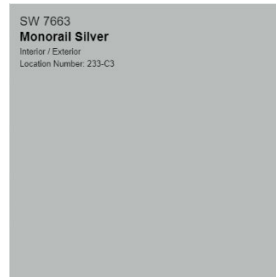
Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Primary Stucco	Sherwin Williams	"Ice Cube"
Secondary Stucco @ Balcony Recess	Sherwin Williams	"Monorail Silver"
Stone Clad Metal Roofing	Boral – Barrel Vault	"Barcelona"
Windows and Doors	Sherwin Williams	"Secure Blue"
Shutters	Sherwin Williams	"Secure Blue"
Exterior Trim	Sherwin Williams	"Ice Cube"
Fascias	Sherwin Williams	"Urbane Bronze"
Gutters	Sherwin Williams	"Urbane Bronze"
Downspouts	Sherwin Williams	"Monorail Silver"
Rear Columns and Beams	Sherwin Williams	"Urbane Bronze"
Rain Chains	Sherwin Williams	"Urbane Bronze"
Patio Accent Wall	Sherwin Williams	"Emotional"
Exposed Wood Decking	Sherwin Williams	"Monorail Silver"
Exposed Wood Rafters	Sherwin Williams	"Urbane Bronze"
Lighting	TBD	Black
Railings and Gates	TBD	Black
Precast Pier Caps	TBD	Precast Concrete
Entry Emblem	Sherwin Williams	"Monorail Silver"

PAINT COLORS



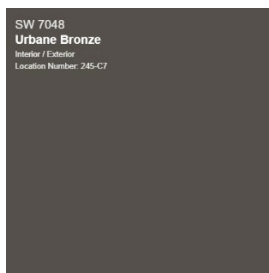
Primary Color
Sherwin Williams: Ice Cube



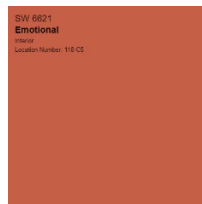
Secondary Color
Sherwin Williams: Monorail Silver



Accent Color
Sherwin Williams:
Secure Blue



Exterior Trim
Sherwin Williams:
Urbane Bronze



Patio Accent
Sherwin Williams:
Emotional

ROOFING



Boral
Barrel Vault - Barcelona

LIGHTING



Exterior Sconce
Black or Dark Bronze Metal



Exterior Post Mounted Light
Black or Dark Bronze Metal

Renderings



View of Front



View at Entry



View of Rear



View of Patio

PRODUCT INFORMATION



Reflectivity: **0.14**
Aged Ref. (3 yr): **pending**
Emmisivity: **0.89**
Aged Em. (3 yr) **pending**
SRI: **11**
Aged SRI (3 yr): **pending**

Profile: **BARREL-VAULT Tile**

Color Name: **Barcelona**

SKU Number: **4DDP97335SF**

Product Weight: **Lightweight 1.5 Lbs per Sq Ft**

Installation Type: **Direct or Batten**

Pallet Layout: **Left-to-Right (Only)**

Fastening: **Exposed**

Batten Spacing: **14" (356mm)**

Available Regions: **Nationwide**

Product Specifications

Size: **14" x 43.8125" (366 x 1113mm)**

Coverage: **14" x 43.25" (366 x 1099mm)**

Panels per 100 Sq Ft: **24**

Sq M per Panel: **0.46**

Sq M per Pallet: **166**

Panels per Pallet: **360**

Squares per Pallet: **15**

Pallets per Full Truck: **15**

Squares per Full Track: **300**

Panels per Container Size 20ft (6.1M)

With Accessories: **5,400**

No Accessories: **6,120**

Pallets per Container Size 20ft (6.1M)

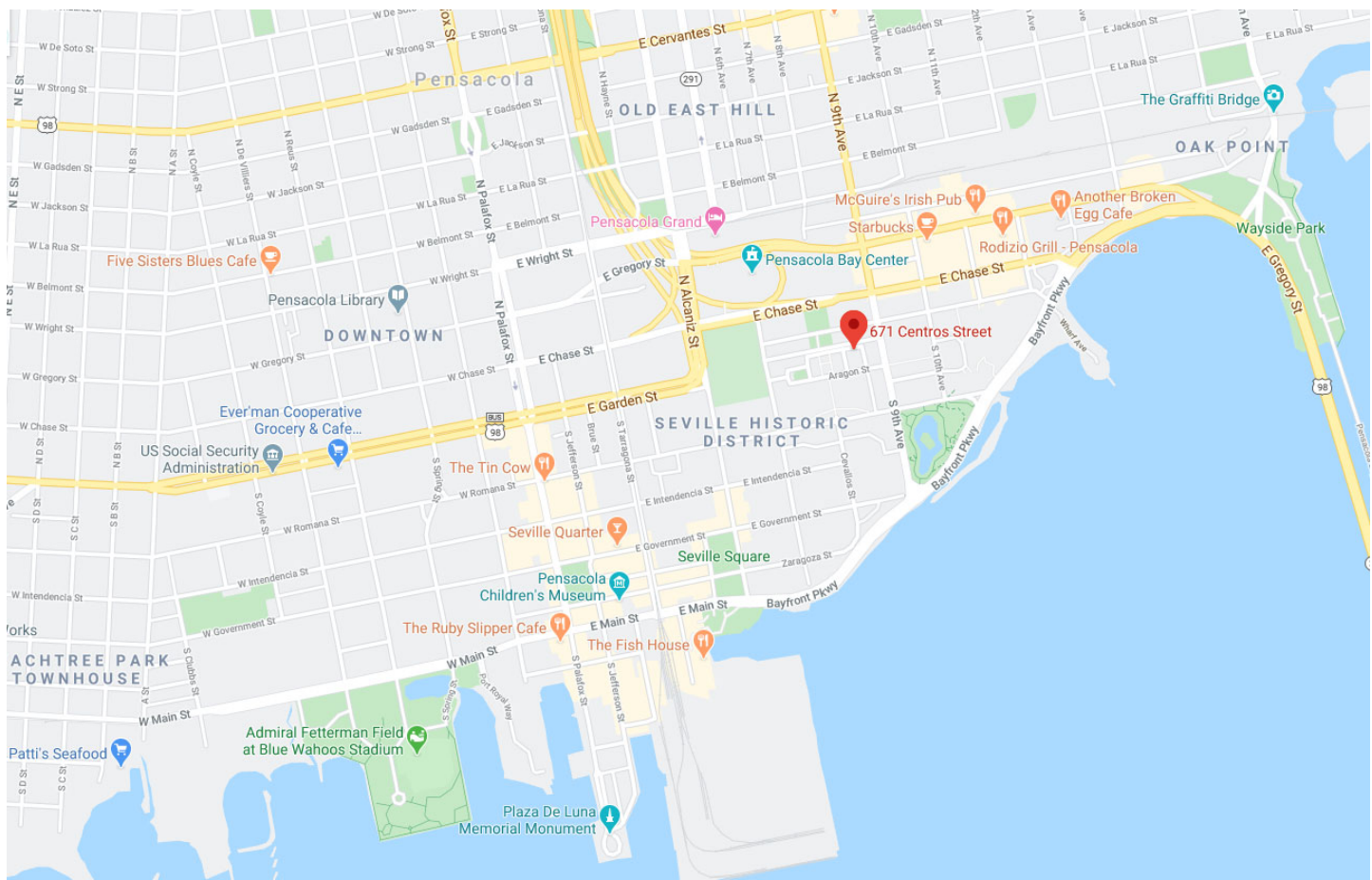
With Accessories: **13.5**

No Accessories: **17**

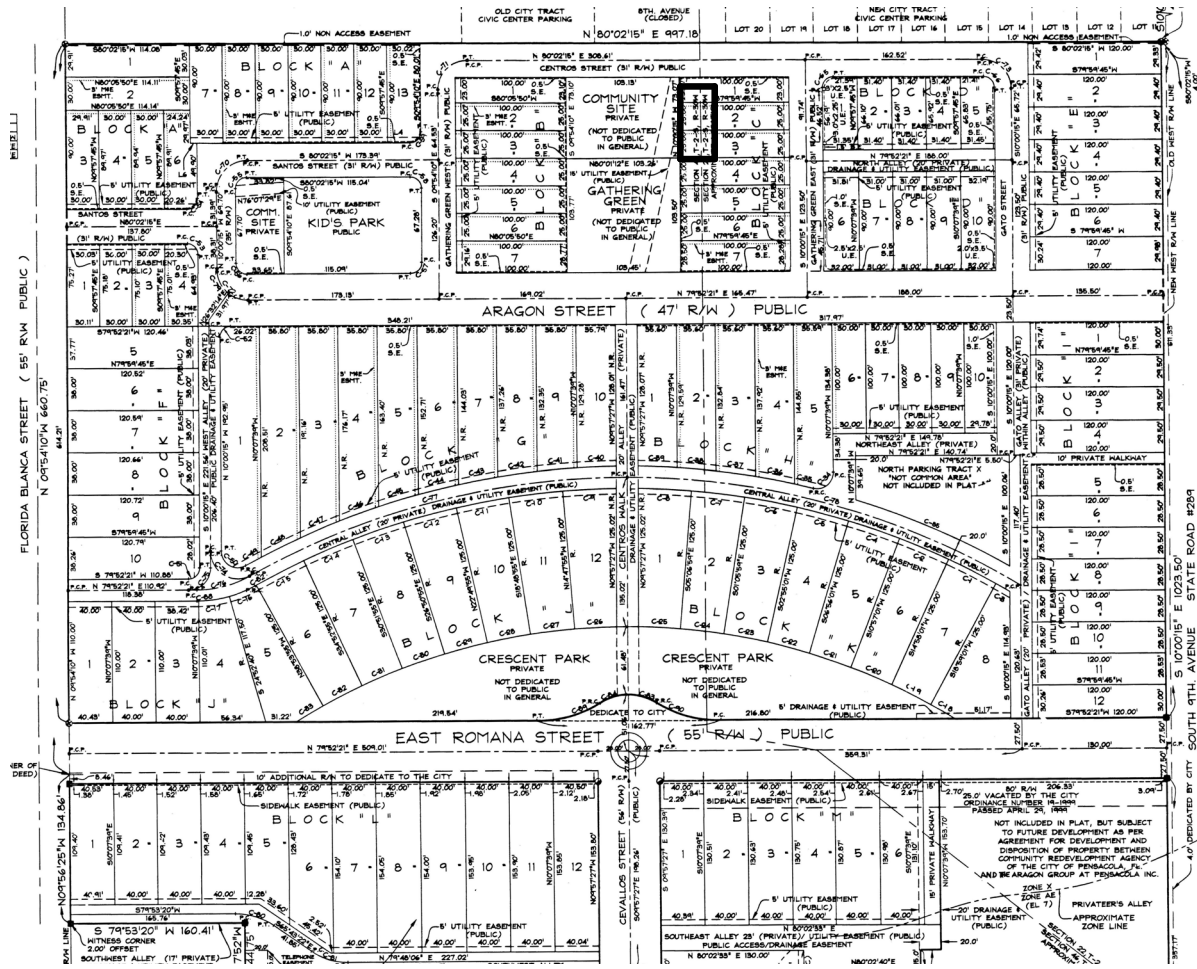
The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

Bain Residence

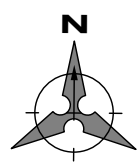
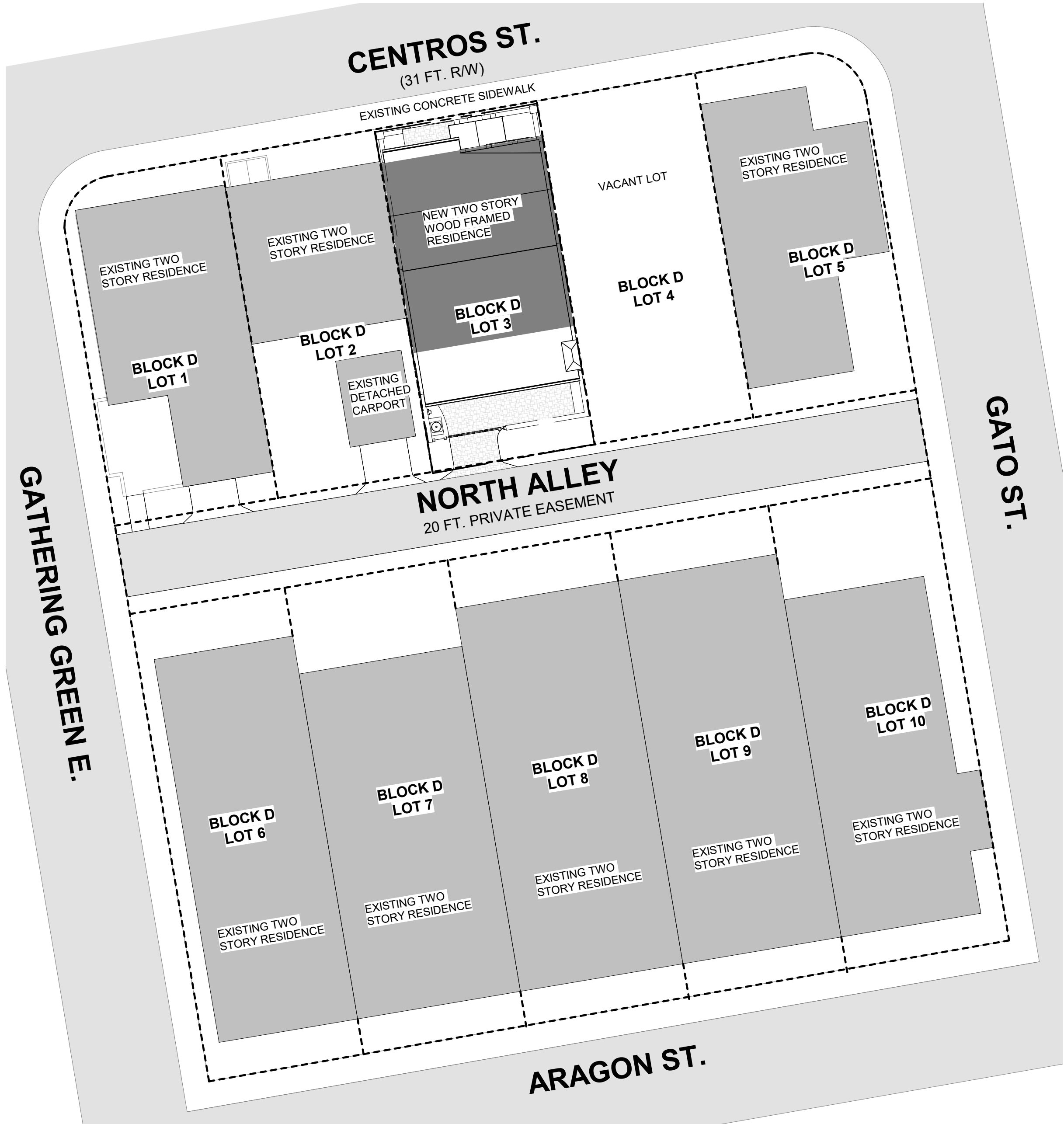
An Aragon Home for Ian and Betty Bain
671 Centros St.
Pensacola, FL 32502



VICINITY MAP



ARAGON PLAT MAP



1 AREA PLAN
1/16" = 1'-0"

BUILDING DATA

APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB, UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: GRD-1

FLOOD ZONE: X

PHYSICAL PROPERTIES:
FIRST FLOOR CONDITIONED: 1,145 SF
SECOND FLOOR CONDITIONED: 575 SF
TOTAL CONDITIONED: 1,720 SF

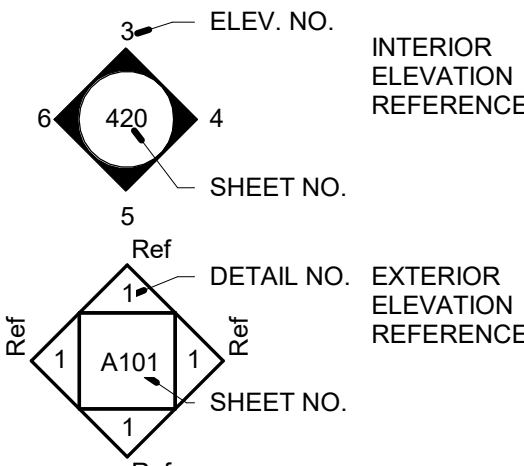
FIRST FLOOR COVERED PORCHES: 365 SF
SECOND FLOOR BALCONY: 40 SF
TOTAL UNCONDITIONED: 405 SF

BUILDING HEIGHT: 35'-4"
NO. OF STORIES: 2

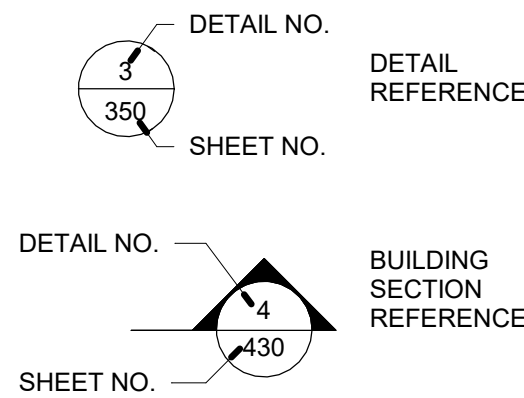
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION; REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE, ALL AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

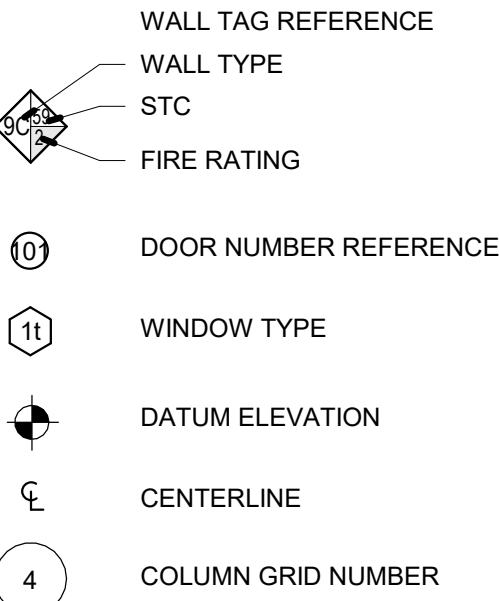
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



Room name ROOM TAG
(11'-8") CEILING HEIGHT - ABOVE FIN. FLOOR

REVISION NUMBER REFERENCE

REVISION NO.

INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A100	SITE PLAN	
A101	FLOOR PLANS	
A201	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A701	3D EXTERIOR VIEWS	
A702	3D INTERIOR PERSPECTIVE VIEWS	



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AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

Bain Residence

671 Centros St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE: 07/21/20

REVISIONS: No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO: 20001

PLANTING LEGEND

PLANTING BEDS:
SILVER LEAF PALM
FLORIDA ROSEMARY
FOXTAIL FERN
AGAPANTHUS
MUHLY GRASS OR EQUAL

TREES:
OLIVE TREE
DRAKE ELM

LOT COVERAGE CALCULATIONS

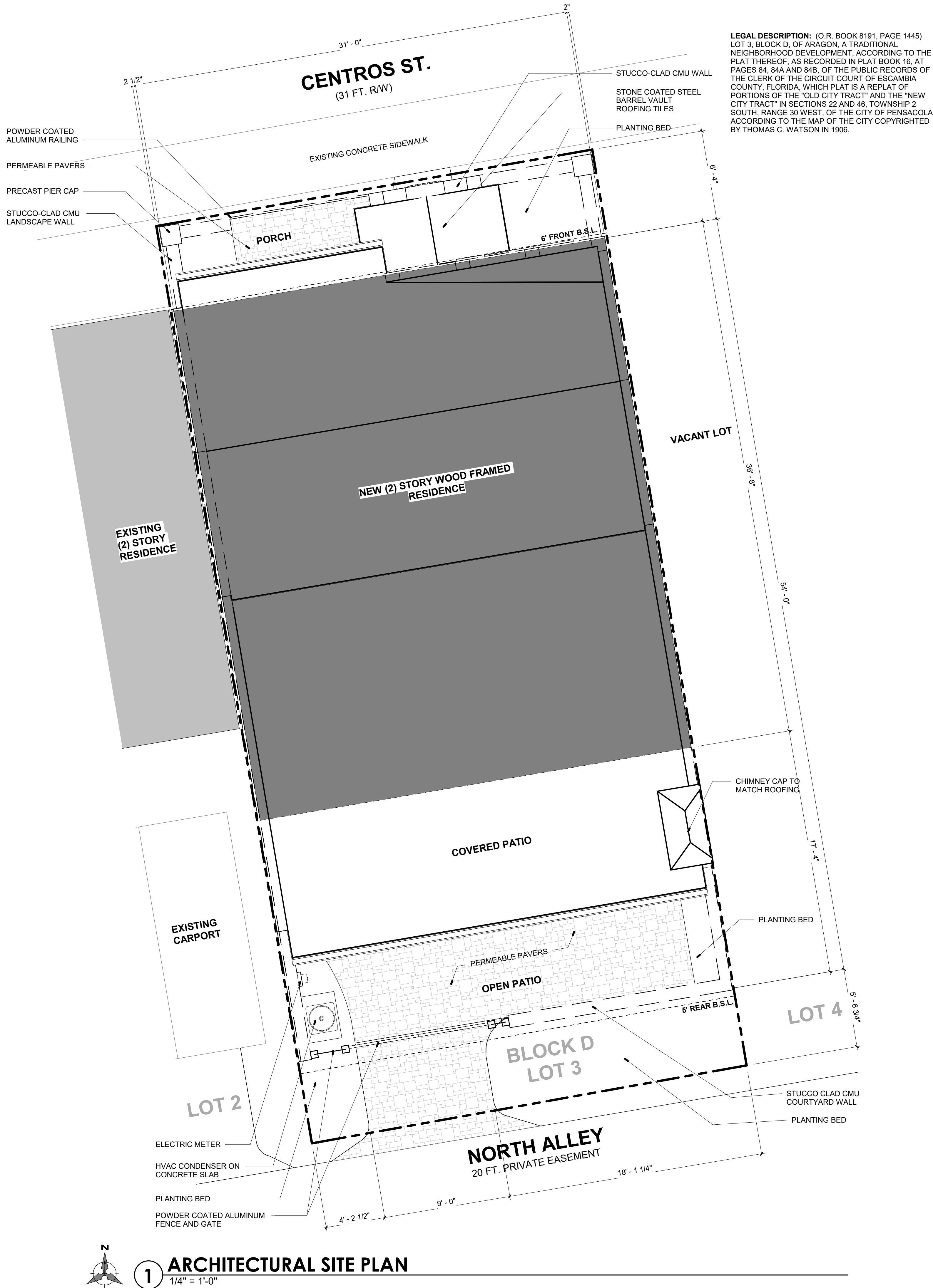
PROPOSED IMPERVIOUS AREA:		
FRONT PORCH PERMEABLE PAVERS: 120 SF x .6 =	72 SF	
REAR PATIO PERMEABLE PAVERS: 528 SF x .6 =	317 SF	
HVAC PLATFORM:	8 SF	
	397 SF	
PROPOSED BUILDING FOOTPRINT:	1,145 SF	
TOTAL PROPOSED LOT COVERAGE:	1,542 SF OR 75%	
TOTAL LOT AREA:	2,068 SF	
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	1,654 SF OR 80%	



EXISTING VIEW FROM NORTH ALLEY



EXISTING VIEW FROM CENTROS ST.



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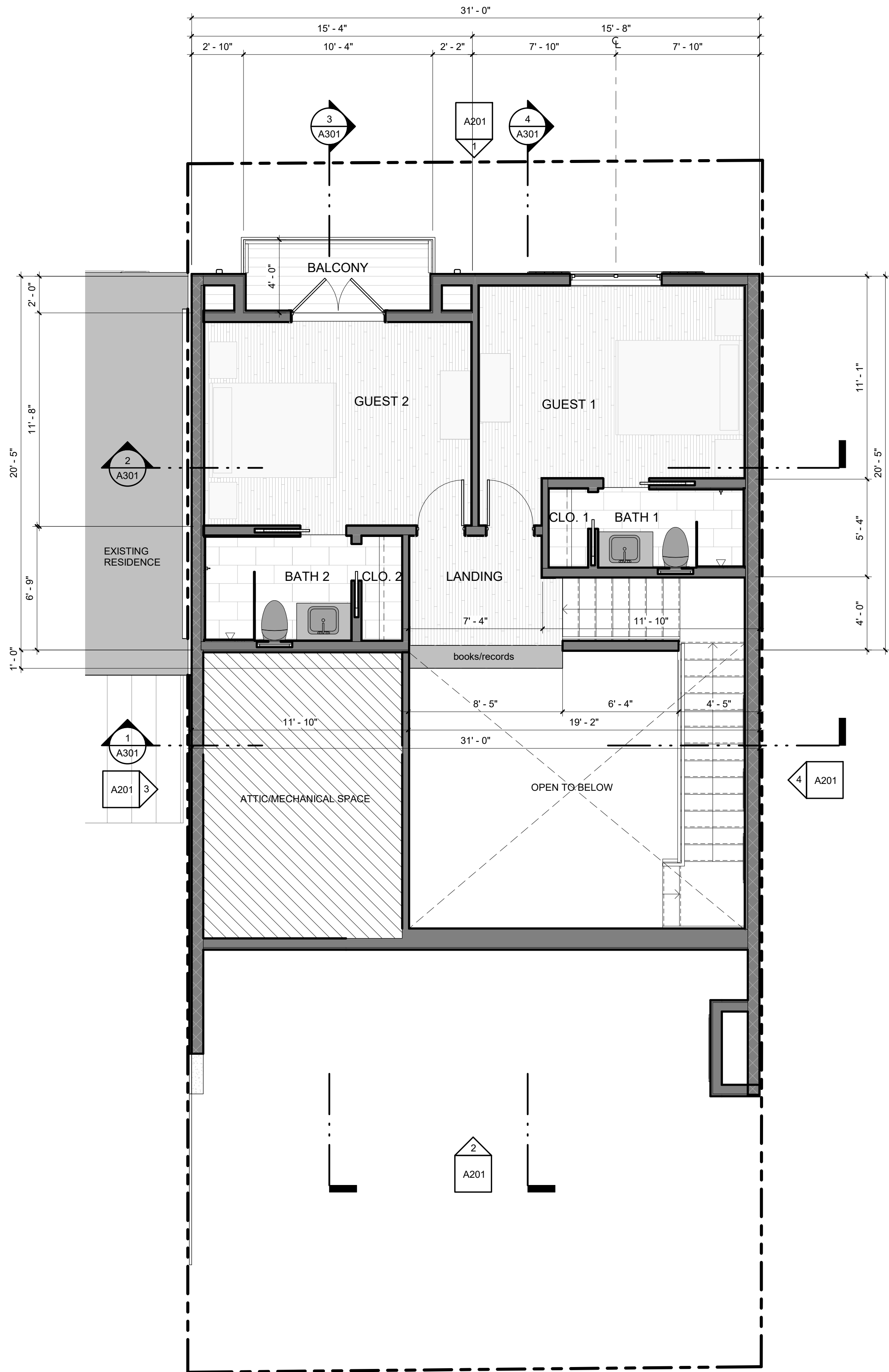
SHEET TITLE:

SITE PLAN

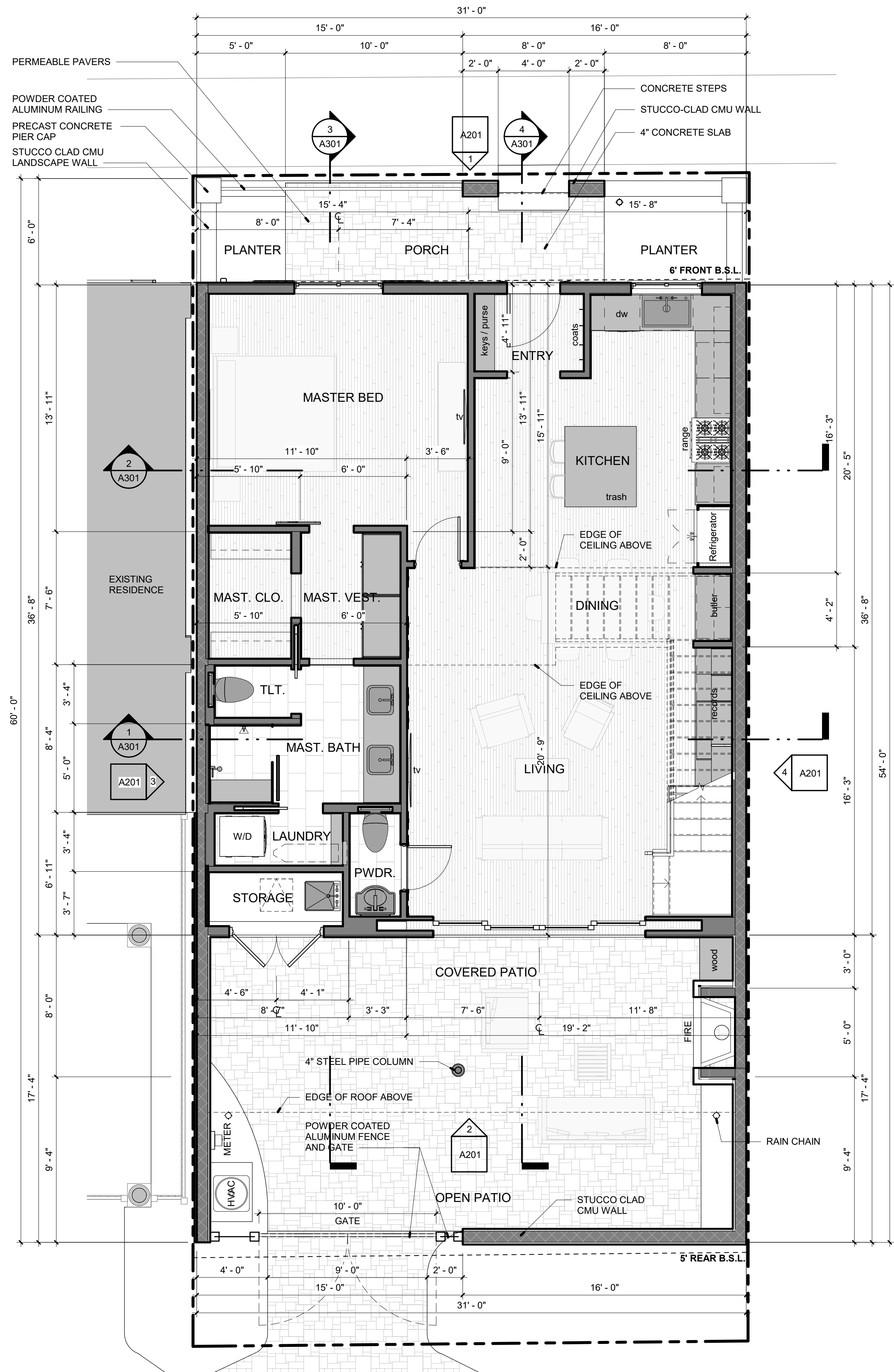
SHEET NO:

A100

PROJECT NO:
20001



2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIOVISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.



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No. Des. Date

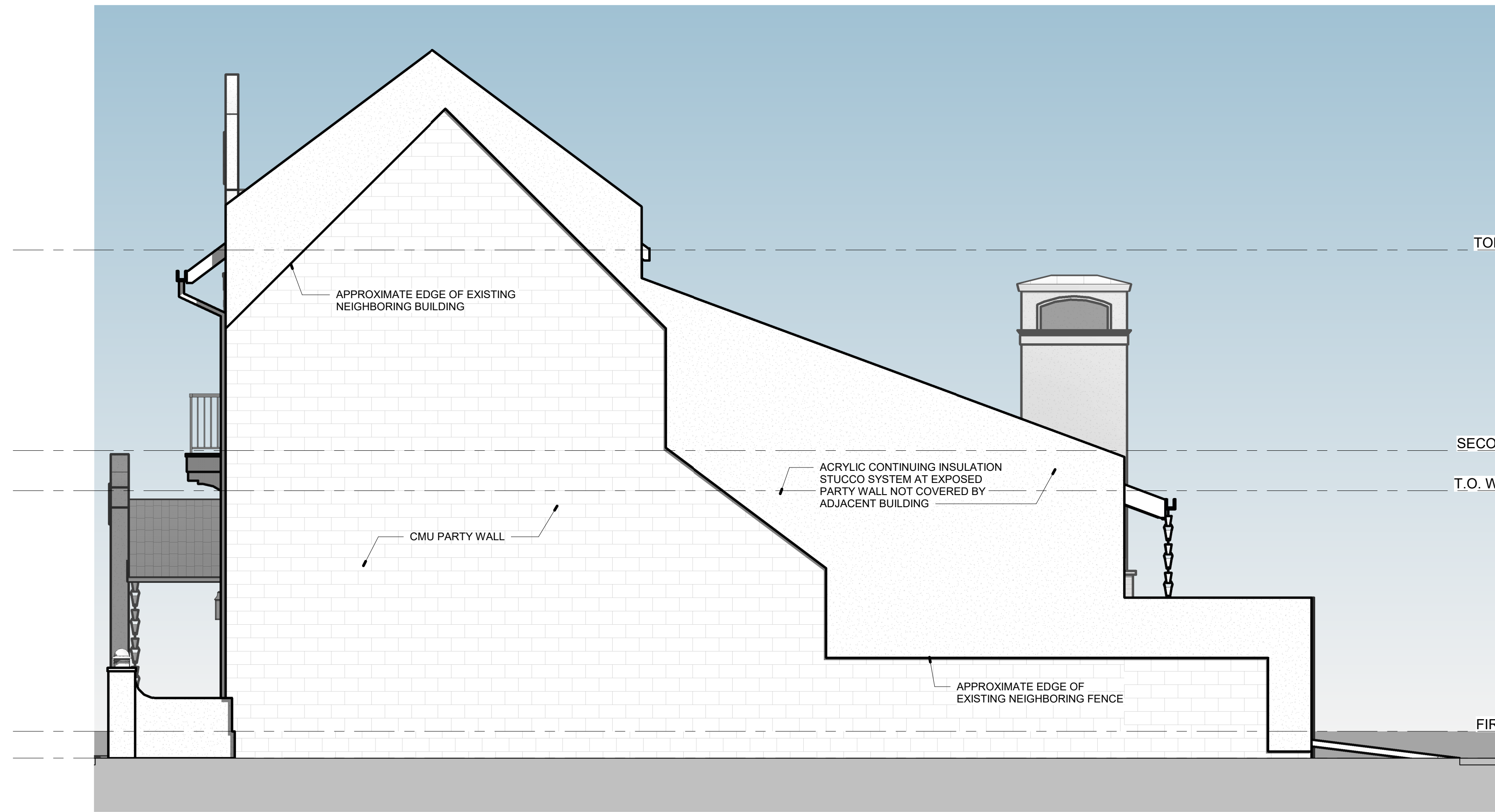
SHEET TITLE:

FLOOR PLANS

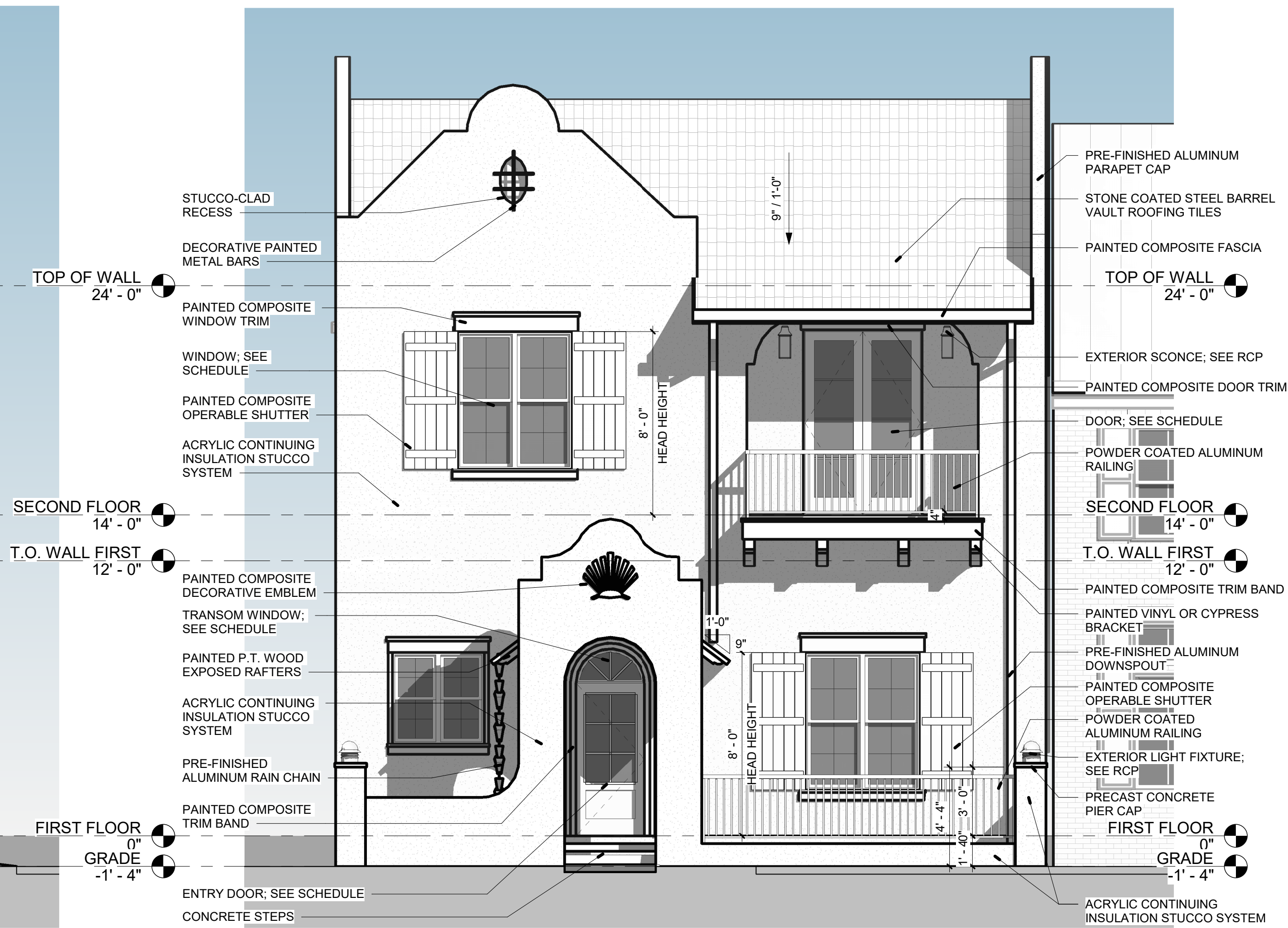
SHEET NO:

A101

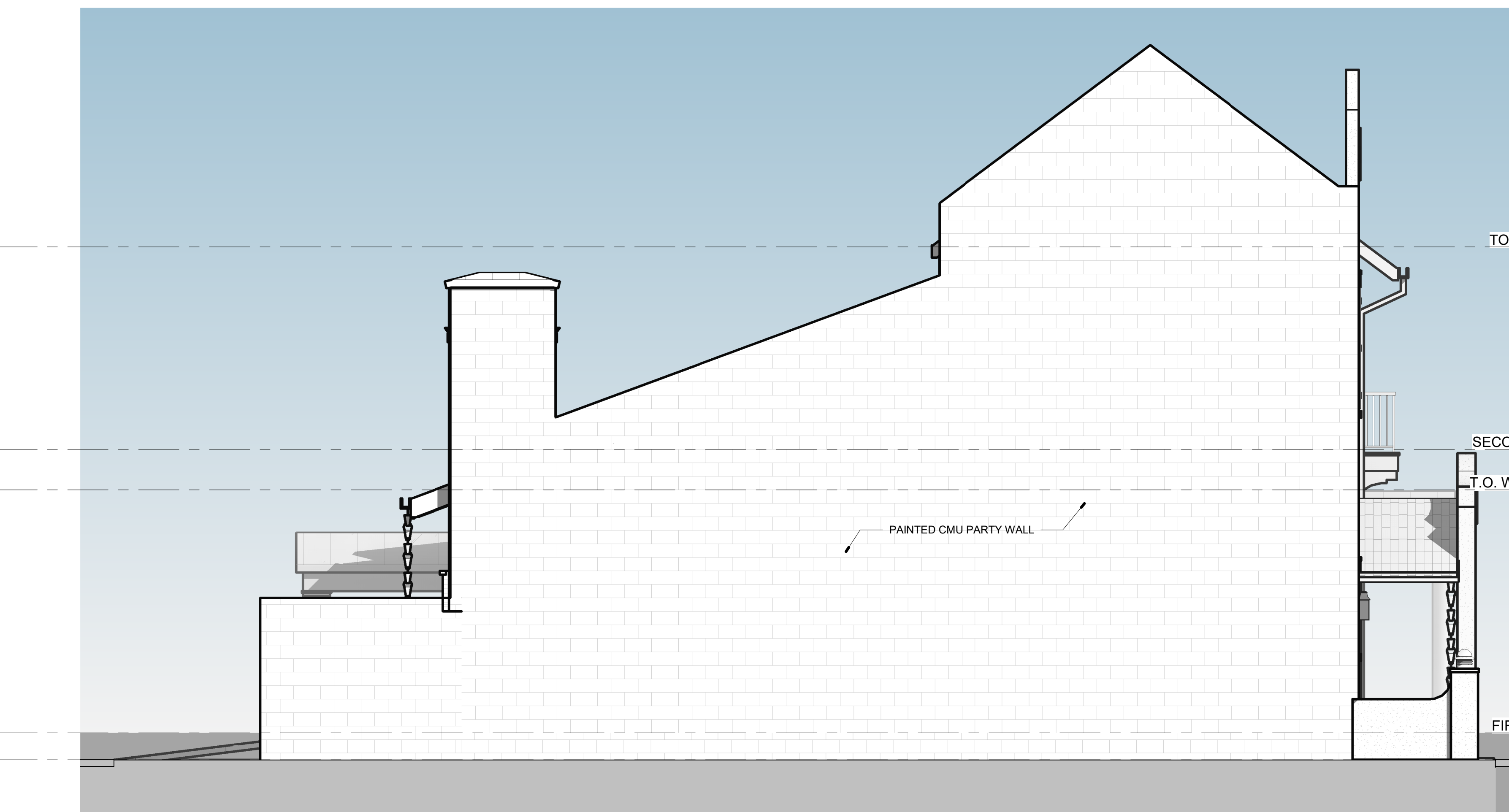
PROJECT NO:
20001



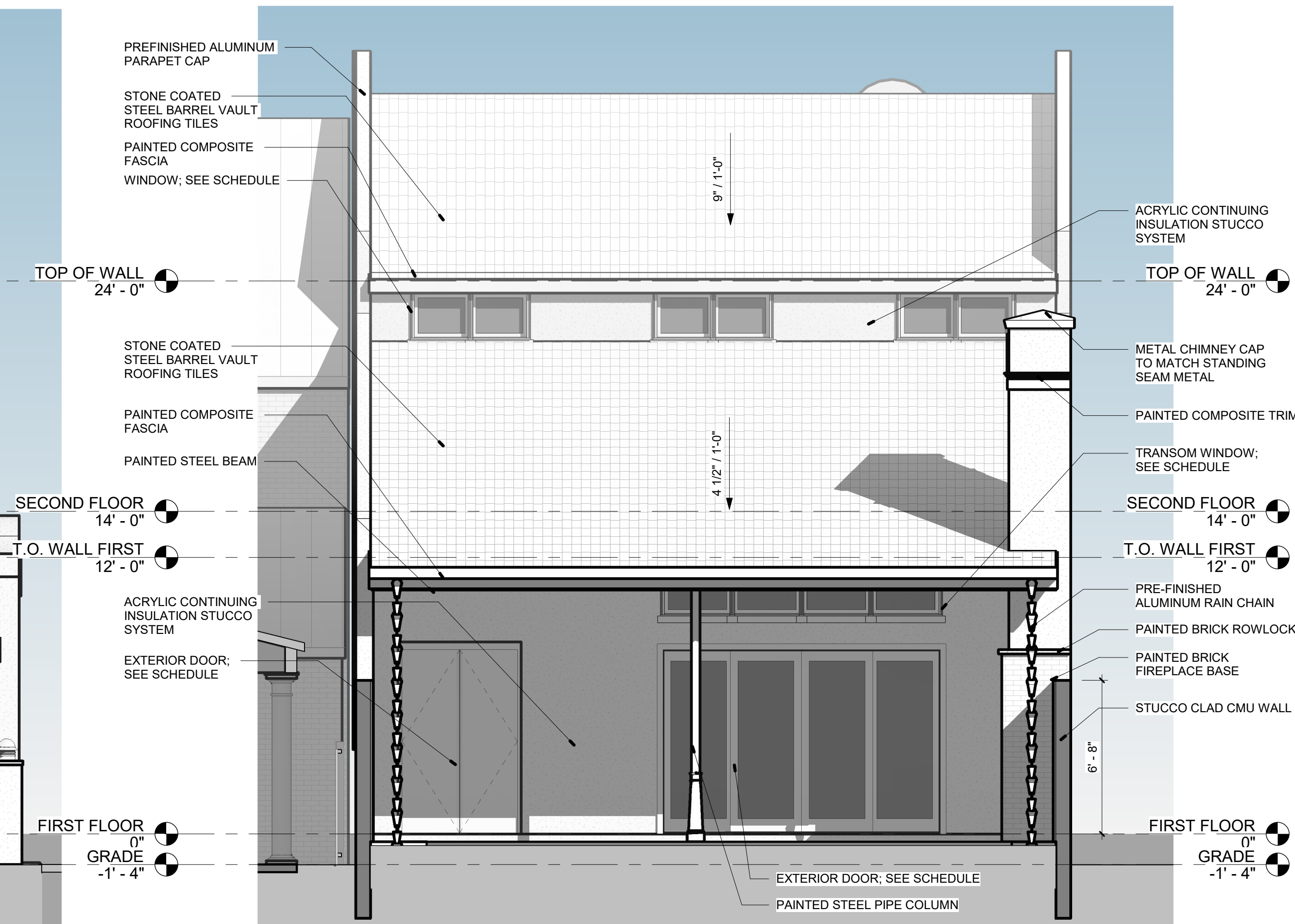
3 WEST (SIDE) ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



4 EAST (SIDE) ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



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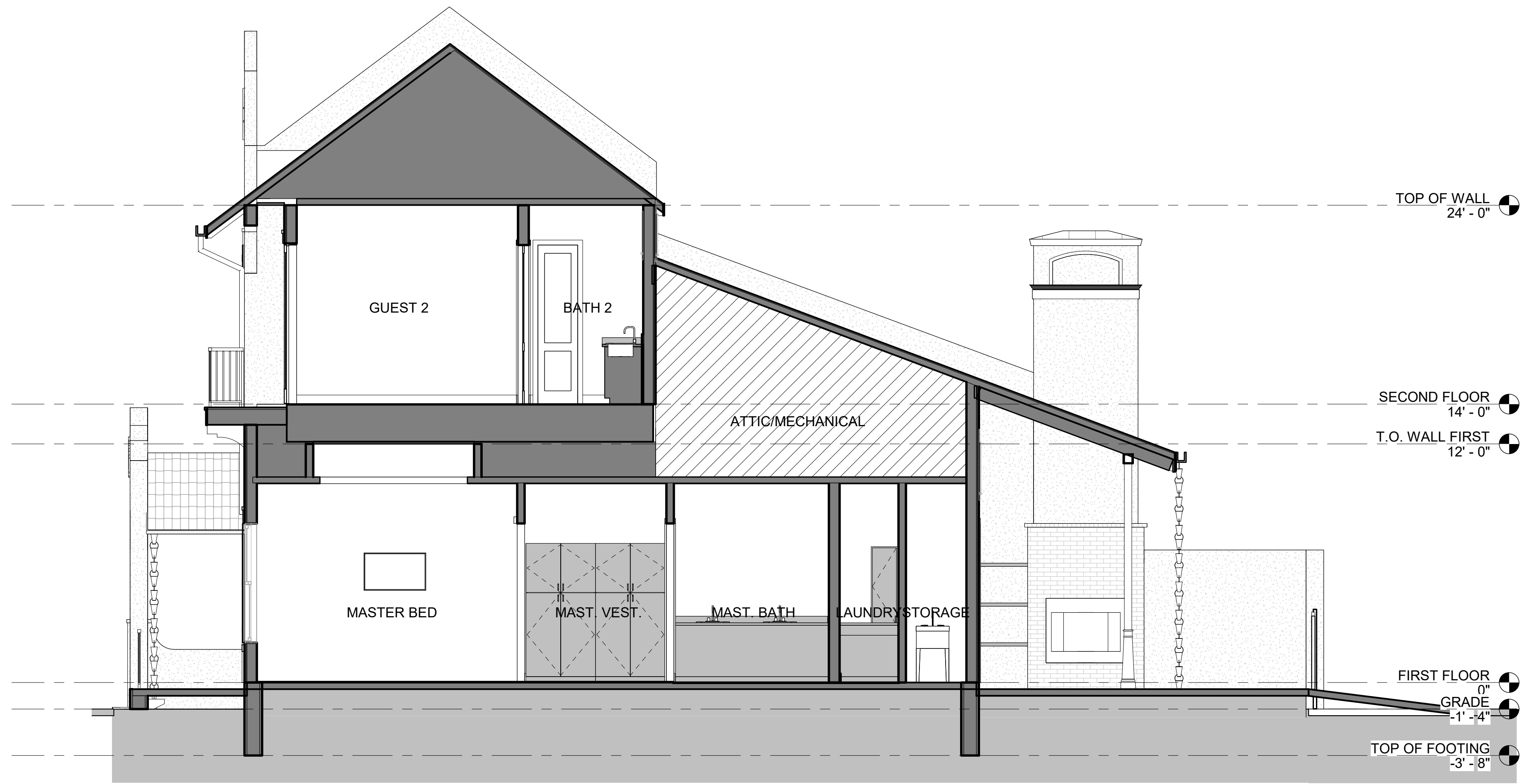
SHEET TITLE:

**EXTERIOR
ELEVATIONS**

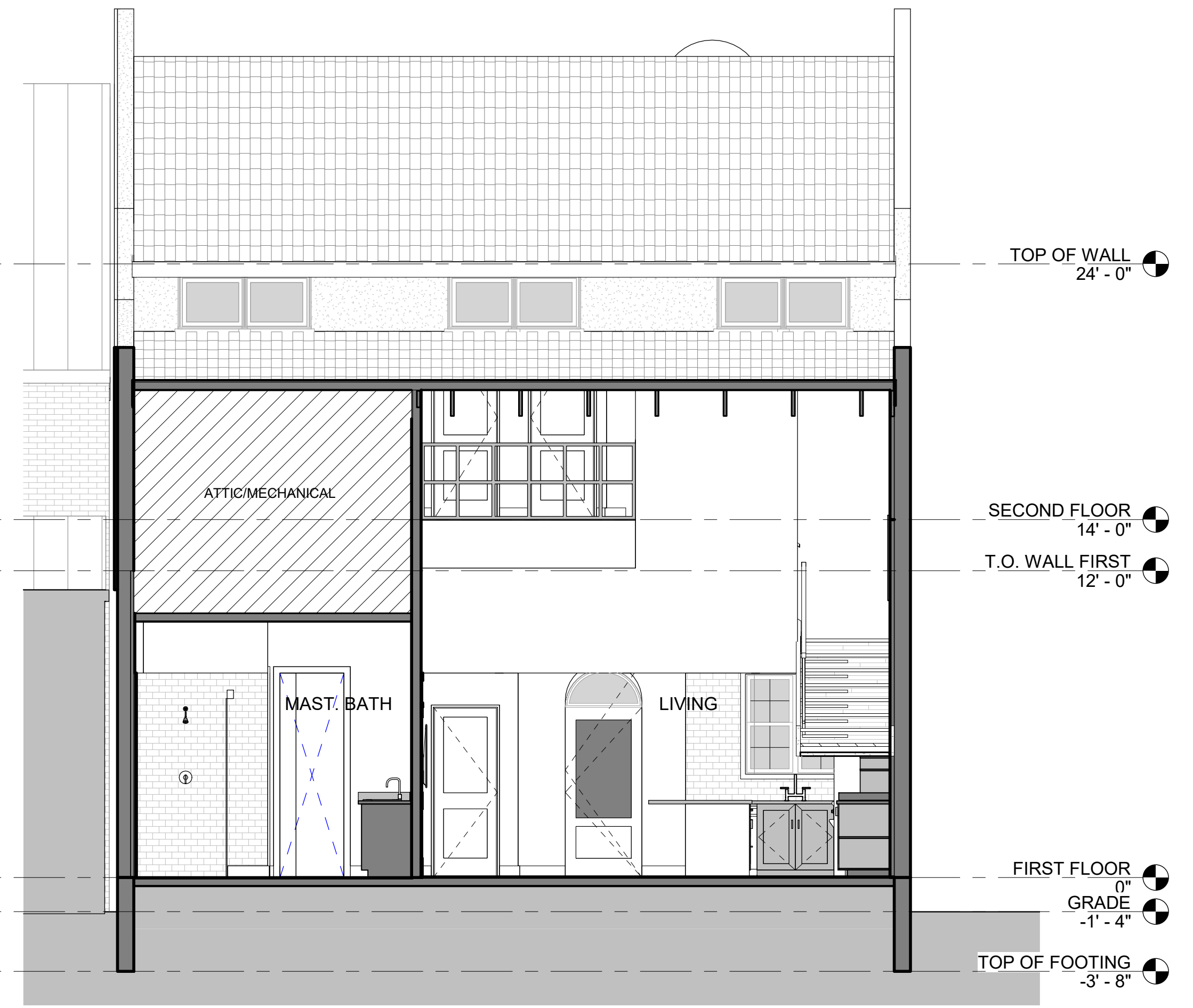
SHEET NO:

A201

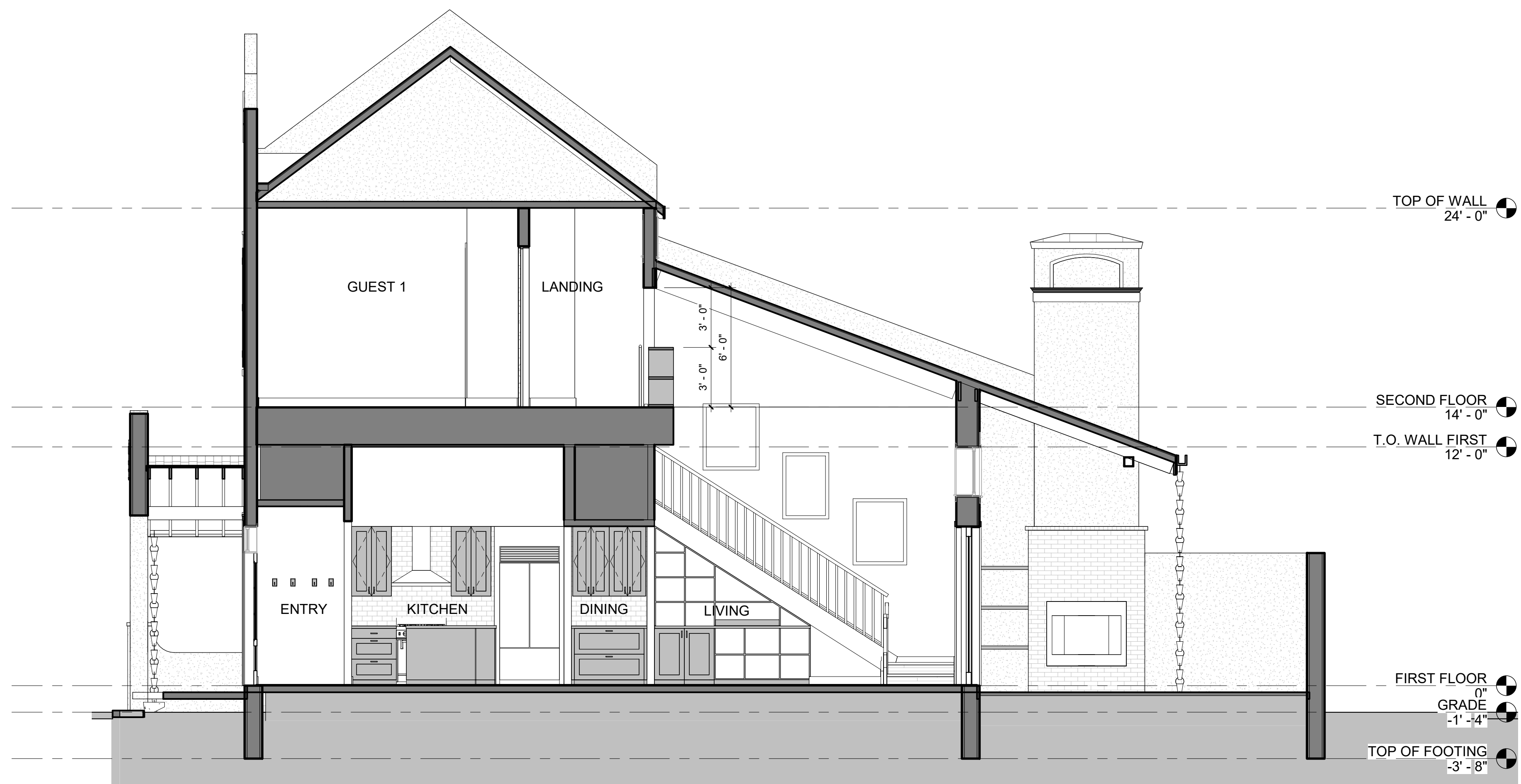
PROJECT NO:
20001



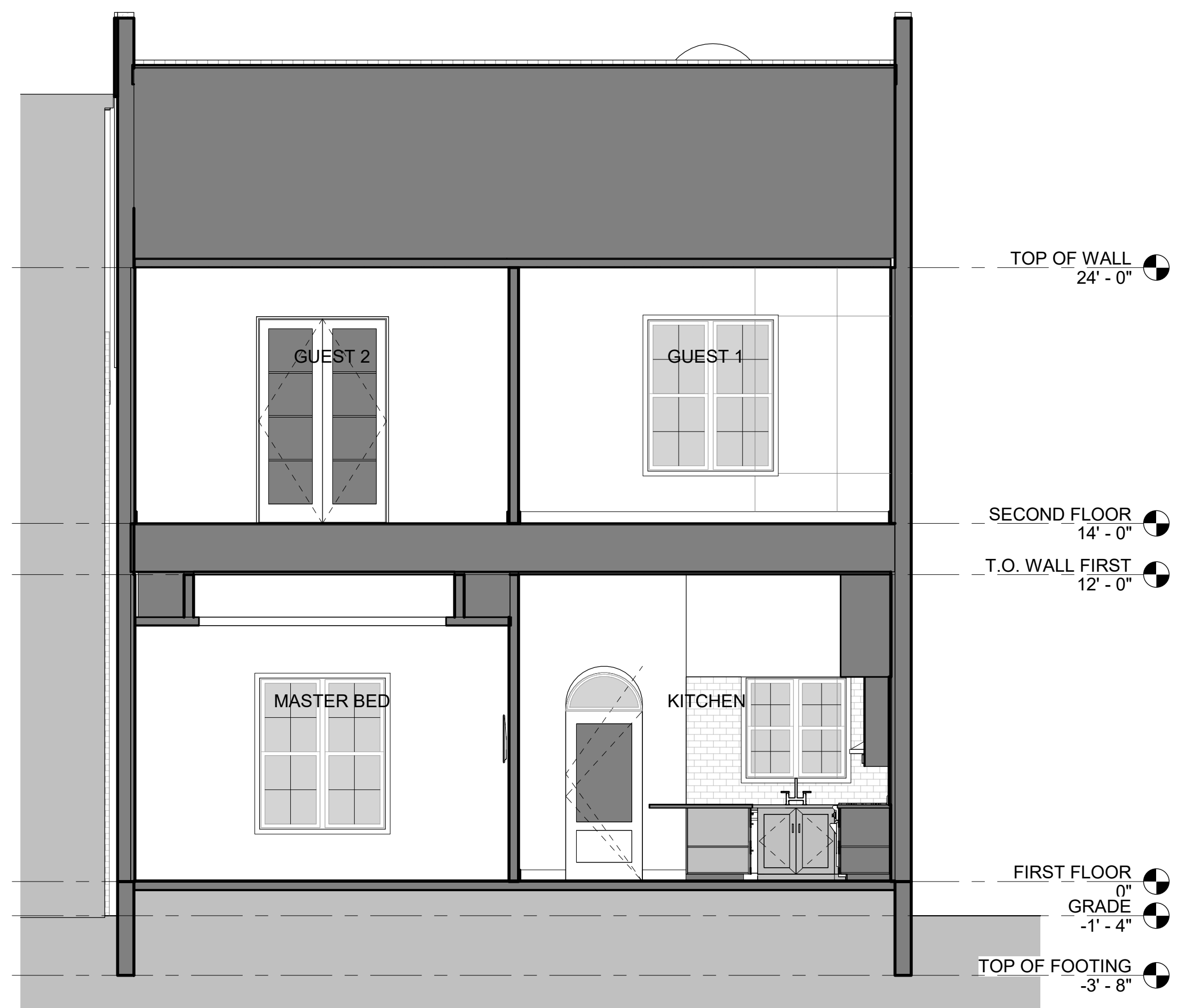
3 LONGITUDINAL SECTION A
1/4" = 1'-0"



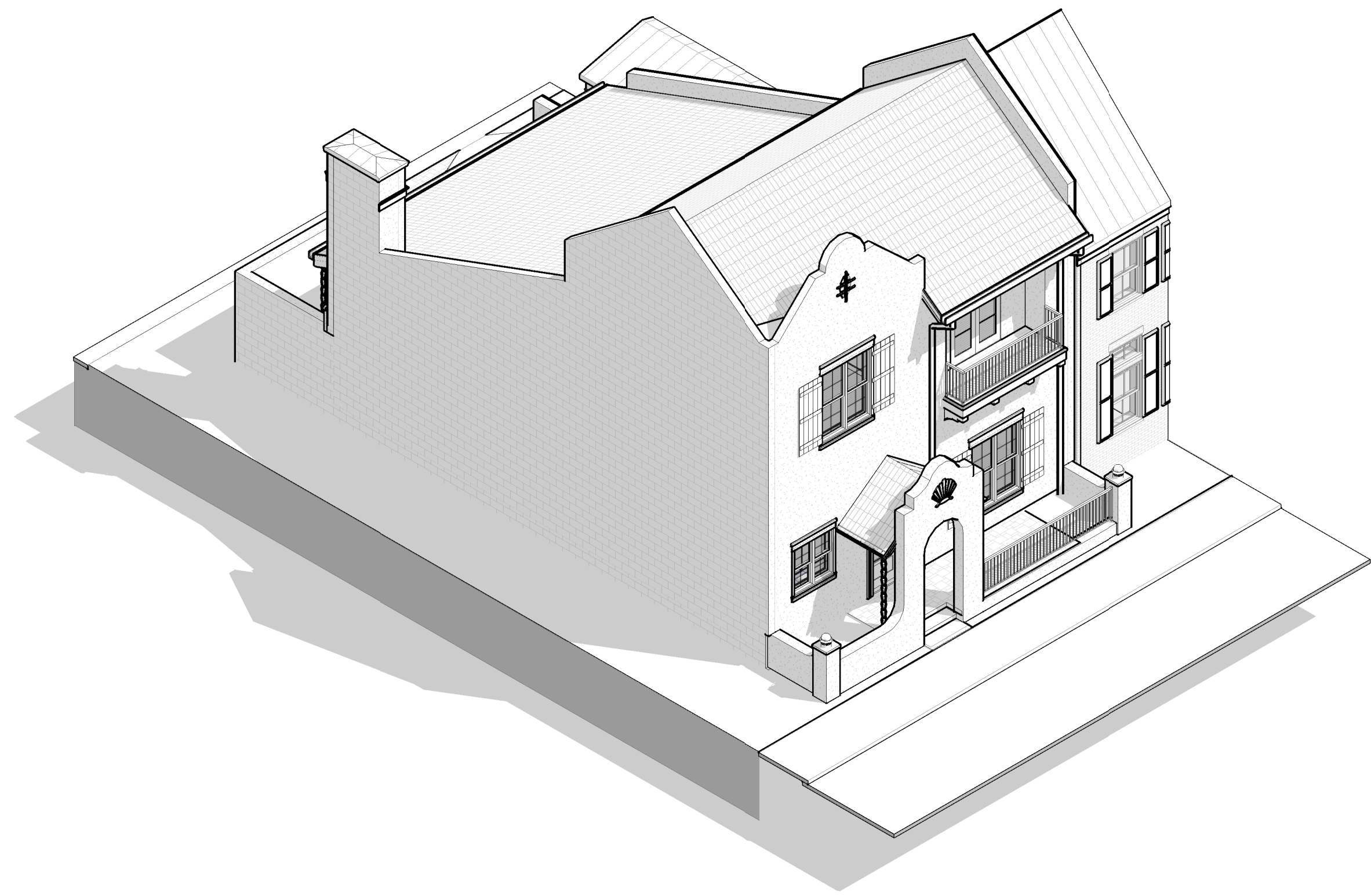
1 TRANSVERSE SECTION 1
1/4" = 1'-0"



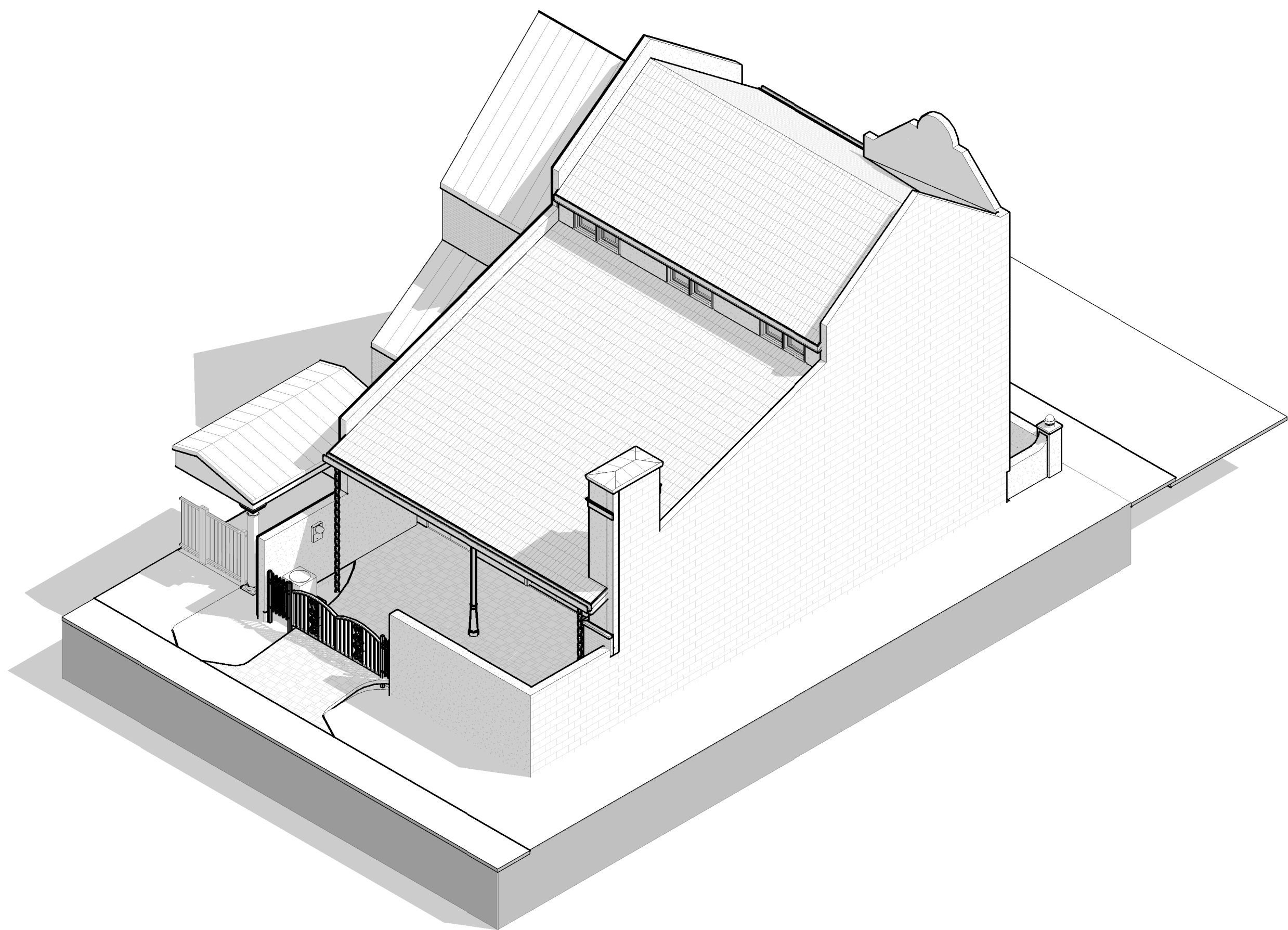
4 LONGITUDINAL SECTION B
1/4" = 1'-0"



2 TRANSVERSE SECTION 2
1/4" = 1'-0"



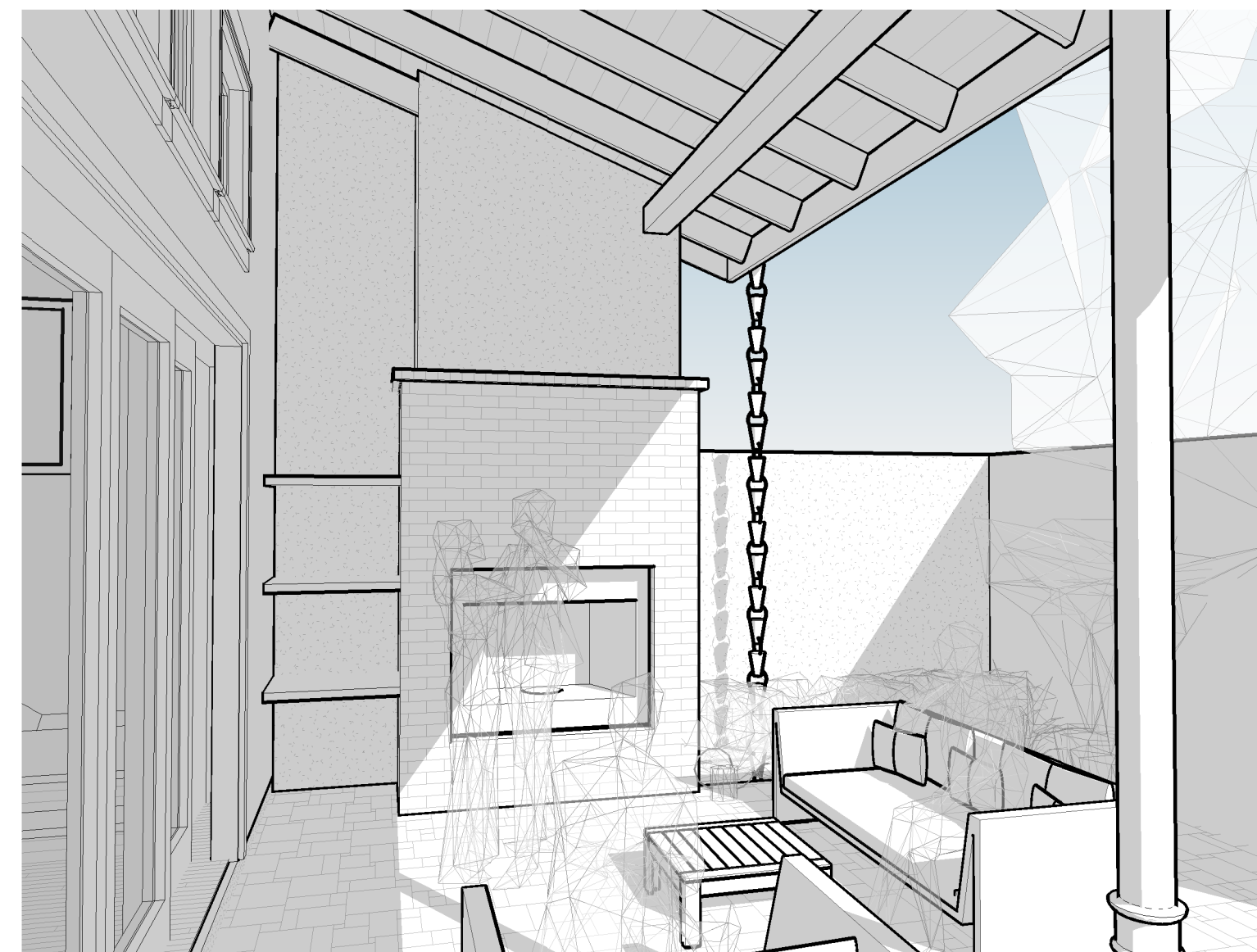
5 AXON VIEW 1



6 AXON VIEW 2



2 VIEW AT ENTRY



4 VIEW OF PATIO



1 VIEW OF FRONT



3 VIEW OF REAR

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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ISSUE DATE: 07/21/20

REVISIONS No.	Des.	Date

SHEET TITLE:

3D EXTERIOR VIEWS

SHEET NO:

A701

PROJECT NO: 20001



2 VIEW OF KITCHEN



1 VIEW FROM ENTRY



4 VIEW OF UPPER FLOOR LANDING



3 VIEW OF LIVING



5 VIEW OF MASTER BEDROOM

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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CERTIFICATION

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Bain Residence

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ISSUE DATE:
07/21/20

REVISIONS No.	Des.	Date

SHEET TITLE:
**3D INTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A702

PROJECT NO:
20001



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00356

Planning Board

8/11/2020

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 8/4/2020

SUBJECT:

Proposed LDC Amendments - Sec. 12-2-27 (D)(2). - Bayou Texar shoreline protection district. Sec. 12-2-27 (F). - Bayou Texar shoreline protection district. Sec. 12-3-3 (G). - Parking lots. Sec. 12-9-4. - Exemptions. Sec. 12-9-6 (E). - Design standards for stormwater management system.

BACKGROUND:

City staff received a request to amend Sec. 12-2-27 (D)(2). - Bayou Texar shoreline protection district. Sec. 12-2-27 (F). - Bayou Texar shoreline protection district. Sec. 12-3-3 (G). - Parking lots. Sec. 12-9-4. - Exemptions. Sec. 12-9-6 (E). - Design standards for stormwater management system. The purpose of the proposed amendments is to update the code to current standards and to improve the clarity and efficiency of the engineering review process.

Sec. 12-2-27 (D)(2). - Bayou Texar shoreline protection district.

(D) (2) *Exemptions.* Operations which shall be exempt from this section are set forth below. However, any exemption from this section does not relieve responsibility to take all action necessary to prevent erosion and sedimentation from occurring.

- (a) Home gardening or other similar activity not expected to contribute to any on-site generated erosion or chemical pollution.
- (b) ~~Emergency repairs~~ such as those on public and private utilities and roadways systems.

(c) Improvements such as driveways, buildings, pools, etc. and/or accessory structures that do not exceed 1,500 square feet and which are not part of a larger/future development plan shall be exempt from installation of a stormwater treatment facility. However, any such construction shall have proper erosion/sedimentation control meeting City standards as described in LDC Section 121-9-6(C). The City Engineer may waive or increase this requirement as warranted based upon site specific circumstances and conditions.

Sec. 12-2-27 (F). - Bayou Texar shoreline protection district.

(F) *Development guidelines.* The following guidelines should be utilized in the review of each development proposal within the district. The adoption of guidelines herein are intended to provide flexibility in the development of property within the district in a manner which balances the interests of the property owner with the public's need for assurance that development will be orderly and consistent with the intent of this section. Individual parcels of property may have physical attributes which justify departure from regulatory norms when strict application of such norms would deny a property owner a reasonable use of his property and when deviation from such norms is consistent with the intent of this regulation as described herein.

- (a) Structures should be sited to retain the maximum amount of open space for natural stormwater retention.
- (b) Where possible and practical, existing vegetation, including shoreline vegetation, should be maintained as a buffer between development and the surface waters of Bayou Texar.
- (c) Development within the shoreline protection zone which would be dependent on future bulkheading or other shoreline fortification for protection shall be discouraged.

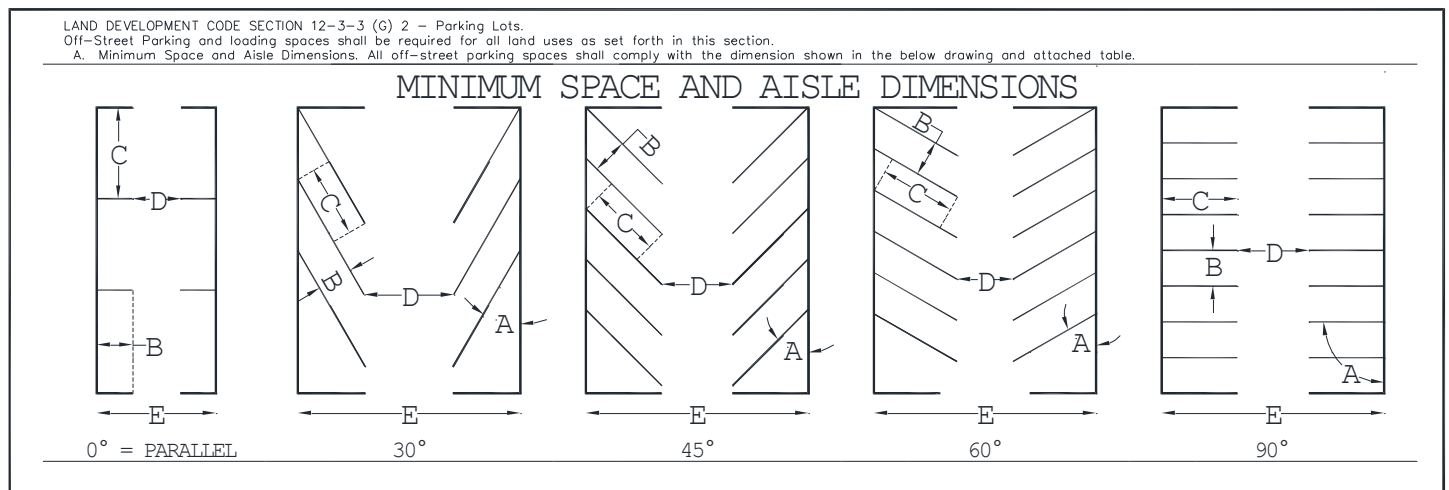
(d) Proposed stormwater treatment facility(ies) shall be situated laterally across the width of the subject property and parallel to the shoreline (or provide grading, collection, and conveyance mechanism) to the greatest extent possible, in order to route and contain stormwater runoff from the up gradient yard into stormwater treatment facility(ies).

(e) Proposed stormwater treatment facility(ies) shall be located at the farthest possible and practical downstream location adjacent to the shoreline without causing any adverse impacts to the shoreline or existing vegetative buffers. Facility(ies) shall be sized to provide treatment for one inch (1") of runoff and provide a minimum of six inches (6") of freeboard above the treatment volume elevation. The City Engineer may waive or increase these requirements as warranted based upon site specific circumstances and conditions.

Sec. 12-3-3 (G). – Parking lots.

(G) *Measurement of parking stall and/or drive aisles.* All parking stalls shall measure not less than nine (9) feet by eighteen (18) feet across the contiguous paved/improved surface and shall exclude any portion of the curb or gutter, except as provided for herein. For land uses which assign parking spaces to specific employees or residents, a maximum of thirty (30) percent of all required vehicle parking spaces may be designed for compact cars. A compact car space may be a minimum of seven and one-half (7.5) feet by sixteen (16) feet across the contiguous paved/improved surface and shall exclude any portion of the curb or gutter. The occupant or owner of the principal use for which the parking is required shall enforce the use of such assigned compact car spaces.

1. See attached Drawing “Minimum Space and Aisle Dimensions” below.



MINIMUM DIMENSIONAL AREAS INDICATED ON THE DRAWING "MINIMUM SPACE AND AISLE DIMENSIONS"						
A	B	C	D		E	
PARKING ANGLE	STALL WIDTH IN FEET (see note 1)	LENGTH OF STALL IN FEET (see note 1)	AISLE WIDTH IN FEET		BAY WIDTH (CENTER TO CENTER WIDTH OF TWO ROW BAY WITH AISLE IN BETWEEN) (see note 1)	
			1 - WAY	2 - WAY	1 - WAY	2 - WAY
0°	9	23	12	22	24	34'
30° - 53°	9	18	13	22	46' - 7"	51'
54° - 75°	9	19	20	22	61' - 2"	56'
76° - 90°	9	19	22	24	63' - 4"	62'

Note 1. DIMENSIONS SHALL NOT INCLUDE ANY PORTION OF THE CURB AND/OR GUTTER

Sec. 12-9-4. – Exemptions.

- (A) *Individual single-family and duplex homes.* Individual single-family and duplex home construction plans shall be exempt from the required stormwater management plan providing the lot is in an approved platted subdivision. However, the owner, developer, or builder will be required to submit a description of the methods they will utilize to ensure that no erosion or sedimentation will occur during construction. They will be required to clear the lot in stages such that a siltation barrier of natural vegetation around the lot perimeter will be maintained until lot stabilization is completed. If a siltation or erosion problem develops during construction, the owner developer or builder will be required to provide an additional siltation barrier and will be responsible for restoring the affected area to predevelopment condition. This exemption does not apply within the Bayou Texar or Escambia Bay shoreline protection districts.
- (B) Projects that include the addition of 1,500 square feet or less of impervious surface and which are not part of a larger/future development plan shall be exempt from this chapter. The City Engineer may waive or increase this requirement as warranted based upon site specific circumstances and conditions.
- (BC) *Other exempted operations.* Operations which shall, in any case, be exempt from this chapter are the following. However, any exemption from this chapter does not relieve responsibility to take all action necessary to prevent erosion and sedimentation from occurring.
- Home gardening or other similar activity not expected to contribute to any on-site generated erosion.
 - Emergency repairs such as those on public and private utilities and roadway systems.
 - Maintenance, alteration or improvement of an existing structure which will not change the rate or volume of stormwater runoff from the site on which that structure is located.

Sec. 12-9-6 (E). - Design standards for stormwater management system.

(E) Stormwater retention and/or detention facilities.

(a) General requirements.

1. Recovery time for treatment/retention volume shall be a maximum of seventy-two (72) hours. Recovery time for facilities that are underdrained or side drained shall be thirty-six (36) hours.
2. Minimum freeboard for retention and/or detention facilities shall be one (1) foot between design high water and top of facility. The city engineer may waive or reduce this requirement for shallow ponds and swales.
3. Stormwater retention and/or detention facilities shall include appropriate access for periodic maintenance as approved by the city engineer.
4. Stormwater retention and/or detention facilities located adjacent to a public right-of-way shall be landscaped with a visual screen installed in accordance with the provisions of section 12-2-32(D) through (G) or landscaped as a part of the overall landscaping for the development with plant species that are suitable for individual pond characteristics and that provide an effective and visually pleasing screen for the retention and/or detention facility. All landscaping shall be maintained in accordance with the provisions of section 12-6-5.
5. Designs for stormwater detention and/or retention facilities that use predominantly non-angular, freeform, curvilinear contouring that functions to visually integrate the facility into the overall design and landscaping of the development shall be encouraged.
6. Pond bottom stabilization. The method in which proposed pond bottom will be stabilized shall be: rock, gravel, planting, or sprigging. Sod is not acceptable for pond bottom stabilization.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00327

Planning Board

8/11/2020

FOR DISCUSSION

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 8/4/2020

SUBJECT:

Discussion on Proposed Amendments to the Tree Ordinance

BACKGROUND:

Text