



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, July 16, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Call to Order / Quorum

Approval of Minutes

1. [20-00351](#) REVISED MAY 21, 2020, ARCHITECTURAL REVIEW BOARD MINUTES

Attachments: [5-21-20 ARB Minutes REVISED.pdf](#)

2. [20-00352](#) JUNE 18, 2020, ARCHITECTURAL REVIEW BOARD MINUTES

Attachments: [6-18-20 ARB Minutes.pdf](#)

Open Forum

New Business

3. [20-00357](#) ITEM 1 - 4 W. DE SOTO STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA

Attachments: [Images](#)
[Application Packet](#)

4. [20-00353](#) ITEM 2 - 410 E. BELMONT STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

5. [20-00349](#) ITEM 3 - 121 E. GOVERNMENT STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-2 / BRICK STRUCTURES

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

6. [20-00364](#) ITEM 4 - 226 E. GOVERNMENT STREET
 PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / WOOD COTTAGES

Attachments: [Florida Master Site File](#)
 [Images](#)
 [Letter from UWF Historic Trust 7-13-20](#)
 [June 2020 Proposed Elevations \(for comparison\)](#)
 [Application Packet](#)

7. [20-00367](#) ITEM 5 - 200 BLK W. GARDEN STREET
 PALAFOX HISTORIC BUSINESS DISTRICT & GOVERNMENTAL
 CENTER DISTRICT / ZONE C-2 & C-2A

Attachments: [Images](#)
 [Timeline](#)
 [12-5-18 ARB Special Mtg Minutes](#)
 [Application and Materials](#)

Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00351

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

REVISED May 21, 2020, Architectural Review Board Minutes

BACKGROUND:

At the June 18 ARB meeting, Board Member Salter asked staff to revise the May 21, 2020, minutes regarding item 9, 415 N. Alcaniz Street, to include important points of that discussion.



REVISED MINUTES OF THE ARCHITECTURAL REVIEW BOARD

Revisions requested at the June 18th ARB meeting and for Item #9 are underlined and in bold.

May 21, 2020

MEMBERS PRESENT: Chairperson Quina

MEMBERS VIRTUAL: Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter

MEMBERS ABSENT: Vice Chairperson Crawford, Board Member Villegas

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera (virtual), Assistant City Attorney Lindsay, Network Engineer Chris Johnston

OTHERS PRESENT VIRTUAL: Tim Buttell, Christian Voelkel, Jordan Yee, Jim Bozeman, Mr. and Mrs. Scott Holland, Pat Bolster, Thomas Reynolds, Scott Sallis, Steve Mabee, Troy Stackhouse, George Sitton, George Williams, Charles Liberis, Stacy Snowden

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:03 p.m. with a quorum present and explained the procedures of the virtual Board meeting.

APPROVAL OF MINUTES

Board Member Fogarty made a motion to approve the March 19, 2020 minutes, seconded by Board Member Campbell-Hatler, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

213 E. Wright Street

PHBD

Contributing Structure

C-3

Action taken: Approved.

Tim Buttell is requesting approval to attach the bottom portion of the Pensacola Beach sign onto the east façade of a brick structure. Mr. Buttell addressed the Board and explained the sign would be in the parking lot and on the upper right corner of the building. He

confirmed the sign would be attached and not lit. He advised the next step would be to get engineering drawings. Board Member Salter wanted to make sure the sign was not above the parapet or covering windows. Board Member Campbell-Hatler asked about the signage and mural ordinances, and staff advised this signage did not meet the criteria of a sign, and the opinion of senior staff and legal was that it would meet the classification of art or a mural.

Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Salter, and it carried unanimously.

**Item 2
Contributing Structure &
New Construction**

425 & 427 E. Romana

**PHD/HC-1/
Brick Structures**

Action taken: Conceptual approval with comments.

Christian Voelkel, Irby & Voelkel Engineering, is seeking *CONCEPTUAL* approval for the design of a new residence as well as modifications to an existing contributing structure. The proposed work includes the combination of two lots into one parcel. Chairperson Quina asked since this was his neighbor and both were performing renovations, would this be a conflict of interest, and Assistant City Attorney Lindsay clarified there would be none and unless he would obtain a special gain or loss, it was not necessary for him to recuse himself.

Mr. Voelkel addressed the Board and explained since they had been denied moving the existing structure, it would be retained, and they would build a new two-story structure in the rear for the primary residence. They wanted to combine the lots into one address. It was determined there would be a kitchen on two floors, with one being for visiting family. They planned to have a brick skirt around the existing contributing structure with gingerbread details on the front porch and arches to tie the look into the contributing structure. Board Member Salter did not agree that the modifications to the contributing structure were in the best interest and suggested any skirting accent the existing masonry piers. He also suggested the mullion pattern on the replacement windows should be vertically oriented 2 over 2, maintaining its historical original architecture. It was determined they planned for the existing windows to coordinate with the new structure. Chairperson Quina advised the windows needed to be wood framed since those would have been the original; the applicants preferred a clad product for both. Board Member Salter asked if anyone would have a problem with the two structures not matching. On the new structure, the east elevation windows were a little tight to the chimney, and the grade needed to be at least 18". Chairperson Quina was concerned with all of the arched windows since they were not common to this district. He also pointed out the concrete step which was almost the entire width of the property. Mr. Voelkel indicated they would probably go to a rectangle window with a transom on the two sides, keeping the front and rear with arched windows. Regarding the steps, the idea was for a grand entrance to walk up to either house. He also explained the parking would be on-street only and confirmed this would be a primary residence and not an Air BNB.

Board Member Campbell-Hatler felt the March 2019 drawing was more appropriate with the house not being as massive looking. It was noted the Board's concern was with the earlier concept of moving the smaller building to the rear. Advisor Pristera agreed in

showing the piers, and the gingerbread was not appropriate since the shotgun homes were simple.

Board Member Campbell-Hatler made a motion to approve conceptually with no gingerbread on the contributing structure; okay with the recessed columns on the contributing structure; the windows being remade; reduce the width of the steps to be more in line with the district; reduce scale and massing to go toward the original March 2019 submittal; to have rectangle windows. Board Member Salter amended the motion that the retaining wall be replaced to what was more typical to this area. The amendment was accepted, and the motion seconded by Board Member Salter, and it carried unanimously.

(Board Member Mead joined the meeting.)

Item 3

100 BLK W. Garden

PHBD / C-2A

New Construction

Action taken: Conceptual Approval with amended site plan.

Jordan Yee is requesting a second *conceptual review* for a two-story commercial development. This project received conceptual approval in September 2019. The future site will be located in the south half of an existing parking lot on the northeast corner of Garden and Spring Streets.

Mr. Yee addressed the Board and stated the building now faces Garden Street with the mass of the building along the property line with the Bank of American building, and it opens the greenspace to the Spring Street elevation. There will be a restaurant space on the corner of Garden and Spring. Board Member Campbell-Hatler thought this was a better orientation, and Board Member Mead agreed it opened up better to Spring Street. Board Member Fogarty felt it was a great project especially considering working with social distancing. Board Member Salter recused himself from the discussion since he was involved in the development.

Board Member Fogarty made a motion to approve with amendments to the site plan, seconded by Board Member Mead, and it carried with Board Member Salter abstaining.

Item 4

15 W. Strong St

NHPD / PC-1

New Construction

Action taken: Approved.

Jim Bozeman is requesting approval for changes to three new single-family residences. Although this project was initially approved in September 2017, revisions to the elevations were denied by the Board in March 2020. Materials from the past 2017 and 2020 packets were provided to the Board.

Mr. Bozeman addressed the Board and stated they placed the gables on the roofline, 2' projected balconies on the side as requested, and the handrails will be pressure treated wood or a composite and no powder coated aluminum. Mr. Liberis withheld comments. Board Member Mead advised the revisions were very responsive to the Board's comments and consistent with the overall plan. Chairperson Quina explained the revisions had addressed the North Hill comments.

Board Member Mead made a motion to approve the resubmission, seconded by

Board Member Salter, and it carried unanimously.

Item 5

800 BLK N. Baylen

NHPD / PC-1

New Construction

Action taken: Approved with comments and abbreviated review.

Jim Bozeman is requesting elevation changes to four new single-family residences. This project was approved by the Board in September 2017. The revised elevations are consistent with those submitted for 15 W. Strong Street. Nearly all of the materials and color scheme has remained consistent as approved by the Board in 2017.

Mr. Bozeman presented to the Board and stated the changes were similar to the previous Building F. The gables were added, and the balconies were at 1.5'. He explained the A/C balcony and location. Board Member Salter addressed the rear elevation A/C units and asked if they could be located on the ground; Mr. Liberis advised he could move them to the side of the building without the mechanical balcony. Board Member Mead agreed the equipment balconies should go with the A/C being placed on the ground. Board Member Salter asked that they keep the rear windows in mind when making the adjustments.

Board Member Salter made a motion to approve with the modification of the removal of the equipment balconies on the rear elevation and that a revised rear elevation be submitted for abbreviated review, seconded by Board Member Mead, and it carried unanimously.

Item 6

314 S. Alcaniz Street

**PHD / HC-1 / Wood
Cottages District**

New Construction

Action taken: Conceptual Approval with comments.

Scott Holland is seeking *CONCEPTUAL* approval for a new two-story, single-family residence. The demolition of the existing non-contributing structure was approved in December 2019 and a Variance to reduce the required rear yard setback was denied in February 2020. Since then, the applicant has revised the site plan to accommodate the zoning setback requirements.

Mr. Holland addressed the Board and stated without the Variance, the footage of the house increased to 2,042 sq. ft. He had gotten permission to remove the tree at the rear, but he would be replanting oak trees in the area between the property line and the edge of the road. Board Member Mead asked about the west elevation louvers, and Mr. Holland indicated his desire was to make the louvers operable. Mr. Mead's concern was when the shutters were open that they fit within the frame of the façade, and Mr. Holland agreed this was a viable comment. Board Member Salter pointed out the bronze metal railing was not typical with the district, and Board Member Campbell-Halter felt the bronze was more traditional and liked the converging of the two timeframes. Mr. Holland indicated the columns would be either be mahogany or Spanish cedar; since he was trying to meet a 200mph wind load he would be using a steel or structural aluminum core. Staff explained the Streetscape Type 2 features in the LDC, Figure 12-2.1 for the Wood Cottages District. Regarding the extensions on the north and east elevations, Mr. Holland stated he would probably change that from stucco to wood. Chairperson Quina advised the railing type for this district is typically wood. Board Member Salter stated if the bronze material becomes part of the architecture that spreads throughout the house and some of the other detailing,

that concept would probably work.

Board Member Salter made a motion to approve with the comments noted in discussion for material consideration, seconded by Board Member Campbell-Hatler, and it carried unanimously.

Item 7

919 N. Baylen Street

NHPD / PR-1AAA

Contributing Structure

Action taken: Denied without prejudice.

Pat Bolster, Merrill Land Construction, is requesting approval to replace the roofing on a contributing structure. A sample of the existing cement tile shingle, profile and the proposed Terracotta tile were provided to the Board.

Chairperson Quina advised the guidelines from the Secretary of Interior Standards indicate they would request the use of the same material if it is available. Mr. Bolster stated the existing tile had been discontinued. The idea was to go with a product for maintenance in the future in a similar product. He explained this roof had been replaced in 1984 or 1985, with the original being clay tile. Mr. Reynolds stated the roof has leaked since Ivan in 2004, and he felt the concrete tiles were a part of the problem since they were unbelievably heavy. They wanted a product that looked the same but performed better. He also believed the Antique Chestnut was closer to the existing tile, and Mr. Bolster agreed. Advisor Pristera stated he could not find pictures of the original roof. He also found the 200 block of West Lloyd which had this type of roof, but since you could still get Terracotta and concrete, the Secretary of Interior Standards would prefer the more historic material.

Board Member Salter asked about the difference in price, and Mr. Bolster advised metal shingles were 70 percent of the cost of the replacement concrete tiles; there has also been water damage to the roof and having a lighter material would make the actual roof structure last longer. Chairperson Quina stated this was a very unique building in North Hill, and the Board was not supposed to consider cost when analyzing the appropriateness of replacement materials. Board Member Salter stated as unique as this structure was, the primary concern was the aesthetics, and if the profile of the tile and profile of the edge is more dominant in this situation, he would not have a problem with it. Advisor Pristera pointed out you can still get the original materials, and the faux products have to match what the original material was, and he felt this material was not appropriate. Mr. Reynolds stated the reasons they went in this direction was because the concrete tiles were part of the reason the roof was struggling, and they were not interested in replacing the roof with concrete tiles since they were not the original roof anyway. He explained the Decra tile was a substantial product, and his hope was that it would look and perform better than the concrete tile. Chairperson Quina pointed out once you remove the concrete tiles, you would place some sort of single-ply membrane down with flashing which would take care of all the waterproofing. The concrete or clay was a weathering surface which would last if the under layer was properly installed. He proposed the concrete or clay would be more expensive, but would be a more lasting roof than the metal product with asphaltic material. His feeling was that the asphalt would eventually fade away, and you would begin to see a metal roof.

Board Member Mead asked if there as a time pressure for this project. Two points to consider would be how this product had performed in the real world, and terracotta would

be lighter than the concrete tile which was not the original roof. He suggested the item be resubmitted with information on the product performance and comparison to a typical terracotta product or something along those lines. Mr. Reynolds explained the turnaround time would be 12-16 weeks for concrete tile production, with the Decra being significantly less, and hurricane season approaching. Board Member Campbell-Hatler suggested looking at 398 Bayou Boulevard for a new version of the curb tile.

Board Member Mead made a motion to deny without prejudice for resubmission with information on the performance of the stone-coated metal product for better judgement. The motion was seconded by Board Member Campbell-Hatler and carried unanimously.

Item 8 **113 N. Palafox Street** **PHBD / Zone C-2A**
Non-Contributing Structure
Action taken: Approved.

Scott Sallis is requesting approval to modify the front and rear of a non-contributing structure. Mr. Sallis presented to the Board and stated the canopy structure was shared with the adjacent building and would be repaired. Board Member Salter stated he appreciated the old storefronts on this section of Palafox, and this awning was a part of this. He did not think the modern shed awning was a positive impact on this streetscape; the awning was one of the few remaining elements of a period of time. Advisor Pristera advised it was hard to find old pictures of this block. This was not original but represented a period of time. Board Member Campbell-Hatler liked the presentation since it would not look alike, and the change in the rhythm was quite nice. Board Member Fogarty suggested it also helped enhance the pedestrian experience. Board Member Mead stated this has precedent in terms of treatment of the Palafox frontage. He also explained retail spaces are variable, and we don't keep everything from every era since some are not worth keeping. He also appreciated the rear façade detail, and felt the overall presentation would be a great addition to the Palafox Street frontage. Board Member Salter explained it was not the specific canopy, but it was the style of architecture and the streetscape with the continuous canopy. The trend of the storefronts getting their individual canopies would break up the street front, and a bracket-mounted canopy as proposed would not be a positive addition in this area. **Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Mead. The motion carried 4 to 1 with Board Member Salter dissenting.**

Item 9 **415 N. Alcaniz Street** **OEHPD / OEHC-1**
Non-Contributing Structure
Action taken: Approved with comments.

Scott Sallis is requesting final approval to renovate the 1928 Mount Olive Christian Church. The plans depict an Air BNB-style boarding house with a new restaurant, bar, outdoor dining and event space.

Mr. Mabree presented to the Board and indicated they were excited to be working on this building. Mr. Stackhouse explained he was excited to work with this property as well. Mr. Sallis advised the project had not changed that much, and they hoped to begin demolition in the next few weeks and start the work in June. He stated their intent was to make this

an Air BNB model lodging house as a mixed use with a restaurant and complimentary bar on the ground floor dining plaza which is submerged under the earth at a range of 3 to 4 feet. On the south side, they will create a covered dining plaza connecting to an open plaza for events. Most of the new construction is independent of the building, which allows much of the structure to be retained. They intend to re-stucco and finish all of the existing stucco base and paint the existing brick. To meet energy code, condition the space, and to keep moisture out, and elastomeric paint was the easiest tool to accomplish this. He pointed out the neighborhood association comments embraced this renovation. Since it did not make sense to have windows in the kitchen which are behind kitchen equipment, those windows would be filled with masonry and not really visible. As of now, there are windows in the exit stairs, but it was possible that Inspections would not allow this, however, they will be working with that department.

Board Member Salter was excited for the direction of the project but was still concerned with painting the brick since it had a beautiful pattern. **The pattern of the building was noted to be a Flemish bond with glazed brick headers and is unique for the area.** However, simply painting the brick would not solve the water intrusion problems, and there were methods of addressing this from the interior. Mr. Sallis knew of these methods but there were very few ideas for high humidity areas. **Mr. Salter stated that he has researched and found specific and proven methods to address these issues without the need to paint brick and that are applicable in this climate zone. Mr. Sallis continued to state that the** patterns of the brick are in small portions at the front of the building, and they would remain as they paint the brick. He pointed out the masonry of the building was atrocious with random uses of the brick, clay tile and different sizes of brick; there was nothing standard in the masonry. **Mr. Salter stated that he thought Mr. Sallis was being misleading regarding the extent of the decorative pattern and condition of the brick. Both streetscape elevations (north and east) have the Flemish bond pattern which are in very good condition and all of the headers are glazed. While the other two (west and south) elevations only have a common running bond pattern, they are also in good condition.** Mr. Sallis confirmed in replacing the windows, they were taking out the glazed brick. Mr. Mabey emphasized the paint would protect the building for another 100 years, and it would survive longer by being protected in this fashion. Board Member Mead did not feel he had enough proof that would support the painting.

Advisor Pristera indicated he agreed with Board Member Salter in that the street sides had a nice brick pattern with no major issues, and painting seemed to be a cosmetic concern; he did not see painting it as a solution to water issues. Old Christ Church still has water issues, and it was originally painted.

Board Member Fogarty understood the concerns but felt painting was a nice solution to a somewhat chaotic and neglected façade. Board Member Campbell-Hatler agreed that painting would be a nice facelift and would be amazing for that block but was also concerned about the interior moisture. Board Member Mead agreed with this issue in pushing the moisture from the exterior to the interior. Mr. Sallis explained the inside of the building is chaotic masonry which is exposed, leading to the collapsing of the plaster. He advised they would be installing new structural studs which will allow for new insulation and sheetrock inside. He also stressed he needed the Board to place them in a position to pull a permit.

Board Member Campbell made a motion to approve assuming the windows in the hall pass the Inspections Department. Board Member Mead proposed a modification that the Board take up the suggestion that the question of painting the brick on the upper portions be submitted to an abbreviated review to study the degree and quantity of deterioration of the brick, of the proposed systems deal with that deterioration whether by repointing and rehabilitation of the existing brick surface as it stands without painting, or if in the opinion of the architect during the abbreviated review, the painting and other systems dealing with the moisture problem is the best solution to preserve the fabric of the structure. The modification was not accepted. The motion was then seconded by Board Member Fogarty. The motion carried 3 to 2 with Board Members Salter and Mead dissenting.

Item 10 **1915 N. 11th Avenue** **R-1AA**
Historic Structures Demolition Review **Fairnie Hill Place**
Action taken: Delayed for 60 days.

Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to its architecture. Historic Preservation Planner Harding read the ordinance to the Board.

Mr. Sitton presented to the Board his desire to build on this property. Chairperson Quina advised this structure had some strong visual elements, and this building would be a contributing building if East Hill had a historic district. Advisor Pristera stated the architectural detail on this structure was more than on the surrounding houses, and it represented the 1930s; he felt the Board should review it. Mr. Sitton agreed the outside was neat, but it was really unsafe to walk inside and was in really bad shape; the land value was worth much more than the structure. He felt rebuilding would be more contributing to the neighborhood. Board Member Mead shared a picture of the home in 2013 when it was reasonably maintained. Mr. Sitton pointed out with the interior condition, it had been neglected for more than seven years, and it would take \$100,000 to repair the home and make it right. He planned to build two nice homes on 60' wide lots. Board Member Mead advised he would have to subdivide to accomplish this, but he had one really nice house with two sidewalks, and if he preserved the house, he would end up with three sellable structures as opposed to two. If the City was going to allow some leeway for preserving a historical structure, he could build two compatible structures, sell the historical home and come out ahead. He also explained variances in the setbacks were available when trying to save a historical structure which might fall within the guidelines as a hardship. He asked that Mr. Sitton explore this possibility within the 60 days to see if there was a better way to preserve the value of the structure and possibly coming out economically ahead.

Board Member Mead made a motion to deny the request for 60 days, seconded by Board Member Campbell-Hatler, and it carried unanimously.

Item 11 **190 W. Government** **GCD / C-2A**
Non-Contributing Structure
Action taken: Approved.

Ben Townes, Townes + architects, is requesting approval for additions to the MC Blanchard Judicial Center. The proposed work includes adding a covered canopy to the main east

entrance and several concrete security planters which will match the existing planters on site. Mr. Townes presented to the Board and stated this structure would give almost 1,000 sq. ft. of coverage to protect citizens from weather elements when the County conducted jury selections.

Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Fogarty, and it carried unanimously.

Item 12

804 E. Wright Street

OEHPD / OEHC-2

New Construction

Action taken: Approved with comments.

George Williams is providing revisions to a new single story retail building. The revisions include changes and clarifications to the landscaping, the storm water layout, details on the front brackets, and the final storefront details. This project came before the Board in March 2020 where it was approved with an Abbreviated Review to follow. That review was referred to the Full Board.

Mr. Williams presented to the Board and provided photos to illustrate the existing retention pond which is barely visible and the final landscape plan which would blend with the old and camouflage the new surface retention swales. The front two columns are now 8"x10" and in developing the engineering plans, they took advantage of the sloping of the side from north to south on the back of the lot toward the street. Now the porch on the front of the building is 30" plus or minus above grade which gives the opportunity to create steps to alleviate the problem of walking underneath the columns. Board Member Salter addressed chain link fencing at the retention ponds, and Mr. Williams stated there would be no chain-link fencing at the swales. He also explained the CMU foundation would be parge coated and concealed with paint.

Board Member Salter made a motion to approve as submitted with the notation the questions asked would be in the final design as addressed with the parch coating CMU base and no chain link fence around the ponds. The motion was seconded by Board Member Mead and carried unanimously.

ADJOURNMENT – With no further business, the meeting adjourned at 5:32 p.m.

Respectfully Submitted,



Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00352

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

June 18, 2020, Architectural Review Board Minutes



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

June 18, 2020

MEMBERS PRESENT: Chairperson Quina, Board Member Mead

MEMBERS VIRTUAL: Vice Chairperson Crawford, Board Member Fogarty, Board Member Salter, Board Member Villegas

MEMBERS ABSENT: Board Member Campbell-Hatler

STAFF PRESENT: Historic Preservation Planner Harding, Board Advisor Pristera (virtual), Assistant Planning Director Cannon, Network Engineer Chris Johnston

OTHERS PRESENT VIRTUAL: Fredrick and Julia Hoeschler, Scott Sallis, Christy Cabassa, Bobby Switzer, Kimberly Thompson, Brian Spencer, Jim Veal

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:02 p.m. with a quorum present and explained the procedures of the virtual Board meeting.

APPROVAL OF MINUTES

Board Member Villegas made a motion to approve the May 21, 2020 minutes, seconded by Board Member Mead, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

905 N. Barcelona Street

NHPD

Contributing Structure

PR-2

Action taken: Approved with Abbreviated Review

Fredrick and Julia Hoeschler are requesting approval to re-install the screen on their side porch. Photographs from the 1960's and 1990's show the side porch as screened in. The new porch will have a white aluminum frame and charcoal inset screening.

Mr. Hoeschler addressed the Board and stated he had planned to install the screen on the outside of the columns to keep the columns from being seen from the street and to match the historical pictures. His builder had suggested using aluminum framing instead of wood.

One of the ideas was to try to mimic the railing on the apartment. Chairperson Quina mentioned North Hill's comments stating no frame materials are listed but screen framework and the door should be wood, not aluminum, and they recommended the framework elements and door be painted black or another darker color. Mr. Hoeschler advised they were intending to match the framework to the trim of the house which he pointed out in other homes. Chairperson Quina explained the color was not a problem, but he was concerned with the materials being used. Board Member Mead agreed with North Hill in that making the color dark would basically let the screening element go away as an architectural feature; if it were to be white, he did not feel it appropriate to take a high classical looking column arrangement and tie it to the much more mundane manner of the accessory building. It would make more sense to take elements from the main structure, and he recommended sticking to the suggestions from North Hill and let the screening be behind the columns in a dark color and let the bones of the exterior house show pretty much as they are. Board Member Crawford agreed with making the screening element disappear as much as possible. Mr. Hoeschler advised they could place the screening behind the vertical porch columns without the vertical uprights.

Board Member Mead made a motion to approve the addition of the screening on the conditions that the screen and framing be installed behind the column line and as the applicant has described, the vertical uprights be conjoined behind the existing columns without the intervening vertical uprights between the main columns of the porch, and that it be made in a bronze or black or similar material to come close to the same tones of the screening material and that it not have the "X" features in the banding below the horizontal support. Board Member Crawford amended the motion to select the screening material which is more transparent. Mr. Hoeschler agreed to this suggestion, and it was accepted by Board Member Mead, and he suggested that the upright supports, metal and screening colors be submitted for abbreviated review. The motion was seconded by Board Member Fogarty. The motion then carried unanimously.

Item 2

226 E. Government St

PHD / HC-1

Contributing Structure

Wood Cottages

Action taken: Denied Conceptual Approval

Christy Cabassa is requesting conceptual approval to modify and add on to a contributing structure. This packet addresses three primary requests. The first is for the design, window locations, and additions to the primary structure and rear yard. The second is for the consideration to use Hardi Roughsawn siding. The third is for the consideration to use either Fypon or Azek for the trim and window surrounds and a custom synthetic trim for the corbels, porch trim and details to replicate the existing.

Ms. Cabassa presented to the Board and stated they were asking for aesthetic approval for the placement of windows, additional porches and balconies since this structure would be turned into a single family home for the Switzers. She explained the structure was originally on Gregory Street and moved to the present location in the 1970s. She stated they wanted to bring the house up to Code and use Hardi siding with synthetic material for the trim and corbels which would be more enduring. Windows and doors would be replaced with impact resistant windows and doors. Chairperson Quina asked if they were aware of

the guidelines for building in the historic district of Seville where like materials should be matched with like materials if available; he did see this structure as a historic home. Mr. Switzer stated one of the reasons it might be contributing was because of its Italianate design and one of two in the district which made it contributing, however, what did not make it contributing was moving it there before the historic district existed, and viable products which surpassed the quality of wood were not available at that time. He wanted to discuss the design changes first.

Chairperson Quina stated typically when the Board reviewed this, the focus was on the primary façade which faced south, and there was a fairly major change with the two-story balcony in adding a balcony to the structure which had never had one, and he felt it added to the façade. Formerly being used as an office, the relationship to the street was not as important as it would be as a residence. Board Member Mead felt that attention to the balusters would be critical to making it fit the Italianate language. His main concern was with the windows – 4 over 4 and 6 over 6 fit more appropriately with the typical Italian styles, and the French doors and transoms did not fit the house as a whole and what Italianate would be. He was not opposed to the 1 over 1 since there were a lot of them in this particular style, but the muntins fit better to the Italianate form than the much simpler fenestration details.

Board Member Salter felt the proposed revision of the more flat pediment over the windows took away from the architectural styling of the home. Ms. Cabassa stated the reason they went from the sloped pediment to the flat was for flashing reasons with the water; the sloped pediments became a water intrusion problem. Board Member Crawford agreed with Board Member Salter and suggested the front should remain with the original design to maintain its integrity. Board Member Villegas was not as concerned with the other sides of the structure, but with the difference in windows on the front, there were architectural details which were important and details that mattered. She believed this structure was contributing to this area even though it had been relocated. Mr. Switzer stated the home was remodeled in 1978, and the porch was not with the original house – this was a 1978 porch, and the windows were 1978 and not original. Advisor Pristera had no pictures of the structure pre-1978. Mr. Switzer stated the addition in the 1980s mimicked the windows on the front, but they were trying to stay true to the Italianate design.

Regarding the blank wall on the west elevation, Board Member Mead felt it was not appropriate to rely on something as transient as vegetation or landscaping which may or may not obscure part of a building for a particular period of time and be done away with when it was not in the applicant's control (tree belongs to neighbor), then the blank wall would be exposed. He felt there were other ways to address that area and minimize the light. He found the rhythm established in the existing structure more appropriate to the style than the more rationalized single gangs being proposed. Ms. Cabassa advised on the front elevation, the existing office building did have a 1 over 1 window. Mr. Switzer pointed out there were different sized windows on the west façade.

Regarding the second request, Board Member Mead stated he was much more minimal to changes in materials but also sensitive to the desire to keep traditional materials for traditional reasons; if the architectural needs could be met, if visual distinctions are not apparent to any significant observation, they would be meeting the architectural requirements. Board Member Crawford wanted to make sure that not everything was being

replaced and all that remained was the studs. Chairperson Quina explained there were materials available, but technology had also given new ways of treating the wood that we have; there are products which deep treat wood and give a guarantee as long as the Hardi product would be. He also clarified that this building was constructed in the 1800s, and any building over 50 years old was considered contributing and historic property. Mr. Switzer explained he wanted to replace the existing structure with materials which would last for a long time without driving the costs of maintenance through the roof. Chairperson Quina advised Hardi had not been used on a contributing or historical property. Board Member Crawford stated it was the wood which made the structure historic, and that was the reason for the conversation and what made this different from a house in Aragon. Staff advised the Board had approved Hardi on additions as well as some areas of infill but not for entire projects or additions to street fronts. Board Member Mead stated he would want to see comparisons of specific materials and proposed alternatives which are available before he would approve something that would establish some precedent in this regard even though he was friendly to the idea of finding equivalent materials that architecturally speaking are indistinguishable but may have better performance characteristics which the applicant was seeking.

Ms. Cabassa asked about wood clad windows, and Chairperson Quina stated it was in the guidelines that wood was to be used on the exterior of a wood structure. Ms. Cabassa wanted to introduce the Board to a new material where someone from the street would not know it was not wood.

Regarding the third request for trim, Chairperson Quina advised there had been exceptions where places close to the ground or where a trim is at a high point on an elevation where you cannot reach it; he would allow exceptions for those sorts of things. The Board then reviewed the original and synthetic brackets. Board Member Salter explained one of the reasons the Board exists was to try to maintain the original character, which includes materials, as much as it can on structures deemed to be contributing. The modifications being proposed made this structure more of a modern infill. Board Member Crawford pointed out it was how much of the structure could be preserved, not how much do we replicate in that style.

Board Member Mead made a motion to deny the first element in regard to the proposed conceptual plan because of the comments expressed which still need to be addressed; deny the second element and ask that it be resubmitted with materials that can be seen and compared with regard to the siding including any advanced wood product materials for their visual impact and performance; and deny the third element regarding treatment of the ornaments. Board Member Salter seconded the motion, and the motion passed unanimously. Staff offered to send the link to this meeting as well as minutes to Mr. Switzer for clarification.

Item 3

611 E. Belmont Street

OEHPD / OEHR-2

Contributing Structure

Action taken: Approved

Kimberly Thompson is requesting approval to install a small storage shed. Staff explained Ms. Thompson was willing to match the roof pitch of the main house.

Ms. Thompson addressed the Board. There were no comments from Old East Hill,

however, Christian Wagley advised there was no objection to this project.

Board Member Salter advised it did appear the applicant had spent a lot of time matching the main structure as much as possible and made a motion to approve, seconded by Board Member Fogarty, and it carried unanimously.

Item 4	435 E. Government St	PHD / HC-1
Contributing Structure		Wood Cottages

Action taken: Approved with comments

Brian Spencer is requesting approval for exterior modifications to a contributing structure. Mr. Spencer addressed the Board. Chairperson Quina stated the shed dormer on the west elevation seemed close to the back side of the primary roof shed and might be a difficult flashing detail. Mr. Spencer pointed out the shed dormer face was pushed back slightly in anticipation of that problematic flashing detail. Board Member Salter addressed the east elevation gable dormer and pointed out those portions were very different from the gable dormers on the front of the building. Mr. Spencer stated he was responsible for choosing the gable on the east side using the same roof slope of the narrower dormers facing East Government and thought it would be more acceptable by the ARB and would be a better solution in order to bring natural light into the new stairwell and natural light for needed head room in a bathroom. Chairperson Quina agreed the gabled dormer was more appropriate at that location. Mr. Spencer indicated he would be very flexible concerning Hardie siding and the use of Kiln Dried After Treatment wood siding was discussed as an appropriate substitute. He also stated there would be vertical trim matching the existing dormer. Staff read 12-2-10(A)(6) PHD, Restoration, rehabilitation, alterations or additions to existing contributing structures which cover materials which shall be duplicated when making repairs, alterations and/or additions to contributing structures. Also, any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances. It was determined the new windows would be fixed – Windsor Window System.

Board Member Crawford made a motion to approve as submitted, seconded by Board Member Mead. Board Member Salter amended the motion to clarify that the new gabled dormers would have trim similar to the existing dormers on the front of the building. It was accepted, and the motion carried unanimously.

Item 5	220 W. Gadsden St	NHPD / PR-2
New Construction		

Action taken: Approved with Abbreviated Review

Jim Veal is requesting *final* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. This project received conceptual approval in February 2020 and revisions have been made according to the Board's input.

Mr. Veal presented to the Board and confirmed they were in agreement with North Hill's comments to use wood composite railings. Board Member Mead indicated the applicant had taken the Board's suggestions and applied them in an appropriate and responsive way. Board Member Villegas wanted to see the composite railing materials. She did like the way the chimney was addressed and appreciated the landscaping.

Board Member Mead made a motion to approve as submitted with the submission

of composite material and detailing for abbreviated review as well as a landscape plan that shows appropriate detailing. It was seconded by Board Member Villegas and carried unanimously.

Item 6

700 S. Palafox Street

PHBD / C-2A

New Construction

Action taken: Approved with Abbreviated Review

The UWF Historic Trust is requesting approval to install a large building wallscape on the south side of a contributing structure. The mural will consist of three large panels with an invisible frame system and will not be lit.

Advisor Pristera presented to the Board and stated the mural depicted an actual painting of the south end of Palafox in the 1960s. He proposed to use an interpretive panel to explain the story behind the painting, but that would be brought to the Board. Board Member Mead found this to be appropriate since it would appear down the Palafox peninsula and felt it was a really good approach and a valuable addition to the public's perception of the history and perspective of where this is located. Board Member Salter explained the information provided about the origin of the painting and its ties to the buildings actually enforced the intent of these murals. He felt some sort of information plaque would tie it to downtown and explain why it is there. He was concerned with installation on the wall since there was a difference in relief from the white band at the top; maybe it should be scaled down to fit below the flashing. Mr. Pristera noted the change in the trim line and thought the painting could be applied to the wall. He stated he could work with the frame manufacturer to see what their detail would be. Board Member Mead offered that the presence of the wing wall, which is shrouding the ability to see from street level up into that exposed rear portion of the framing, might shroud the flashing protection.

Board Member Salter made a motion to approve with the specific detailing and explanation addressing the change in plane of the wall with relationship to how it is used to be returned for an abbreviated review. The motion was seconded by Board Member Mead/Fogarty. Board Member Salter asked if the intent was for the Trust to place their name on the proposed mural. Advisor Pristera stated if it did, it would be in one of the corners, probably lower left corner; Board Member Salter explained the placement of the name of the entity would constitute an off-premise sign; Advisor Pristera advised an interpretive panel would be appropriate. Board Member Mead explained where we have historical images for which the Trust is custodian, it is appropriate to place a marking consistent with an artist's signature to signify the custodial character and its prominence. But in this case, it was an actual painting with an actual artist's signature on it, and that would not apply. **Board Member Salter amended the motion to clarify that this approval does not allow the Historic Trust name or logo to appear on the mural; the amendment was accepted. The motion carried unanimously.**

Board Member Salter asked to revise the May 21, 2020 minutes regarding Item 9, 415 N. Alcaniz Street to include important points. Staff explained those revisions would be made and brought back to next month's Board meeting.

Staff also advised the Board would be kept updated on the COVID requirements for future

meetings.

ADJOURNMENT – With no further business, the meeting adjourned at 4:10 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "G. Hardy", written in a cursive style.

Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00357

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

New Business - Item 1
4 W. De Soto Street
North Hill Preservation District / Zone PR-1AAA
Non-Contributing Accessory Structure

RECOMMENDATION:

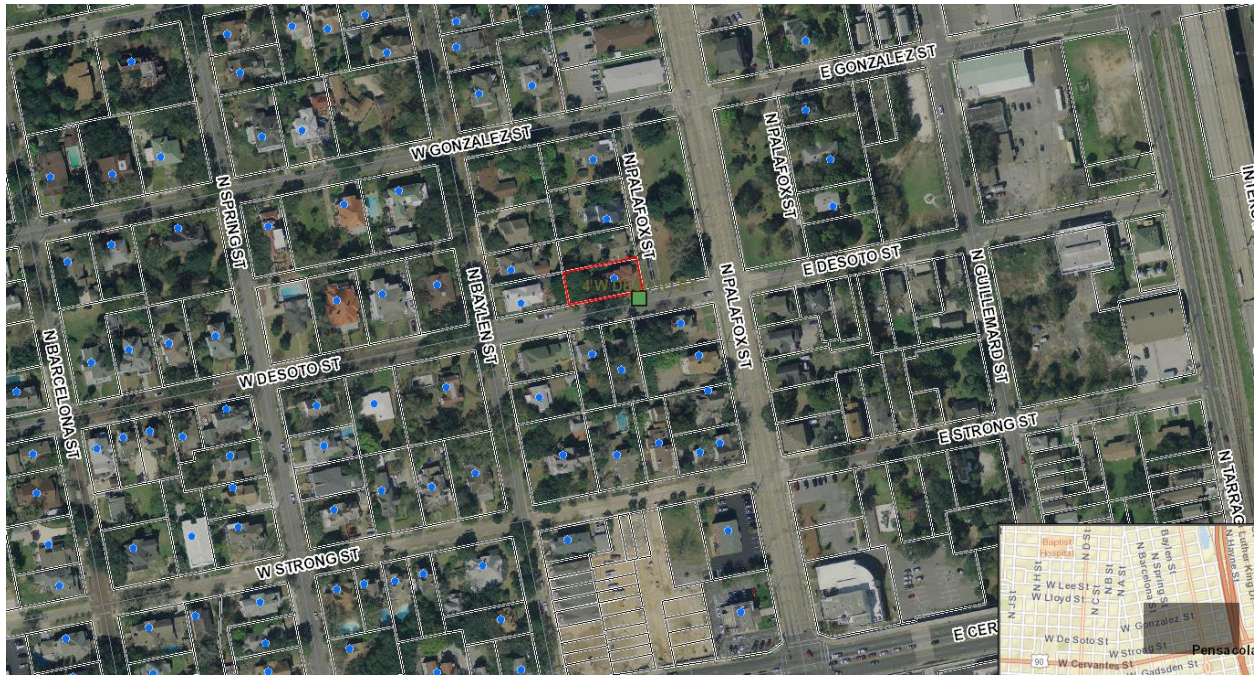
Morgan Spear is seeking approval to modify the exterior of an accessory structure. The scope of work will include the installation of two windows and a door on the front and the addition of a new window in place of an existing door on the right side. The new door will be fiberglass and the new windows will be white double hung wood clad. Sections of infill will consist of novelty siding and a Sherwin Williams Historical Collection paint palette consisting of "Rockwood Red" and "Classical White" will be used.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-10(B)(7) *NHPD, Renovation, alterations and additions to noncontributing and modern infill structures*

4 W. De Soto Street



**Architectural Review Board Application
Full Board Review**



Application Date: 06/24/2020

Project Address: 4 W Desoto Street Pensacola, FL 32501
Applicant: Morgan Spear
Applicant's Address: 5113 N Davis Highway Suite 10 Pensacola FL 32503
Email: morgankspear@gmail.com **Phone:** (407) 832-0313
Property Owner: Panhandle Eyes LLC

District: PHD ☐ (If different from Applicant)
NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Minimal exterior alteration to existing cottage including inserting new 3068 cottage entry door to
face Desoto street/driveway instead of the existing entrance from the East (backyard) side of
structure. Existing entry door will be altered to new 3050 window. Project would also include
inserting two new 3050 windows facing Desoto on each side of new entry door. Wood siding
and paint (Sherwin Williams 2802 "Rookwood Red") to remain the same as existing structure.
Trim paint color will be Sherwin Williams #2829 "Classical White".

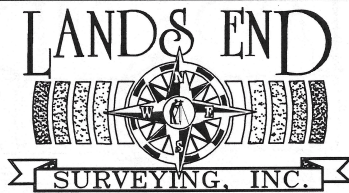
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Morgan Spear
Applicant Signature

06/24/2020
Date

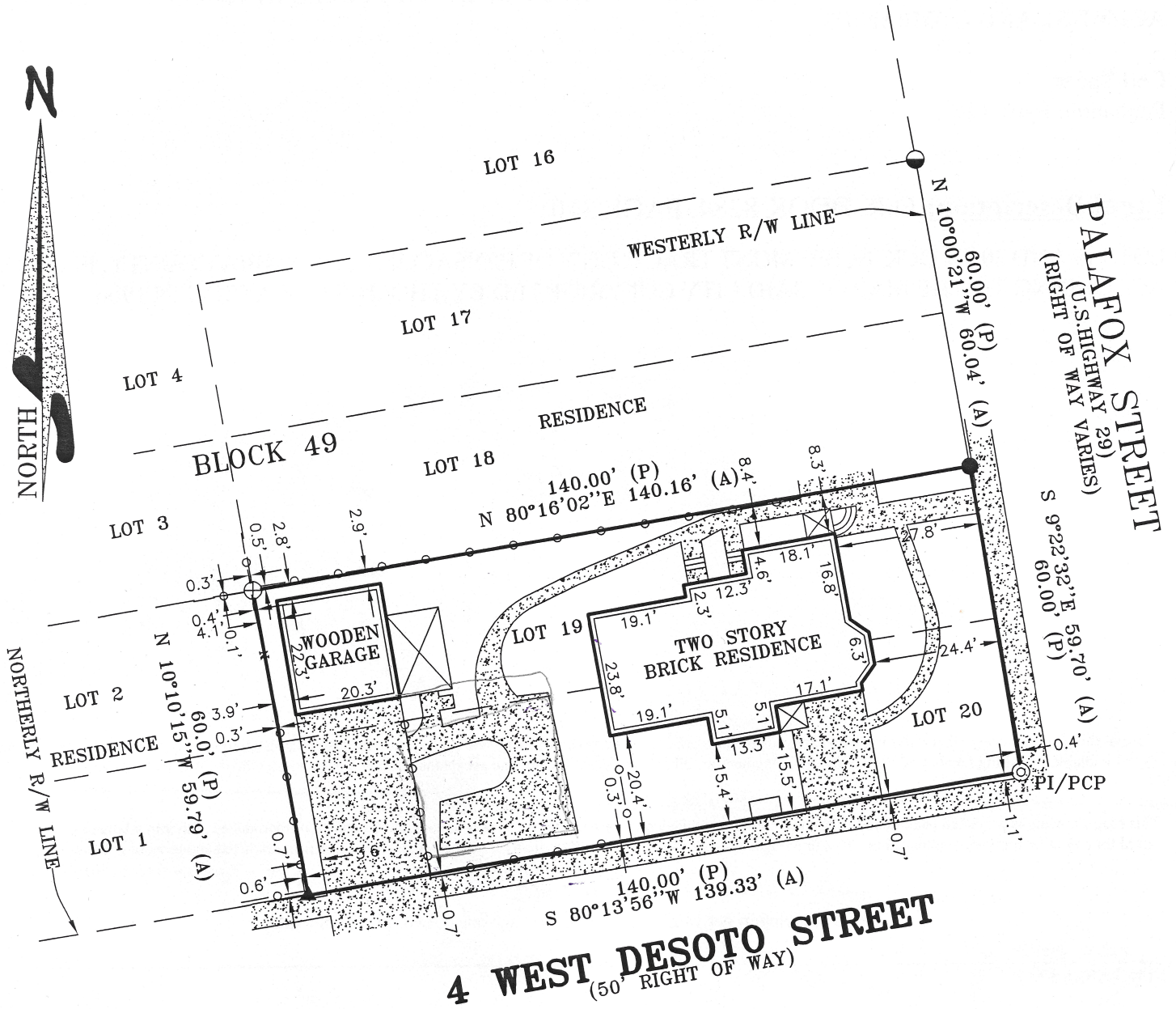
Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

8192 SIX PENCE DRIVE
PENSACOLA, FLORIDA, 32514

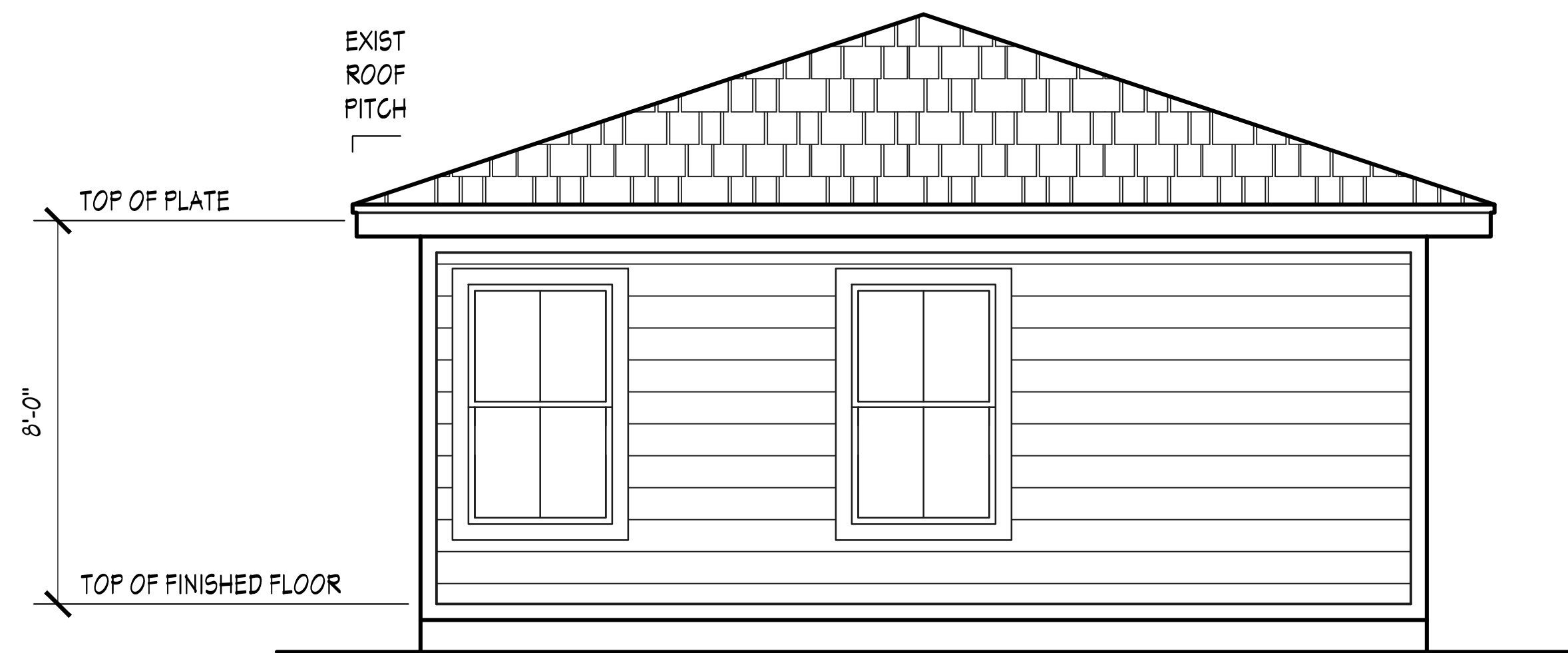


(850) 433-8545
FAX (850) 433-8282
LANDSENDSSURVEYING.COM

Field Date: 5-26-2020	Survey Type: BOUNDARY & IMPROVEMENTS	Survey Number: 460-2020
Field Book/Page: 373/2 DATA	Revisions:	Scale: 1"= 30'

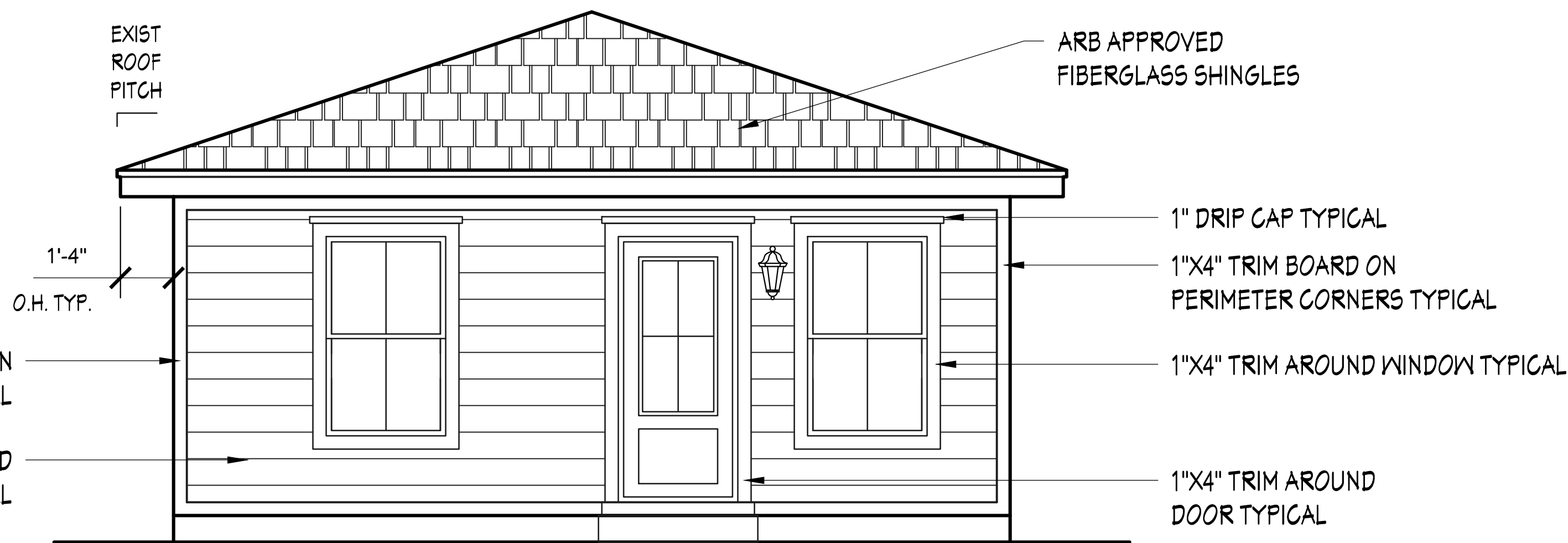


PROJECT: COTTAGE ALTERATION - 4 W DESOTO STREET PENSACOLA FLORIDA 32501 - BILCO BUILDERS CO



EXIST RIGHT ELEV

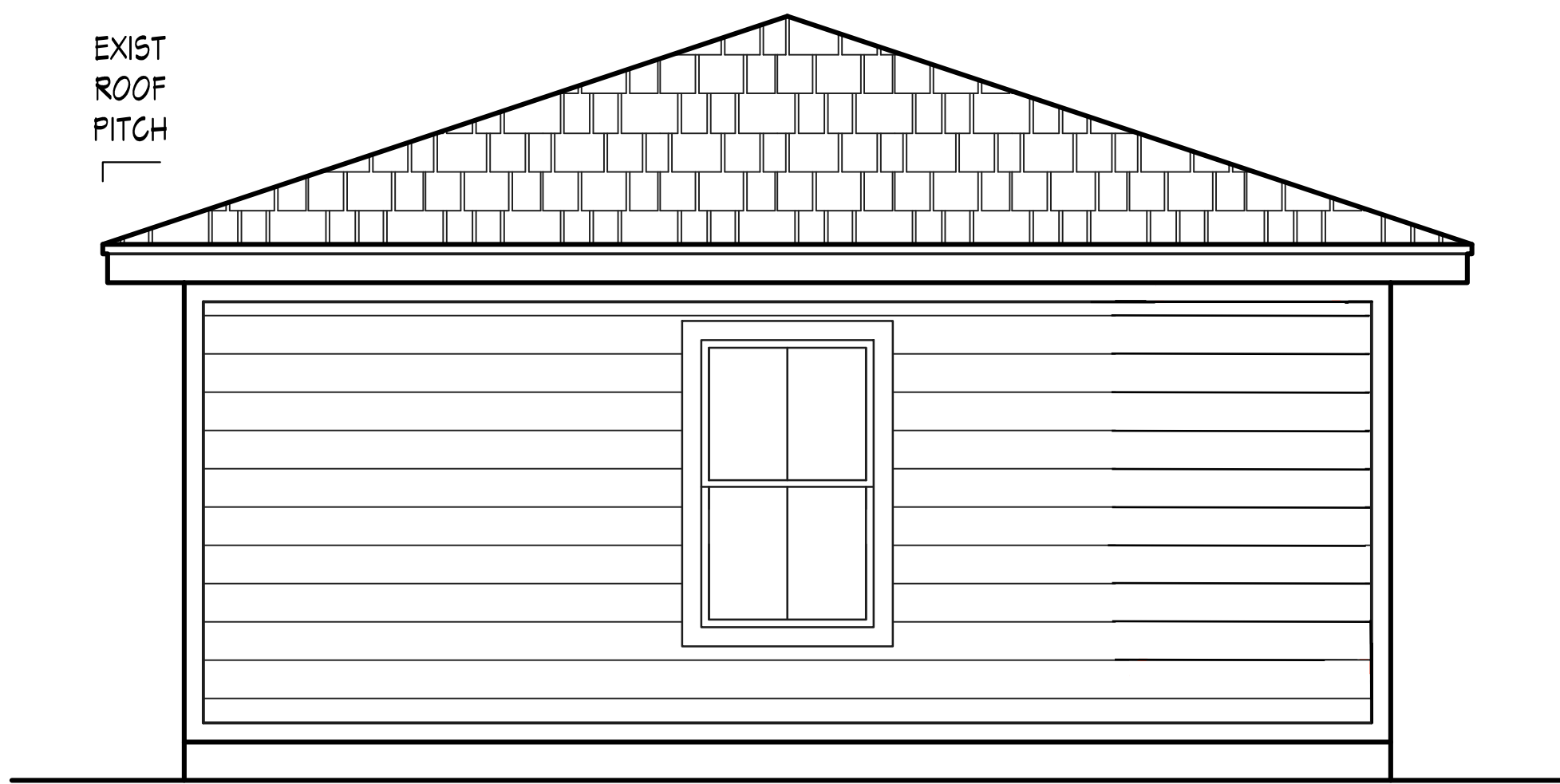
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NEW FRONT ELEV

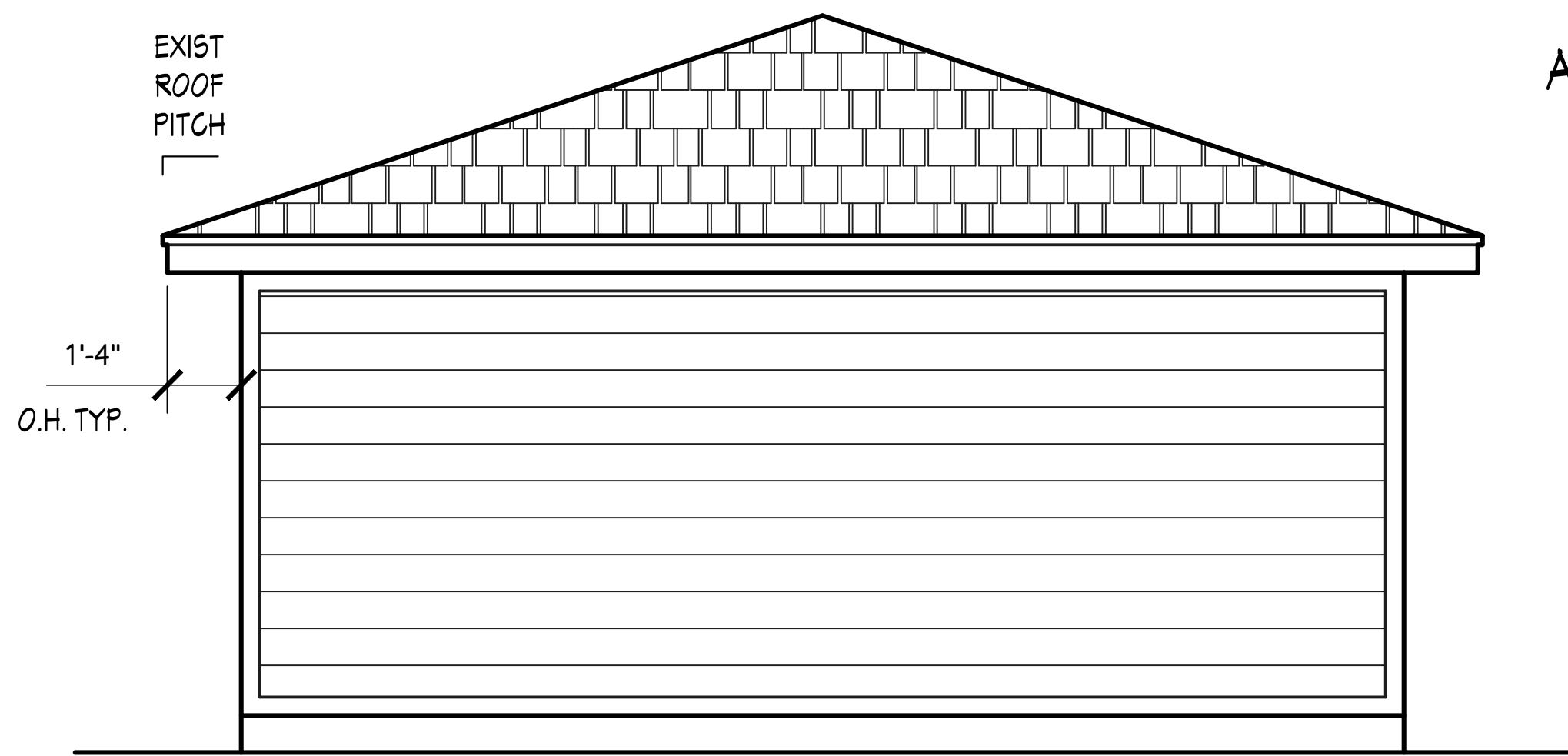
SCALE: 1/4"=1'-0"

PRELIMINARY ONLY — ARB PROOF COPY



EXIST LEFT ELEV

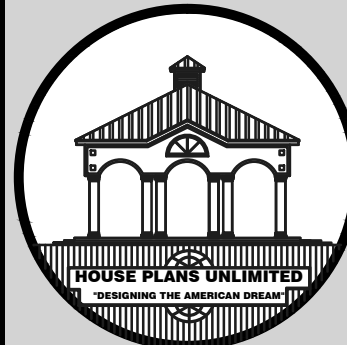
SCALE: 1/4"=1'-0"



EXIST REAR ELEV

SCALE: 1/4"=1'-0"

SCOPE OF WORK: NOTE
MAIN EXISTING
STRUCTURE TO
REMAIN, EXISTING STREET
FACING WALL TO
ADD NEW WINDOWS AND
ENTRY DOOR AS
INDICATED ON PLANS



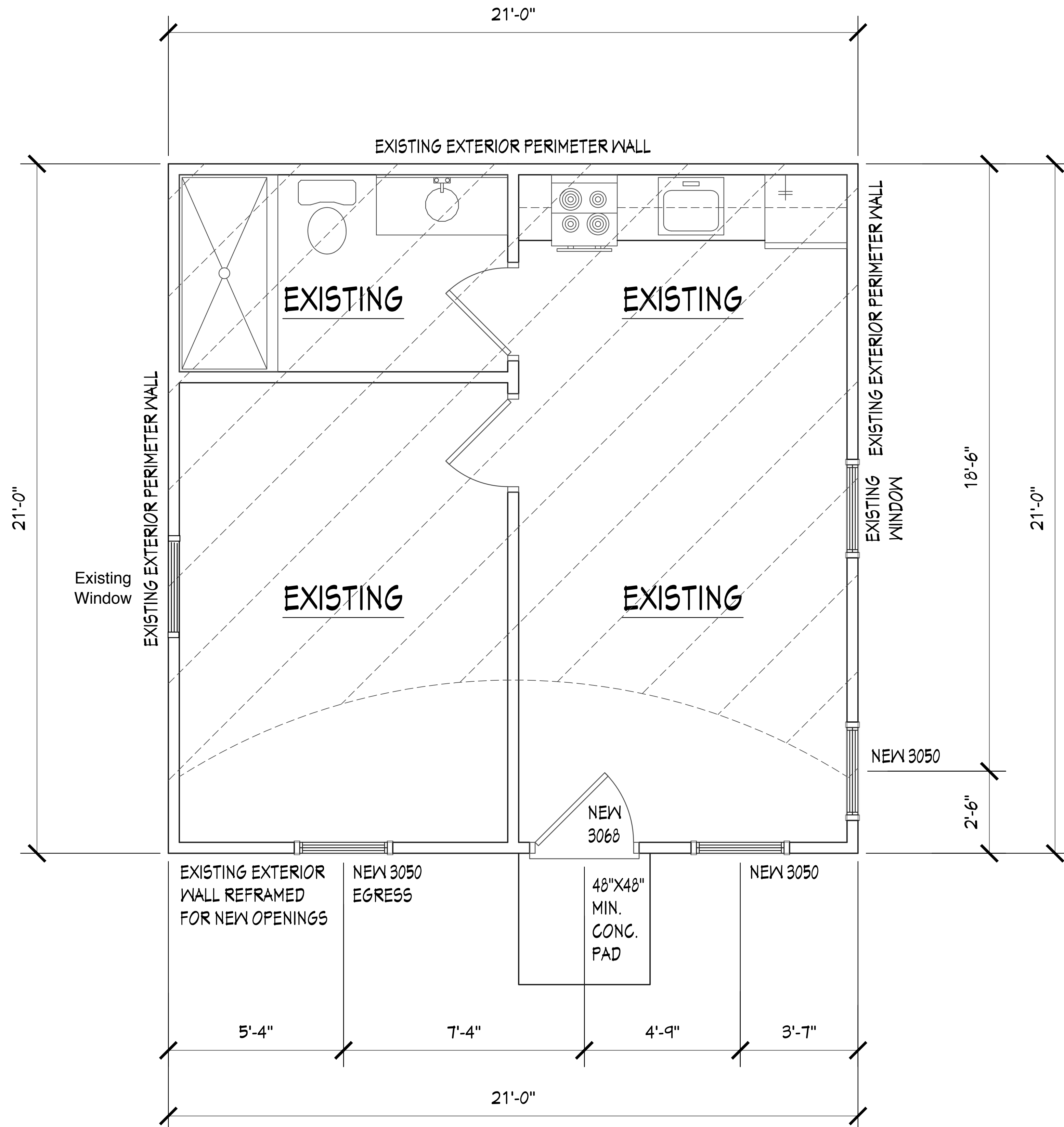
HOUSE PLANS UNLIMITED ASSUMES NO LIABILITY FOR ANY CONSTRUCTION FROM THESE PLANS. THE PURCHASER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ATTENDED CONSTRUCTION PROVIDING THE ATTENDED RESULTS SHOWN HERE.
BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY PHASE OF CONSTRUCTION. HOUSE PLANS UNLIMITED IS NOT RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/COUNTY AND REGIONAL BUILDING CODES

HOUSE PLANS UNLIMITED

4400 BAYOU BLVD. SUITE 25-B PENSACOLA, FL.
850-477-8077 EMAIL: HOMEPLANSUNLIMITED@GMAIL.COM

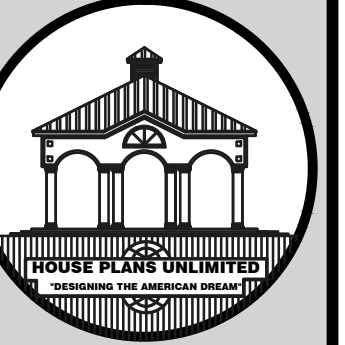
4 W DESOTO
COTTAGE

PROJECT INFO:	
JOBNAME&NO.	HPU 20-0528
CAD FILE NO.	HPU 20-0528
DRAWN BY:	HPU
DATE:	
REVISIONS:	



FLOOR PLAN

SCALE: 1/4"=1'-0"



HOUSE PLANS UNLIMITED ASSUMES NO LIABILITY FOR ANY CONSTRUCTION OF THESE PLANS. THE PURCHASER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ATTENDED RESULTS SHOWN HERE. BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY PHASE OF CONSTRUCTION. HOUSE PLANS UNLIMITED IS NOT RESPONSIBLE FOR CONFORMING TO LOCAL CITY/COUNTY AND REGIONAL BUILDING CODES.

HOUSE PLANS UNLIMITED
4400 BAYOU BLVD. SUITE 25-B PENSACOLA, FL.
850-477-8077 EMAIL: HOMEPLANSUNLIMITED@GMAIL.COM

4 W DESOTO COTTAGE

PROJECT INFO:	
JOBNAME&NO.	HPU 20-0528
CAD FILE NO.	HPU 20-0528
DRAWN BY:	HPU
DATE:	
REVISIONS:	

SHEET # **A2**

4 W Desoto

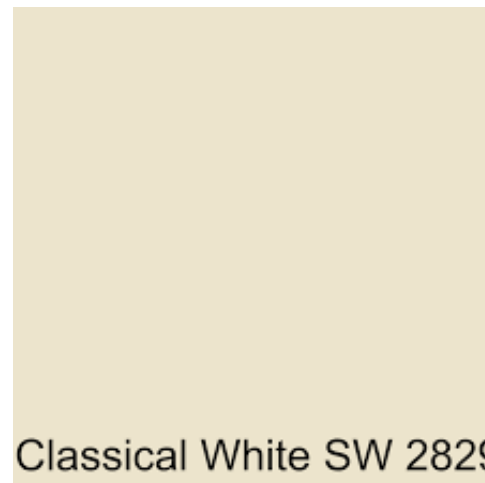


Siding Paint Color: Historical Collection Sherwin Williams 2802 “Rookwood Red”

Trim Paint Color: Historical Collection Sherwin Williams 2829 “Classical White”



Rookwood Red SW 2802



Classical White SW 2829

View of Cottage from Desoto Street



View of Cottage from Backyard

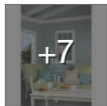
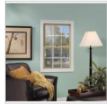


View of Surrounding Area



1) **Product information / specs for the windows:** Jeldwen 33.375 in. x 60 in. W-2500 Series White Painted Clad Wood Double Hung Window w/ Natural Interior and Screen

Internet #300702218 Model # THDUJW177200507



[Share](#) [Save to Favorites](#) [Print](#)

JELD-WEN >

33.375 in. x 60 in. W-2500 Series White Painted Clad Wood Double Hung Window w/ Natural Interior and Screen

★★★★★ (3) [Write a Review](#) [Ask the first question](#)

- White wood double hung window includes colonial grids & nail fin
- Double hung window includes energy efficient Low-E EC 366 glass
- AuraLast pine protects against wood rot & termites for 20 years

SPECIAL BUY **\$415⁴⁹** ~~\$488.82~~ Save \$73.33 (15%)

OR

\$35⁰⁰ per month* suggested payments with 12 months* financing on this \$415.49 purchase*. VALID: 6/25/2020 - 7/5/2020

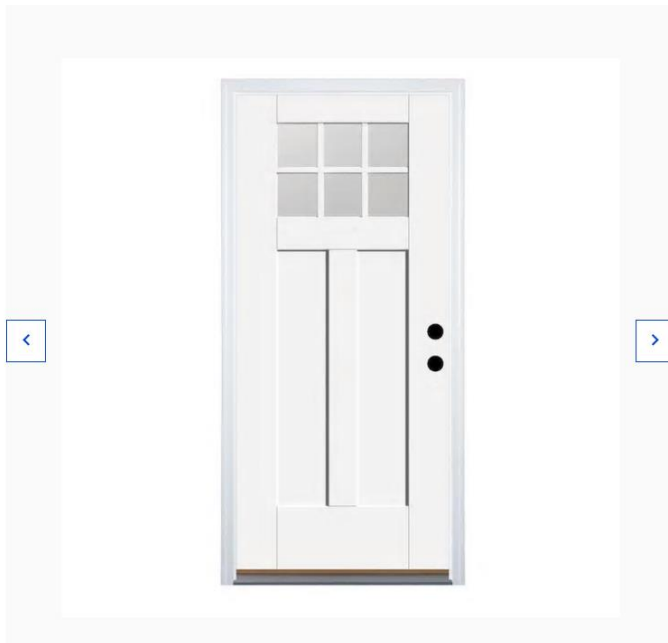
[Apply for a Home Depot Consumer Card](#)

Exterior Color/Finish Family: **White**



Width (in.) x Height (in.): **33.375 x 60**

2) **Product information / specs for the new entry door:** Therma-Tru Benchmark Doors Craftsman Simulated Divided Light Left-Hand Inswing Ready To Paint Fiberglass Prehung Entry Door with Insulating Core (Common: 36-in x 80-in; Actual: 37.5-in x 81.5-in)



EXCLUSIVE

\$339^{.00}

★★★★★ 151 [View Q&A](#)

Therma-Tru Benchmark Doors Craftsman Simulated Divided Light Left-Hand Inswing Ready To Paint Fiberglass Prehung Entry Door with Insulating Core (Common: 36-in x 80-in; Actual: 37.5-in x 81.5-in)

Item #833538 Model #BMTT626364

- Add curb appeal and create a versatile look for your home with this contemporary interpretation of the Shaker movement
- Flush-glazed glass is built directly into the door and provides a clean, seamless appearance that allows more natural light into your home
- Fiberglass doors are low-maintenance and high-performance; unlike wood or steel doors, durable fiberglass is resistant to cracking.

Handing
Left-Hand Inswing

1 [+](#)
Qty


Hurry, Low in Stock

Add to Cart



<https://www.lowes.com/pd/Therma-Tru-Benchmark-Doors-Craftsman-Simulated-Divided-Light-Left-Hand-Inswing-Ready-To-Paint-Fiberglass-Prehung-Entry-Door-with-Insulating-Core-Common-36-in-x-80-in-Actual-37-5-in-x-81-5-in/1000157893>

3) **Product information / specs for the front light fixture:** Allen + Roth Castine 14.38-in H Rubbed Bronze Medium Base (E-26) Outdoor Wall Light



EXCLUSIVE

\$79^{.98}


★★★★☆ 127 [View Q&A](#)

allen + roth Castine 14.38-in H Rubbed Bronze Medium Base (E-26) Outdoor Wall Light
Item #616263 Model #39472

- Rubbed bronze finish with clear seeded glass outdoor wall light from the Castine collection offers timeless beauty
- Weather-resistant die-cast aluminum offers long-lasting durability
- One 60 watt medium base incandescent Bulb required (sold separately)

Fixture Height (inches)
14.38

— +
Qty

[Add to Cart](#) 

https://www.lowes.com/pd/allen-roth-Castine-14-38-in-H-Rubbed-Bronze-Medium-Base-E-26-Outdoor-Wall-Light/50356188?cm_mmc=shp_-c_-prd_-lit_-google_-lia_-227_-outdoorlighting_-50356188_-0&store_code=1142&placeholder=null&gclid=Cj0KCQjwoub3BRC6ARIsABGhnybbV5lfQGRlSKvCHZavb0q6TfXJSIP2pMVb5wzHBvwsbNSdlpd4eDEaAjGxEALw_wcB&gclsrc=aw.ds



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00353

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

New Business - Item 2
410 E. Belmont Street
Old East Hill Preservation District / Zone OEHC-1

BACKGROUND:

Ed Rankin is requesting approval to rehabilitate a front porch. Elevation drawings of the proposed porch are provided in this packet. Per staff's discussions with the applicant, all existing wood elements (stairs, flooring, rails and pickets, etc.), except for the new lattice, are proposed to be wood. The replacement lattice is proposed to be vinyl. The front porch piers will be CMU block covered with brick to match the existing. Replacement shingles will be 30-year architectural shingles and will match the color of the existing. Also, the paint palette will not change and all new elements will be painted to match the existing.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(C)(7) *OEHPD, Restoration, rehabilitation, alterations or additions to existing contributing structure*

Page 1
Z original
— update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02133**
Recorder # _____

SITE NAME Daniel K. Green, House
HISTORIC CONTEXTS Post-reconstruction
NAT. REGISTER CATEGORY district
OTHER NAMES OR MSF NOS none
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 410 East Belmont St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, N. side of E. Belmont
St. between N. Alcaniz St. and N. Davis St.
SUBDIVISION East King Tract BLOCK NO 22 LOT NO 240
PLAT OR OTHER MAP county appraisers atlas 68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? x y n LAND GRANT _____
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1896 CIRCA c RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

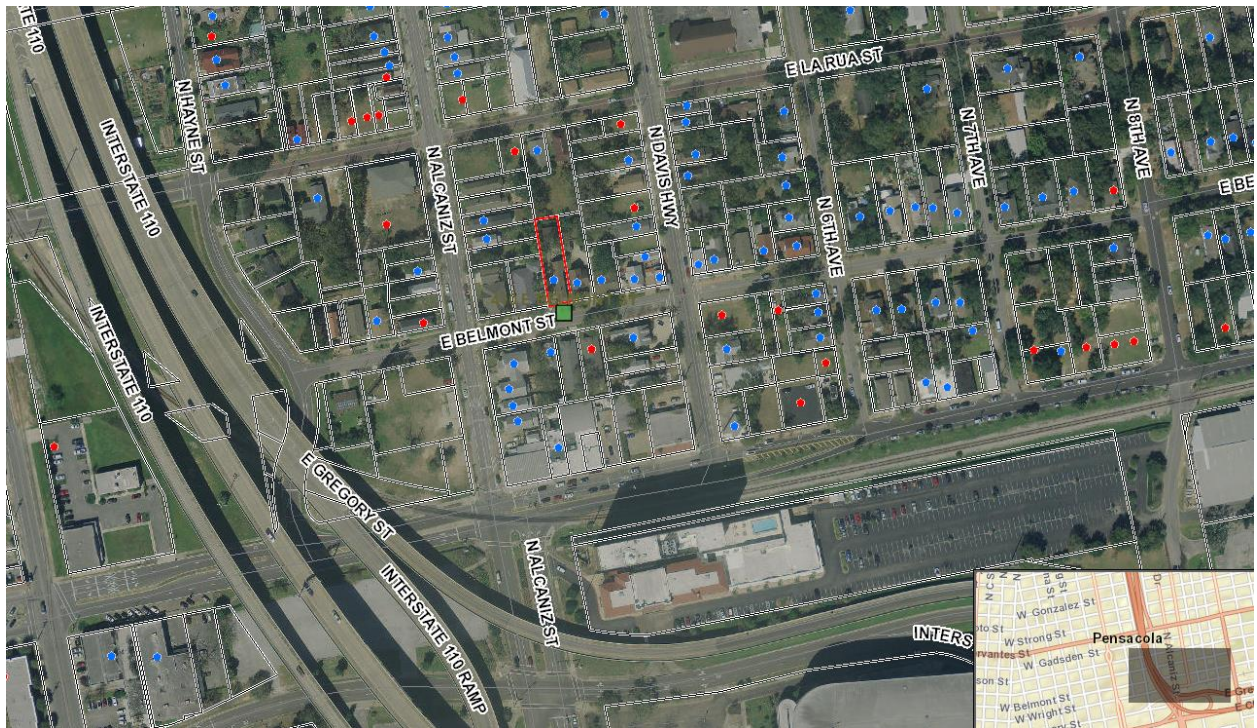
STYLE frame vernacular
PLAN: EXTERIOR rectangular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 1 PORCHES 1 DORMERS 0
STRUCTURAL SYSTEM(S) balloon wood framing
EXTERIOR FABRIC(S) asbestos shingles
FOUNDATION: TYPE pier MATLS brick
INFILL lattice
PORCHES s/porch/4"x4" wood columns & 2"x4" railing/3/s
ROOF: TYPE gable SURFACING composition shingles
SECONDARY STRUCS. porch
CHIMNEY: NO MTLS brick LOCNSS: center, ridge
WINDOWS SHS, 6/6 aluminum
cut beaded glass in front door
EXTERIOR ORNAMENT wood-spindlework on porch - jigsaw cut decorative pieces on porch
CONDITION good SURROUNDINGS residential roof
NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings - oak trees

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____



410 E. Belmont Street



Architectural Review Board Application
Full Board Review



Application Date: _____

Project Address: 410 E BELMONT

Applicant: ED RANKIN

Applicant's Address: 1280 MAHOGANY MILL RD

Email: RRBUILDERS@COX.NET Phone: 850 982 2165

Property Owner: MIKE RICHY
(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

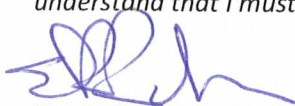
- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

See Attached

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

6/24/20
Date



Keith Branch <keith@goodfoundationsinc.com>

6/22/2020 11:25 AM

Belmont Porch Rehab - Application and Submittal Requirements

To rrbuilder <rrbuilders@cox.net>

Ed,

We've reached out to Gregg with the city regarding your project. He forwarded the application to us as well as some questions and requirements for your submittal. See below...

For 410 E. Belmont, the ARB will need to know the following:

- Materials for the following -

- o Shingle manufacturer, color, profile (3 tab, architectural, etc.), 30-year?
- o Brackets (are you proposing wood or composite? Should be wood based on ARB past approvals and to mimic what it's replacing.) *wood*
- o Replacement railings (are you proposed wood or composite? Should be wood based on ARB past approvals for historic contributing structures) *wood*
- o Turned pickets (same as above)
- o Lattice (ARB has actually approved vinyl lattice before since this tends to rot so fast. Most people do wood though).
- o Also, it looks like the stairs are being replaced? Will these be wood. ARB has approved composite materials such as Aeratis for this. Is the deck being replaced? *yes*
- o Will everything be painted white to match the existing? *yes*
- o Also, the front piers appear to be CMU block in the drawing but are brick in the photograph. Will they be brick? *covered with Brk*

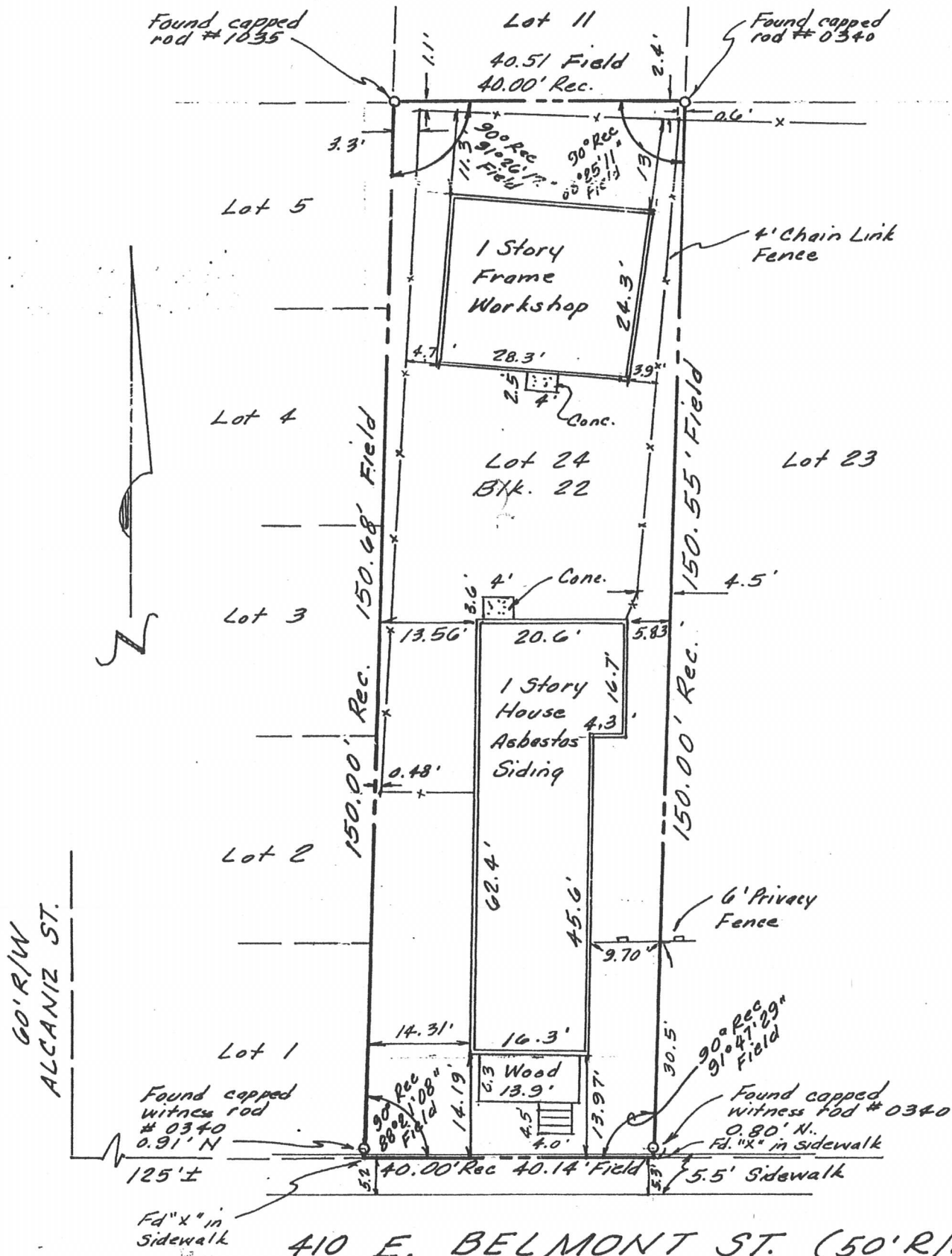
Call me if you want to discuss and/or coordinate any changes to the PDF I sent you last week prior to your submitting your application.

-Keith

**Keith Branch***President***Good Foundations, Inc.**p: 850.380.0528 m: 407.421.8695a: 714 N De Villiers St Pensacola, FL 32501w: www.goodfoundationsinc.com

- ARB Application_Full Review _ 2.2017.pdf (438 KB)

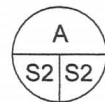
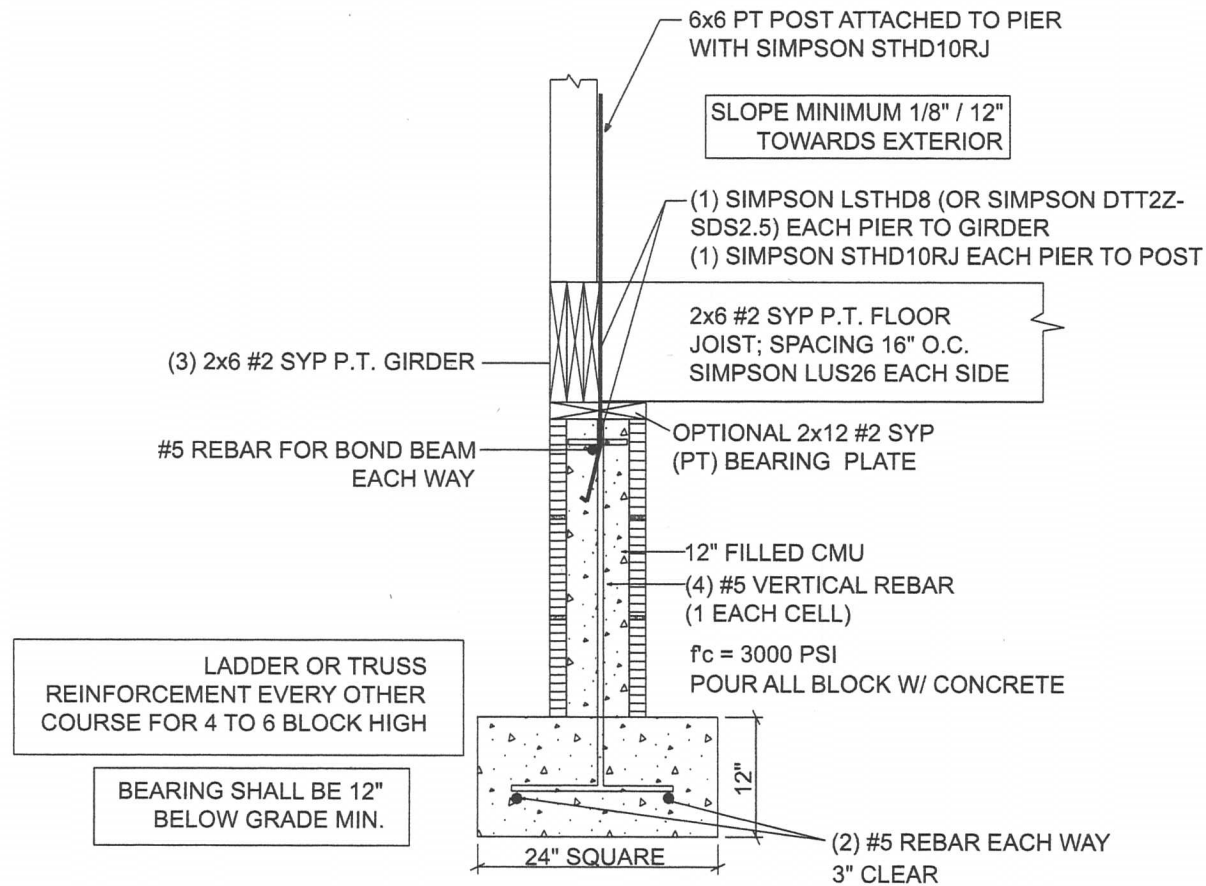
435 1676
336 9407



Lot 24, Block 22, East King Tract, City of Pensacola, Escambia County, Florida according to map of said City copyrighted by Thos. C. Watson in 1906.

Legal description supplied by Client.

This property may be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.

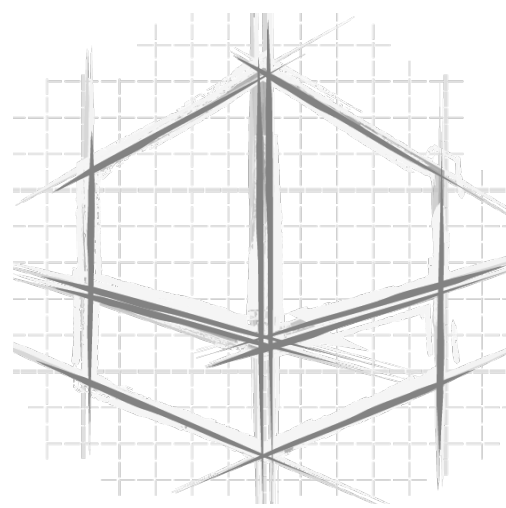


EXTERIOR PIER FOOTING DETAIL

NOT TO SCALE

IF BRICK VENEER IS REQUIRED, INSTALL FACE-SHELL ADHESIVE
BRICK VENEER PER MANUFACTURERS SPECIFICATIONS.

PROPOSED PORCH REHABILITATION



GOOD FOUNDATIONS
INCORPORATED
Custom Home Designs
714 N De Villiers St
Pensacola, FL 32501
(850) 380-0528
www.goodfoundationsinc.com

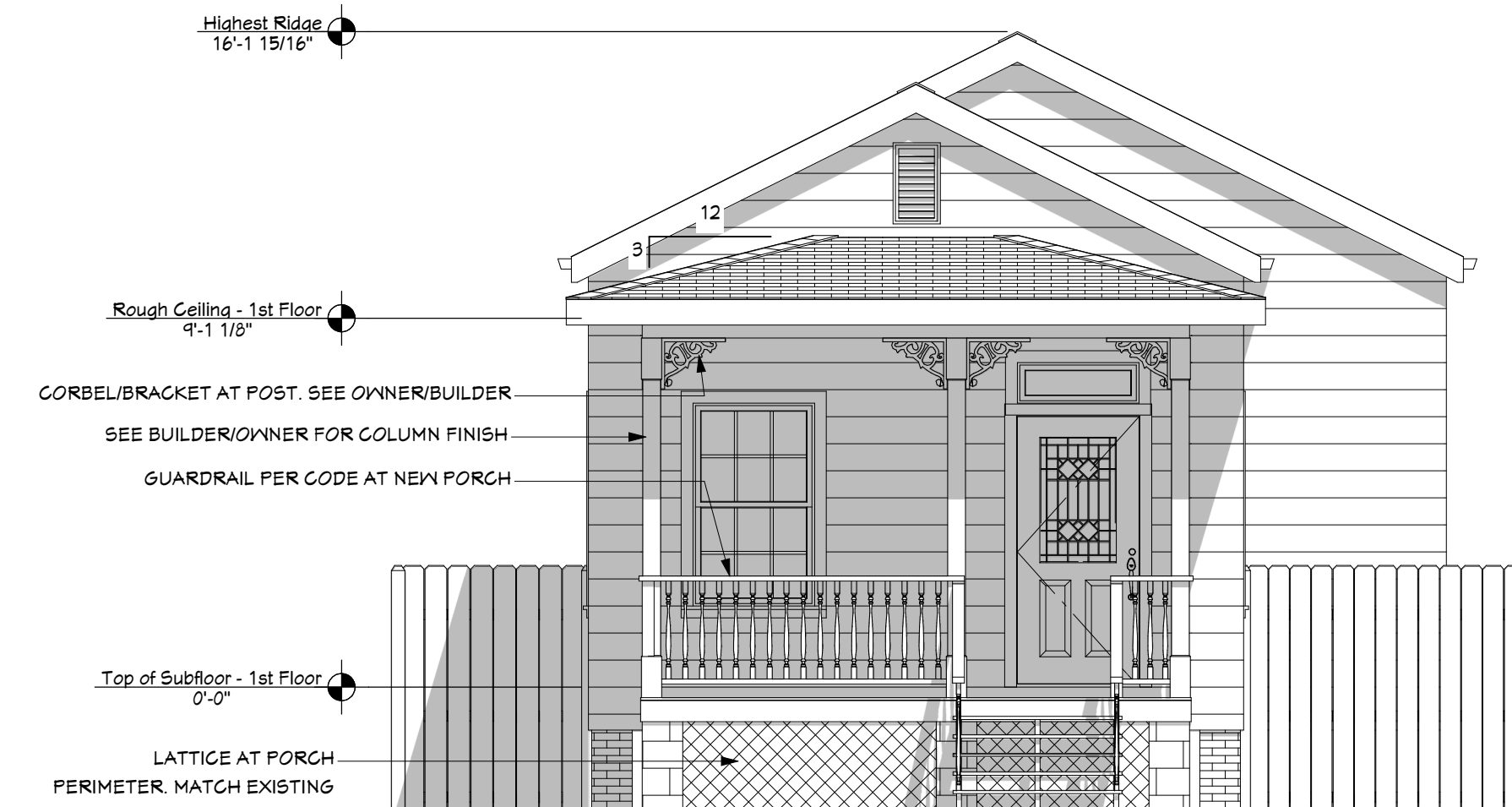
© COPYRIGHT 2020. ALL RIGHTS RESERVED. DO NOT REPRODUCE WITHOUT WRITTEN PERMISSION OF GOOD FOUNDATIONS, INC.

PREPARED FOR: **MR ED RANKIN**
PROPOSED PORCH REHABILITATION
410 E BELMONT ST PENSACOLA, FL
ESCAMBIA COUNTY

NOTE:
CONTRACTOR/SUBCONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. SOLE RESPONSIBILITY LIES WITH THE CONTRACTOR TO ENSURE ALL ASPECTS OF CONSTRUCTION COMPLY WITH BUILDING CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: HANDICAP ACCESSIBILITY, EGRESS REQUIREMENTS, STAIR CONSTRUCTION, AND ELECTRICAL AND PLUMBING REQUIREMENTS. DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO ORIGINAL DESIGN.

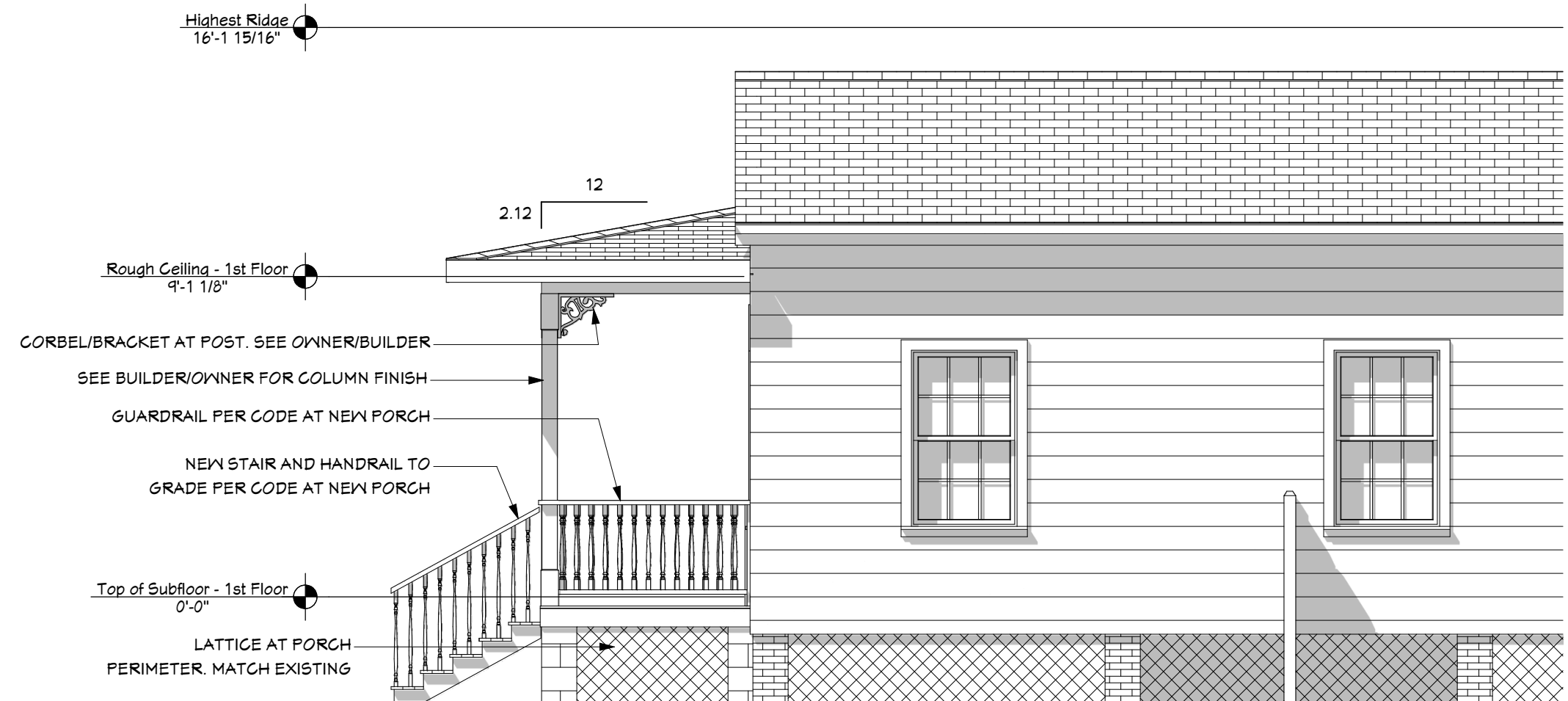
JOB # 20-0311
DRAWN BY: KEB
DATE: 6/16/2020

A-1



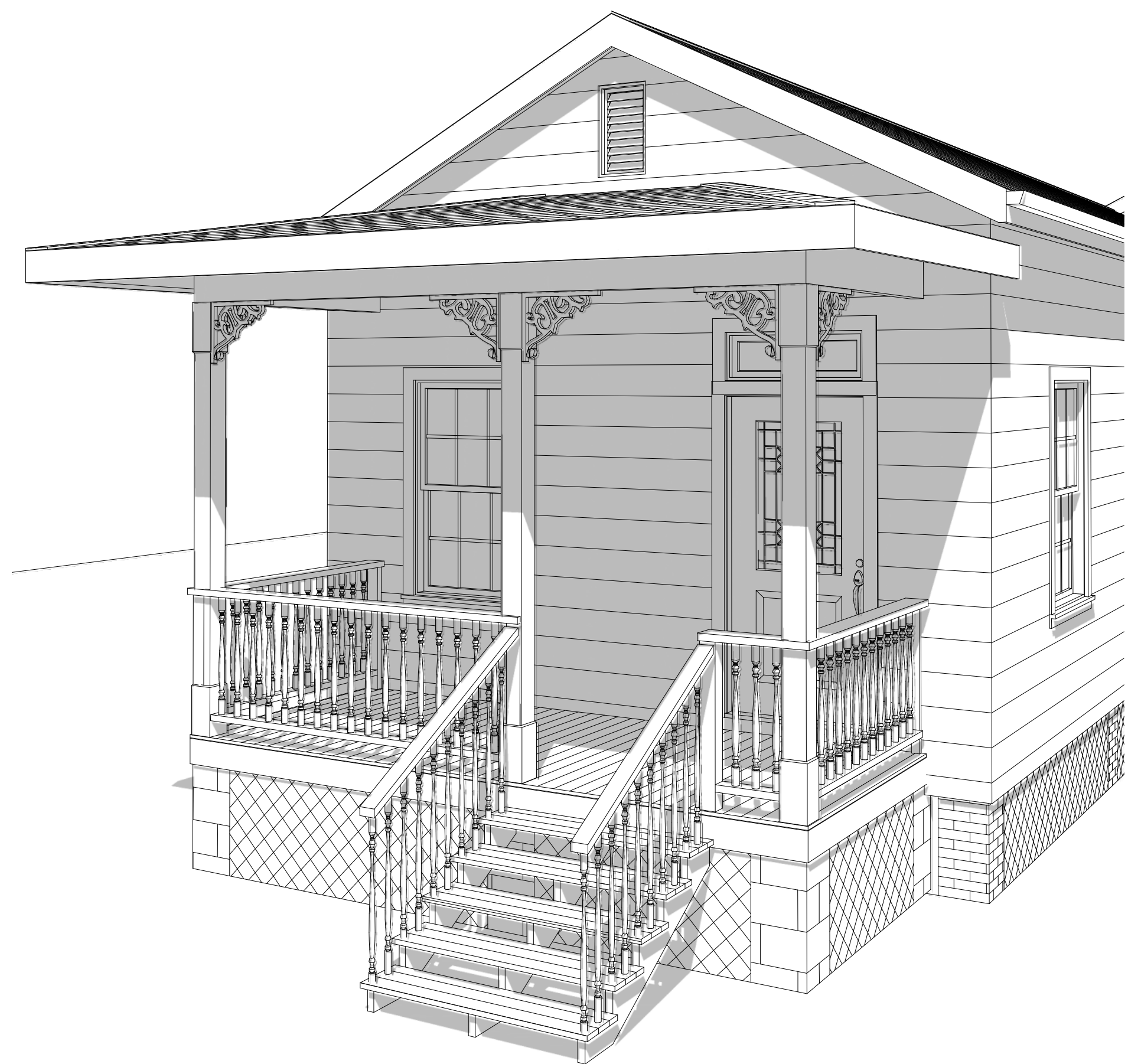
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



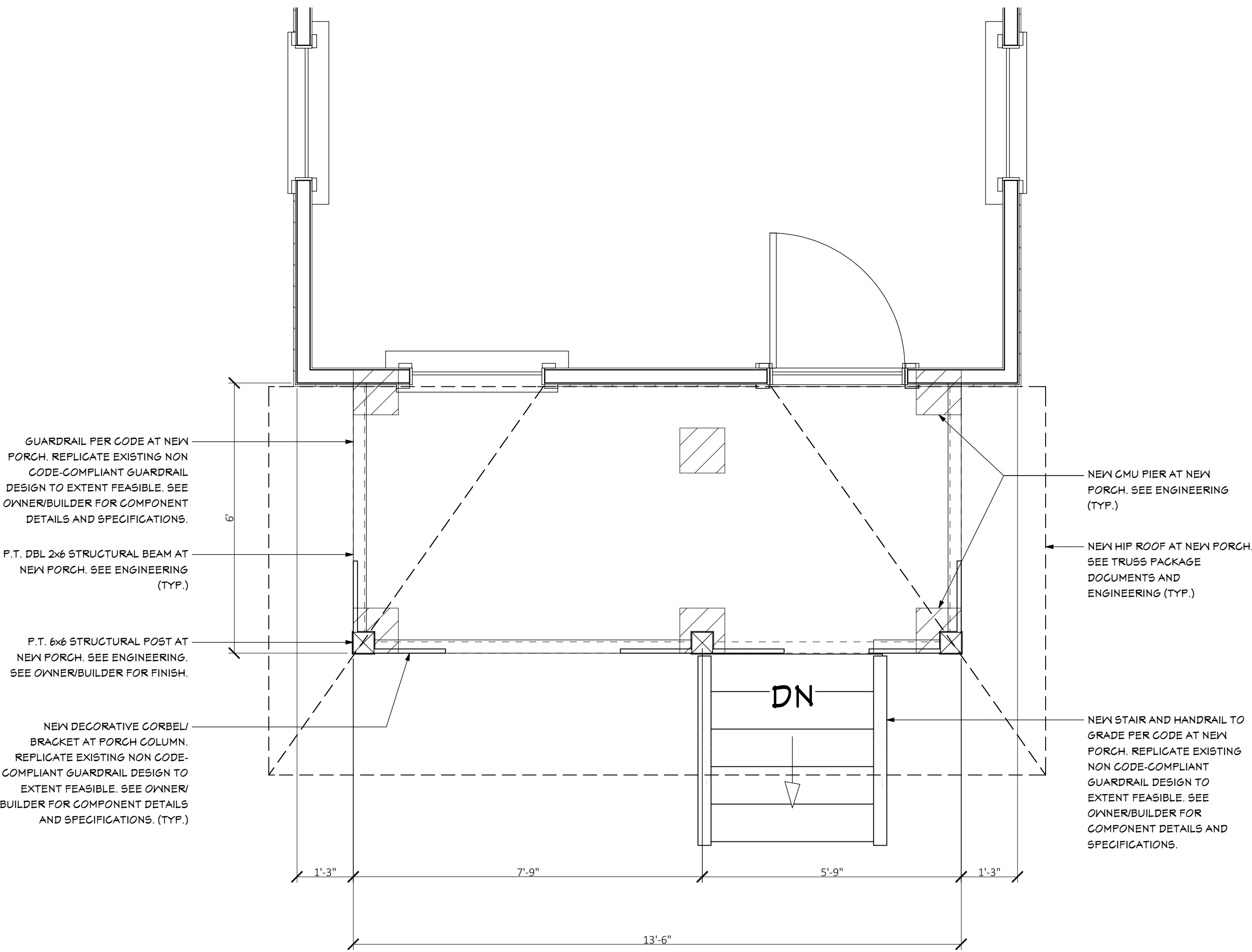
RIGHT ELEVATION @ NEW PORCH

SCALE: 1/4" = 1'-0"



EXISTING PORCH

NO SCALE

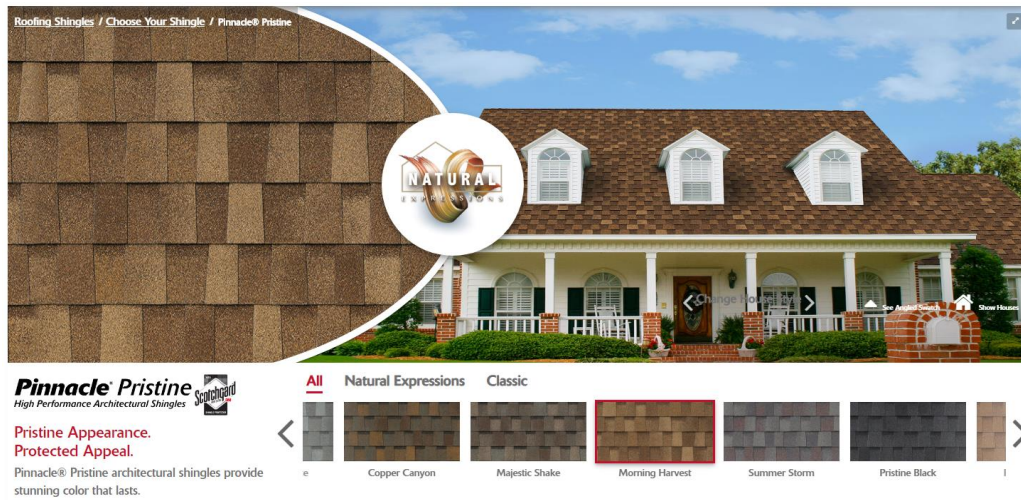


NEW WORK PLAN @ PORCH

SCALE: 1/2" = 1'-0"

NOTE: THIS PROJECT INCORPORATES REHABILITATION OF AN EXISTING PORCH. ALL DIMENSIONS SHOWN ARE NOMINAL AND ARE TO BE FIELD VERIFIED PRIOR TO WORK BEING DONE. SEE ENGINEERING FOR REQUIRED CONNECTIONS TO EXISTING STRUCTURE AND/OR ANY TEMPORARY SHORING DURING CONSTRUCTION. ENGINEERING APPLICABLE ONLY TO NEW PORCH CONSTRUCTION AND CONNECTION TO EXISTING STRUCTURE. TRUSS COMPANY TO VERIFY ROOF PITCH AND FIELD CONDITIONS PRIOR TO FINAL TRUSS DESIGN.

Lifetime Atlas Pinnacle Pristine Shingles. Color to match existing



Vinyl lattice between piers



Columns, railings, etc. – white (traditional)

Stairs and porch decking to match existing – Classic Burgundy (BM HC-182)



Porch deck trim to match existing – Webster Green (BM HC-130)





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00349

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

New Business - Item 3
121 E. Government Street
Pensacola Historic District / Zone HC-2 / Brick Structures
Contributing Structure

BACKGROUND:

Carlos Godinez, STOA Architects, is requesting approval to replace and repair windows. The existing second-story wood windows will be replaced with wood clad windows with simulated divided lites. The wood trim on the existing lower windows will be repaired and repainted "Rockwood Dark Brown". Also, the glazing units in the far-right lower windows will be replaced to match the existing.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(6) *PHD, Restoration, rehabilitation, alterations or additions to existing contributing structure in the Historic District, specifically subparagraph (f) Windows*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES01115
Recorder #
Field Date 5 / 2 / 95
Form Date 7 / 14 / 95

Original
☒ Update

SITE NAMES (addr. if none) 121 E. GOVERNMENT ST. [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 121 E. GOVERNMENT ST.
CROSS STREETS nearest/between BETW. S. TARRAGONA AND S. JEFFERSON ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9005-002-001
SUBDIVISION NAME PENSACOLA HIST DIST BLOCK LOT NO. 1,2
OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? y n
UTM: ZONE 16 17 EASTING 1 1 1 1 0 NORTHING 1 1 1 1 0
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

STYLE MASO EXTERIOR PLAN RECT NO. STORIES 2
STRUCTURAL SYSTEMS MASO
FOUNDATION: Types CONT Materials BRIC
EXTERIOR FABRICS BRIC
ROOF: Types FLAT w/ PARAPETS Materials CROL
Secondary strucs. (dormers etc.) PARAPETS
CHIMNEY: No. Materials LOCATIONS
WINDOWS (types, materials, and placements) CASEMENT, 6 LIGHTS, WOOD, HINGED

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations
Porch roof types CANVAS AWNING
EXTERIOR ORNAMENT FLAT ARCH OVER WINDOW WITH CORBELLING

INTERIOR PLAN CONDITION: ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☒ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8

HISTORY

CONSTRUCTION DATE 1945 CIRCA ☒ yes ☐ no

ARCHITECT: (last name first) UNKNOWN

BUILDER: (last name first) UNKNOWN

MOVES ☐ yes ☒ no Dates _____ Orig. addr. _____ALTERATIONS ☒ yes ☐ no Dates 1994 Nature RENOVATIONADDITIONS ☐ yes ☐ no Dates _____ Nature _____

ORIGINAL USES (give dates) COMMERCIAL

INTERMEDIATE USES (give dates) _____

PRESENT USES (give dates) COMMERCIAL - OFFI

OWNERSHIP HISTORY (especially original owner) DOMINIC RISO (ORIGINAL),

GRAVES AND KLEIN ARCHITECTS (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? ☐ yes ☐ no ☐ insuff. infoIndividually elig. for Nat. Register? ☐ yes ☐ no ☐ insuff. infoPotential contributor to NR district? ☐ yes ☐ no ☐ insuff. info

Local Designation Category

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.

Location of negatives/neg. nos. R3, F23-24

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY*	y	n	pe	u	Date
		SHPO-NR ELIGIBILITY*	y	n	pe	u	Date
DELIST DATE		LOCAL DESIGNATION*					Date
		Local office					

* y=Yes; n=No; pe=Potentially Eligible; u=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site Name _____ Site No. Es 1115
Address of Site: 121 E. Government St., Pensacola, FL 32501 830 = = Survey Date 8210 820 = =
Instruction for locating On S side of E. Government St. between S. 905 = =
Tarragona St. and S. Jefferson St. 813 = =
Location: Old City Tract Lots between 1 & 2 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Watson, James B. and Mary T. ;
Address: P. O. Box 12463
Pensacola, FL 32582 902 = =
Type of Ownership Private 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Moore-Popalis, Diane ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
838 = =
Check One Check One or More
☐ Excellent 863 = = ☒ Altered 858 = = Present Use Commercial 850 = =
☒ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning C+ 1945 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 20th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More
☐ Zoning () 878 = = ☐ Transportation () 878 = =
☐ Development () 878 = = ☐ Fill () 878 = =
☐ Deterioration () 878 = = ☐ Dredge () 878 = =
☐ Borrowing () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture 910 = =

Significance:

This two story masonry vernacular building was built around 1945 and has been in continuous use as an office building for various businesses.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Rectangular 966 = =
 EXTERIOR FABRIC(S) Brick: common 854 = =
 STRUCTURAL SYSTEM(S) Masonry: brick 856 = =
 PORCHES Canvas awning

FOUNDATION: Continuous: brick 942 = =

ROOF TYPE: Flat with parapet 942 = =

SECONDARY ROOF STRUCTURE(S): 942 = =

CHIMNEY LOCATION: 942 = =

WINDOW TYPE: Casement, 6 lights, wood # hinged, 3 lights 942 = =

CHIMNEY: 882 = =

ROOF SURFACING: Composition roll 882 = =

ORNAMENT EXTERIOR: Flat arch over window # corbeling 882 = =

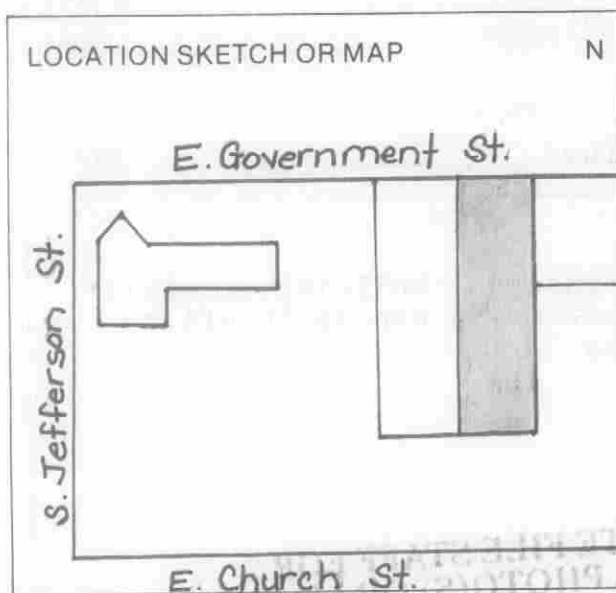
NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 2 950 = =

NO. OF DORMERS 0 954 = =

Map Reference (incl. scale & date) USGS 7.5 Min. Pensacola 1970

Latitude and Longitude: 800 = =

Site Size (Approx. Acreage of Property): LT 1 833 = =



Township	Range	Section
2S	30W	46

812 = =

UTM Coordinates:

Zone Easting Northing

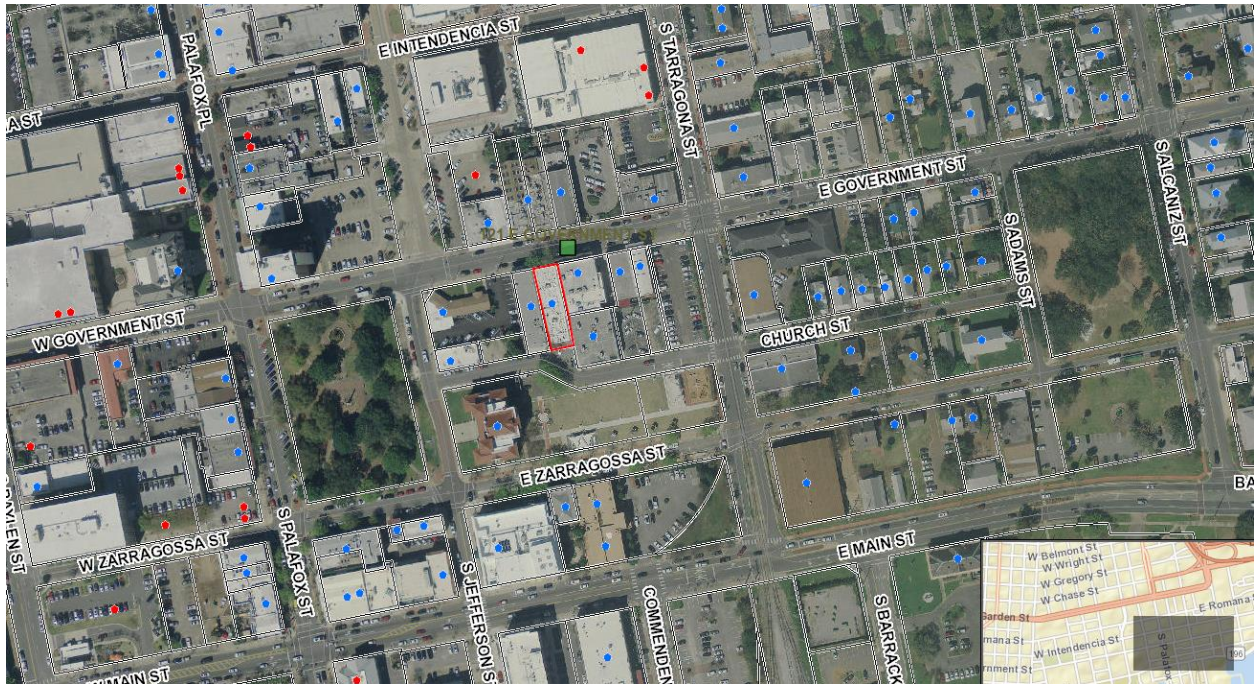
890 = =

Photographic Records Numbers HPPB P.82.39 Frame 32 860 = =

Contact Print



121 E. Government Street







EXISTING UPPER WOOD WINDOW TO BE REPLACED, TYPICAL. (5 TOTAL)

EXISTING LOWER WOOD WINDOW TRIM TO BE REPAIRED. ALL WOOD TRIM AND WOOD WINDOWS TO BE RE-PAINTED NEW COLOR, TYPICAL

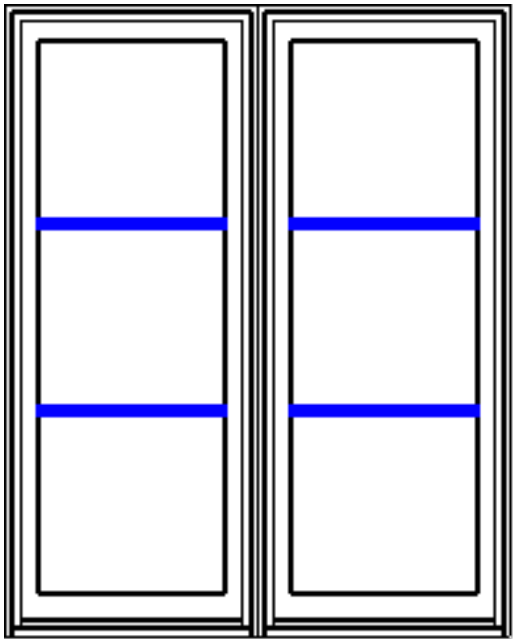
EXISTING GLAZING UNITS TO BE REPLACED. GLAZING TO MATCH EXISTING. ALL OTHER GLAZING TO REMAIN.



EXISTING UPPER WINDOW TO BE REPLACED
(EXTERIOR VIEW)



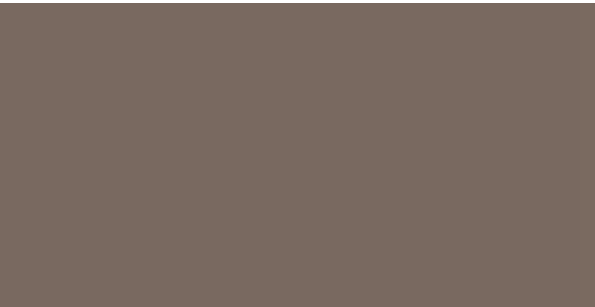
EXISTING UPPER WINDOW TO BE REPLACED
(INTERIOR VIEW)



REPLACEMENT WINDOW DRAWING
PROVIDED BY MANUFACTURER



NEW EXTERIOR TRIM PAINT COLOR FOR LOWER WINDOWS
MANUFACTURER: SHERWIN WILLIAMS
HISTORICAL PALETTE COLOR: SW 2808 ROOKWOOD DARK BROWN



Cocoa



NEW UPPER REPLACEMENT WINDOW INFORMATION
MANUFACTURER: JELD-WEN
MODEL: SITELINE CLAD WOOD w/ SIMULATED DIVIDED LITES
FINISH: COCOA
SIZE: TO MATCH EXISTING

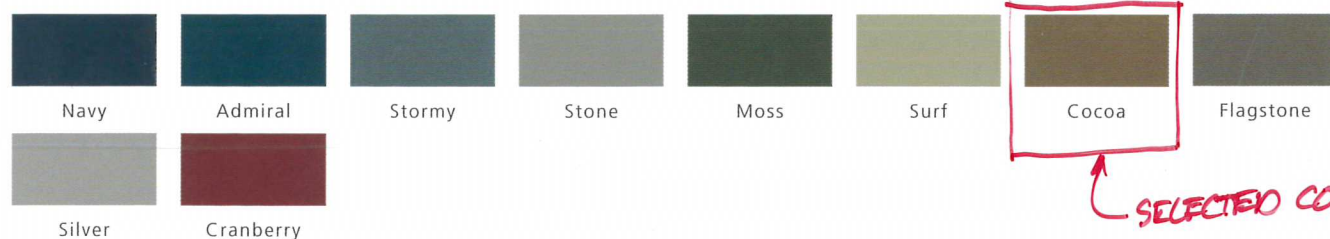


NOW TRENDING: NEW COLORS FOR CLAD WOOD WINDOWS

To stay ahead of market demand, we're introducing new, on-trend aluminum cladding color options for our wood window lines. These additional color choices will give your customers more options and flexibility than ever before.

These new cladding colors will be available February 13, 2019 through JELD-WEN Quick Quote® for our wood windows.

NEW CLADDING COLORS



REMAINING CLADDING COLORS



See jeld-wen.com for product details. Actual colors may differ from samples shown here.
Selling samples available March 2019 on JELD-WEN Brand Store.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00364

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

New Business - Item 4
226 E. Government Street
Pensacola Historic District / Zone HC-1 / Wood Cottages
Contributing Structure

BACKGROUND:

Christy Cabassa is requesting conceptual approval for exterior changes and additions to the main structure. This review request is for aesthetic design elements only. These modifications include the addition of porches, a change to some windows and doors, and a rear addition. Research into the original structure shows that this house was moved from 123 E. Gregory Street in 1978 due to interstate construction. Based on historic aerials, Sanborn Fire Insurance maps, newspaper articles and microfilm inspection reports, the house appears to have gone through a number of changes and was listed as "unsafe" by the city in 1977 before it's move. A historic structure analysis by the University of West Florida Historic Trust is included.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(6) PHD, Restoration, rehabilitation, alterations or additions to existing contributing structures in the Historic District, specifically subparagraph (b) Exterior Walls, (d) Porches, (f) Windows, (i) Trim and miscellaneous ornament;
and/or Sec. 12-2-10(A)(7) Renovation, alterations and additions to noncontributing and modern infill structures within the Historic District.



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES 2397
Recorder # _____
Field Date 5/2/95
Form Date 7/14/95

☒ Original
☒ Update

SITE NAMES (addr. if none) BENJAMIN OVERMAN HOUSE [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4788]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 226 E. GOVERNMENT ST.
CROSS STREETS nearest/between BETW. S. TARRAGONA AND S. ALCANIZ ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-001-299
SUBDIVISION NAME PENSACOLA HIST DIST BLOCK 23 LOT NO. 167
OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-ladiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO _____

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING 111110 NORTHING 111110]
PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

STYLE ITAL EXTERIOR PLAN LSHP NO. STORIES 2.5
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GAIN Materials SM3V
Secondary strucs. (dormers etc.) CRGA
CHIMNEY: No. _____ Materials _____ LOCATIONS _____
WINDOWS (types, materials, and placements) DHS, 4/4, 4/6, 6/6, WOOD, FIXED, 4 LIGHT,
WOOD AND PEDIMENTED WINDOW SURROUNDS AND LOUVERED SHUTTERS

MAIN ENTRANCE (stylistic details) _____
PORCHES: #open _____ #closed _____ #incised _____ Locations S/ 1 STORY SHED WITH BRACKETS
Porch roof types SQUARE POSTS AND SPINDLE AND SPOOL BALLUSTERS, 3 BAY, ACCESS FROM SOUTH
EXTERIOR ORNAMENT BRACKETED CORNICE WITH PANEL FRIEZE

INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)
Artifacts or other remains _____
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)

**HISTORY**CONSTRUCTION DATE 1860s CIRCA ☒ yes ☐ noARCHITECT: (last name first) UNKNOWNBUILDER: (last name first) UNKNOWNMOVES ☒ yes ☐ no Dates 1978 Orig. addr. FROM E. GREGORY ST.ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____ADDITIONS ☐ yes ☐ no Dates _____ Nature _____ORIGINAL USES (give dates) RESIDENCE

INTERMEDIATE USES (give dates) _____

PRESENT USES (give dates) COMMERCIAL, OFFICEOWNERSHIP HISTORY (especially original owner) BENJAMIN OVERMAN (ORIGINAL),
JOHN C. AND MARY E. DONOVAN (CURRENT)**SURVEYOR'S EVALUATION OF SITE**

Potentially elig. for local designation?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	Local Designation Category _____
Individually elig. for Nat. Register?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	
Potential contributor to NR district?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

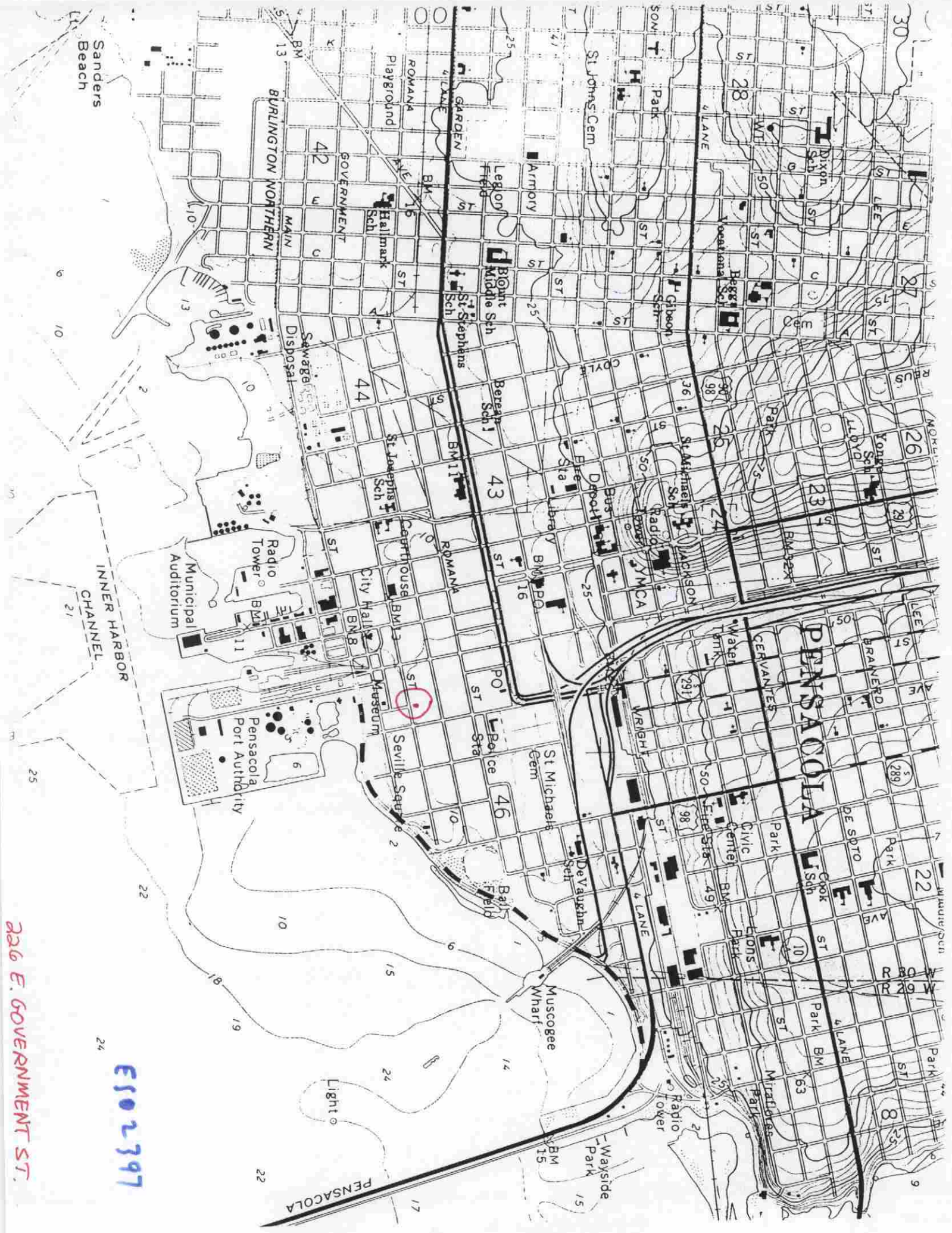
PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R4, F11-12

RECORDERNAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHPR USE ONLY		OFFICIAL EVALUATIONS				DHPR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date
		SHPO-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date
DECS DATE		LOCAL DESIGNATION					Date
		Local office					

REQUIRED:

- * y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



226 E. GOVERNMENT ST.

ES102397



DECLASSIFIED BY 308 3021 N 3 N 3 2

1. BENJAMIN OVERMAN HOUSE
2. 226 E. GOVERNMENT ST.

3. J. SCOTT JANCY
4. 2 MAY 1995

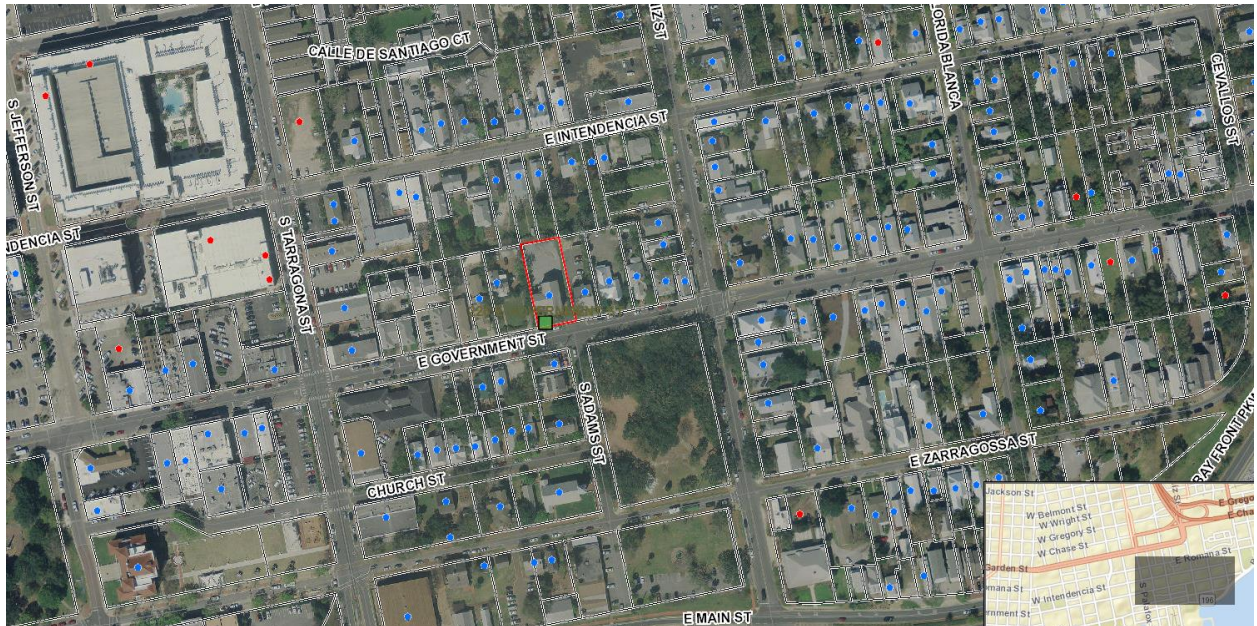
5. HPPB

6. N

7. R4, F11

ES02397

226 E. Government Street



July 13, 2020

Page 1 of 3

RE: 226 E Government Street

Dear Architectural Review Board,

I was asked to research and assess the architectural character of the house located at 226 E Government Street, to help the property owner and Architectural Review Board understand the history and changes that have occurred to this structure. This assessment is based on site visits, old photographs, newspaper articles, and other information found in the Historic Trust property files.

The earliest illustration of this house is from an 1896 bird's eye view map of Pensacola. The house is depicted as having two stories, an "L" shape plan, and a cross gable roof. Looking closer, the window arrangement and chimney locations match details on the current house. An interesting feature is what appears to be a widow's walk on the main roof.

The next oldest illustration is a 1907 Sanborn map that closely matches the 1896 bird's eye view map. The Sanborn map shows a small front porch and a large side porch. Framing details found on the current house match this porch configuration. An address is also found on the map, which assisted in researching the history of the property.

A 1953 aerial is the earliest photograph that could be found of the house. In this picture the gable wall, what is now the west façade, shows the windows and chimney configuration matching the current house. Trees obscure the front façade, but the widow's walk can clearly be seen on the roof.

Researching the original address, 123 E Gregory Street, the house was built around 1860 by Benjamin Overman, a lumber company executive. Along with the main house, the Overman family owned a number of rental properties along the 100 block of E Gregory Street. When Mr. Overman died in the 1880s, the main house was sold and a number of families lived in the house for the next forty years. In the 1920s, the house was converted into a boarding house and later into apartments. In the 1970s, the house was abandoned and inspection records show it was deemed unsafe in 1977 and was slated for demolition. Architect Hugh Leitch, purchased the property and moved it on April 24, 1978 to 226 E Government Street. A newspaper article from 1978 shows half of the house moving to the Government Street location. The article states the house was originally on the 200 block of E Gregory Street, but Sanborn maps and other documents show the house was located at 123 E Gregory Street.



In assessing what remains of the original house, two photos proved helpful: the 1978 newspaper article and a photo from 1978 just after the house was moved. In relocating the house, the porches were removed and the house was cut into two sections. It appears there was minimal disturbance of the siding, windows, and decorative trim. When I toured the house, the framing details and inspection of the building materials indicate the siding, windows, and majority of architectural features are original. The front porch dates to 1978, but a number of the large brackets between the columns appear to be original. In 1988, a large addition was added to the rear of the house, but stayed true to the Italianate style.

The best account as to how the house was restored is detailed in two letters between the State Preservation Architect and Mr. Leitch. The State Preservation Architect does not agree with the restoration, citing various sections from the Secretary of Interior's General Standards. Mr. Leitch debates these points and provides insight into the challenges he faced when undergoing this project. The item of most contention is the removal of the large side porch and rebuilding of the front porch. Mr. Leitch explains the side porch was most appropriate to the style of the house and he used this as the inspiration to build the front porch. He indicates he salvaged brackets, matched column spacing, and had to add a balustrade for safety reasons. Later in the letter he mentions items he did not restore or reconstruct, such as chimneys, fireplaces, balconies, and the widow's walk.

My inspection of the house revealed that the 1978 restoration stayed true to the original architectural style, but the restoration techniques and repairs were not always appropriate. The majority of the wood trim, architectural details, and siding are original, but all were sandblasted in 1978. This has created a rough texture on the wood and has even removed molding profiles and other decorative details. In an effort to correct this aggressive paint removal, Bondo, wood filler, and caulk were used to fill holes and rebuild molding profiles. Upon closer inspection, the majority of the repairs have been done poorly. The wood trim and siding are very rough in places and there are sections that have been replaced. All of these wood elements would have had a smooth, planed finish, not a rough wood-grain texture.

The majority of the windows in the oldest part of the house appear to be original. The construction technique, profiles, and framing details match windows from the 1860s and 1870s. The windows that extend to the floor, once had the ability to fully open, allowing access to porches and roofs. The wall pockets still exist, but the jambs and window weights have been removed. The overall condition of the windows is poor and a number of them have been badly repaired. Almost all of the glass has been replaced and none of the windows are functional. Even in this poor condition, a few of the windows can be rebuilt and restored, but this would be a major undertaking.



UNIVERSITY of WEST FLORIDA

HISTORIC TRUST

Page 3 of 3

The front doors are questionable on how original they are to this house, but they are old. They do not appear in the 1978 photos, but they could have been removed for the renovation. The glass has been replaced with impact glass and the wood under the paint does not look as old as other painted wood from 1860. The design does match the Italianate style and this door design is common among houses from this period. The leaded glass transom was probably added between 1870 – 1910, when this style of leaded glass was fashionable and easier to obtain. Additional research is needed to date the transom.

In 1978, the State Preservation Architect determined that “the building may be certified as a contributing structure to the Pensacola Historic District.” In 1995, an updated survey of the District was done and the property was listed as contributing. As an important note, this property is not part of the 1970 National Register listing for the District. I believe Mr. Leitch was trying to get it added, but the State did not have a favorable recommendation and did not send it to the Department of the Interior for review.

In this specific case, I believe the contributing status should play a minor role in reviewing plans for this property. The architectural style and original owner are significant, but the relocation, renovation, and condition of materials complicates the existing contributing status. The house was not restored as to how it appeared in 1860 or 1900 or even 1977. Important architectural elements were saved in 1978, but were damaged by sandblasting and years of bad repairs. The integrity of the original building materials has been compromised, but not the overall architectural style. The items of most importance include the bracketed cornice, porch brackets, and window pediments. A suggested compromise is to try and salvage and restore original elements and closely replicate damaged or missing elements. As Mr. Leitch did in 1978, new porches and exterior changes can replicate details found on the house. The focus should be on preserving the architectural integrity of the house, if that is through restoration or replication.

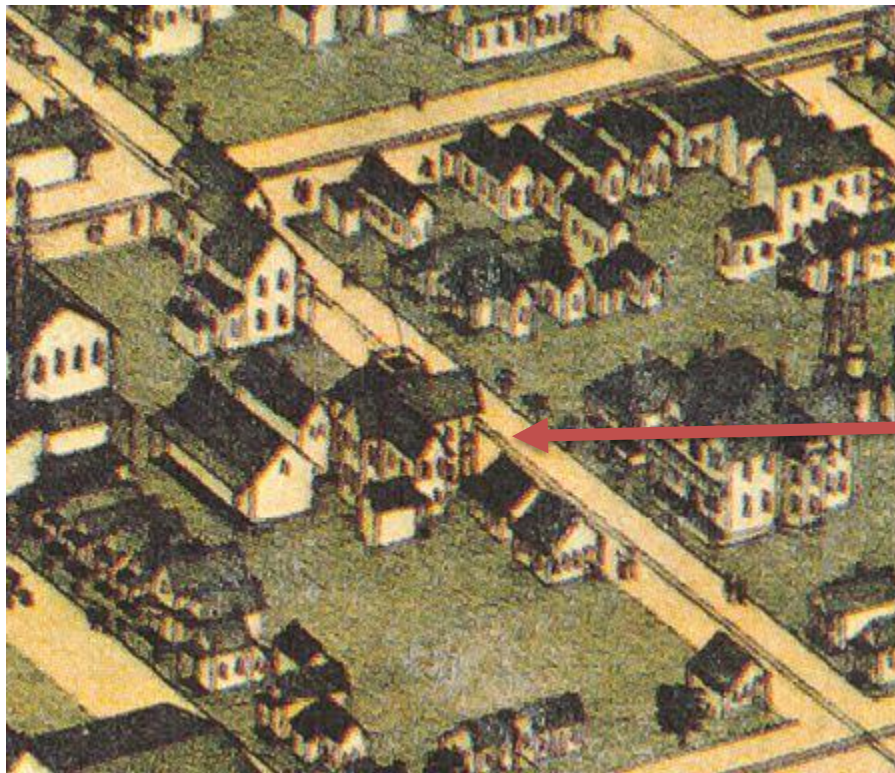
Please review the attached documents for additional information.

Sincerely,

Ross Pristera
Historic Preservation

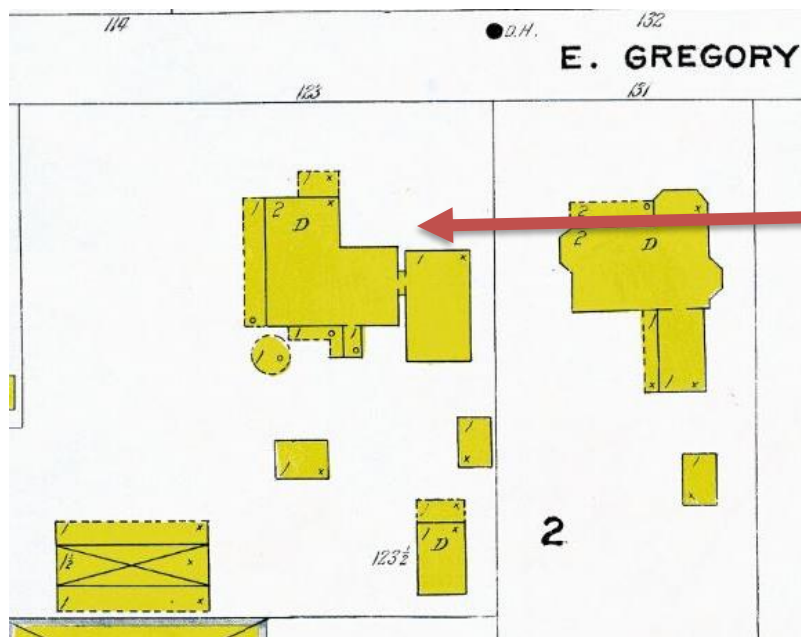


UNIVERSITY of WEST FLORIDA
HISTORIC TRUST



House

1896 bird's eye view map of Pensacola

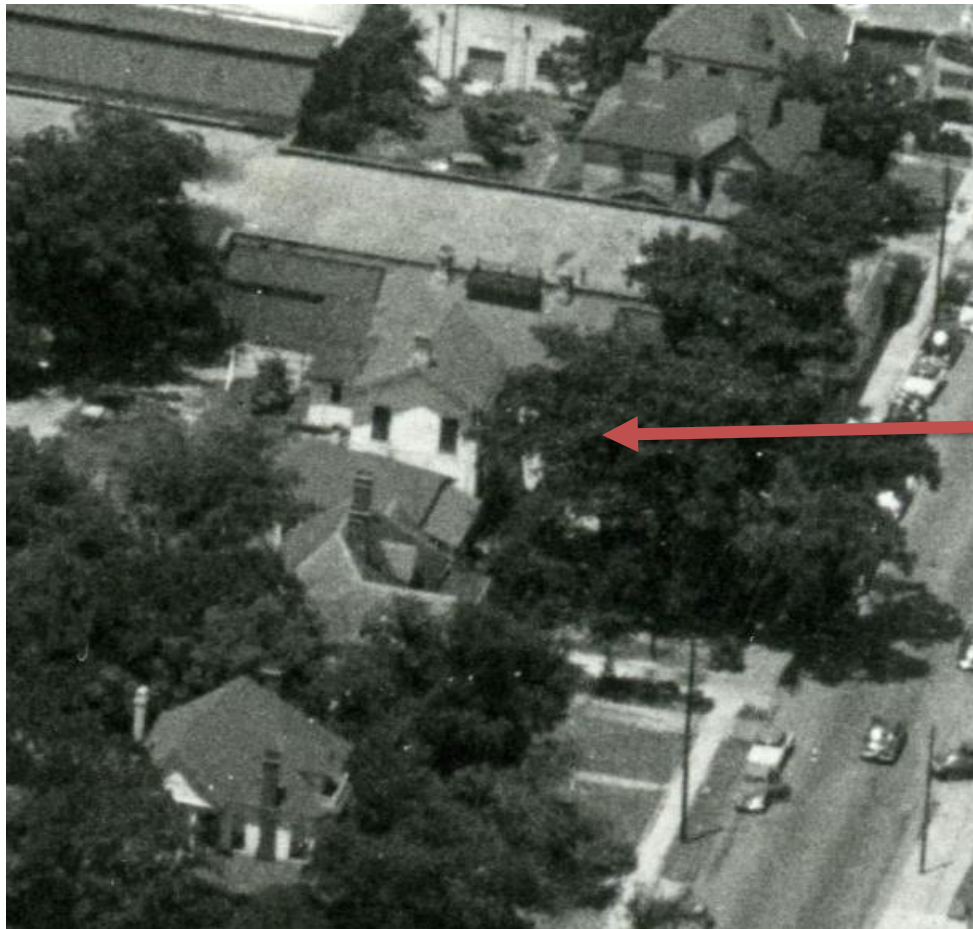


House

1907 Sanborn Map



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HISTORIC TRUST



House

1953 Aerial



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HISTORIC TRUST

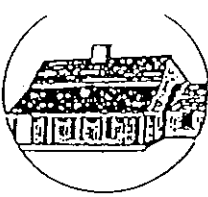


April 24, 1978 Relocation









HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8

Recorder #

Field Date 5 / 2 / 95

Form Date 7 / 14 / 95

Original
☒ Update

SITE NAMES (addr. if none) BENJAMIN OVERMAN HOUSE [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY #]
NATIONAL REGISTER CATEGORY ☐ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 226 E. GOVERNMENT ST.
CROSS STREETS nearest/between BETW. S. TARRAGONA AND S. ALCANIZ ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-001-299
SUBDIVISION NAME PENSACOLA HIST DIST BLOCK 23 LOT NO. 167
OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING 1000000 NORTHING 1000000]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

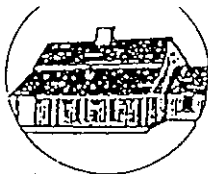
STYLE ITAL EXTERIOR PLAN LSHP NO. STORIES 2.5
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GAIN Materials SM3V
Secondary strucs. (dormers etc.) CRGA
CHIMNEY: No. Materials
LOCATIONS
WINDOWS (types, materials, and placements) DHS, 4/4, 4/6, 6/6, WOOD, FIXED, 4 LIGHT,
WOOD AND PEDIMENTED WINDOW SURROUNDS AND LOUVERED SHUTTERS

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations S/ 1 STORY SHED WITH BRACKETS
Porch roof types SQUARE POSTS AND SPINDLE AND SPOOL BALLUSTERS, 3 BAY, ACCESS FROM SOUTH
EXTERIOR ORNAMENT BRACKETED CORNICE WITH PANEL FRIEZE

INTERIOR PLAN
CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☒ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORYCONSTRUCTION DATE 1860s CIRCA ☒ yes ☐ no

ARCHITECT: (last name first) UNKNOWN

BUILDER: (last name first) UNKNOWN

MOVES ☒ yes ☐ no Dates 1978 Orig. addr. FROM E. GREGORY ST.ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____ADDITIONS ☐ yes ☐ no Dates _____ Nature _____

ORIGINAL USES (give dates) RESIDENCE

INTERMEDIATE USES (give dates) _____

PRESENT USES (give dates) COMMERCIAL, OFFICE

OWNERSHIP HISTORY (especially original owner) BENJAMIN OVERMAN (ORIGINAL),

JOHN C. AND MARY E. DONOVAN (CURRENT)

SURVEYOR'S EVALUATION OF SITEPotentially elig. for local designation? ☐ yes ☐ no ☐ insuff. infoIndividually elig. for Nat. Register? ☐ yes ☐ no ☐ insuff. infoPotential contributor to NR district? ☐ yes ☐ no ☐ insuff. info

Local Designation Category _____

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R4, F11-12

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY*	y	n	pe	n	Date	/ /
/ /	SHPO-NR ELIGIBILITY*	y	n	pe	n	Date	/ /
DELIST DATE	LOCAL DESIGNATION*					Date	/ /
/ /	Local office						

* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



STATE OF FLORIDA
Department of State
THE CAPITOL
TALLAHASSEE 32304

Jesse J. McCrary, Jr.
~~BRUCE A. SMATHERS~~
SECRETARY OF STATE

November 29, 1978

Robert Williams
~~ALBERT M. MOORE, JR.~~ DIRECTOR
DIVISION OF ARCHIVES, HISTORY, AND
RECORDS MANAGEMENT
(904) 488-1480

IN REPLY REFER TO:

Mr. Hugh J. Leitch
Architect, P.A.
213 South Alcaniz Street
Post Office Box 928
Pensacola, Florida 32502

Re: 226 East Government Street, Pensacola, Florida

Dear Mr. Leitch:

Thank you very much for submitting your Historic Preservation Certification Application for the property located at 226 East Government Street. The project has been reviewed according to the criteria set forth in the Secretary of Interior's "Standards for Rehabilitation". We have enclosed a copy of these standards for your reference. Our comments regarding both parts of your application follow.

First, we feel that the building may be certified as a contributory structure to the Pensacola Historic District. With regards to the rehabilitation work, however, we believe that certain elements are not consistent with the historic character of the structure and are not in keeping with the Secretary of the Interior's General Standards on pages 4 and 5. The front porch dating from 1900 is considered evidence of the history and development of the building and should have been restored to its original condition (the removal of such a distinctive architectural feature should have been avoided, and violates General Standards #2 and #4). Retaining porches and steps that are appropriate to the building and its development are recommended treatments in a rehabilitation project. An accurate restoration of both front and side porches, as evident in the 1903 photographs you enclosed, would have been the desirable treatment in this case. This would have included the restoration of the second story deck and balustrade based on the pictorial evidence submitted. The addition of the porch on the street elevation is not substantiated by any historical, physical or pictorial evidence presented to this office, and therefore violates General Standard #6. It resembles in style the original side porch, which should have been retained in that location. The balustrade on this porch

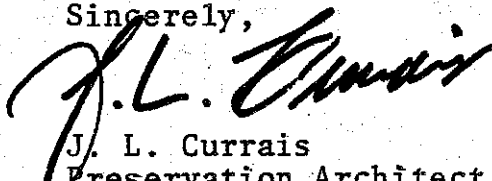
Mr. Hugh J. Leitch
November 29, 1978
Page Two

is also inappropriate since there is no indication of the existence of a first story balustrade in any of the old photographs. The brick steps and arched underpinning are also inappropriate since all pictorial evidence submitted indicates the existence of simple masonry piers and wood steps. Finally, the removal of the chimneys eliminated a distinctive stylistic feature which characterized the roofline of the building. Photographs #2 and #3 submitted with your application form indicate that the chimneys were nicely detailed, executed by skilled craftsmen and should have been restored.

The Secretary of the Interior recommends that owners of historic properties obtain a determination that the proposed work meets the "Standards for Rehabilitation" prior to undertaking work. Approval by our office of proposed work will enable owners to proceed knowing that the work meets the necessary requirements. All projects are reviewed and evaluated by our office and then sent with our recommendation to the Technical Preservation Services Division, Office of Archaeology and Historic Preservation, Heritage Conservation and Recreation Service, Department of the Interior for their evaluation and certification. At this time we shall not forward your application to the Department of the Interior since our recommendation is not favorable. If you desire a determination of the rehabilitation work by the Technical Preservation Services Division, please advise us and we will forward your application with our comments. If you have any suggestions on how to mitigate the impact of the work on the historic structure, or have any additional information or documentation that verifies the rehabilitation work, please contact our office and we will be happy to discuss the project.

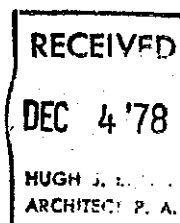
Your interest and cooperation in preserving Florida's cultural resources is appreciated.

Sincerely,


J. L. Currais
Preservation Architect

JLC:jb

Enclosure



HUGH J. LEITCH • ARCHITECT • P.A.
213 SOUTH ALCANIZ STREET, P. O. BOX 928
PENSACOLA, FLORIDA 32502 904/432-6196

6 December 1978

Mr. J. L. Currais,
Preservation Architect
State of Florida
Department of State
The Capitol
Tallahassee, FL 32304

Re: 226 East Government Street, Pensacola, FL

Dear Mr. Currais:

I have your letter of November 29 which we discussed by phone after my receipt of it. As I indicated to you, we did not have the advantage of prior knowledge of this Historic Preservation Certificate Application. Otherwise, we would have contacted your office before beginning work on this Project. I understand you will not recommend approval of our Application for Certification of this structure because, in your opinion, our procedures were not proper.

In general, projects of this nature must be considered in the light of economic feasibility, including certain elements of compromise and expediency before they can be undertaken at all. In this instance, we determined that the hull of the building could be and should be saved. We also determined in the interest of economic feasibility that the building should not be retained at its original location but should be moved - preferably into Pensacola's Historical District. Additionally, we determined that certain structurally defective features such as the chimneys and missing fireplaces should be removed in the interest of safety and additional interior space in view of the impossibility of restoring or rebuilding fireplaces to their original condition and working order. The geometry of the new site indicated that it was not feasible to retain the east (previously west) porch. The double columned north porch, added after the turn of the century, was of such disparate and poorly detailed design (as compared with original porches) that we determined this added north porch should be removed and replaced with a porch which was in keeping with original porch on the original building. We do not agree with your

Mr. J. L. Currais
Page Two
6 December 1978

statements that "the front porch dating from 1900...should have been restored to its original condition" nor that this porch was a "distinctive architectural feature". With the exception of two-story rear building addition, this porch was the least distinctive of any feature of the remaining building and, for that reason, coupled with the certainty that it was added after a previous smaller porch had been removed from the north side of the building, I determined that the removal of it was the only suitable direction. I agree with your comment that porches and steps that are appropriate to the building should be retained. In this instance, however, porch and concrete steps were not appropriate to the building, should not have been built as they were, and, therefore, deserved to be removed. Even worse would have been an accurate restoration of both front and side porches - the front porch including features such as concrete block pedestals, poorly detailed columns (tapered and round but without proper entasis), column capitals of improper scale and the upper ballustrade. The side porch, on the other hand, was entirely appropriate to the house with nicely spaced columns and column brackets, cornice brackets, etc. It is this side porch which was used as a basis for the restored porch, even though it does not now occur in the same position as the original side porch. In fact, cornice brackets and column brackets are, for the most part, the original brackets.

While the ballustrade on the restored porch does not reflect an earlier detail of this building, I do not agree that it is inappropriate. It is simply a compromise to avoid a safety hazard as compared with no rail at all. The rose bush trellis, obviously designed to provide shade for the porch in its previous west orientation, is not required or appropriate for the front porch of the building in its present position with the deep porch on the south side providing good protection from summer sun. Although the brick steps and arched underpinning are not depicted in previous pictures, these are also expedients - brick steps providing greater durability for this commercial building than wood steps and the arched underpinnings providing a graceful architectural feature found in many buildings of this vintage.

Futhermore, I do not agree with your contention that, to qualify for certification, old buildings should be preserved in one of two specific ways:

- exact restoration to original condition when built, or
- retaining all features of construction at the time restoration is begun and upgrading or refurbishing these.

Mr. J. L. Curraïs
Page Three
6 December 1978

In the first instance, it would not be possible to fit up a building of this age with electric lighting, telephone, heating and air conditioning, plumbing, insulation, etc. It would also be required that features such as the widow's walk, all fireplaces and chimneys, balconies, etc. be rebuilt.

This generally rules out the possibility of "adaptive modification" for old buildings which immediately destroys incentive for undertaking restoration of most of them. In the second instance above, retaining features that have been added, even though poorly advised and even though they detract appreciably from the appearance or function of the structure, simply does not make sense. Even if such features are allowed to remain fifty years or more, they should not be considered sacrosanct. Examples of such features which could have been added prior to 1928 on this building include asphalt shingle roofs, asbestos shingle siding, exposed plumbing waste and vent stacks on exterior of building, exposed gas flue pipe, miscellaneous porches, concrete steps, balconies, added rooms, etc.

I hope you will modify your position as to the approved methods of restoring or refurbishing buildings to allow architects some degree of latitude in their design of restored buildings consistent with the general architectural style of the original construction but taking into account expedients which must be considered if the project is to have economic feasibility. People will assuredly continue to be interested in the restoration of old buildings whether you and the Secretary of the Interior modify your position or not; however, if you really intend to encourage those who may wish to restore and preserve old buildings to do so with the prospect of obtaining accelerated depreciation for the moneyspent on restoration as an incentive, you will find it necessary to reconsider your guidelines.



Hugh J. Leitch

ig
c: Secretary of the Interior

HUGH J. LEITCH • ARCHITECT • P.A.
 213 SOUTH ALCANIZ STREET, P. O. BOX 928
 PENSACOLA, FLORIDA 32502 904/432-6196

15 June 1978

Mr. Lewis Brown, Jr.
 1212 Northwest 12th Avenue
 Gainesville, FL 32601

Dear Lewis:

In keeping with your recent request that we provide you with some information as to our involvement in restoration in Pensacola's Historic District, I am setting out below a few thoughts as to our experience to date.

As you may recall, we worked closely with Pat Dodson who was a pioneer in preserving and restoring historic buildings in the District here in Pensacola. Our work with him, in addition to assisting in the restoration of a number of individual buildings in our District, was the development of the drawings and specifications for a large scale project known as The Intendent. This project, if realized, would have resulted in restoration and reconstruction of a number of similar residences on a square block in the heart of Pensacola's Historical District bounded by Alcaniz, Intendencia, Tarragona and Romana Streets. Additionally, the development projected restorations on the south side of Intendencia Street which would have resulted in a street-scene of directed and well-designed organization. Unfortunately, due to Mr. Dodson's untimely death, the project did not become a reality in the spirit in which it was designed. Although Dodson's son has purportedly taken over the Project, the original scheme has been abandoned entirely and the development of Intendencia Street, while not unpleasant, is not at all what was projected in our design. Buildings now in place along this block on Intendencia Street are of disparate vintage and historical value and in contrast to the original design, which would have resulted in a very attractive residential neighborhood, include a mix which is primarily commercial (offices and shops) interspersed with a few remaining residences. Our role in the project as envisioned by Pat Dodson was planner and architect, and our contribution to the project, if it had been realized, would have been considerable in those categories.

As you know, we have located our office in a restored building of 1860
 MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS

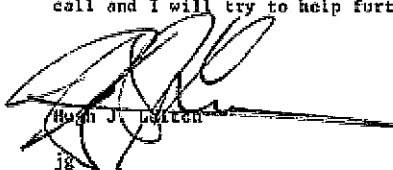
vintage. This was a typical Gulf Coast cottage and our work in restoring it required the removal of some portions of the structure which were added (considerably later than the original construction) and were of considerably less quality as to materials and workmanship. We replaced these removed portions with new area which closely resembles the original construction and, we believe, ties together to present a creditable result. You may be aware that we were awarded an Honor Award by our Chapter of AIA for this effort. We have also participated in the restoration of individual buildings around the District, including a large project we are now working on. This is a Victorian residence which was endangered by the construction of the terminus of I-110 in Downtown Pensacola and was, therefore, moved several blocks to a vacant site in the heart of the District, immediately opposite Seville Square. The restoration of this project, a two-story building of about 1,900 sq. ft. on each floor, is partially complete. We intend to make it available for lease for office usage and we are now considering moving our office into a portion of this building thereby making our present building available for lease or rent.

We have been involved to some degree in the restoration of about a dozen buildings in the District, not including the several dozen buildings designed to be a part of The Intendent development. We find the work to have considerable appeal, although due to the scale of each individual project, not especially rewarding from a return point of view. Our experience working with the Architectural Review Board for the City of Pensacola has been very pleasant. We find that this Board generally agrees with our approach to the restoration processes. We have also found that the Inspection Department of the City of Pensacola has been very cooperative in that they have not insisted on complete compliance with the Code in all matters, especially those where such compliance would degrade the original design of the building - as in stairways, etc. Possibly due to our experience, we have fewer problems with approvals than other persons engaged in restoration or adaptive modification work. However, our rapport with both the Architectural Review Board and the City of Pensacola Building and Inspection Departments has been outstanding and has, we believe, allowed for results which would not have been possible without this favorable relationship.

More constraints relating to Architectural detailing would, we believe, be in order. For example, some buildings have been allowed to be restored using asphalt shingle roofs, poorly detailed railings, and

other inappropriate or non-representative features. There must, however, always be compromise between authenticity (and resulting higher costs) and financial feasibility to assure a reasonable return on investment. In general, it appears that this return is attractive in the District at the present time. Values continue to increase and, as a result, the atmosphere of the District is enhanced. For example, one recent sale of a one and one-half story frame building of 2,800 square feet on a lot with an area of 9,257 square feet sold for \$132,500.

I hope the above may be of some use to you in your work. If you have any specific questions that I have failed to answer, please give me a call and I will try to help further.



Hugh J. Laiten

June 2020 Proposed Elevations
provided by staff for comparison



Proposed Front Elevation
Scale 1/4"=1'-0"



Existing Front Elevation
Scale 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT -- LOCATION :

Switzer Family Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020

for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Elevations

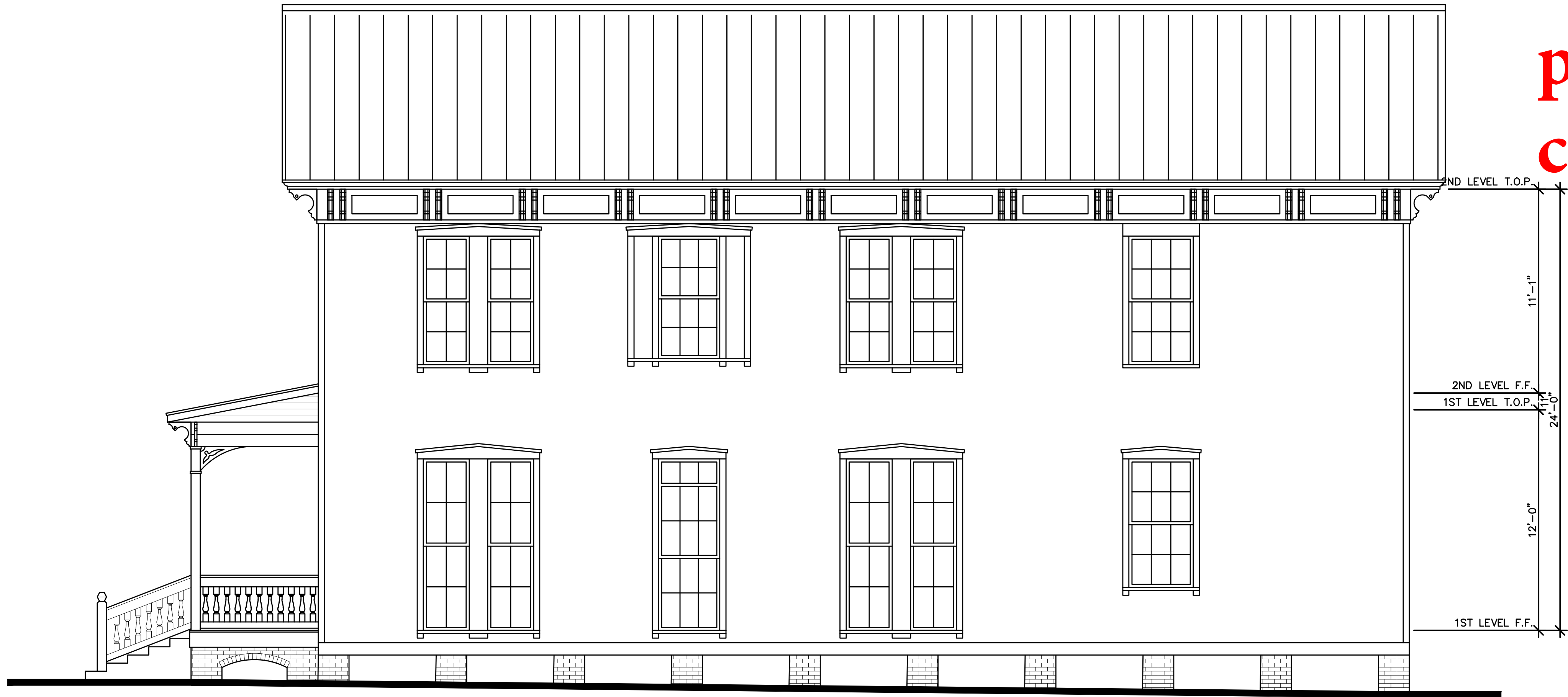
SHEET NO.

A2-1




Proposed East Elevation
Scale 1/4"=1'-0"

June 2020 Proposed Elevations provided by staff for comparison



Existing East Elevation
Scale 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Switzer Family Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020
for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

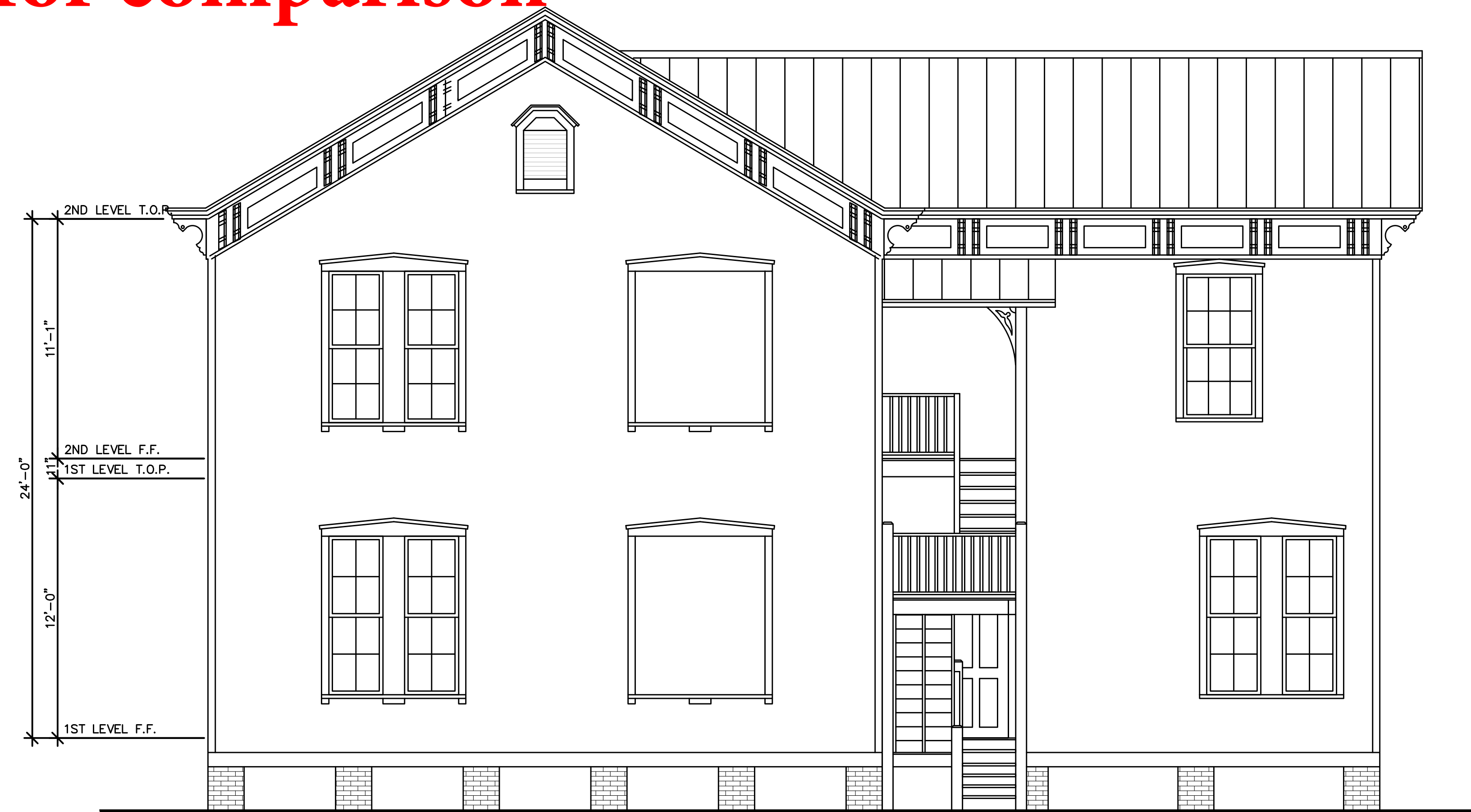
Elevations

SHEET NO. :
A2-2



Proposed North Elevation

Scale 1/4"=1'-0"



Existing North Elevation

Scale 1/4"=1'-0"

**June 2020 Proposed Elevations
provided by staff for comparison**



Christina Lee Cabassa
ARCHITECT

Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

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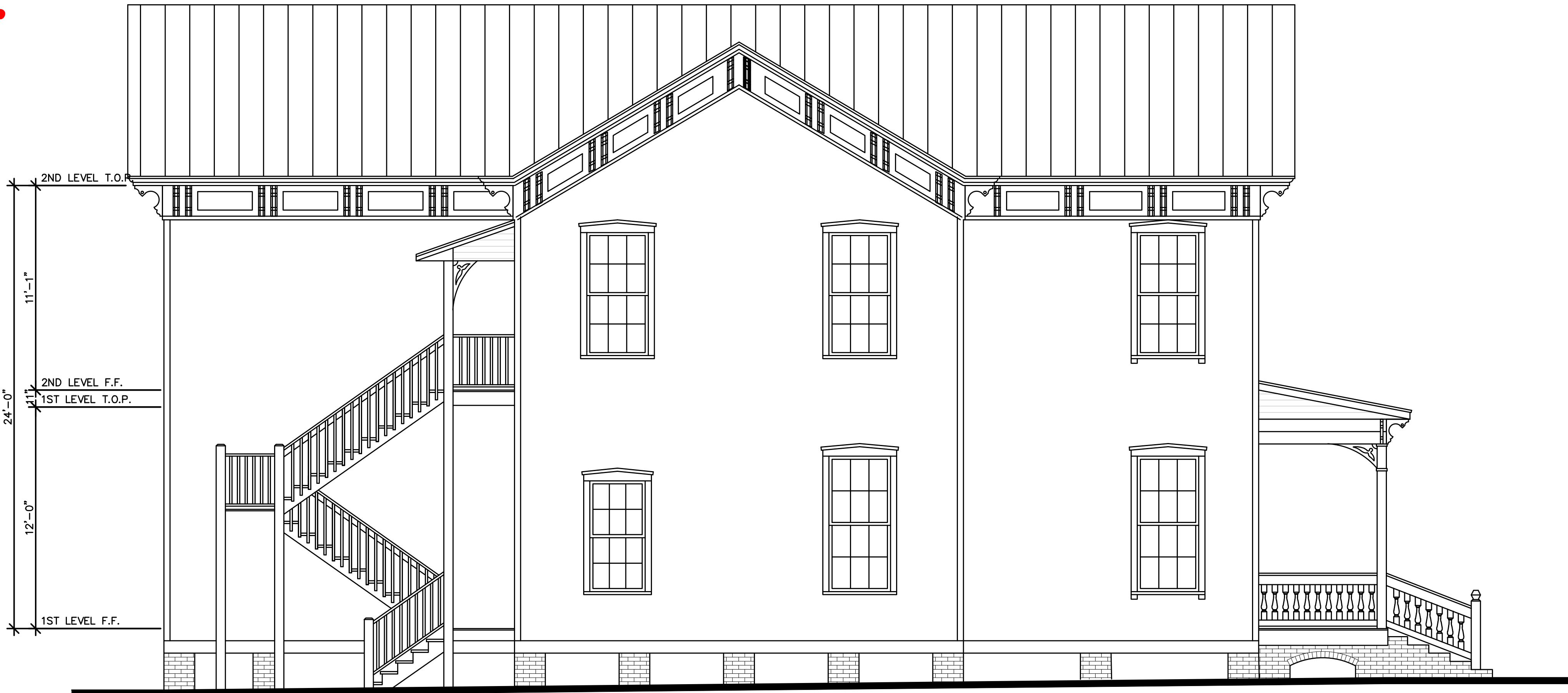
SHEET NO.

A2-3

RECEIVED 6/18/2020



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comparison




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PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO.

A2-4



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: June 25, 2020

Project Address: 226 East Government Street **CONCEPTUAL REVIEW ONLY**

Applicant: Robert B. Switzer

Applicant's Address: 92 Highpointe Drive Gulf Breeze, Florida 32561

Email: bobby.switzer@gmail.com **Phone:** 850-712-8844

Property Owner: Robert B. and Janie A. Switzer Jeremy T. and Alise J. Switzer

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Request for conceptual approval only for the design renovation for window placement, door

placement and porch additions per LDC Section 12-2(d) Porches which encourages

porches as additions when the style of the building will allow it.

See attachment of the LDC.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

June 25, 2020

Date

FOR **BOBBY SWITZER**

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

TRANSMITTAL

To: City of Pensacola Planning Services
Re: 226 Government Street ARB Submittal for
July 16th Meeting
Date: June 25, 2020

Please find attached the drawings for the July 16th ARB Meeting.

Please let me know if 5 sets of Drawings are required.
Please let me know if another check is required for \$50.00.

Final PDF's were sent to Gregg Harding and Leslie Statler .

Please call if you have any questions. Please email me at christy931@mchsi.com upon receipt of this check.

Respectfully:
Christy Cabassa, Architect

The combination of varying roof styles or shapes on a single building is prohibited. The only exception to this is when a three-sided hip roof is used over a porch on the front of a gable roofed building.

2. In order to protect the architectural integrity of the district and structure, roof materials original to each structure should be used. Alternatives to the materials may be considered on a case-by-case basis, but shall match the scale, texture, and coloration of the historic roofing material. Unless original to the structure, the following materials shall be prohibited: less than thirty (30) year fiberglass or asphalt dimensional shingles, rolled roofing, and metal shingles. Thirty (30) year or forty (40) year dimensional shingles may be permitted. Provided, however, existing flat-roofed commercial structures may retain the same style roof and continue to use built-up or single-ply roofing.
 3. Eave metal and flashing shall be naturally weathered copper or galvanized steel, or may be painted.
 4. Gutters and downspouts are discouraged within the district except on brick commercial buildings.
- 12-2
- (d) Porches. The porch, consisting of raised floor platform, sheltering roof, supporting columns, handrails and balustrade, and connecting steps is typical to wood structures in the district.
1. Porches are required in any renovation or alteration of a contributing structure which originally had a porch, and are encouraged as additions when the style of the building will allow it.
 2. The original materials, method of construction and style of building elements shall be duplicated when making repairs, alterations or additions to existing porches.
 3. The size and design of all porch elements, i.e., the flooring, the columns, the handrails, the pickets, the roof beam, the floor support piers, and any other ornamentation shall be consistent with any one single style that is typical to the district. The elements shall maintain proper historical scale, dimensions and detailing.
- (e)



226 Government Existing Front Elevation



226 Government Existing Rear Elevation



226 Government Existing Elevation Looking at East Side



226 Government Existing Elevation Looking towards West Side



226 Government Elevation Looking towards Westside showing vegetation

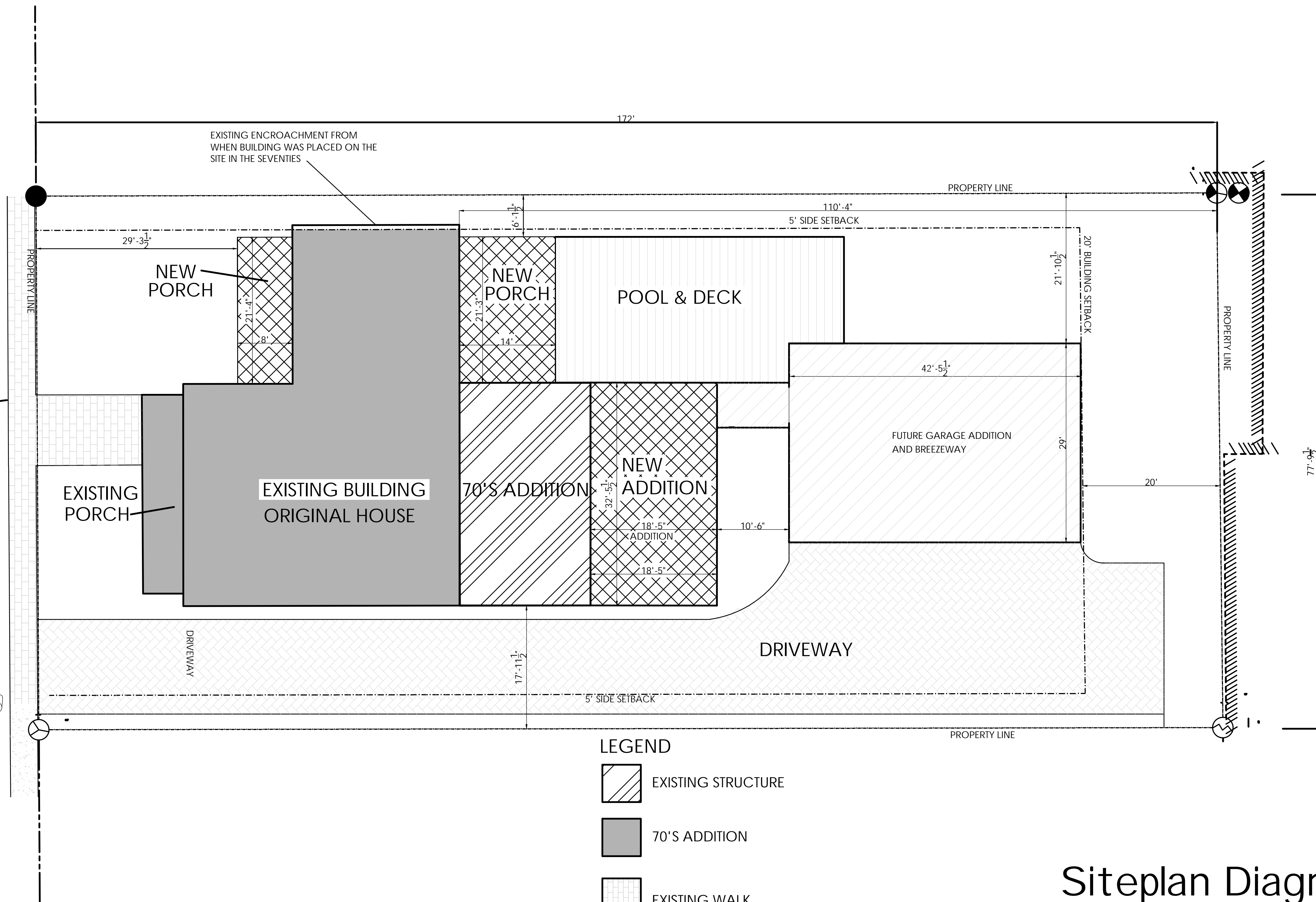


226 Government Existing Window and Trim Condition



226 Government Existing Window and Trim Condition

GOVERNMENT STREET
(60' PUBLIC R/W)



- LEGEND
- EXISTING STRUCTURE
 - 70'S ADDITION
 - EXISTING WALK
 - NEW DRIVEWAY
 - NEW ADDITION
 - FUTURE GARAGE AND BREEZEWAY
 - POOL AND DECK AREA

Siteplan Diagram
Scale 1/8"=1'-0"



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CERTIFICATION :

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REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Design Review Only
For July ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Site Plan

SHEET NO. :

AS-1



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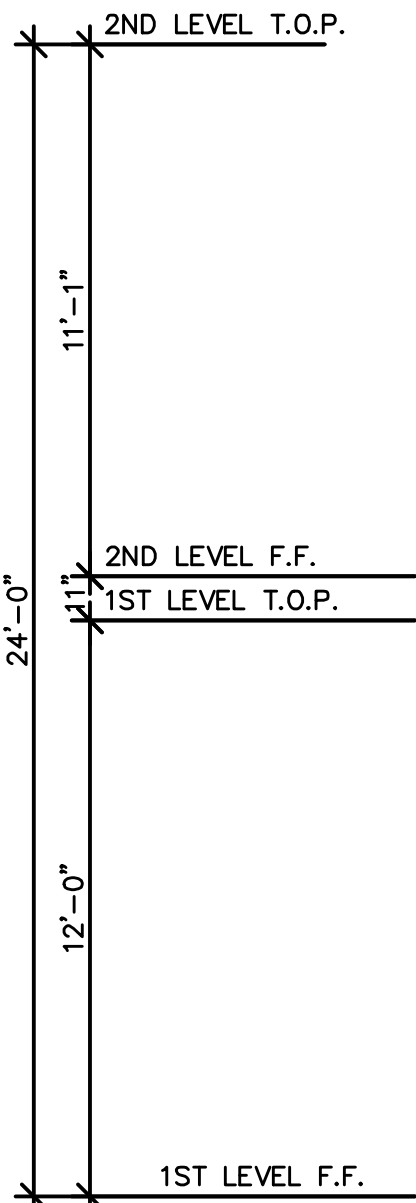
DATE :

SHEET TITLE :

Elevations

SHEET NO.

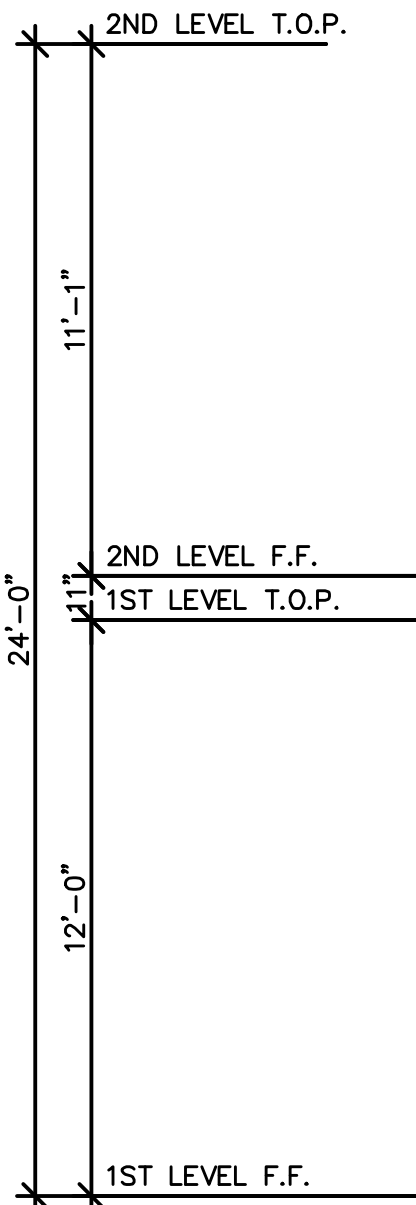
A2-1



Double Doors with Mullions

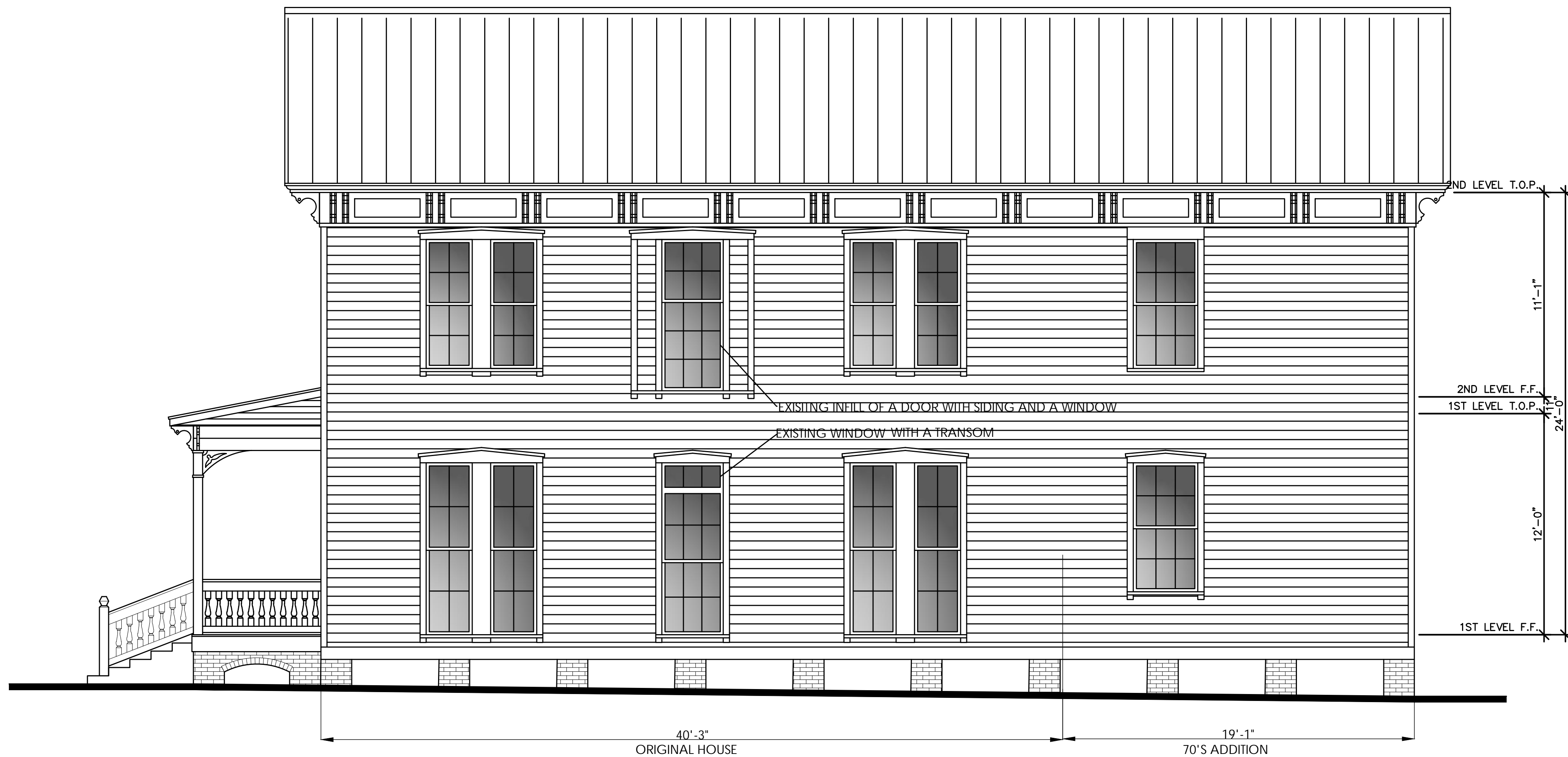
Proposed Front Elevation Revised June 25

Scale 1/4"=1'-0"



Existing Front Elevation

Scale 1/4"=1'-0"



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PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO. :

A2-2



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SHEET TITLE :

Elevations

SHEET NO.:

A2-3





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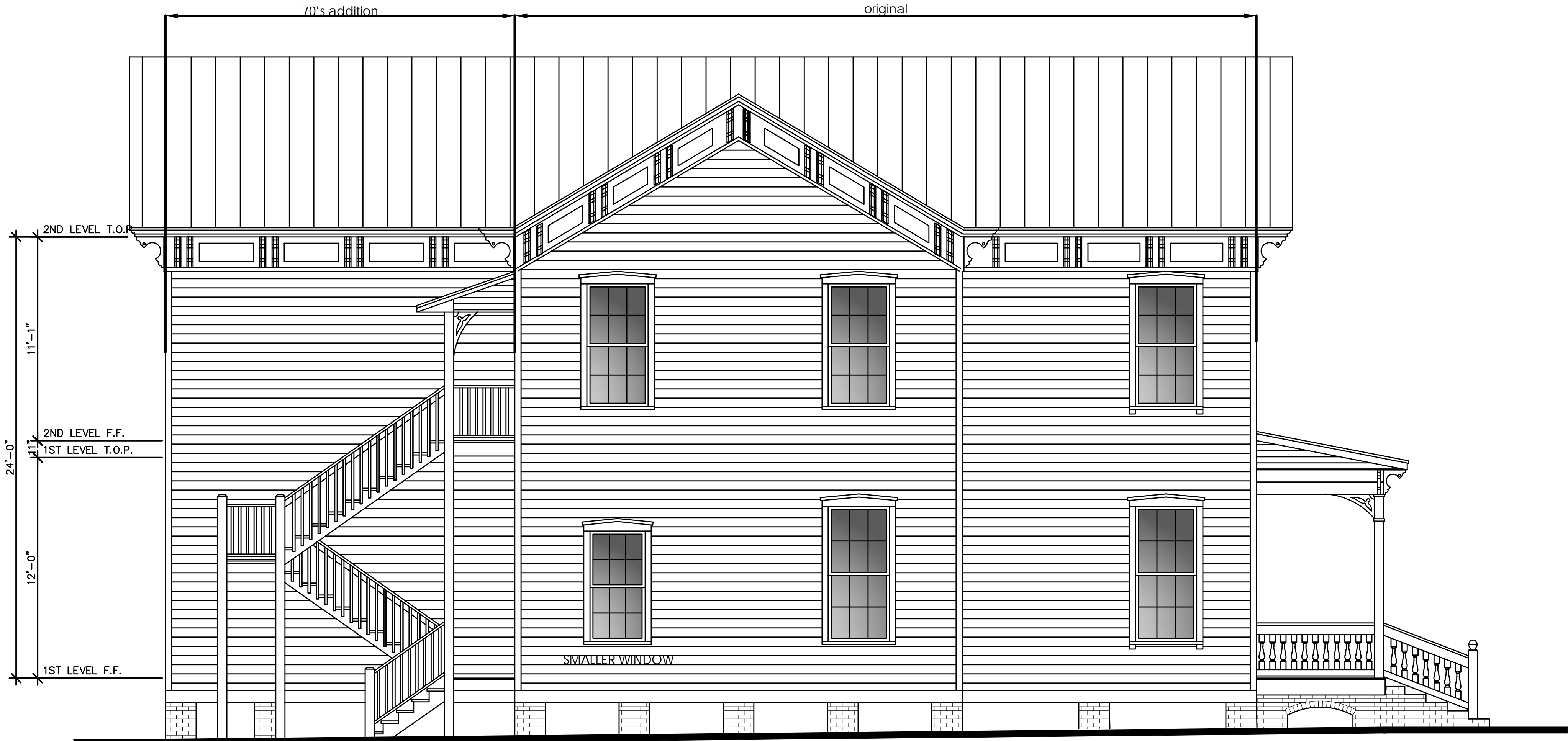
Elevations

SHEET NO. :

A2-4



Proposed West Elevation
Scale 1/4"=1'-0"



Existing West Elevation
Scale 1/4"=1'-0"



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00367

Architectural Review Board

7/16/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/8/2020

SUBJECT:

New Business - Item 5
200 BLK W. Garden Street
Palafox Historic Business District & Governmental Center District / Zone C-2 & C-2A
Contributing Structure (Demolition Approved Nov. 2018)

RECOMMENDATION:

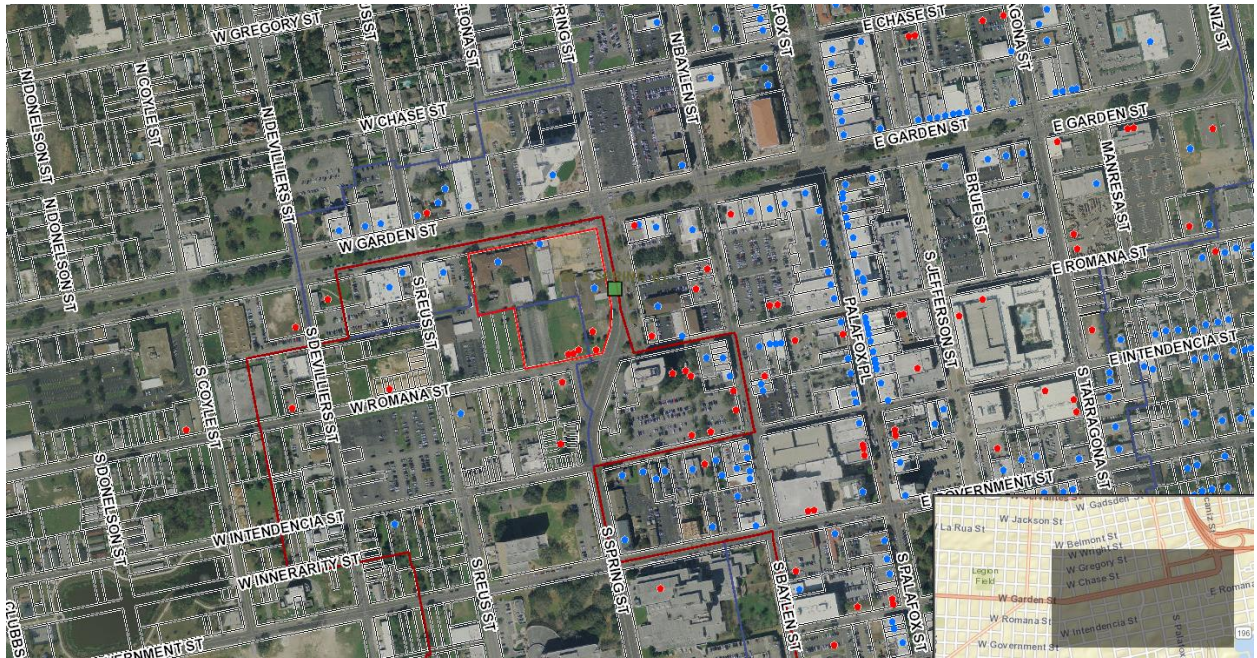
200 West Garden, Inc. is requesting that the Board waive the requirement to submit final plans prior to receiving a demolition permit for the remaining building at 200 BLK W. Garden Street. Per Sec. 12-2-10(A)(9)(2)(c), paragraph 3, the Board may do so under extreme, unusual and/or compelling circumstances or public safety purposes. A timeline for this project is included. Although demolition of the school board building had been approved (December 2018), consideration to save and rehabilitate the building was presented at the June 2020 meeting. According to the applicants and based on current research, the building is not suitable for preservation and has structural issues creating a safety hazard. At this time, the applicants are only seeking approval to be issued a demolition permit. Conceptual plans and elevations are also included in this packet. Also, final plans for the development will be brought back to the Board for review and consideration.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-2-21(F)(2)(d) *PHBD, Razing or demolishing existing buildings* (points to the below section)
Sec. 12-2-10(A)(9)(2)(c) *PHD, Demolition of contributing structures*

200 BLK W. Garden Street



Timeline overview for 200 BLK W. Garden Street

- December 2017 – Request to demolish all buildings at 213 W. Garden Street, 215 W. Garden Street and 25 S. Spring Street. The USO building and others were approved for demolition. The 1940's Escambia County School Building was not approved for demolition.
- November 2018 – Request to demolish the Escambia County School Building. An ARB motion to deny was tied (3 to 3) resulting in a “no action motion” by the Board.
- Special Meeting, December 2018 – Request to demolish the school building. The motion to demolish the school building was approved (6 to 1).
- June 2019 – Conceptual plans submitted for replacement buildings at 200 BLK W. Garden Street (plans showed the Escambia County School Building as part of the development). The applicants advised the Board that although demolition of the school building had been approved, they were researching available avenues to save the building and whether or not its rehabilitation would be feasible. The conceptual plans were approved.



PLANNING SERVICES

THE UPSIDE of FLORIDA

Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD SPECIAL MEETING

December 5, 2018

MEMBERS PRESENT: Chairman Carter Quina, George Mead, Michael Crawford, Susan Campbell-Hatler, Derek Salter, Anna Fogarty, Nina Campbell

MEMBERS ABSENT: None

STAFF PRESENT: Brandi Deese, Assistant Planning Services Administrator, Leslie Statler, Planner, Lysia Bowling, City Attorney, Rusty Wells, Assistant City Attorney, Keith Wilkins, Assistant City Administrator, Don Kraher, Council Executive, Trudi Nichols, Chris Johnston

OTHERS PRESENT: Mayor Grover C. Robinson, IV, Superintendent Malcolm Thomas, Quint Studer, Teresa Hill, Samuel Horton, Steve Jernigan, Keith Wasdin, Robert Fabbio, Danny Zimmern, William Dunaway, Steve Dana, Ed Carson, D. C. Reeves, Oliver Abaira, Drew Buchanan, Ann Hill, Ron Helms, Larry Vosbury, Derek Cosson, Dr. Marian Williams, Alan Gray, Jim Scoggins

CALL TO ORDER / QUORUM PRESENT

Chairman Quina called the Architectural Review Board (ARB) special meeting to order at 2:00 p.m. with a quorum present. He explained the one reason for this meeting regarding this project was because last month it was really declared that the Board did not take action since we voted 3 to 3 tie against the request to demolish, and so we realized that if we didn't act within 30 days there could potentially be an automatic approval of the demolition request, and so our secretary was able to proceed with scheduling a special meeting.

OPEN FORUM – Chairman Quina asked if there was anyone who would like to speak to the Board in general, and anybody who would like to speak to the Board specifically about this project would have an opportunity to do that. He continued by stating that the Board hopes that you would sign a form in the back of the room to be on the agenda to speak. There was no audience input.

NEW BUSINESS

Item 1	213 W. Garden St.	PHBD / GCD
Demolition	215 W. Garden St.	C-2 / C-2A

Action taken: Approved

Steve Jernigan, Bay Design Associates, is requesting the Board reconsider demolition of the existing Escambia County School Administration Building.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / www.cityofpensacola.com

This structure is a contributing structure within the Palafox Historic Business District and was constructed in 1941. Demolition of this contributing structure would allow for the redevelopment of the site with a mixed-use development. On November 15, 2018, the Board considered this request and the vote tied 3 – 3 on a negative motion. The City Attorney has deemed this does not constitute a decision of the Board. According to Land Development Code Section 12-13-3 (G), the Board must render a decision within 31 days; thus the reason for this special meeting and reconsideration of this agenda item. Ms. Deese stated this was step one of a three step process. The Board was letting the developer know today yes or no whether or not it was going to permit demolition of the building, however, they must come back before the Board for conceptual approval before the demolition permit can be issued.

Chairman Quina stated when the Board denied the building demolition in 2017, it also suggested that the developer put together efforts to see what the options were and see what the future master plan would be. The Board wanted to get a really good feel for what they proposed before it approved demolition.

Mr. Dunaway appreciated the opening clarification and wanted to make one further clarification. When Ms. Deese stated it was a multi-step process, step one is the request before the Board, a request the Board approve demolition. The Code indicates that the Board had two choices – recommendation to approve or recommendation for a 6-month moratorium at which point it could look at the historical society and other agencies who might be interested in doing something with the building. He advised it was their understanding that the Board went through that process last year and asked for the team to come up with those alternatives, and instead of 6 months, they actually took one year. If the Board was to make a recommendation for approval, the Code is very clear that the applicant would seek approval of the replacement plans prior to receiving the demolition permit. He then read from the Code, Section 12-12-3 (C) which states the replacement plans shall include but shall not be restricted to the project concept, preliminary elevations, site plans and adequate work drawings for at least the foundation plan to enable the applicant to receive its permit. Ms. Deese explained the Code did not identify the plans as conceptual but refers to it as replacement plans, but it would be similar to what the Board operates under as conceptual and not asking for enough details for final approval. Mr. Dunaway was prepared to go through the entire presentation for Ms. Campbell's benefit since she was not present for the previous meeting. Ms. Campbell indicated she was comfortable with going forward with the new presentation.

Mr. Jernigan advised they brought back the entire team to be available for further questions. He maintained that the building architecturally was not a significant structure. It had been referred to as an art-deco structure, but it was more a trade school to put people to work. It did not have a historical or cultural tie and served many years as the offices of the school district. As a result of the many renovations, most of the original architectural character of the building was changed. As was mentioned by staff, the Board would have two more chances to review this project. He explained it was not intended to be Southtowne West but would be constructed from scratch and would be designed to fit in the district, providing much needed housing for downtown Pensacola. Chairman Quina asked what the building could be used for. Mr. Jernigan stated the original CRA study stated it could not be used for workforce affordable type housing because of the deep bays, window size and location. It could lend itself to more high-end condominiums. He also pointed out there was not enough demand for office space in the current market.

Mr. Crawford asked about the study that validated the approach for mixed units. Mr. Rothfeder stated the study indicated the overall housing demand in terms of numbers. He explained people without children 0-18 have a desire to live in an urban setting, and Gen X, millennials and empty nesters generate the demand to live downtown. An amenitized project makes the development interesting for those groups since they want that level of density with people all around them. Ms. Campbell asked about the conceptual view "C" drawing illustrating the Garden Street arches. Mr. Rothfeder stated the arches were on Spring and left over from the old printing building on Garden, and they worked to incorporate those elements into the urban fabric noting how it ties across the street into the new urban plaza and with Spring Street being placed on a road diet. Ms. Campbell had visited the site and agreed that was a possibility.

Ms. Campbell-Hatler pointed out it was the Board's responsibility to reinforce and maintain the special character of the district as new projects were developed. Mr. Crawford explained this plan with this number of units in this footprint has been validated from the business case, and the next level would be the aesthetics being responsive to the character of the district. Ms. Campbell offered sometimes the old structures can devalue a property, and the cost of renovation could be an impressive number. In terms of the use of the building, she asked if Southtowne was at full capacity, and it was determined they were.

Mr. Mead stated with regard to the architectural and historical significance, he felt that could be overcome. The importance of the structure to the integrity of the district had two components – one being historic and one being the GCD, with both overlays working together. He pointed out the purpose of the GCD was to encourage a coordinated architectural character within the district. In the PHBD it states construction compatible new buildings, scale of existing structures, and diversified architectural styles. In looking at those surroundings, he observed large scale buildings in the monumental frame. With this being an anchoring corner, the Code calls for something on that scale, and he asked if they had considered that; in his opinion, they had an opportunity to build something substantial and creative. He explained it came down to Item 5 with "definite plans for reuse of the property and the effect such plans will have on the architectural, cultural, historical, archaeological, social, aesthetics, or environmental character of the surrounding area, as well as the economic impact of the new development." He could not see placing townhomes on this scale of frontage as fitting that. He clarified that if they could not save the existing structure, the new structure should be balanced with the surrounding monumental structures.

Mr. Carson advised they had taken a year to incorporate some of the suggestions into their due diligence. He listed the owners of the project having in excess of 100 years of experience. He also pointed out they had \$250 million collectively invested in the community; a lot of that had been in building reuse. He confirmed the study had determined this structure was not aesthetically supportive of the future development. He read Section 12-2-10 (A) (9) (b) regarding unusual and compelling circumstances and demolition of a contributing structure, specifically Item 5 regarding definite plans for reuse. He referenced a City study which outlined the need for 2000 additional residential units, which this project could not completely fill. However, it would be a catalyst for the redevelopment of downtown toward the west. He also advised the existing structure was off-grade, with polluted soil and suffers from migration of other pollutants which have worked their way underground. By removing an off-grade building, they could provide an engineering control to help contain further migration of those contaminants. Regarding tax revenue, the community was not benefiting from this structure. Working around the structure would generate \$4 million over 20 years with today's numbers. With a \$50 million project, the projection would be almost \$20 million over 20 years. Regarding Item 6, the School Board had abandoned the idea of saving this building, bringing it to a residential use which is what they saw as the only alternative. It would necessitate more renovations for offices and would require relocating the load bearing elements, etc., which would also be devastating to the structure.

Mr. Mead questioned what constituted "definite" plans. The Board had been given plans of some type indicating this was what would be built. He asked what elements of this within an applicable margin were fixed in terms of the proposal to move forward assuming the demolition took place. Mr. Carson advised the structure would be residential and would also have a retail component. He also stated the \$50 million number was likely to go further north due to cost. The number of units were fixed at 280 units leased. He stated there was a component for some townhouse type units to the south.

Mr. Thomas advised their desire was for the project to move forward and understood the important role of the school district not only to educate children but demonstrating how we deal with properties. Over the years, they have repurposed facilities to provide 21st century education. He was Superintendent when they moved out of the Garden Street building since the building systems were beginning to fail. When they were granted the ½ cent sales tax, it was agreed this money would not be spent on administrative or ancillary facilities. In order to remediate the existing structure, it would have taken general fund monies, and it was better to relocate and abandon the building.

They have spent \$700,000 to remediate the environmental concerns not under the building. He explained they moved out of the building 9 years ago and felt the best purpose was to build houses for our kids and place the structures on the tax role.

Mayor Robinson emphasized saving the architectural heritage was very important, and he questioned if this structure was worth saving because of the renovation costs. He questioned what are we going to do going forward with our community? Seeing vibrancy in the downtown area rather than derelict buildings has definitely helped our community. What we see now is the beginning of moving downtown to the west on Garden, and this building stands at a prime location. He explained it would be exciting to him to build something new that could incorporate some of what was there. He restated the developers would return to the Board for approval of the final product. He would judge at that moment to make sure there was a commitment to incorporate some of the architectural features. In making that area continue to languish rather than providing something new that gives vibrant energy to move our downtown to the west, we would be missing the same opportunity as if we said let's keep the old PNJ building. Whatever comes forward, it was his understanding the developers had to return to the Board before obtaining the permit to demolish.

Ms. Campbell-Hatler pointed out in 12-2-10 (A) (9) (2) that "the Board shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular structure against the special merit of the proposed replacement project."

Mr. Studer explained he bought the SunTrust building which is iconic, and they were spending large amounts of money to make it right particularly with the plaza. When one of the five partners backed out of the project, he stepped in. He pointed out Southtowne fits nicely but would not want to look at it on this corner. He advised against building "sameness." He also explained the need for bringing more people into the community for tax dollars. He stated the biggest issue was the financing since you have to show that it works. He advised he wanted the school district to get \$3 million for future uses with \$10 million to come in property taxes for this community. Also, having more people living downtown created a safer environment and customers for downtown businesses. Challenges developers face are finances to get plans developed when the project may not be approved. He also stressed with the Covenant for Community, 70 percent of all jobs go to local labor which is a wonderful influx of money to minorities in the workplace. This covenant was approved by Escambia County for county projects, and he hoped it would soon come to the City of Pensacola.

Mr. Pristera had checked an additional database for further information. He selected the years from 1939 to 1942 and found this building was a trade school for machines and mechanics to accommodate the needs of the military. Yonge and Hart were architects who were likely involved in the design. Pensacola was one of the first trade schools in the south to incorporate women into these fields. He pointed out the building was a product of its time.

Ms. Hatler-Campbell stated if the definite plans that this firm has to take this to the next level are rooted in storytelling, that to her gave to her what she felt the Board's job was - to balance that historic, architectural and cultural heritage. Ms. Campbell asked if the Board was to grant the demolition, how much time would the developer have to come back with the best use of the property? Ms. Deese advised the Code did not reference any timeframe on the approval and thought it would not be feasible to add a timeframe. Mr. Mead confirmed the developer would return with plans before a permit was issued for demolition. He greatly appreciated the expanded package furnished to the Board. He explained he was offended by the way in which certain things happened in regard to the Sunday House in a procedural manner which was completely contrary to the Code. He wanted to make sure when the Board had a demolition of a contributing structure in any district under its purview, they would have a standard set that this is what you show, and this is how we know we are complying with the Code.

Mr. Mead moved that the Board find that the standard for unusual and compelling circumstances is clear and convincing evidence of the factors set forth in the Code, and based upon the amended presentation here we have seen, particularly on the things missing the last time with regard to reasonable measures which was shown by the superintendent's and school board's efforts, which we now have clear evidence of economic impact of the new development, which we did not have before but now have clear evidence of, and the fact we have sufficient definitiveness on the plans at least in regards to the overall massing and structure, etc., that we can have sufficient control over the overall impact or review of those structures, that we have sufficient control of the next stages of the process that we can address those going forward. He moved that the Board approve the demolition on those standards. Ms. Campbell seconded the motion. Ms. Campbell-Hatler questioned that he mentioned massing and structure. Mr. Mead stated it was sufficiently definitive for this purpose. The question was he did not think there was any bar to them readdressing those questions in the course of the Board's consideration of the plans. He amended his motion to withdraw the statement regarding we are sufficiently definite in what has been shown and that we can move forward and have adequate controls. The motion was accepted as amended.

The motion carried 6 to 1 with Mr. Salter dissenting.

ADJOURNMENT – With no further business, the meeting adjourned at 3:20 pm.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Brandi Deese', with a long horizontal line extending to the right.

Brandi Deese
Secretary to the Board



CLARK PARTINGTON
ATTORNEYS AT LAW

Williams J. Dunaway
Direct (850) 208-7020
wdunaway@clarkpartington.com

June 29, 2020

VIA HAND DELIVERY

City of Pensacola Planning Services
Attn: Architectural Review Board
222 W. Main Street
Pensacola, Florida 32502

RE: 200 West Garden Street; Architectural Review Board Application

Dear Sir or Madam:

We represent 200 Garden West, Inc., the owner of property at 200 West Garden Street, Pensacola, Florida, 32502. Enclosed is a completed Architectural Review Board Application and a check in the amount of \$250.00 for the processing of this application to remove an existing structure.

This letter also serves as a request to have this matter heard at the July 16, 2020 Architectural Review Board meeting.

Please do not hesitate to call if you have questions or would like to discuss.

Sincerely,



William J. Dunaway

WJD/emp
A3917086.DOCX

INDEX TO APPLICATION

1. Application for Review
2. Narrative
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4. Architectural Review Board Application – May 30, 2019
5. Architectural Review Board Minutes – June 20, 2019
6. 200 W. Garden Street – Split Elevations; Jerry Pate Design
Conceptual View October 2018
7. 200 W. Garden Street Renderings and Sketches – Bay Design
Architecture
8. 200 W. Garden Street Renderings and Sketches
9. Aerial, CRA, Dense Business District and Zoning Maps

**Architectural Review Board Application
Full Board Review**



Application Date: June 25, 2020

Project Address: 215 W. Garden Street, Pensacola, Florida 32502

Applicant: 200 Garden West, Inc. / William J. Dunaway, Attorney on behalf of Owner

Applicant's Address: Clark Partington 125 E. Intendencia Street, Pensacola, Florida 32502

Email: wdunaway@clarkpartington.com Phone: (850) 208-7020

Property Owner: 200 Garden West, Inc.

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Demolition of Structure for future Mixed-Use Development - See attached.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

William J. Dunaway
For 200 Garden West, Inc.

Applicant Signature

6/29/2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

***Architectural Review Board Application
Full Review***

The board shall have as its purpose the preservation and protection of buildings of historic and architectural value and the maintenance and enhancement of the following district:

- a. Pensacola Historic District. Refer to subsection 12-2-10(A).
- b. North Hill Preservation District. Refer to subsection 12-2-10(B).
- c. Old East Hill Preservation District. Refer to subsection 12-2-10(C).
- d. Palafox Historic Business District. Refer to section 12-2-21.
- e. Governmental Center District. Refer to section 12-2-22.

It shall be the duty of the board to approve or disapprove plans for buildings to be erected, renovated or razed which are located, or are to be located, within the historical district or districts and to preserve the historical integrity and ancient appearance within any and all historical districts established by the governing body of the city, including the authority to grant variances, under the conditions and safeguards provided in subsection 12-12-2(A)(2), from the zoning ordinances of the city applicable in the Pensacola Historic District, the North Hill Preservation District, the Old East Hill Preservation District, and the Palafox Historic Business District.

- (1) Conditions for granting a zoning variance. In order to authorize any zoning variance from the terms of this title, the board must find in addition to the conditions specified in subsection 12-12-2(A)(2):
 - (a) That the variance granted will not detract from the architectural integrity and/or historical accuracy of the development and of its surroundings;
 - (b) That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- (2) Hearing of variance applications.
 - (1) Application procedure.
 - (a) An application for variance must be submitted to the community development department at least twenty-one (21) days prior to the regularly scheduled meeting of the architectural review board.
 - (b) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
 - (c) Any party may appear in person, by agent, or by attorney.
 - (d) Any application may be withdrawn prior to action of the architectural review board at the discretion of the applicant initiating the request upon written notice to the board secretary.
 - (2) Application submission requirements. No application shall be considered complete until all of the following have been submitted:
 - (a) The application shall be submitted on a form provided by the board secretary.
 - (b) The application shall be accompanied by an accurate site plan drawn to scale and such other information as may be reasonably requested to support the application.
 - (c) The applicant shall be required to pay an application fee according to the current schedule of fees established by the city council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition of the application.

*Architectural Review Board Application
Full Review*

Submittal Instructions/Requirements Checklist:

- ☒ One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;
- ☒ Fourteen (14) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".
- ☒ One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. **Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.**

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.
- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.

Architectural Review Board Application
Full Review

- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the "street scape" that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining "street scape", including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

COLORS:

- The ARB has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the various districts. Copies of these color

*Architectural Review Board Application
Full Review*

palettes can be obtained from the specific paint supplies/manufacturers.

- Colors must be selected and samples submitted to the ARB during the approval process. The selection must be made for any exterior feature requiring paint, such as foundations, siding, windows and doors, shutters, columns and railings, miscellaneous trim, signs, fences, and any other items.

MISCELLANEOUS:

At the discretion of the ARB or the Secretary of the ARB, the material provided for the ARB during the hearing may be retained and become the property of the ARB for reference purposes and for enforcement of the construction of the project in compliance with the approved design.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Narrative:

The property owner requests a demolition permit for the structure located at 215 W. Garden Street in Pensacola, Florida, the former Escambia County school district administrative building. This building is located within the Palafox Historical Business District. The request for a demolition permit was considered by the Architectural Review Board in 2017 and again in 2019.

200 W. Garden, Inc. intends to develop the property as residential and mixed-use. Despite the owner's best efforts, to include an exhaustive study, the existing building is not suitable for preservation. There are no salvageable interior historically significant improvements. However, to the extent practicable, the owner intends to preserve certain historical features to include the USO arches and a wall. The existing cornerstones will be utilized in constructing the new development. The building has structural issues and currently creates a safety hazard (it has been vandalized and subject to unlawful entry). The developer has gone to great lengths to remediate environmental hazards.

Allowing demolition of the existing structure will advance the goals of the City of Pensacola's Land Development Code and Comprehensive Plan. The mixed-use plan provides public green space, pedestrian and bicycle friendly residential development near the vibrant downtown center.

The request for a demolition permit is the culmination of years of planning and cooperation by the developer and City and will transform an underutilized property into one that creates a sense of community. The development serves the economy, public health and environment by providing significant revenue-producing uses, fostering integration, density and compatibility of land uses and creating a walkable community with pedestrian connectors.

A copy of the proposed conceptual development is included for review. At this time, the applicant is only seeking a demolition permit. The project will be brought back before the Architectural Review Board for final building plan approval.



PLANNING SERVICES

THE UPSIDE of FLORIDA

Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

December 21, 2017

MEMBERS PRESENT: Chairman Carter Quina, Ben Townes, George Mead, Michael Crawford, Ray Jones

MEMBERS ABSENT: Nina Campbell, Susan Campbell-Hatler

STAFF PRESENT: Leslie Statler, Planner, Amy Hargett, Planning Technician, Ross Pristera, Advisor, Robbie Weekley, Inspections

OTHERS PRESENT: Andrew Blanton, Candace Jones, Jerry Lancaster, Robert Fabbro, Kramer Litvak, Ed Carson, Steve Jernigan, Bo Carter, Robert Montgomery, Rex McKinney, Danny Zimmern

CALL TO ORDER / QUORUM PRESENT

Chairman Carter Quina called the Architectural Review Board (ARB) meeting to order at 2:01 p.m. with a quorum present.

APPROVAL OF MINUTES

Mr. Mead made a motion to approve the November 16, 2017 minutes, seconded by Mr. Jones, and it carried unanimously.

OPEN FORUM – None

NEW BUSINESS

Item 1

804 E. Jackson St

OEHPD

Contributing Structure

OEHC-1

Action taken: Approved

Ken Norris is requesting approval to reconfigure/expand the rear of the structure in conjunction with reconstruction from fire damage. The applicant would like to keep the same general configuration as the original structure; however, he is proposing to move the walls slightly to align with the body of the house. The materials proposed will match the existing: corrugated metal roof, wood lap siding, stained glass window, and wood window. The existing single door will be repaired and reused if possible. Wood French doors will utilized at the rear. The color palette will remain as existing.

Mr. Norris presented to the Board and stated in order to get the roofline in line, they would have to move the building over around 18 inches. He stated the fire damaged the rear of the house primarily. Chairman Quina clarified that the applicant would refurbish with like materials. Mr. Jones appreciated the attention given to the wood siding and the replacement materials.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / www.cityofpensacola.com

Mr. Mead addressed a gable projection which was severely damaged, and Mr. Norris clarified the structure would have one continuous roofline. **Mr. Crawford appreciated retaining the stained glass window and made a motion to approve as submitted. Mr. Mead seconded, and the motion carried unanimously.**

Item 2

400 W. Gonzalez St

NHPD

Contributing Structure

PR-1AAA

Action taken: Denied with approval for board for board repairs.

Candace Jones is requesting approval for exterior modifications to a detached carport/accessory structure. The scope of work proposed is to repair the structural damages caused by a car and enclose the carport. The enclosure would include 2 new aluminum windows, 1 wood door for pedestrian access, and a larger barn door for the storage entrance. The exterior is proposed to match the remainder of the structure with color and materials.

Ms. Jones addressed the Board. Chairman Quina mentioned North Hill comments concerning the approval of a carport in 2006 where an enclosure was denied. North Hill had requested denial of this request with the need for further information, and no site plan had been submitted. He also indicated the Board did not allow aluminum windows in North Hill; it was then clarified the windows would not be aluminum. Ms. Statler confirmed the structure was approved earlier as a carport as an accessory structure, with the rear property line at 3 feet. She further advised it had to meet corner side setbacks for the district as well as the 3 foot rear setback, which it did as a carport function. Chairman Quina stated storage facilities were considered accessory uses. Mr. Mead advised if the structure was changed from a carport to a storage facility, the required two off-street parking spaces would no longer be available. Ms. Jones indicated they would park in the driveway. Ms. Statler stated the 2006 application had multiple variances, and none addressed the corner side setback or the rear setback for the structure. Mr. Mead noted the Google picture showing a vehicle protruding onto the sidewalk, with no room on either side for additional parking. He clarified that the request was changing the parking function of the structure which could later be used as a garage; all garages in North Hill were to be located at the rear. Mr. Mead indicated the Board could not approve as submitted. Chairman Quina explained the Board needed drawings depicting how parking could be handled if the carport was enclosed. He advised Ms. Jones could perform the board for board replacements. **Mr. Mead made a motion to approve board for board repair, but otherwise deny the application. Mr. Jones seconded the motion, and it carried unanimously.**

Item 3

25 W. Brainerd St

NHPD

Contributing Structure

PR-1AAA

Action taken: Denied – return with full drawings.

Andrew Blanton is requesting approval for a two-story accessory building. The proposed structure will be consistent with the primary structure with open rafter tails and bead board soffits. Hardiplank siding in Cedarmill painted to match the residence is proposed for the exterior façade. A wood-look carriage door and a fiberglass 6-panel door are also proposed.

Mr. Blanton addressed the Board and stated access to the second floor would be through interior stairs, but no interior floorplans were submitted. Mr. Mead addressed the windows, and Mr. Blanton stated they would use wood windows and match the roof pitch of the main structure. Mr. Mead was not comfortable with a conceptual approval and wanted to see rafter details and a close-up of the existing house to show its specifications and roof pitch. It was noted the applicant had not requested conceptual approval. **Mr. Mead made a motion to deny the request with a recommendation to return with full drawings and photographs. Mr. Jones seconded the motion, and it carried unanimously.**

Item 4

200 BLK South 9th Avenue

PHD

New Construction

HC-1 / Brick Structures

Action taken: Denied

Shelby Johnson, Johnson Construction of Pensacola, is requesting final approval for a new single family residence with attached garage. This project has been redesigned based upon the comments of the Board at their November meeting. The 2-story structure has retained the tower feature and incorporated it into the coastal vernacular design. The design is most consistent with the Streetscape Type II as identified in the Ordinance. The proposed exterior will consist of brick and cement board lap siding and a shingled roof. The partial shutters on the top level of the tower are inoperable and will allow light filtration into the living space. A block retaining wall is planned along the front. Gravel parking has been provided between the residence and the ECUA access driveway. The brown color palette, landscape plan, and exterior finishes were provided within the supporting material.

Mr. Johnson stated the biggest change was on the elevation with a bigger band and larger brackets on the roofline and arch details at the front and rear porch. Chairman Quina noted the basic floorplan and site plan had not changed. Mr. Johnson advised the one door entrance to the garage was moved closer to the stairs. Mr. Crawford was hoping for something more fundamentally different since it still did not meet the criteria for the streetscape vision. Ms. Statler read the requirements for new construction in the historic district (wood cottages/brick structures). Chairman Quina suggested this structure was missing some of the elements the neighboring structures have and would create a suburban approach as opposed to an urban design. Mr. Jones agreed that the structure did not fit with the rest of the homes constructed on that street. Mr. Pristera also indicated the proposed construction needed to be right since the neighboring properties put so much into their designs. Mr. Mead pointed out the long, low wall on the façade facing a lateral view from the street with embanked horizontal windows, and noted the rest of the structure was not remotely Craftsman. He explained the overall form, structure and consistency of the style in accordance with the Code were not there.

(Mr. Townes arrived at the meeting.) Mr. Montgomery, who was issued a permit for a structure being built next to the proposed house, agreed with the Board's opinion. He stated the massing and the overall design were not right for this prominent location. He pointed out the inspiration house for the design was an inspiring structure if it could be duplicated. Mr. Crawford stated the best advice the Board could give to the applicant would be to have someone look at other houses in the historic district and the streetscapes. **Mr. Jones then made a motion to deny, seconded by Mr. Mead, and it carried 4 to 1 with Mr. Townes abstaining.**

Item 5

110 E. Church St

PHD / PHBD

Contributing Structure

HC-2 / Brick Structures

Action taken: Denied

Ross Pristera, UWF Historic Trust, is requesting approval for the installation of metal-framed vinyl wall murals. The murals, which are printed on vinyl and are 25 feet tall and 60 feet long, will be mounted to an invisible mounting system. The frame system has been approved by the Florida Division of Historical Resources as well as the National Park Service. Each mural will be changed every 6-12 months with the content alternating between artwork and images; the content will focus on the maritime history of Pensacola. Lighting will consist of three LED strips mounted to the buildings.

Mr. Pristera stated the National Park Service suggested anything other than painting the wall and damaging the bricks would be a better solution and encouraged them to look at other systems. One solution was the billboard which would be maritime history based on photos in their collection or an artist's rendition.

He advised 25' by 60' was the size they considered, with LED lights on goosenecks mounted either above or below. Mr. Mead stated it would certainly help if there was a way to capture what they wanted to do while minimizing the scale, possibly breaking into four or five sections and not reading as a billboard. Mr. Pristera explained he could return with more details using the broken up method versus a graphic. Chairman Quina liked the mural concept, but stated if the mural was applied, the remaining portion of the wall should have something, possibly to resemble the background. Mr. Townes agreed it should be broken up into smaller panels to discourage the billboard look as a precedent. **Mr. Mead made a motion to deny Item 5 and 6 with the recommendation that they be brought back with a different configuration of disaggregated panels in some form; the scale of the total composition was acceptable. It was seconded by Mr. Jones.** Chairman Quina explained the concept was agreeable, but the execution was the focus. **The motion then carried unanimously.**

Item 6	201 E. Zarragossa St	PHD / PHBD
Contributing Structure		HC-1 / Brick Structures
Action taken: Denied with Item 5		

Ross Pristera, UWF Historic Trust, is requesting approval for the installation of metal-framed vinyl wall murals on the south and west sides of the Museum of Commerce.

Item 7	320 S. Jefferson St	PHD / PHBD
New Construction		HC-2 / Brick Structures
Action taken: Approved		

Ross Pristera, UWF Historic Trust, is requesting final approval for the rose garden and storytelling circle within the interactive Museum Plaza project. This project was conceptually approved by the Board in October 2016. The scope of the project includes a storytelling circle defined by four benches with low-lighting components and a garden landscaping plan. Mr. Pristera explained with a grant, they now had funding for the plaza. They had reduced the amount of concrete and brick around the site, shifted the archaeological wall and changed the bench design. He clarified the wall had to be placed in its designated position for archaeological reasons. He also advised they would return with the interpretive signage details. **Mr. Jones made a motion to approve, seconded by Mr. Townes, and it carried unanimously.**

Item 8	320 S. Jefferson St	PHD / PHBD
New Construction		HC-2 / Brick Structures
Action taken: Approved		

Ross Pristera, UWF Historic Trust, is requesting final approval for the early learning playground within the interactive Museum Plaza project. This project was conceptually approved by the Board in June 2017 and is located in the northeast corner of the Museum Plaza. The scope of the project includes five interactive play areas; the previously proposed boxcar was not included with this application. The existing landscaping will remain and fencing has been included. Mr. Pristera advised the boxcar would be considered at a later date. He explained the lettering and numbering features guiding the discovery and learning activities. Mr. Mead questioned the heights of the stumps, and Mr. Pristera stated those details when available could be submitted for an abbreviated review. **Mr. Jones made a motion to approve, seconded by Mr. Townes, and it carried unanimously.**

Item 9

223 E. Garden St

PHBD

Signage

C-2A

Action taken: Approved

Russell Phifer, Knight Sign Industries, is requesting approval for attached wall signage and a monument sign. The proposed wall signage consists of internally-illuminated channel letters with blue vinyl faces and a white outline border; the returns will be painted blue. Three additional wall signs are proposed for the façade. They are being relocated from another Servis 1st Bank location in Pensacola. The proposed monument sign will be located adjacent to E. Garden Street and will contain advertising space for the tenants of the building. It was noted that the City Council agenda scheduled for December 14, 2017, included the second reading of an Ordinance which would prohibit internally illuminated signage from this district. Upon second reading, the Ordinance would become effective December 22, 2017.

Jerry Lancaster addressed the Board and stated the other options could be non-illuminated or externally illuminated signage. The relocation of the existing signage would be non-illuminated. The signage on the north elevation would have internally illuminated channel letters. Mr. Carter, half owner of the building, explained there would be more bleeding with down lighting the sign and thought the internally illuminated channel letters would be more appropriate. The Board discussed the previous approval for the Studer signage being internally illuminated letters only. Mr. Mead stated the signage met the scale of the building and met the objectives, and he did not find it to be troublesome. **Mr. Mead made a motion to approve as submitted, seconded by Mr. Crawford, and the motion carried unanimously.**

Item 10

520 N. Alcaniz St

OEHPD

Contributing Structure

OEHC-1

Action taken: Approved

JP MacNeil, Architectural Affairs, is requesting approval for an addition and window and door replacement. The proposed addition will be located in the footprint of the previous structure which was destroyed by fire. The brick façade will match the existing building and tie it into the existing storefront. Additionally, the applicant is proposing to change the existing windows to Jeld-Wen Premium Atlantic vinyl windows; the addition will be the same. Therma-Tru doors, painted white, will replace the existing doors and be included within the addition. The canopy will be cleaned and painted to match the color palette. Mr. MacNeil addressed the Board and stated the building was constructed in the 1940s. Ms. Richards, the owner, explained the addition would be a studio. Mr. Townes addressed matching the brick, and Mr. Mead felt the brick would integrate very well. **Mr. Crawford made a motion to approve, seconded by Mr. Mead. The motion then carried unanimously.**

Item 11

213 W. Garden St

GCD

Demolition

215 W. Garden St

C-2 / C-2A

25 S. Spring St

Action taken: Approved with comments

Jim Reeves and Ed Carson are requesting the demolition of the contributing and non-contributing buildings on the properties to accommodate redevelopment of the properties. The application proposes three options for the demolition of two contributing structures citing structural damage at the USO Building and design constraints within the former school district administrative building. Ms. Statler clarified for the Board that the properties lie within the Governmental Center District (GCD) as well as the Palafox Historical Business District (PHBD). Staff had discovered that the GIS lines for the PHBD had been altered and did not reflect the district boundaries as cited per the Ordinance, so there was an overlap.

Mr. Mead noted the PHBD would control the frontages on Garden and Spring Street with the interior portions subject to the GCD. Mr. Carson addressed the Board representing the proposed ownership group of 200 W. Garden Street, the School Board site. He questioned the designation of contributing and non-contributing structures as well as the controlling districts. Mr. Litvak addressed the districts overlapping. He advised if the property remained with the structures intact, it would not be economically feasible for development. He pointed out the buildings were non-contributing in the GCD which had no designation for contributing structures. He explained the latest version of the PHBD was adopted in 1994, and two years later, the City adopted the version of the GCD which showed this property to be in the GCD and should allow for the demolition of the buildings. He stressed the property could not be considered in two different districts with two different sets of standards.

Mr. Pristera explained the National Park Services stated a structure over 50 years old would qualify for a historic property. Mr. Mead wanted to clarify that the applicant was under contract but not obligated during the due diligence period, and the client could forego purchasing the property. Mr. Litvak agreed that was the case. As to the application to two districts, Mr. Mead asked if he could identify anything that was repugnant or inconsistent between the two rules that does not allow them to have common and concurrent effect – questions that affect the whole of the rules for the GCD and the PHBD. For example, if the height in one district was 25' and the other district was 50' that would obviously be inconsistent. He asked how to distinguish the concurrent operation of these two different overlaid standards in this property with the City's other overlay standards with different sets of rules which apply coming from two different sources within the Code. Mr. Litvak responded the overlay was intentionally done, and these were two separate districts. He explained Florida law requires that the Code allow owners and potential developers to know what the requirements are.

Chairman Quina addressed the three options and their issues. Just demolishing everything without knowing what it would be replaced with was a challenge at this point. Mr. Mead stated the Board needed to see more of the development to be comfortable.

Mr. Pristera stated he knew there might be potential issues with the GIS mapping and looked into their archives and found where the DIB layer included this site; there was a mistake in that mapping and the boundary lines given today. Mr. Mead explained he did not think the overlays were a controlling factor in this instance. Mr. Jernigan stated the intent for showing the existing structures versus the entire mass was to explain that the USO Building completely destroys the ability to have a contiguous development; the School Board building is only a two-story structure and with the H-shape is not conducive to a five-story structure; the value in the parcel is beginning with a clean slate. Mr. Mead advised a conceptual plan would give the Board some idea of the architectural integrity of the façade. Chairman Quina emphasized the Board did not have enough information for the School Board building, but did have enough for the USO building and the other four buildings on the site.

Mr. Mead made a motion to approve demolition of the USO building in its entirety and the other buildings on the site, other than the existing 1940s vintage School Board building, less and except the Data Center, adjoining it, which can be demolished, and the relic façade of the former School Board building of tile and brick construction fronting Garden Street, and also less and except the arched façade of the USO building which should be maintained in structural condition sufficient for reuse in place as should the façade of the former School Board building that's preserved on Garden Street. The motion was seconded by Mr. Jones. Mr. Mead explained there was nothing to prevent the applicants from returning with documents showing what those buildings would be replaced with. Mr. Crawford agreed and stated the Board had held a higher bar to individual residences in terms of demonstrating structural backup as to why buildings need to be demolished and the proposed structure that they wish to replace it with. He pointed out it would only be fair to maintain that same standard for something as significant as this and looked forward to more development plans.

Mr. Jernigan again stated the standards were different in the two districts, explaining the GCD was a redevelopment district and not a preservation district. Mr. Pristera stated he was not opposed to the demolition but would like to see what would replace the structures since once the building is lost, it is lost – assurance of what is proposed will be built. **(During discussion, Mr. Mead clarified demolition was not approved for the existing School Board building, not the former School Board façade, not the arched façade of the USO building – everything else on the site could go.)** Mr. Townes explained that one of the things that makes downtown Pensacola such an interesting place to live is its authenticity, and preserving the façade on Spring Street was important. Chairman Quina also did not support the demolition of the School Board building and stated it could be the genesis of the entire project. After further discussion, **the vote was unanimous.**

OPEN FORUM - None

DISCUSSION –

ADJOURNMENT – With no further business, the meeting adjourned at 4:30 pm.

Respectfully Submitted,



Leslie Statler
Secretary to the Board

ARCHITECTURAL REVIEW BOARD APPLICATION

DATE: May 30, 2019

PROJECT ADDRESS: 200 Block West Garden Street

Application Type:

- ☐ Residential – Homestead
☐ Residential – Non-homestead
☒ Commercial

Application Fee:

\$50
\$250
\$250

Project Description: (Use additional pages if necessary) Mixed-Use Development.

See attached.

Please attach supporting documentation as required.


The Applicant, or designated agent, will need to be present before the Architectural Review Board to present the project and to respond to questions from the Board.

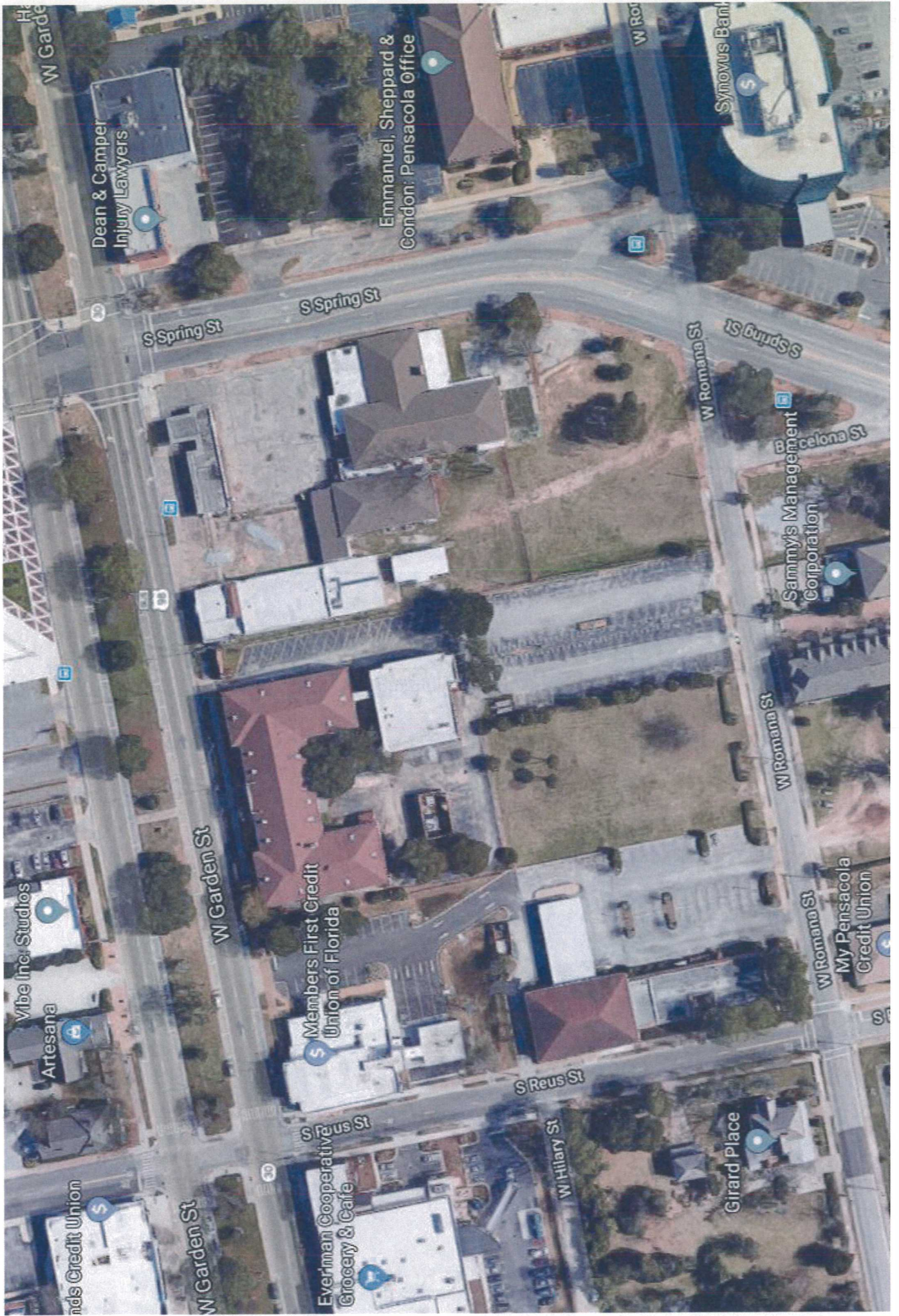
NAME & ADDRESS OF APPLICANT: (Please print)

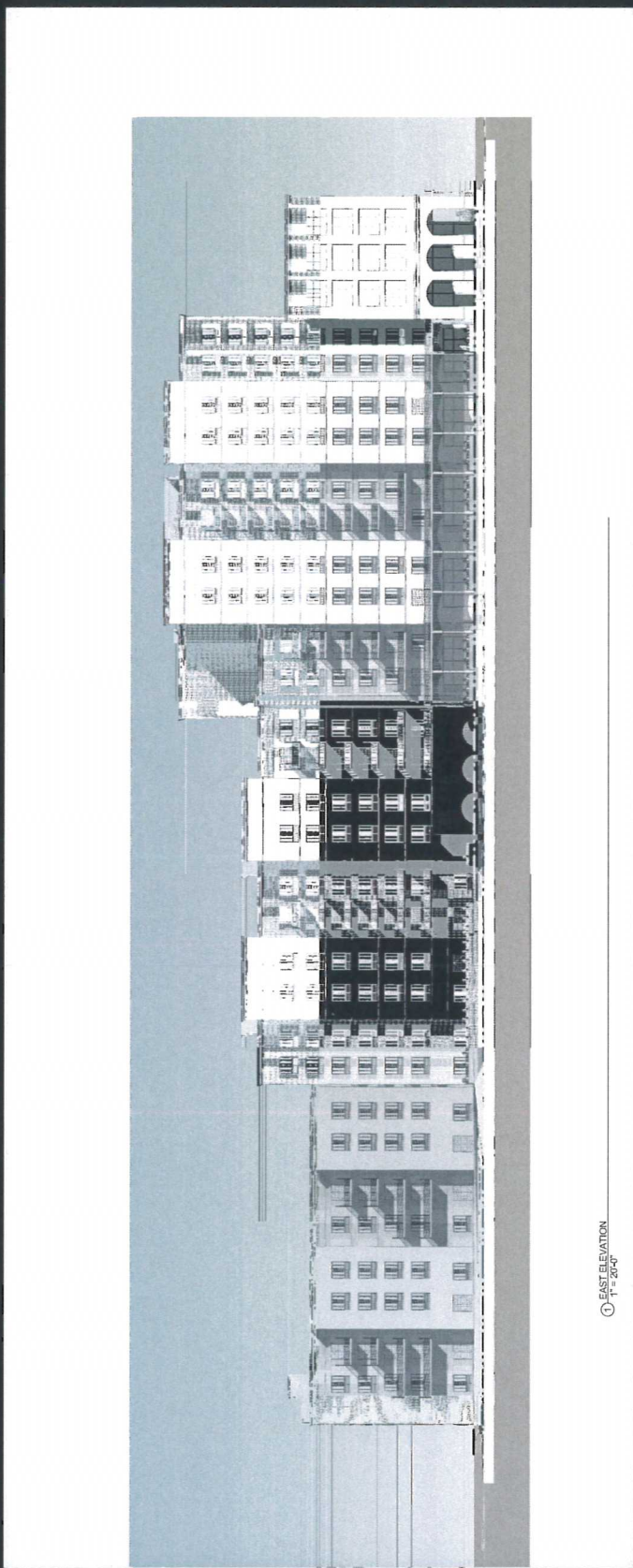
200 West Garden, Inc. / Ed Carson (representative) (850) 438-7778
NAME TELEPHONE #

21 S. Tarragona Street, Suite 102
ADDRESS

Pensacola FL 32502
CITY STATE ZIP CODE

 5/30/2019
SIGNATURE DATE







PLANNING SERVICES

Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

June 20, 2019

MEMBERS PRESENT: Chairman Carter Quina, Michael Crawford, Derek Salter, Anna Fogarty

MEMBERS ABSENT: Nina Campbell, George Mead, Susan Campbell-Hatler

STAFF PRESENT: Gregg Harding, Historic Preservation Planner, Leslie Statler, Planner, Ross Pristera, Advisor

OTHERS PRESENT: Councilwoman Hill, Bev Elliott, Dottie Dubuisson, Carol Wilson, Bob Wilson, Lori Smith, Alicia Ahern, Dan Ahern, Debbie Tullos, Sally Rausa, Melissa Koch, Teresa Hill, Bruce Block, Tony Rhodes, Christy Cabassa, Mark Bednar, Lou Courtney, Blanding Fowler, J Veal, Kathy Tanner, Danny Zimmern, Christian Wagley, Beverly Perry, Collier Merrill

CALL TO ORDER / QUORUM PRESENT

Chairman Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Mr. Salter made a motion to approve the May 16, 2019 minutes, seconded by Ms. Fogarty, and it carried unanimously.

OPEN FORUM – Chairman Quina explained the Board procedures to the audience and asked for speakers, and Ms. Dubuisson thanked the Board for their service and reminded them of the historic community they serve.

NEW BUSINESS

Due to improper notification, the variances on Item 7 and 9 were removed from the agenda. Because of scheduling conflicts, Item 15 was moved up to the first item to be considered by the Board.

Item 1

210 S. Alcaniz Street

PHD

Contributing Structure

HC-1 / Wood Cottages

Action taken: Approved with comments.

Nick and Melissa Koch are requesting approval for exterior modifications at a single-family residence. Ms. Koch presented to the Board and stated they had active roof leaks. Chairman Quina stated the Board had allowed metal or asphalt shingles in the past but noted the metal would last longer. Mr. Salter wanted clarification of the fence at the rear, and Ms. Koch advised they wanted to mimic the existing style with vertical fencing with a stepdown to 5' and an augmented wrought iron gate. She also

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stated the regular fence at the front would be painted white. Mr. Crawford inquired about the gate, and Ms. Koch advised they needed a puppy panel at the bottom with an 8' long sliding gate which would slide behind the house. Mr. Salter advised the roof had been referred to him in an abbreviated review, and he referred it to the full Board because it was a defining element of structure, noting that the Board is particular with the profiles and the level of detail fitting with the historical nature of the structure, and he was concerned since it was a highly visible roof on a prominent location. He asked if a roof was a less permanent item and more easily replaced. Chairman Quina stated his experience on these types of cottages was that the original roof was not attainable, and metal roofs last longer. Ms. Koch advised they had an estimate of \$8,000.00 to repair the existing metal roof, and replacing it was only \$2,000.00 more. Mr. Pristera pointed out other cottages had the metal roofing, and historically, the wooden shakes were replaced with metal. Asphalt was not a favorite, but he understood the financial burden.

With no speakers, **Mr. Crawford made a motion to approve the front fence, rear fence to match the vertical pickets with a top and bottom cap on the posts, and for the gate design to match the spear arched top of the fence indicated on the application, with the exception being a sliding gate. The roof was also approved. The motion was seconded by Mr. Salter and carried unanimously.**

Item 2	211 N. Palafox Street	PHBD
Contributing Structure		C-2A
Action taken: Approved.		

The Episcopal Day School is requesting FINAL approval for a landscape plan.

Mr. Fowler presented to the Board and stated they proposed five support poles for the soccer netting, with Japanese Yews on the outside of the fence in front of the poles; the poles would be painted a tan color. He also advised they would retain the Crepe Myrtle plants for extra coverage.

With no speakers, **Mr. Crawford made a motion to approve, seconded by Ms. Fogarty, and it carried unanimously.**

Item 3	141 S. 9th Avenue	PHD
New Construction		HC-1 / Brick Structures
Action taken: Approved with comments.		

Christy Cabassa is requesting FINAL approval for the construction of a two-story single-family residence. Ms. Cabassa presented to the Board and stated the only difference from conceptual was the front elevation which had been softened, and the look was differentiated from Mr. Montgomery's home on the corner. They had asked for Jeld-Wen metal clad windows, but they wanted to use PGT vinyl, and she provided samples along with samples of Kolbe Forgent to the Board as an alternate. It was determined the vinyl clad windows had been approved in this district.

With no speakers, **Mr. Crawford made a motion to approve as submitted with PGT vinyl or Kolbe Forgent windows. He amended his motion for the preference of PGT dark bronze, seconded by Mr. Salter, and it carried unanimously.**

Item 4	307 E Gadsden Street	OEHPD
Contributing Structure		OEHC-1
Action taken: Approved.		

Danny Grundhoefer, Quina Grundhoefer Architects, is requesting approval for a new ramp to accommodate handicap accessibility to the rear of a contributing structure.

Chairman Quina recused himself. Mr. Guarisco presented to the Board and advised they would use Trex decking to level out the deck and build the ramp. He did not believe the baluster was original, but they

were trying to preserve it to act as a guardrail. Mr. Crawford stated since it was only visible from the rear of the property and had vertical pickets, he had no questions. Mr. Salter questioned the overlaying of the deck and asked if this material had been allowed on decks; Mr. Crawford stated it had. Mr. Guarisco explained if the original deck remained, it might trap moisture, and their intent was to remove it and indicated the entire back deck had been altered in its appearance. Mr. Harding advised to staff's knowledge, Trex materials had not been approved in OEHPD but had been used in PHBD which would have covered the Vinyl Music Hall.

Ms. Elliot stated the balustrades on the front were not original to the house, and the house originally had a lean-to which had been removed. She explained the deck boards were cypress and the baluster was original, but she didn't have enough materials to place it on the front. Mr. Salter advised since this was the rear deck and the use was for accessibility to the home, he was agreeable with allowing the Trex for the ramp onto the back porch to allow for the elevation change. He further explained it was part of the accessible path provided to the rear door, and in this case could argue that it was appropriate and could be easily maintained.

Mr. Salter made a motion to approve, seconded by Ms. Fogarty, and it carried 3 to 1 with Chairman Quina recusing.

Item 5

125 W. Romana Street

GCD / PHBD

Variance

C-1 / C-2A

Action taken: Denied without prejudice.

David Hughes is seeking a Variance to increase the maximum allowed door signage from 4 sf per street front elevation to 5.43 sf. to accommodate signage above the main entry door identifying the building name.

Ms. Smith presented to the Board. Chairman Quina pointed out that the variance application was incomplete and asked why the letters needed lighting since the building was not open at night. Ms. Smith indicated someone else had submitted the paperwork. She advised the request for the variance was for visibility and to allow the letters to be backlit. She explained the original letters were not lit, and 6" backlit letters were not available from the manufacturer. Chairman Quina inquired if a variance had been approved without a hardship indicated, and Mr. Harding stated it had not to his knowledge. Mr. Crawford was concerned it was being driven simply by what was manufactured, and the use was not clear from a variance standpoint. Mr. Salter also did not see a hardship. Chairman Quina read the variance criteria and offered it to Ms. Smith for future use.

Ms. Tullos, the property manager, pointed out the original letters were smaller and not reverse lit and were not easily seen from the street or the parking area, and they were trying to brand their building and keep up with the newer buildings going up. However, the manufacturer would not build a 6" backlit letter. Mr. Crawford explained the Board needed to follow the protocol to grant a variance and demonstrate a hardship. Mr. Harding stated in 12.12.2 all seven of the variance criteria must be met.

Mr. Crawford made a motion to deny without prejudice for lack of information provided, seconded by Ms. Fogarty, and it carried unanimously.

Item 6

Non-Contributing

125 W. Romana Street

GCD / PHBD

Action taken: Removed from agenda.

C-1 / C-2A

David Hughes is requesting approval for replacement signage at a non-contributing structure.

Item 7

714 E. LaRue Street

OEHPD

Variance

OEHR-2

Action taken: Removed from agenda.

Frank Daughtry is requesting a Variance to increase the maximum allowed rear yard coverage from 277.5 sf to 728.4 sf.

Item 8

714 E. LaRue Street

OEHPD

Contributing Structure

OEHR-2

Action taken: Discussion only.

Frank Daughtry is requesting *CONCEPTUAL* approval for a two-story multiple-family residential structure in the rear yard.

Mr. Daughtry presented to the Board and stated the new structure was to accommodate an elderly relative living on the premises. The former site plans submitted were too tight, and the revised plan was only encroaching 10' into the rear yard. The structure would be connected by a breezeway to the existing building. The two living units would be next to the main building with the garage on the right side and accessed off 8th Avenue. He then discussed the placement of the dormers and garage doors. Mr. Crawford asked if this item should be discussed since the variance was not being considered. Mr. Daughtry explained if the variance was not granted, they would only be building a one-car garage. Chairman Quina advised that all seven reasons for a variance should be addressed in the next proposal. He emphasized the Board could talk about the new site plan and conceptual designs, but the Board could not approve anything. Ms. Statler stated the Board was limited in discussing the site plan since the site plan presented relied on the variance approval. Mr. Crawford asked for an explanation on if the building was removed, it would allow them to build lot line to lot line; Mr. Daughtry explained in OEHR-2, the lot coverage was NA, and they could build within the setbacks, allowing for stormwater drainage and compatibility with the neighbors. Mr. Salter addressed the window sizes. Mr. Crawford suggested reducing the variance by eliminating the front porch; turning the porch 90 degrees was also worth investigating.

Ms. Courtney addressed the Board and indicated the Old East Hill Property Association liked the transoms over the doors, the dormers didn't echo the principle house, and the garage door and windows were not in proportion but more rectangular and not in proportion to the principle structure. They were also concerned with rental use of the property. Section 12.5.55 states no more than four rooms can be rented on any building site; four were already rented, and this construction opened the door to four more.

Mr. Wagley was happy to see improvements but was concerned with the awkwardness of reviewing something without a variance; what was being considered was different from the version released to the public, and the committee had considered the location as originally submitted.

Mr. Crawford advised with the bar being high for a building in the National Register, it is up to the architects and builders to live up to and complement that structure. Ms. Statler stated there were a maximum number of bedrooms to be rented out as a bed and breakfast, but this was an odd situation in that this was not technically a bed and breakfast but operated as an Airbnb; a bed and breakfast would be limited to four sleeping rooms with the owners occupying the principle dwelling; it is an allowed use within this district. This addition could be used as a multi-family structure which is also allowed in the district. Mr. Daughtry disagreed with considering the structure multi-family. Ms. Statler stated the building official had considered the bedrooms as individual lodging units. Mr. Daughtry considered them additional bedrooms only. He indicated the plans would be presented again to the Board for review considering the Board's comments.

Item 9

820 E. LaRue Street

OEHPD

Variance

OEHC-1

Action taken: Removed from agenda.

Alicia and Daniel Ahern are seeking a Variance to increase the minimum required west side yard setback from 5 feet to 2 feet to accommodate a rear addition.

Item 10

820 E. LaRua Street

OEHPD

Contributing Structure

OEHC-1

Action taken: Discussion only.

Alicia and Daniel Ahern are requesting *CONCEPTUAL* approval for a rear addition.

Ms. Ahern stated the goal was to use the original footprint of the house and foundation in order to add a kitchen and master suite to accommodate issues with mobility. Chairman Quina stated when they submit for the variance, to make sure the information is submitted properly. Mr. Crawford also emphasized meeting the criteria for the variance. Mr. Pristera stated he did not mind the jog in the design, but the design from the outside did not matter either way.

Mr. Wagley again addressed the variance criteria and stated the drawing details were not available to their committee, however, the structure was in the rear and not visible to the street.

Ms. Ahern asked if they needed to provide plans showing use of the original footprint with the variance and one without, and Chairman Quina stated they should put the plans together with the other variance documentation.

Item 11

220 W. Gadsden Street

NHPD

Demolition

PR-2

Action taken: Approved.

Jim Veal is requesting approval for the demolition of a non-contributing structure.

Mr. Veal addressed the Board and advised the lot was unique with interesting structures. They realized they could have two lots to offset the cost of the home. They also considered an easement for rear-loading garages with a common driveway. He indicated Engineering and the Fire Department were agreeable with the format, however, the plans had to be accelerated in order to submit for the demolition. Mr. Pristera had no site file information, and at the time of the survey, the structure was not contributing but could be considered contributing through another survey. Mr. Veal stated they intended to keep the trees, and the client would build on the corner lot. Ms. Fogarty preferred not demolishing the structure. Mr. Veal explained the existing house was past the point of being restored; some of the floors were below the ground with rot in the floor system and roof. The electrical system also had issues. Mr. Crawford asked if the demolition criteria had been met for non-contributing, and Ms. Statler explained the Board should determine if this was a non-contributing structure. Chairman Quina pointed out a lot of structures were becoming 50 years old, and the Board had to consider what was truly eligible. Mr. Pristera advised the structure did not match the narrative of NHPD; clusters of a style within the district would be considered contributing; one structure scattered in the district would have to be significant or a great example of ranch style (long and horizontal) to be considered contributing. Chairman Quina indicated he always thought this house should be torn down.

Mr. Crawford made a motion for demolition noting the future plans, seconded by Mr. Salter who felt the structure was more hodgepodge. The motion then carried unanimously.

Item 12

220 W. Gadsden Street

NHPD

New Construction

PR-2

Action taken: Conceptual Approval with comments.

Jim Veal is requesting *CONCEPTUAL* approval for a new single-family residence.

Mr. Veal stated they had met all of the literal requirements of the district, read the NHPD comments and agreed with most of them. Chairman Quina indicated they should try to be more stylistic and build something which blends, and if building a more historic home, they might want to choose one of the historical styles. Mr. Veal confirmed they were interested in providing something more stylistic in the neighborhood. Mr. Crawford agreed it was difficult to ascribe a style to the home and could see it going in a number of directions. Chairman Quina pointed out this was a corner lot, and they should give that some consideration in picking the style. Mr. Veal indicated he would get with staff and Mr. Pristera before submitting the final plans. Mr. Crawford felt like they had submitted just enough to proceed with the demolition permit, but the input from the Board might be enough for the applicant to work to the next level. With that, **Mr. Crawford made a motion for approval of the subdivision of the lots, the massing of the house as described in the meeting today, with further development of the individual floorplan and elevations of what has been shown based on input given in the meeting. The motion was seconded by Ms. Fogarty.** It was clarified that the demolition permit would be pulled upon final approval of the plans. Chairman Quina pointed out that the Board had seen demolitions which resulted in vacant lots for years and then parking lots established, and this procedure was developed to require final approval of the project before demolition. Mr. Veal inquired about a potential buyer for a property, and Ms. Statler stated they would have to come forward with a final plan. Mr. Crawford explained it would not require a full set of construction documents but detail of the exterior, elevations, lighting, and should match what was being permitted. **The motion then carried unanimously.**

Item 13

36 E. Garden Street

PHBD

Demolition

C-2A

Action taken: Partial Demolition Approved.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for the partial demolition of a contributing structure.

Mr. Sallis presented to the Board and advised his client had the ability to develop an entire city block, and the best way to make that happen and to demolish as little as possible was to remove a portion of the building which is a windowless wall. The intent is to create the East Garden District. The rear of this building has never had a principle purpose and has a hodgepodge structure, and they saw no reason to keep this portion of the building. Mr. Pristera explained this part of the building was the service wing of a hotel; the hotel burned in 1902, and everything in front of it had changed multiple times. Mr. Sallis advised it was a good example of a building that was simply old, and the inside was as bad as the outside. Chairman Quina pointed out in creating an outdoor plaza in its place, maybe they could carve up the structure and allowed it to possibly support the canopies and be interpreted archeological architecture. Mr. Sallis explained it would be a futile effort since it had a lot of EIFS on the structure. **(The Board then considered the conceptual approval.)**

Ms. Fogarty made a motion for partial demolition of the contributing structure, seconded by Mr. Crawford. Chairman Quina clarified that the building was fairly insignificant but hampered the further development of this property, and it was never intended as a streetscape. **The motion then carried unanimously.**

Item 14

36 E. Garden Street

PHBD

New Construction

C-2A

Action taken: Conceptual Approval.

Scott Sallis, Dalrymple Sallis Architecture, is requesting *CONCEPTUAL* approval for a new outdoor plaza and mixed-use building.

Mr. Sallis advised since his client owns the west side of Jefferson Street, the first step of the entire

development would be to activate the corner with a restaurant which would require removal of the back portion of the existing building. To have additional tenants for the long block, their intent was to push the building back and create a plaza with two small standalone retail buildings which they called dueling depots reflecting old Milton train depots. The concept for the Reynolds Building was to highlight and heighten the corner, and they planned to keep everything they could of the Reynolds Music portion, removing the EIFS and exposing the brick if possible. He advised they wanted to add a column and a canopy to create a great loggia along the long walk to the plaza and hotel. With these plans, their desire would be to narrow Jefferson Street. They have had successful meetings with the City and DOT, and all were onboard to giving a major road diet to Jefferson Street. Removing the rear portion of the building would enable a service drive for rear mixed use buildings and Perfect Plain. He also indicated they were going to be successful in removing utility poles, lines and transformers on Garden Street. The service drive would be just as much a utility easement as a service access. He emphasized it would be so helpful to obtain the demolition approval to ensure the underground utilities which would allow them to move forward for the overall vision.

Chairman Quina pointed out Jefferson was an underused street, and the opportunity to place a hotel in this area was an amazing project. Chairman Quina clarified that the applicant wanted approval for the plaza and the mixed use building which follows the rear building demolition. Ms. Statler explained they needed plans for the restaurant, and Mr. Sallis agreed. **(The Board then returned to the demolition.)**

Mr. Salter liked the concept of the dueling depots but saw more of a beach shack; this was a fantastic opportunity to re-introduce the L&N Depot and other elements. Ms. Fogarty liked the concept with different design elements. Mr. Salter questioned the canopy being continuous and thought it distracted from the statement which could be made on the corner. Mr. Sallis explained there were many structures in the old Palafox core which had the eyebrow canopies with the loggias, and they wanted to activate the street with outdoor dining. Mr. Sallis clarified they wanted conceptual approval for the partial demolition for the underground utilities. Chairman Quina advised the corner project was a fairly dramatic change from the remaining Reynolds Building. Mr. Pristera furnished photos of the building and alleyway. He also stated that this summer UWF was going to study the history of that block. Chairman Quina suggested Mr. Sallis take the photos to help in designing the project.

Mr. Crawford made a motion for conceptual approval noting the input and direction from the Board regarding looking at ways to preserve or maintain aspects of the Reynolds Music House in a way to be determined with evidence one way or another, and the application in terms of its comprehensive nature and ability to transform that block, the overall picture is strongly approved with the ways and direction to improve that block. With no speakers, Ms. Fogarty seconded the motion. Mr. Sallis stated it was fair to say that when the team returned, they would probably be asking conceptual approval for this building, the one next door and the alley in between. The motion then carried unanimously.

Item 15

**213 W. Garden Street
215 W. Garden Street
25 S. Spring Street**

**PHBD / GCD
C-2 / C-2A**

Contributing and

Non-contributing Structure

Action taken: Conceptual Approval.

200 West Garden, Inc. is requesting *CONCEPTUAL* approval for the development of residential and mixed-use properties. This proposal is not seeking approval for the demolition of the School Board building. Rather, the applicant is asking for conceptual approval of the proposed development and design plans as well as the mitigation and possible reuse of the School Board building.

Mr. Carson presented to the Board and stated they hoped this project would be the catalyst for downtown's march to the west. He indicated they were researching available grants to offset some of the costs for rehabilitating the School Board building and were hopeful they could blend the renovated building with those of the new development to make it successful. He explained they had decided to give this consideration 60 days. In the meantime, they requested conceptual approval. Chairman Quina advised if the Board approved the conceptual plans, and they decided on demolition, the density would be increased.

Mr. Jernigan explained the parcel which was constricted by the Credit Union property. He pointed out there was not enough land for surface parking, and the downside of a parking garage was the dimension and geometry as well as the impact on the site. By leaving the existing administration building, they had no room to have those units on Romana Street wrap around the south side of the parking garage. He explained they had looked at additional height along Spring Street which could provide for additional amenity spaces and rooftop bars. He explained the structure would have five stories at Garden, with increased height along Spring Street and then stepped down. The current density would be 242 units without the existing building. The ideal density according to the marking study was 280 units. He confirmed these were rental units. The parking garage currently supported the current design. If the additional property to the west was purchased, the parking garage would be larger. He also indicated they were considering 15,000 sq. ft. of retail space.

Mr. Studer addressed the Board and stated tearing down the old Pensacola News Journal building was hard because it had historical relevance with past photographs and furnishings, and he hoped they could save the School Board building. Mr. Jernigan advised since time is money, they were looking at modularized construction since the project was too tall for a wood frame.

Mr. Salter appreciated the applicants listening to the community, and Ms. Fogarty appreciated the arches in the new design. Mr. Pristera appreciated the applicants researching other avenues in order to preserve the existing building. Mr. Crawford appreciated the great effort to make all things fit together and possibly preserving the old building, and this was a responsible effort in the development of the west side. Chairman Quina shared Mr. Mead's suggestions regarding the double-tower articulation on the other two building form frontages.

Mr. Cossen was in favor of preserving the School Board building and felt it made the project unique to Pensacola.

Mr. Crawford made a motion to for conceptual approval as submitted, seconded by Ms. Fogarty, and with no additional speakers, it carried unanimously.

Item 16

226 S. Palafox Place

PHBD

Contributing Structure

C-2A

Action taken: Conceptual Approval.

The UWF Historic Trust is requesting *CONCEPTUAL* approval to install a large building wallscape on the north side of a contributing structure. This project is a continuation of the previous wallscape project that was completed in April 2018. Mr. Pristera addressed the Board and stated the group reviewing these murals was composed of UWF personnel and business owners as well as other professionals. He pointed out that the intent was that you don't see more than one mural or wallscape at a time. He indicated the lighting and frames were the same as previously approved. He pointed out the murals had held up very well with no fading, were easily changed once the wall system was in place, and they had received a lot of interest. He also provided the lighting specifications.

Mr. Merrill stated they were hoping to establish early on what they were looking for; he pointed out this location lends itself to a tall ship; his grandfather commissioned the painting which was based on an actual picture. Mr. Salter advised this was a great location, a great idea, and this is what Pensacola is about. **Mr. Salter made a motion for conceptual approval, seconded by Ms. Fogarty, and it carried**

unanimously.

Item 17	33 S. Palafox Street	PHBD
Contributing Structure		C-2A

Action taken: Conceptual Approval.

The UWF Historic Trust is requesting *CONCEPTUAL* approval to install a large building wallscape on the west side of a contributing structure. This wallscape would be of a 1910 photograph of the wooden L&N passenger station.

Ms. Fogarty made a motion for conceptual approval, seconded by Mr. Crawford, and it carried unanimously.

Item 18	2 N. Palafox Street	PHBD
Contributing Structure		C-2A

Action taken: Conceptual Approval.

The UWF Historic Trust is requesting *CONCEPTUAL* approval to install a large building wallscape on the east side of a contributing structure. Mr. Pristera stated the frame had been installed, but the graphic would be submitted to the Board.

Mr. Crawford made a motion for conceptual approval, seconded by Ms. Fogarty, and it carried unanimously.

Item 19	70 N. Baylen Street	PHBD
Contributing Structure		C-2A

Action taken: Conceptual Approval.

The UWF Historic Trust is requesting *CONCEPTUAL* approval to install a wallscape on the parking lot wall of a contributing structure. Although the final photographs have not been selected, historic images of the San Carlos Hotel were provided as samples. Mr. Pristera stated the frames were not installed, and there would be two frames for each panel. Mr. Salter pointed out they would be covering up the non-conforming block wall.

Mr. Crawford made a motion for conceptual approval, seconded by Mr. Salter, and it carried unanimously.

Item 20	11 E. Zarragossa Street	PHBD / PHD
Contributing Structure		HC-2

Action taken: Approved with comments & abbreviated review for fiberglass product.

Mark Bednar is requesting approval for new windows.

Mr. Bednar presented to the Board and advised the existing windows were leaking. He provided additional prints to the Board. He advised four windows on the second story were replaced with all wood 20 years ago. His contractor advised against all wood on the south and west elevations. His recommendation was clad aluminum over wood or vinyl with a moisture barrier. He confirmed he would paint it and preserve the historical value of the building. Chairman Quina suggested researching Marvin Fiberglass windows (Integrity) which would be a better product which looks more like a wood window and was much easier to install.

With no speakers, **Mr. Crawford made a motion for approval with aluminum-clad or fiberglass windows in the pattern to match the existing mullion patterns and color to match the existing color. Ms. Fogarty seconded the motion. Mr. Crawford amended the motion to have the fiberglass product have the same design characteristics as the aluminum-clad window with raised mullion patterns. Mr. Salter amended the motion for the fiberglass product to go through an abbreviated review. The**

amendments were accepted, and the motion carried unanimously.

OPEN FORUM – None.

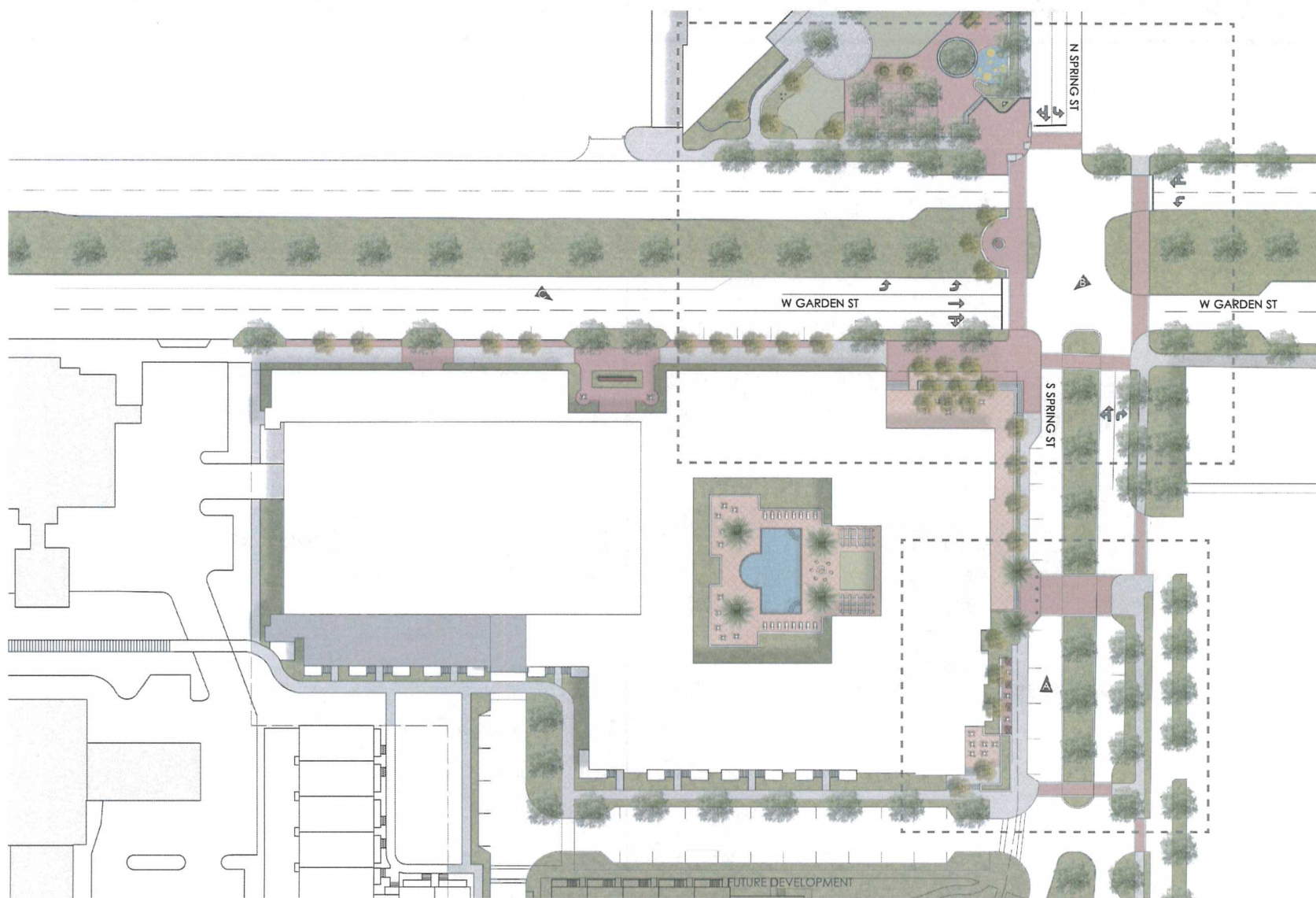
DISCUSSION – None.

ADJOURNMENT – With no further business, the meeting adjourned at 5:57 pm.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Gregg Harding', with a stylized flourish at the end.

Gregg Harding
Secretary to the Board



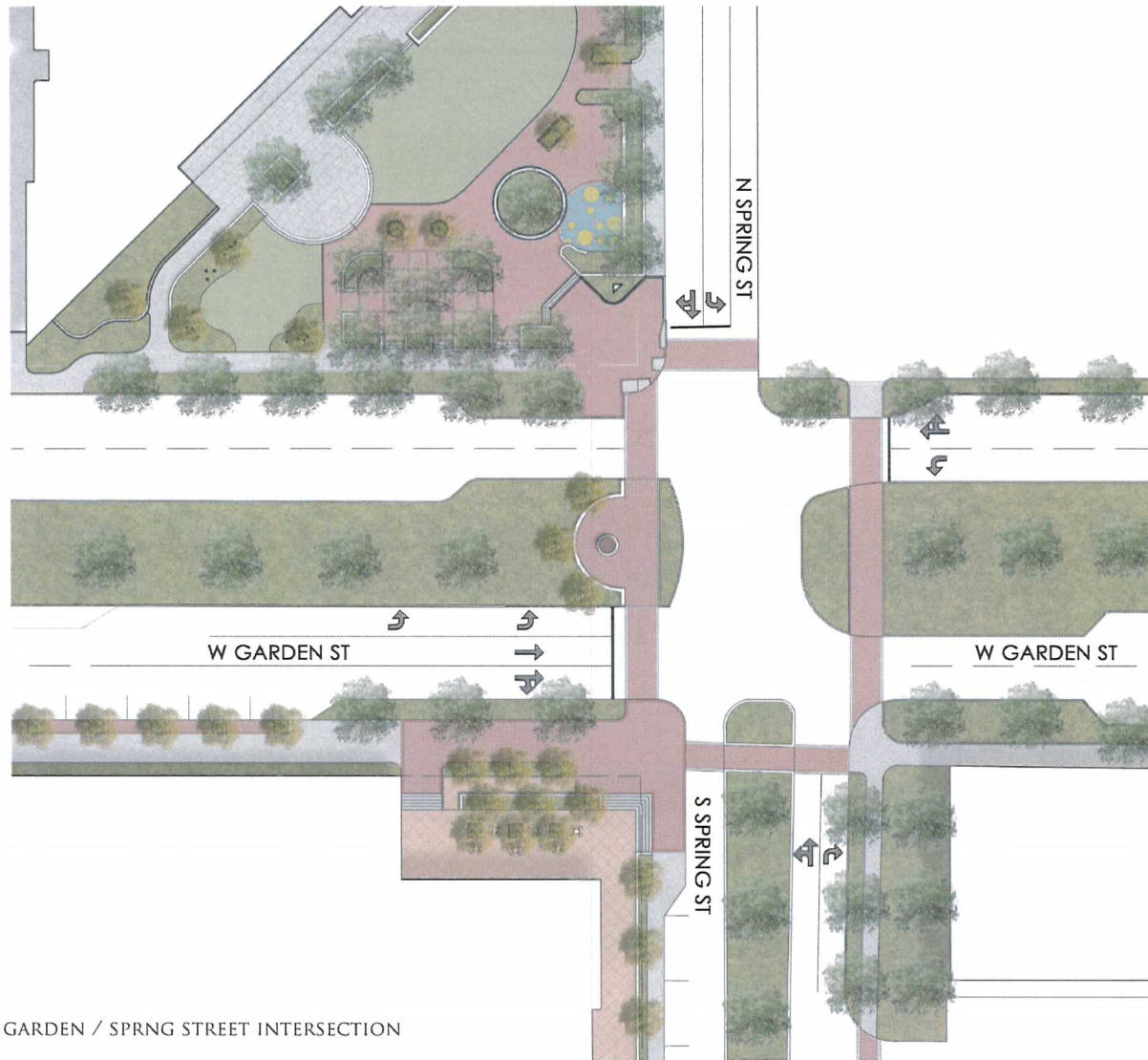
200 BLOCK WEST GARDEN STREET

PENSACOLA, FLORIDA

OCTOBER 2018

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GARDEN / SPRNG STREET INTERSECTION

200 BLOCK WEST GARDEN STREET

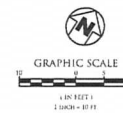
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SPRING STREET PLAZA



200 BLOCK WEST GARDEN STREET

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CONCEPTUAL VIEW A

200 BLOCK WEST GARDEN STREET

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CONCEPTUAL VIEW B

200 BLOCK WEST GARDEN STREET

PENSACOLA, FLORIDA

OCTOBER 2018

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CONCEPTUAL VIEW C

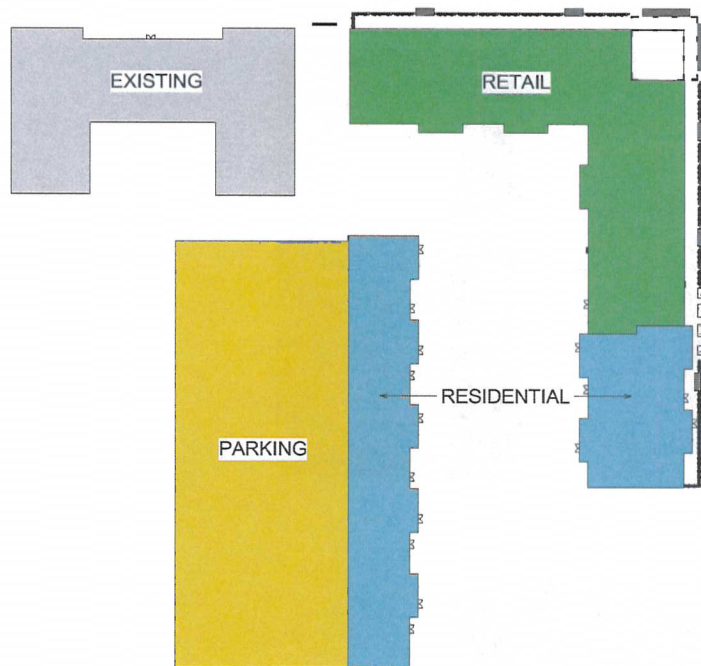
200 BLOCK WEST GARDEN STREET

PENSACOLA, FLORIDA

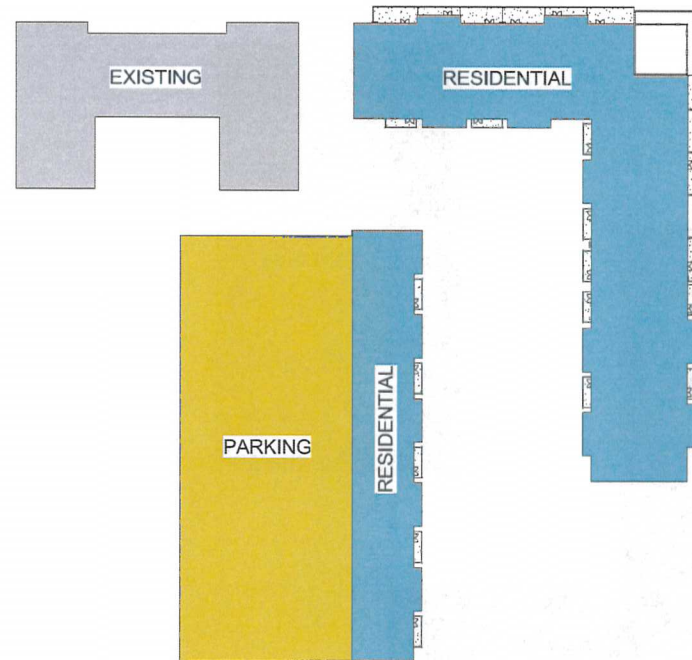
OCTOBER 2018

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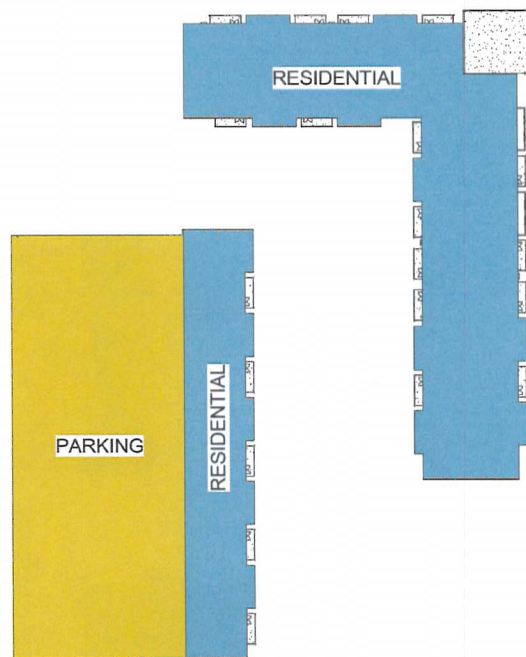


① GROUND FLOOR
1" = 40'-0"

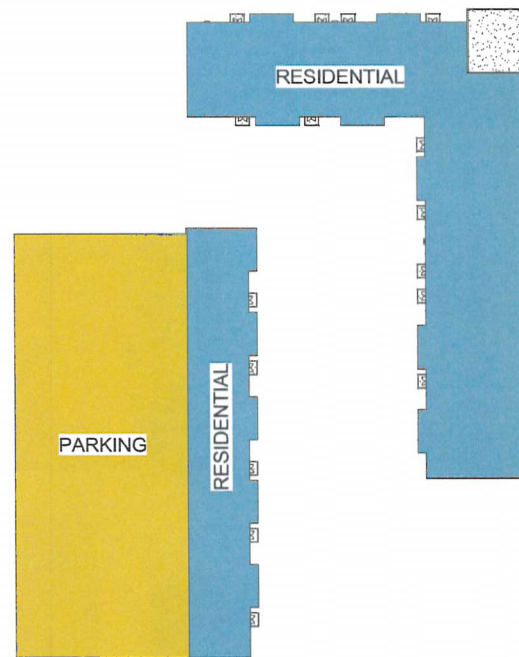


② 2ND LEVEL
1" = 40'-0"

① 3RD LEVEL
1" = 40'-0"



② 4TH LEVEL
1" = 40'-0"



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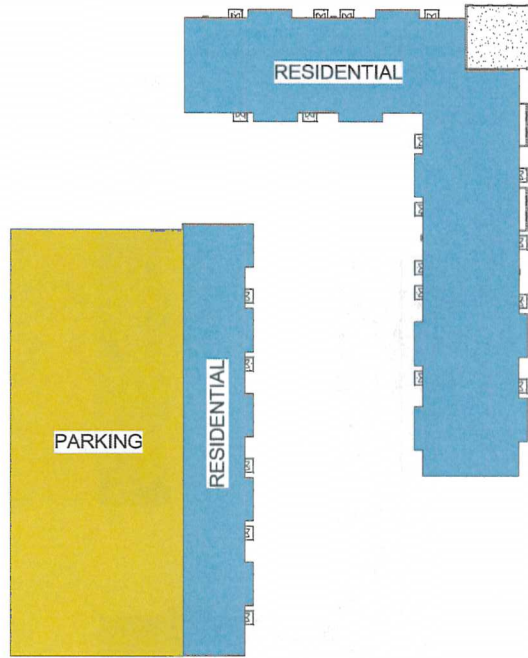
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THIRD & FOURTH FLOOR

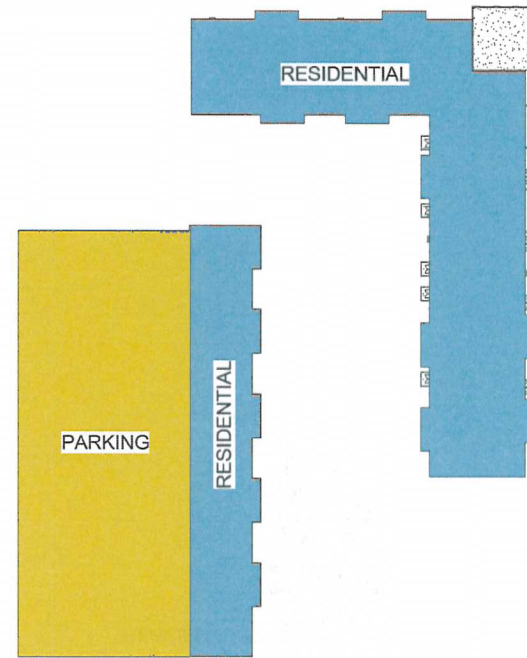
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SUBMISSION: Project Status
REVISION:

SHEET
A102

① 5TH LEVEL
1" = 40'-0"



② 6TH LEVEL
1" = 40'-0"



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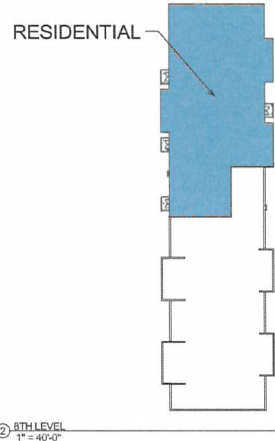
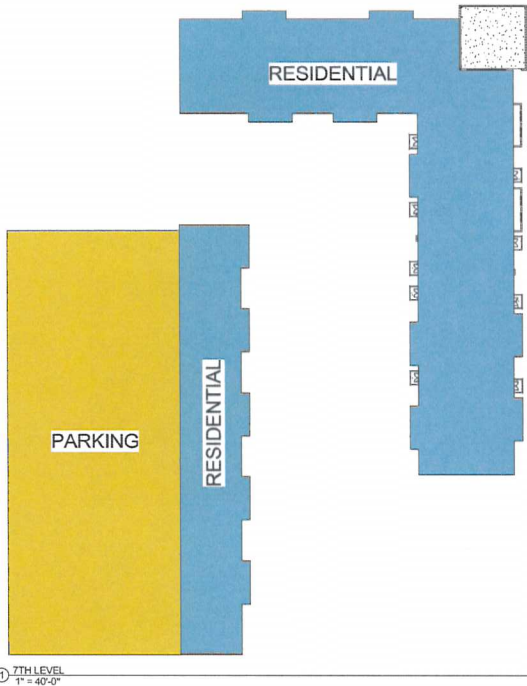
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GARDEN STREET DEVELOPMENT
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SHEET TITLE:
FIFTH & SIXTH FLOOR

PROJECT NO: Project Number
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SUBMISSION: Project Status
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 SHEET TITLE:
 SEVENTH & EIGHTH FLOOR

PROJECT NO:	Project Number
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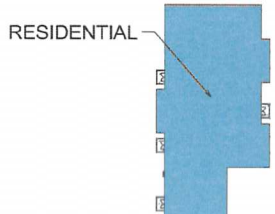
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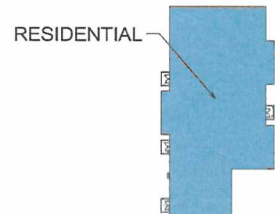
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SHEET TITLE:
NINTH AND TENTH FLOOR

PROJECT NO: Project Number
DATE: Issue Date
SUBMISSION: Project Status
REVISION:

SHEET
A105



① 9TH LEVEL
1" = 40'-0"



② 10TH LEVEL
1" = 40'-0"



① NORTH ELEVATION
 1" = 20'-0"

GARDEN STREET DEVELOPMENT

or Change
 Enter address here

NORTH ELEVATION

Project Number
 Sheet Date
 Project Name

A107



GARDEN STREET DEVELOPMENT

100%
100%
100%

100%
100%
100%

100%
100%
100%

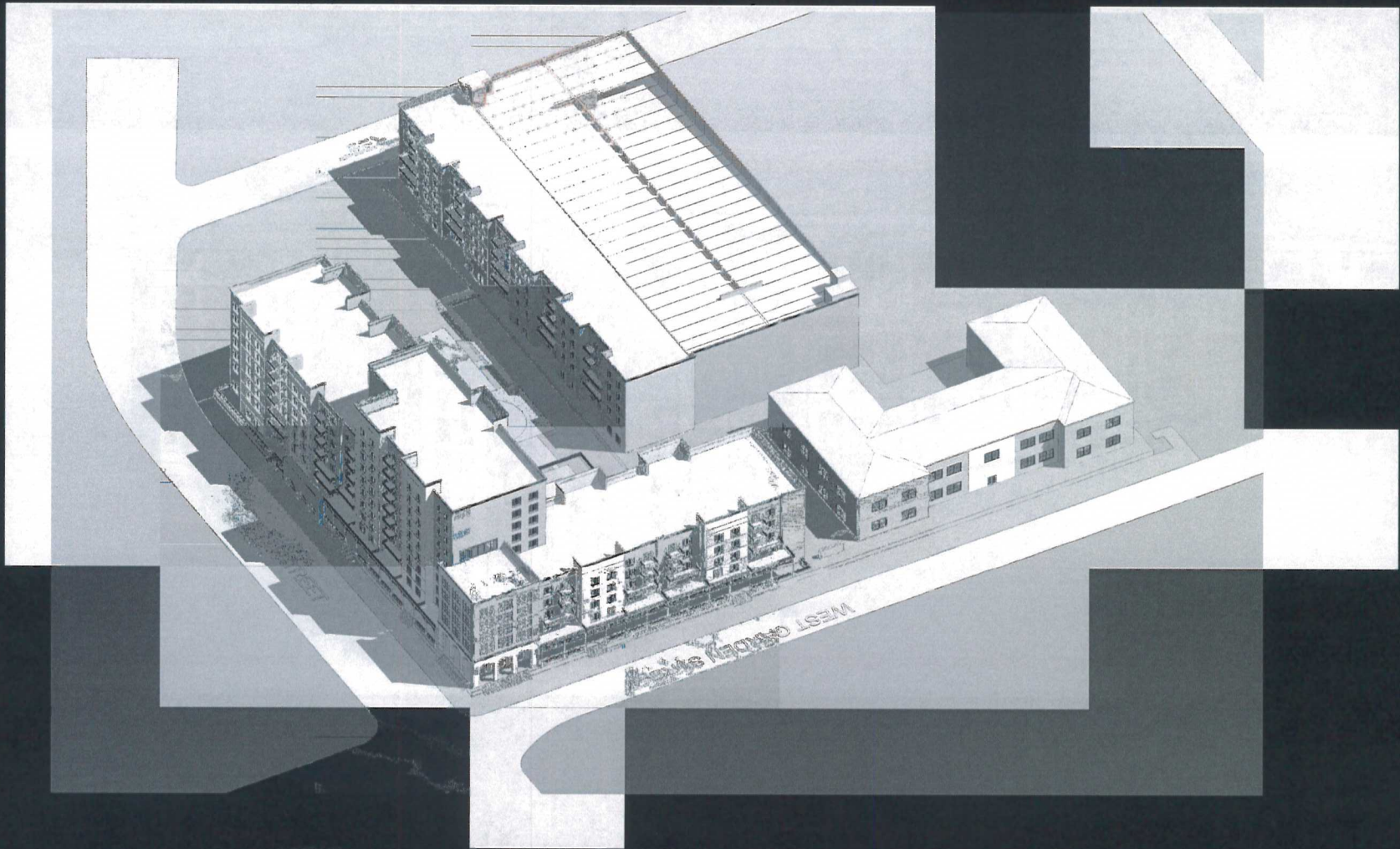
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A111



GARDEN STREET DEVELOPMENT

100' x 100'

100' x 100'

NORTHEAST

100' x 100'

100' x 100'

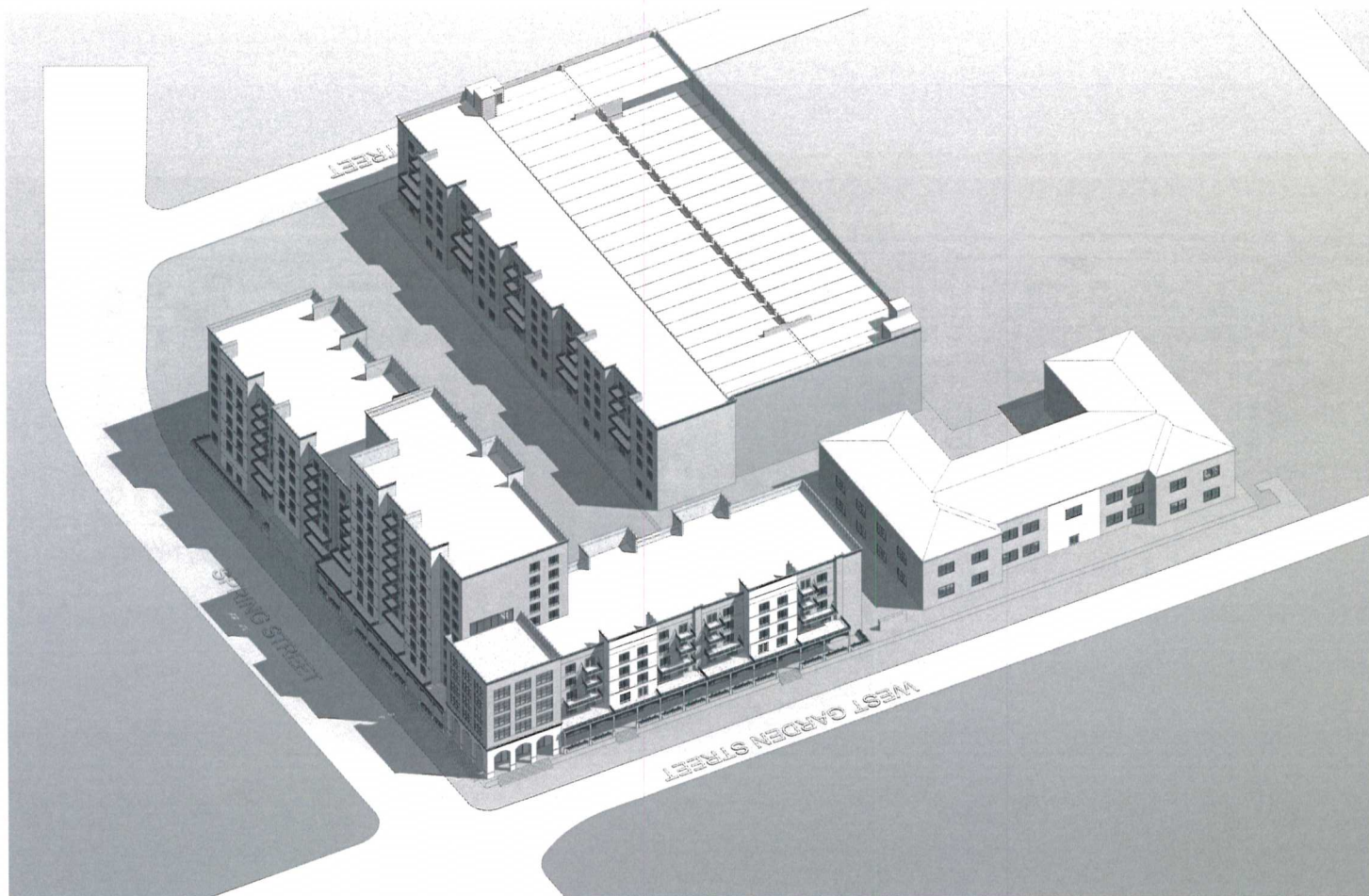
100' x 100'

100' x 100'

A110







① NORTHEAST

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NORTHEAST

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SHEET TITLE:

EAST ELEVATION

PROJECT NO:	Project Number
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REVISION:	

SHEET

A106



1 EAST ELEVATION
 1" = 20'-0"

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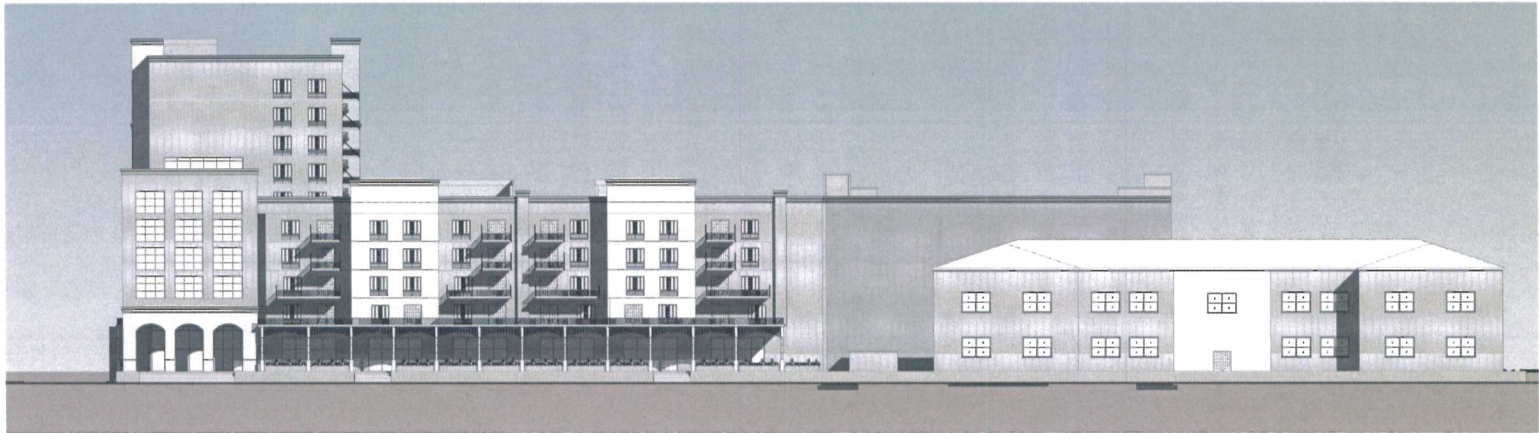
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NORTH ELEVATION

PROJECT NO.:	Project Number
DATE:	Issue Date
SUBMISSION:	Project Status
REVISION:	

SHEET

A107



1 NORTH ELEVATION

1" = 20'-0"

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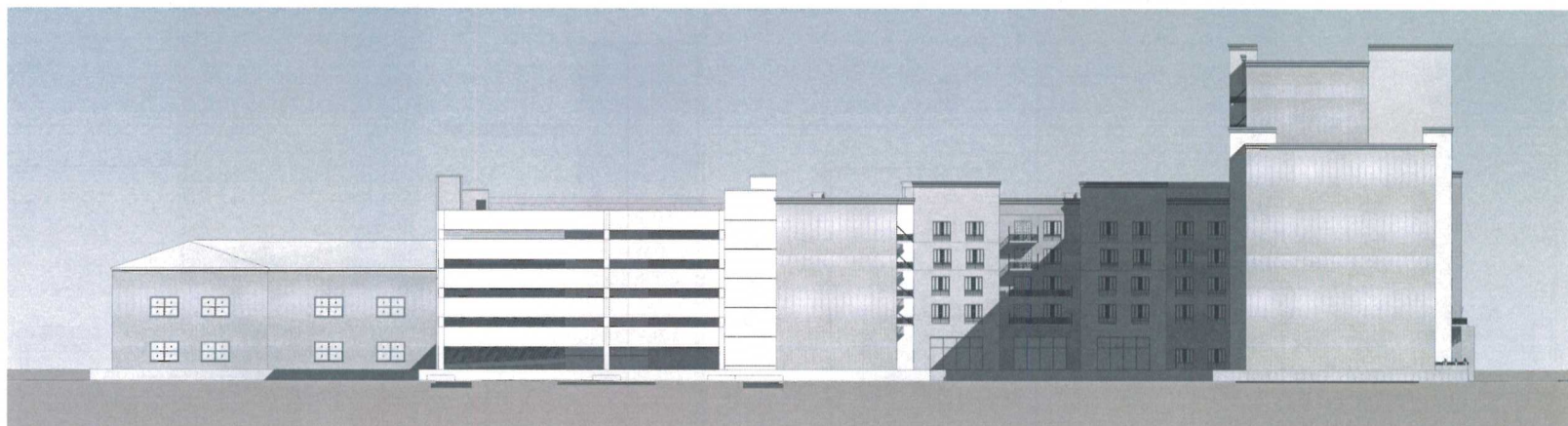
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SHEET TITLE:
 SOUTH ELEVATION

PROJECT NO:	Project Number
DATE:	Issue Date
SUBMISSION:	Project Status
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① SOUTH ELEVATION
 1" = 20'-0"



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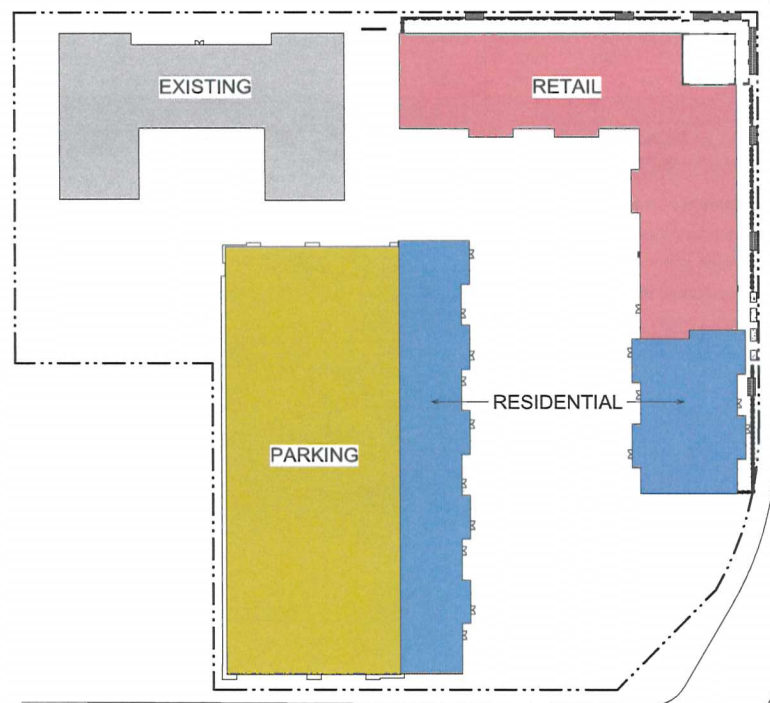
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SHEET TITLE:
GROUND FLOOR & SECOND FLOOR

PROJECT NO: Project Number
DATE: Issue Date
SUBMISSION: Project Status
REVISION:

SHEET
A101

WEST GARDEN STREET



SPRING STREET

① GROUND FLOOR
1" = 40'-0"

WEST GARDEN STREET



SPRING STREET

② 2ND LEVEL
1" = 40'-0"

SEAL

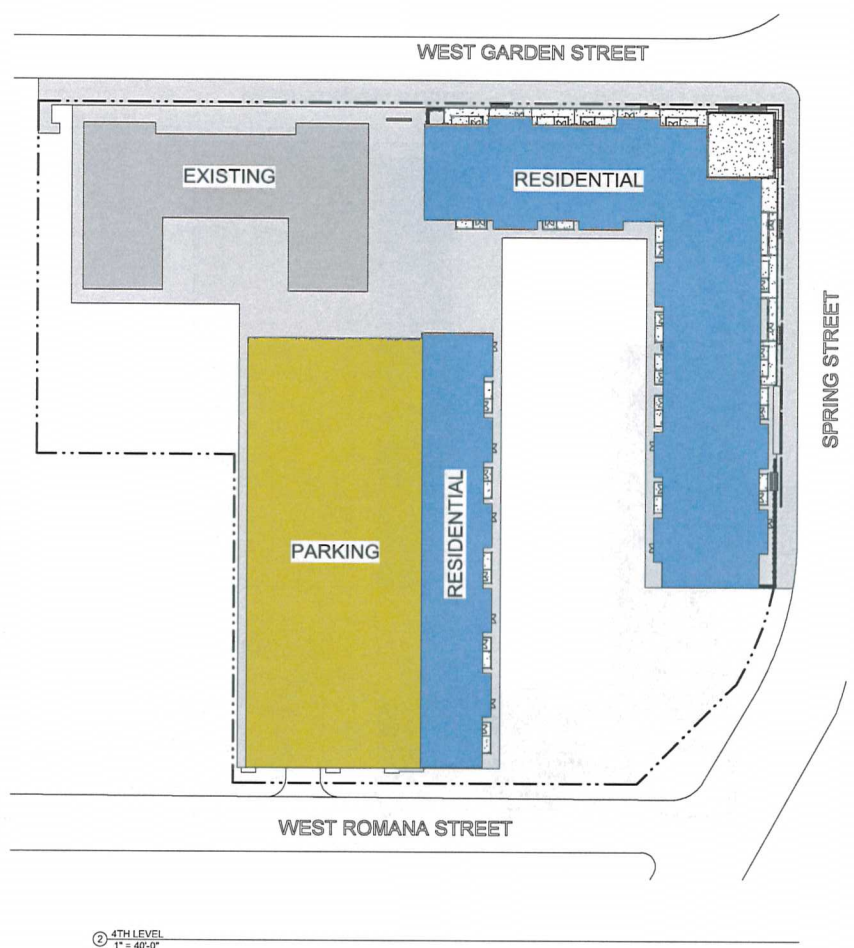
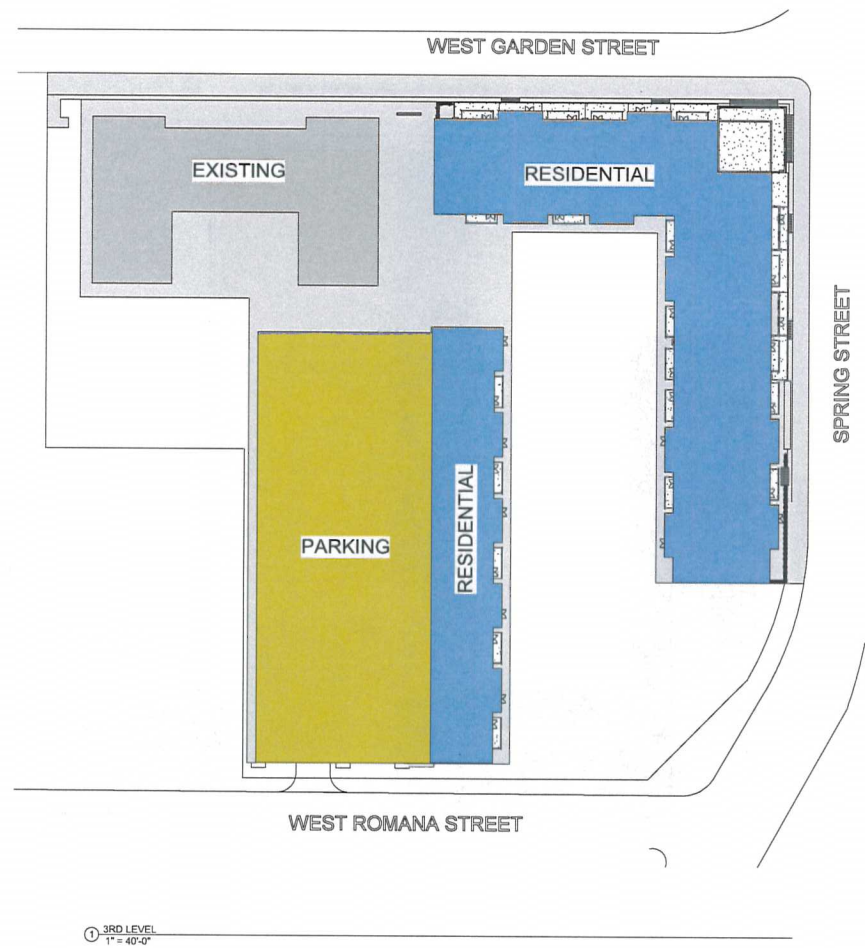
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PROJECT:
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SHEET TITLE:
THIRD & FOURTH FLOOR

PROJECT NO. _____ Project Number
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SUBMISSION _____ Project Status
REVISION: _____

SHEET
A102



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for Owner

SHEET TITLE: FIFTH & SIXTH FLOOR

PROJECT NO:	Project Number
DATE:	Issue Date
SUBMISSION:	Project Status
REVISION:	

SHEET

A103

WEST GARDEN STREET

SPRING STREET

WEST ROMANA STREET

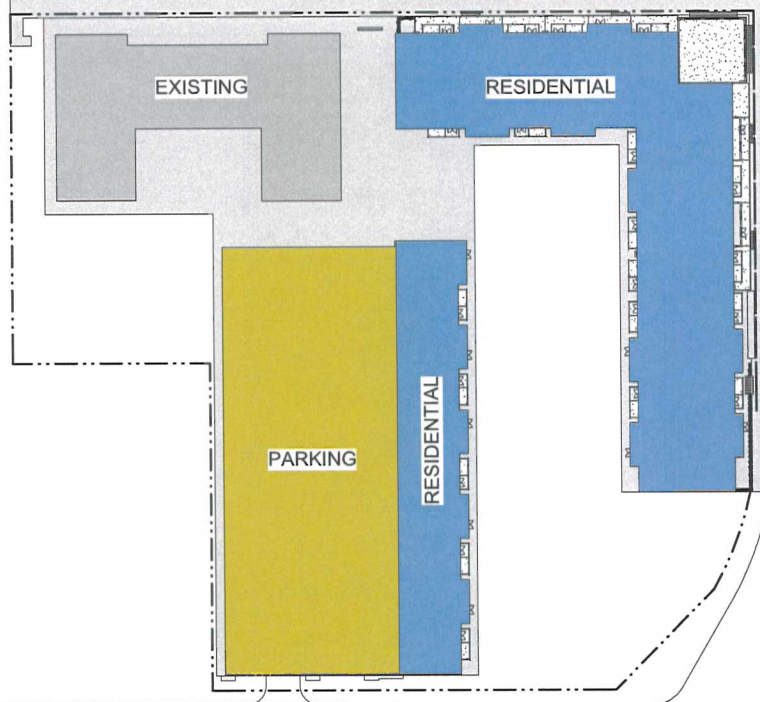
① 5TH LEVEL
1" = 40'-0"

WEST GARDEN STREET

SPRING STREET

WEST ROMANA STREET

② 6TH LEVEL
1" = 40'-0"



SEAL

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 GA#RA011516,

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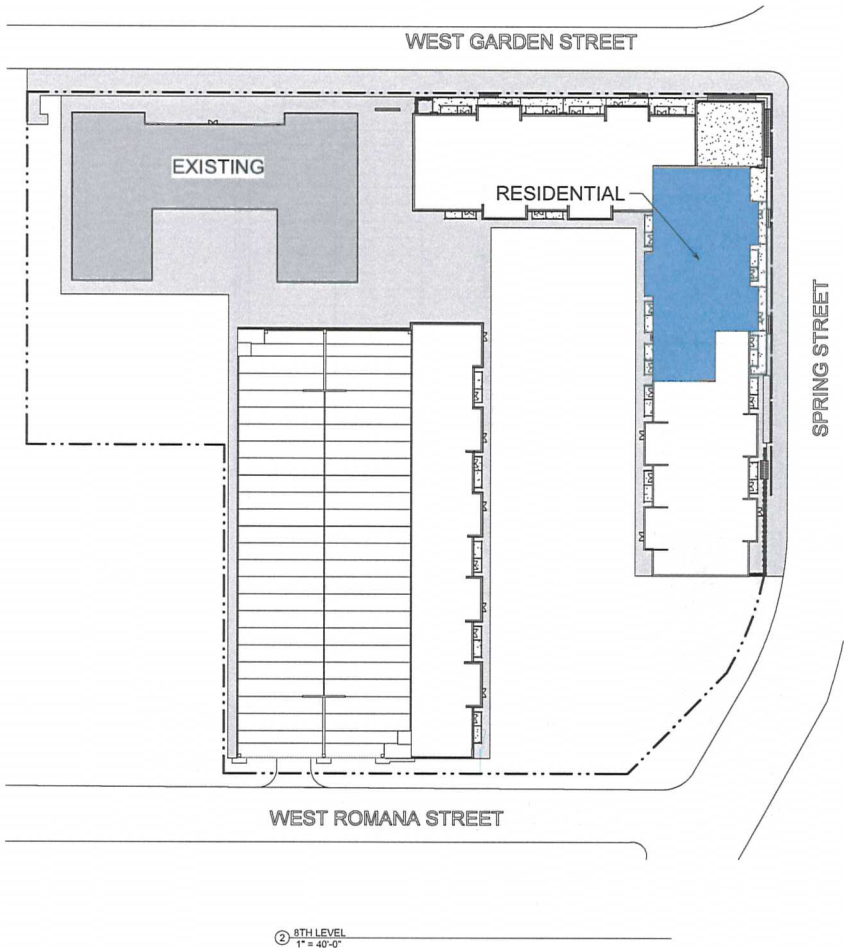
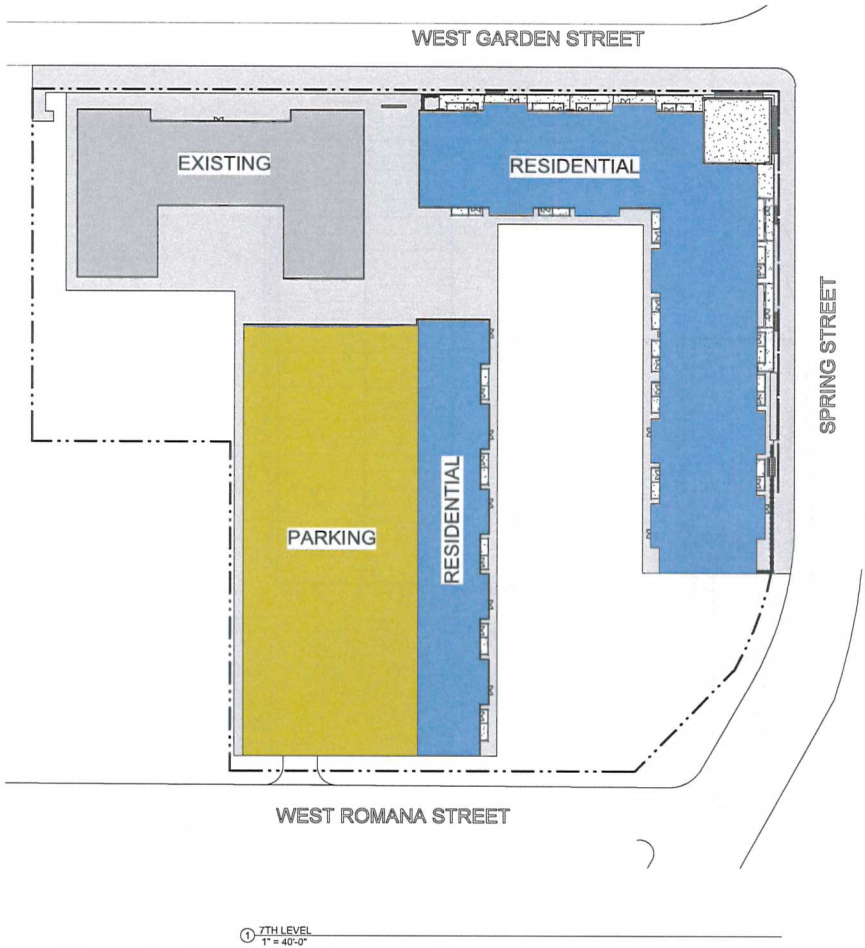
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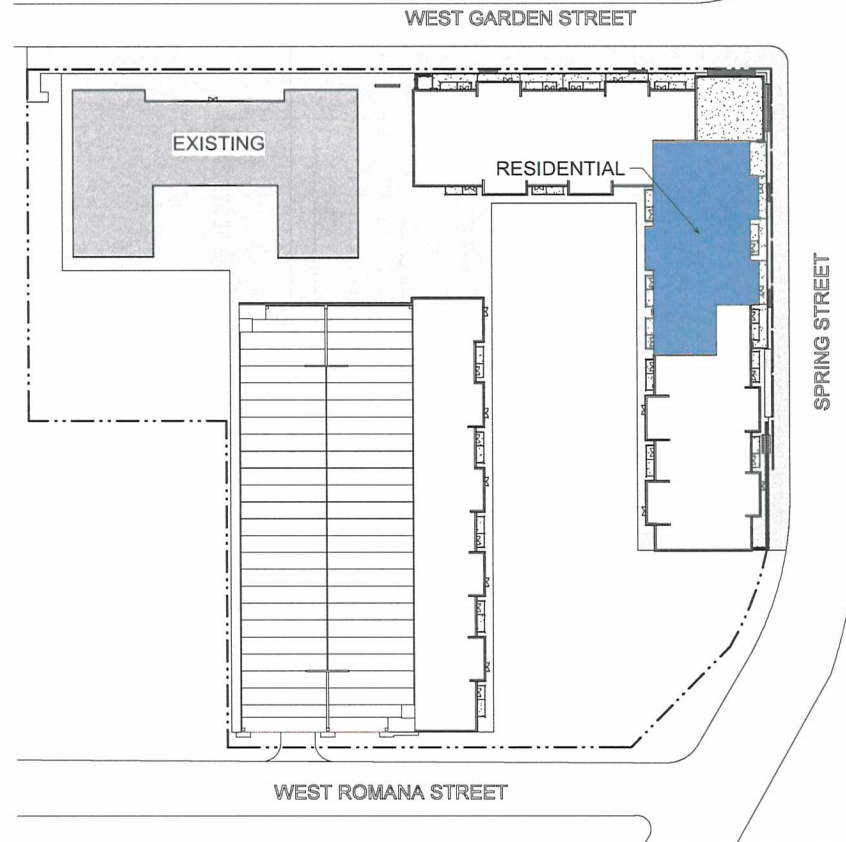
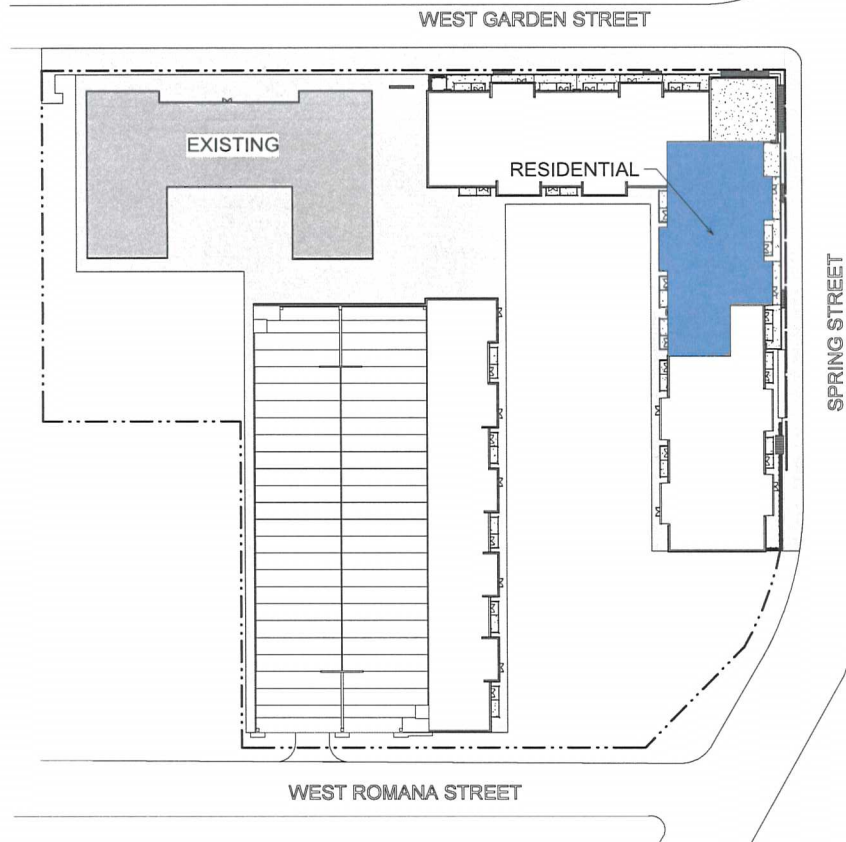
SEVENTH & EIGHTH FLOOR

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REVISION:	

SHEET

A104





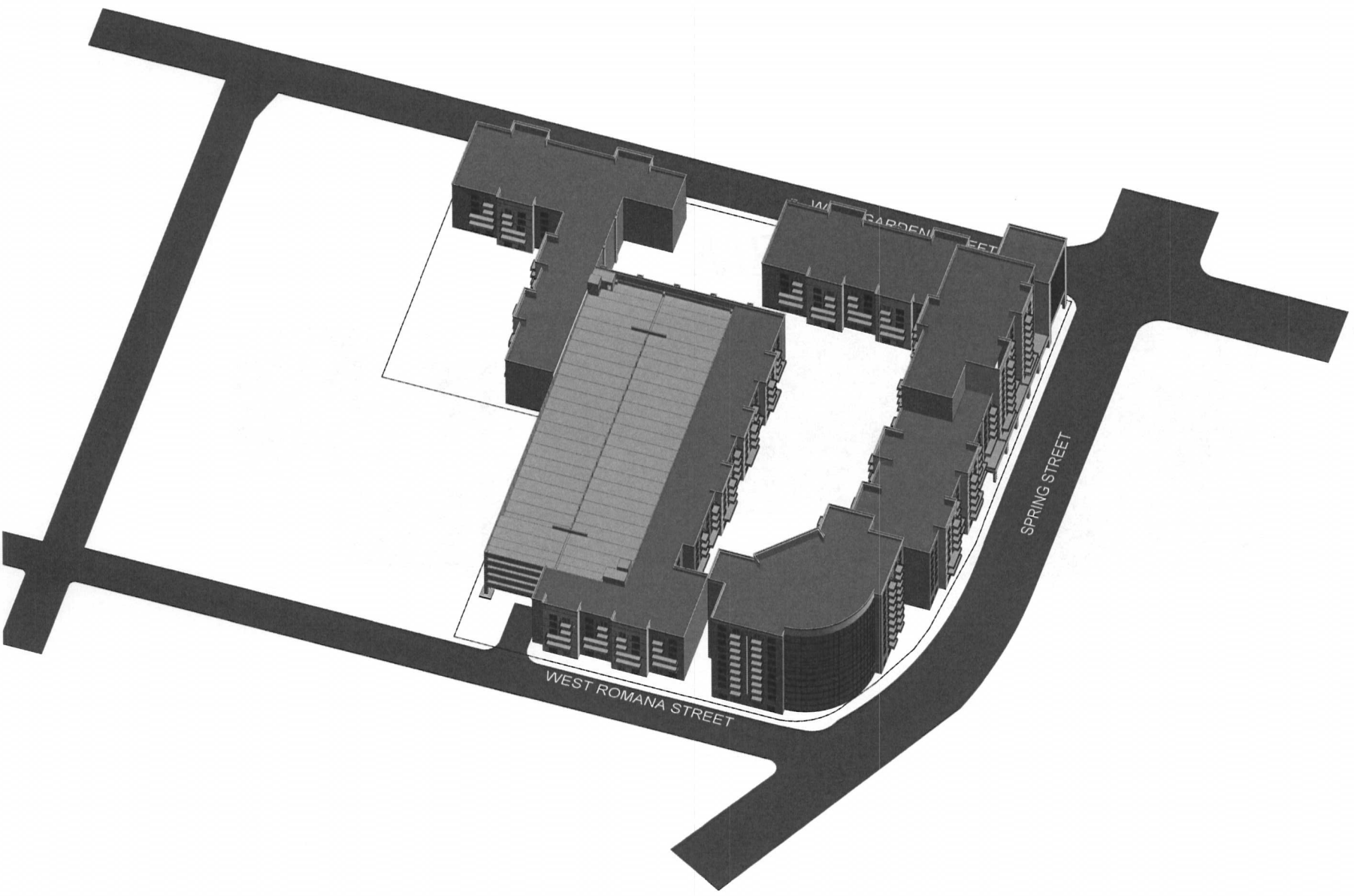


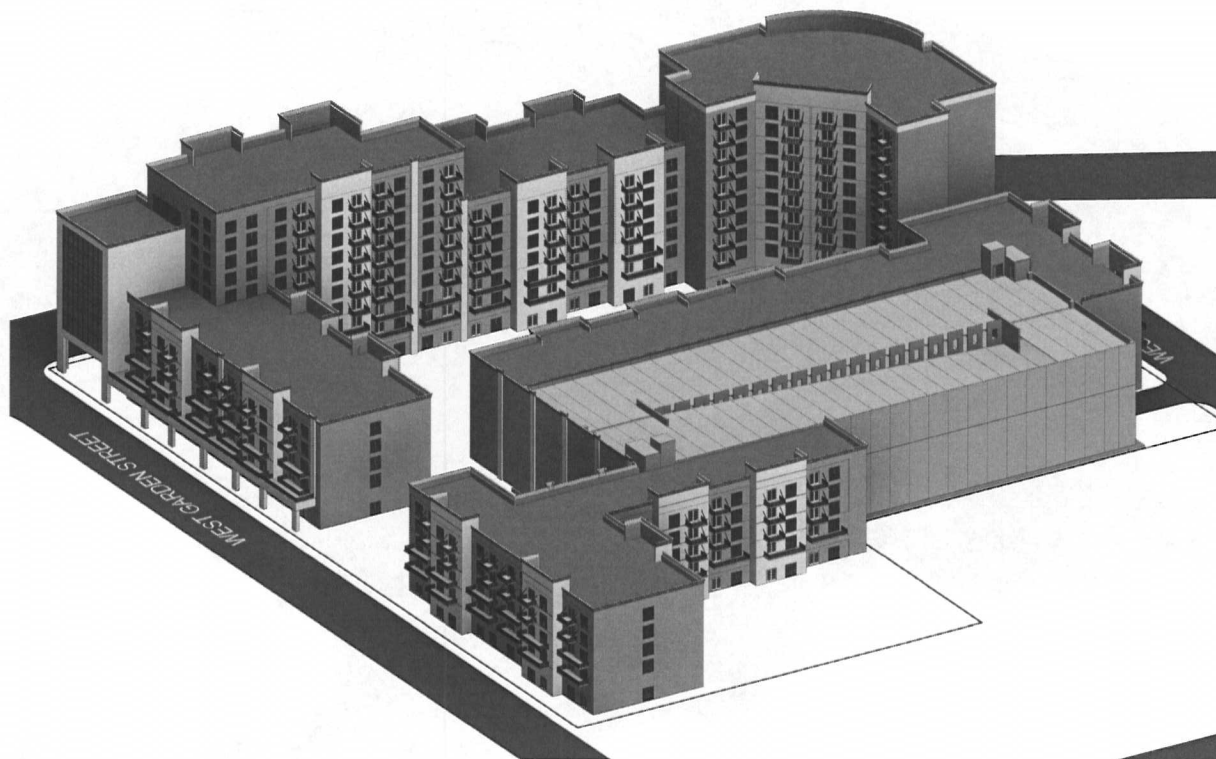


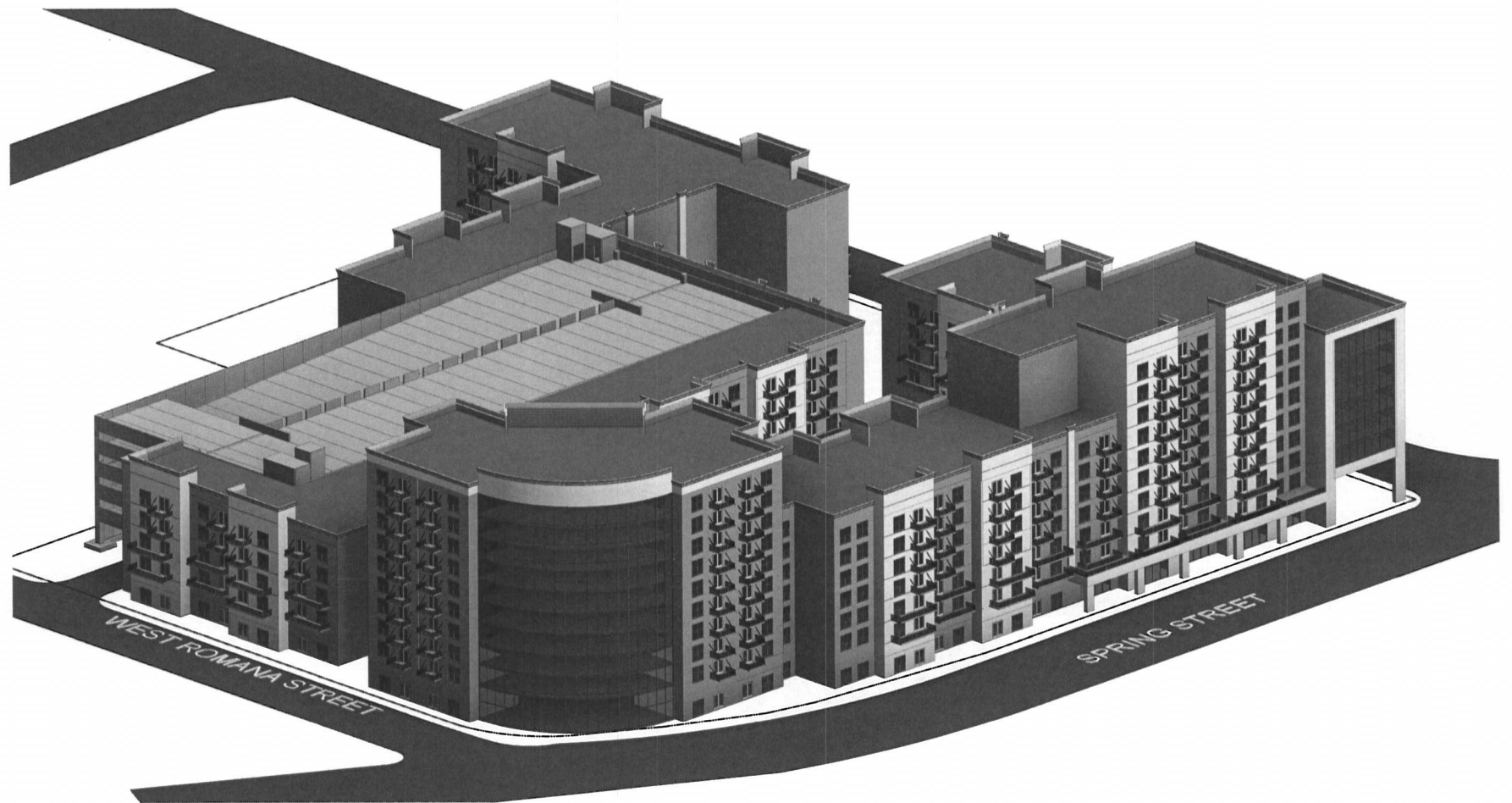




WEST





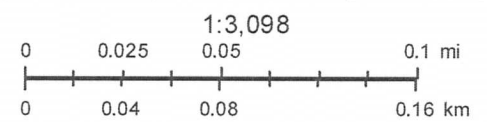




215 W Garden Street - Aerial 2019

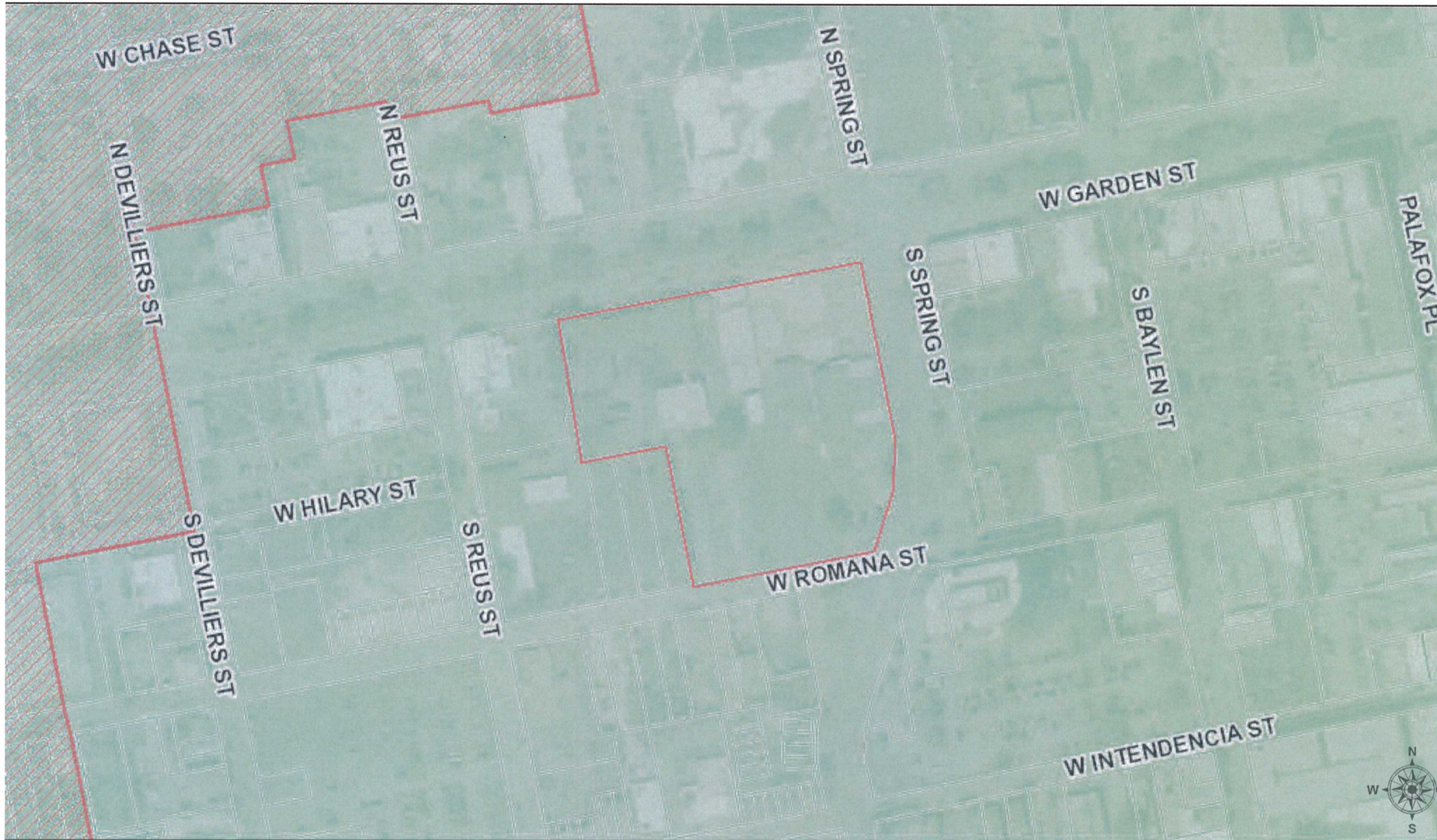


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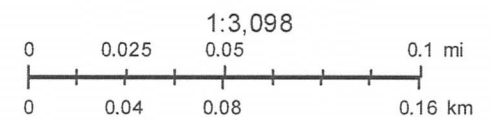


Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, OpenStreetMap contributors, and the GIS User Community

215 W Garden Street - Pensacola Inner City CRA

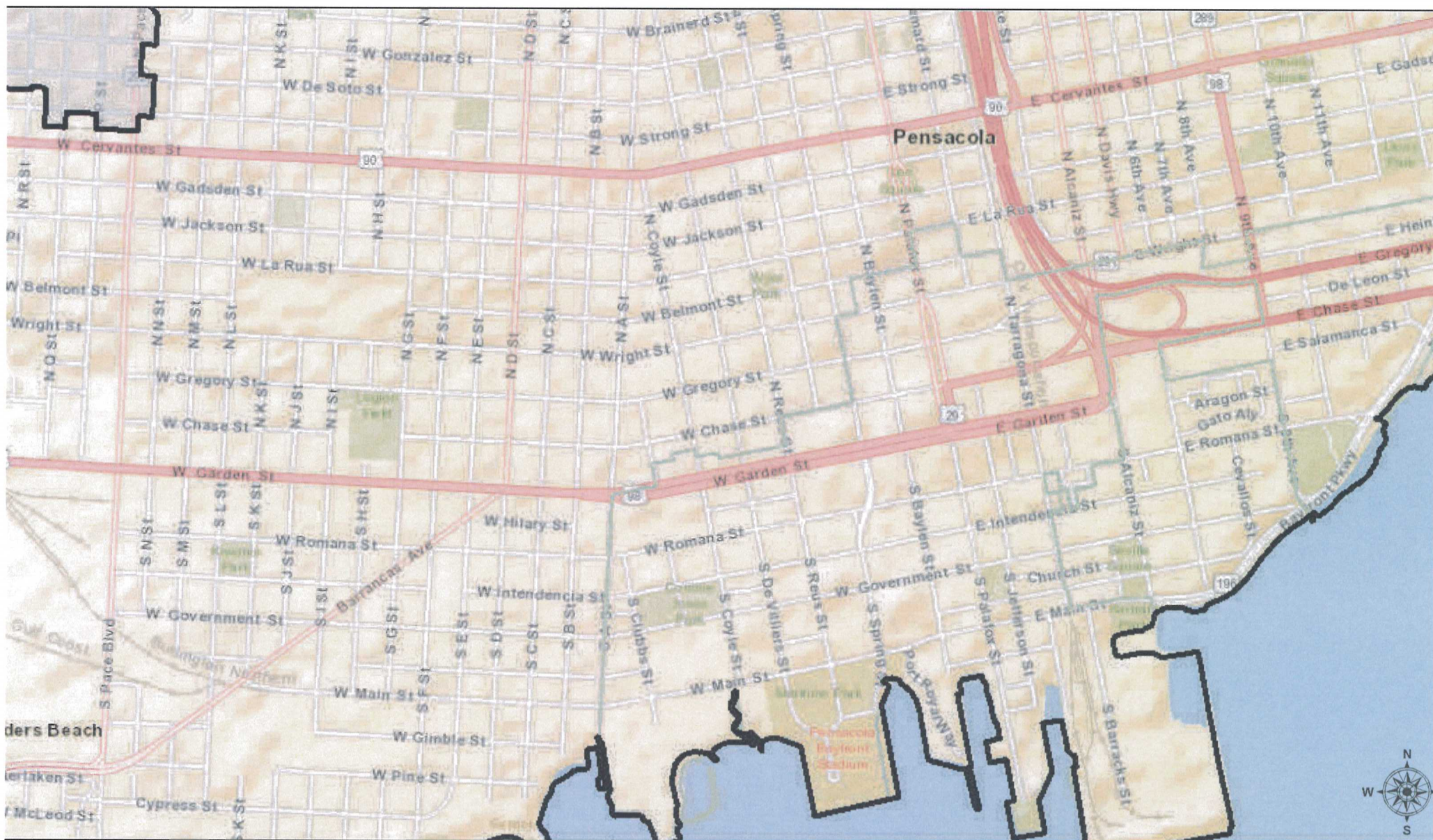


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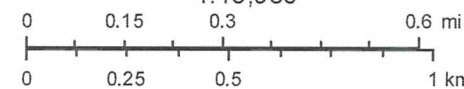
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Dense Business District



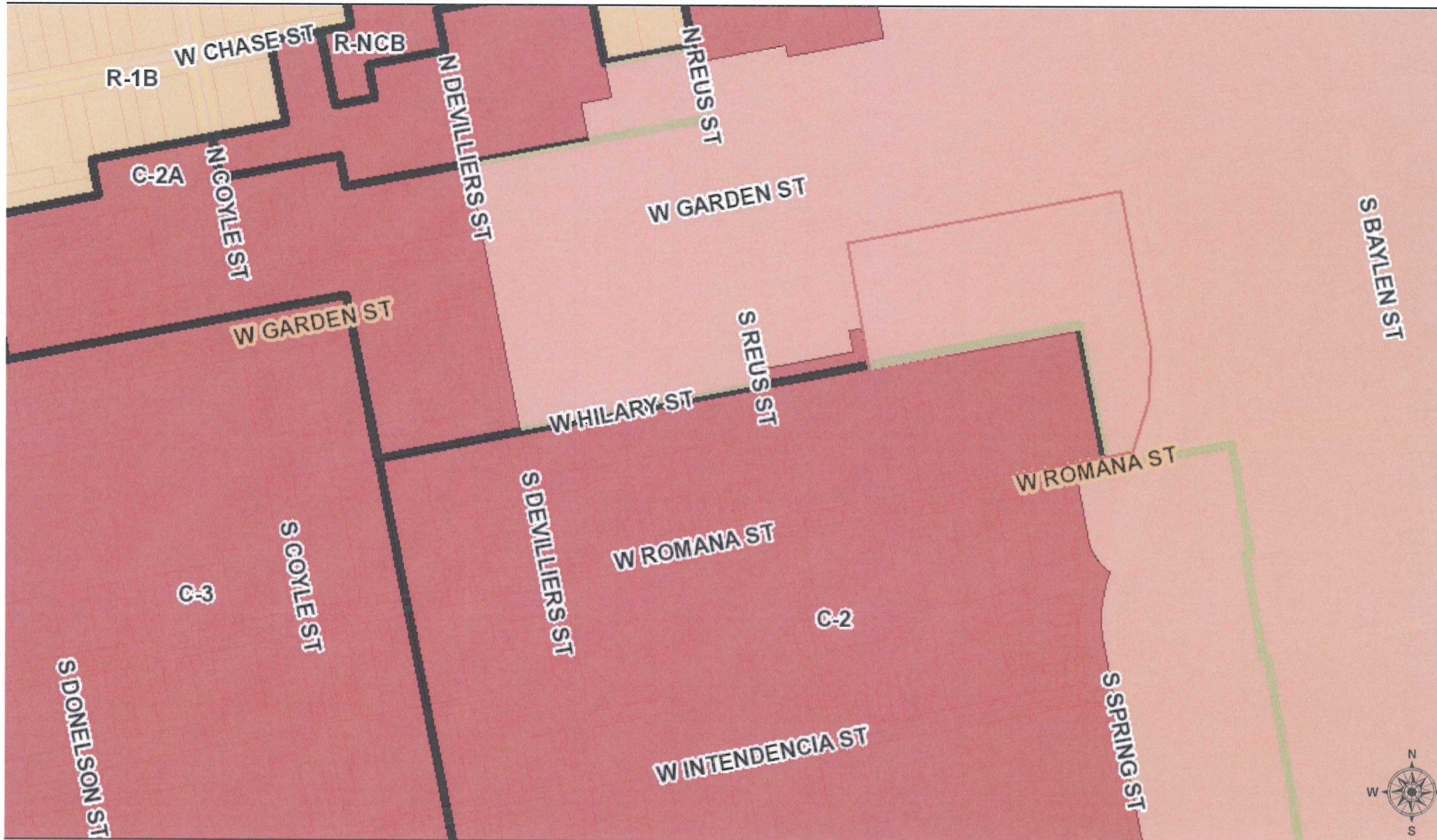
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Zoning



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□ Downtown Improvement Board

1:3,442
 0 0.0275 0.055 0.11 mi
 0 0.045 0.09 0.18 km
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