



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, June 18, 2020, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Call to Order / Quorum

Approval of Minutes

1. [20-00295](#) MAY 21, 2020 ARCHITECTURAL REVIEW BOARD MINUTES

Attachments: [5-21-20 ARB Minutes.pdf](#)

Open Forum

New Business

2. [20-00285](#) ITEM 1 - 905 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

3. [20-00286](#) ITEM 2 - 226 E. GOVERNMENT STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / WOOD COTTAGES

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

4. [20-00287](#) ITEM 3 - 611 E. BELMONT STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHR-2

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet](#)

5. [20-00288](#) ITEM 4 - 435 E. GOVERNMENT STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / WOOD COTTAGES

Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet](#)

6. [20-00291](#) ITEM 5 - 220 W. GADSDEN STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2

Attachments: [Images](#)
 [Meeting Minutes from February 20, 2020](#)
 [February 2020 Elevations - Approved with Comments](#)
 [Abbreviated Review and Comments from Reviewers](#)
 [Application Packet](#)

7. **20-00305** ITEM 6 - 700 S. PALAFOX STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A

Attachments: *Florida Master Site File*
 Images
 Application Packet

Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00295

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

May 21, 2020 Architectural Review Board Minutes



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

May 21, 2020

MEMBERS PRESENT: Chairperson Quina

MEMBERS VIRTUAL: Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter

MEMBERS ABSENT: Vice Chairperson Crawford, Board Member Villegas

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera (virtual), Assistant City Attorney Lindsay, Network Engineer Chris Johnston

OTHERS PRESENT VIRTUAL: Tim Buttell, Christian Voelkel, Jordan Yee, Jim Bozeman, Mr. and Mrs. Scott Holland, Pat Bolster, Thomas Reynolds, Scott Sallis, Steve Mabee, Troy Stackhouse, George Sitton, George Williams, Charles Liberis, Stacy Snowden

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:03 p.m. with a quorum present and explained the procedures of the virtual Board meeting.

APPROVAL OF MINUTES

Board Member Fogarty made a motion to approve the March 19, 2020 minutes, seconded by Board Member Campbell-Hatler, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

213 E. Wright Street

PHBD

Contributing Structure

C-3

Action taken: Approved.

Tim Buttell is requesting approval to attach the bottom portion of the Pensacola Beach sign onto the east façade of a brick structure. Mr. Buttell addressed the Board and explained the sign would be in the parking lot and on the upper right corner of the building. He confirmed the sign would be attached and not lit. He advised the next step would be to get

engineering drawings. Board Member Salter wanted to make sure the sign was not above the parapet or covering windows. Board Member Campbell-Hatler asked about the signage and mural ordinances, and staff advised this signage did not meet the criteria of a sign, and the opinion of senior staff and legal was that it would meet the classification of art or a mural.

Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Salter, and it carried unanimously.

**Item 2
Contributing Structure &
New Construction**

425 & 427 E. Romana

**PHD/HC-1/
Brick Structures**

Action taken: Conceptual approval with comments.

Christian Voelkel, Irby & Voelkel Engineering, is seeking *CONCEPTUAL* approval for the design of a new residence as well as modifications to an existing contributing structure. The proposed work includes the combination of two lots into one parcel. Chairperson Quina asked since this was his neighbor and both were performing renovations, would this be a conflict of interest, and Assistant City Attorney Lindsay clarified there would be none and unless he would obtain a special gain or loss, it was not necessary for him to recuse himself.

Mr. Voelkel addressed the Board and explained since they had been denied moving the existing structure, it would be retained, and they would build a new two-story structure in the rear for the primary residence. They wanted to combine the lots into one address. It was determined there would be a kitchen on two floors, with one being for visiting family. They planned to have a brick skirt around the existing contributing structure with gingerbread details on the front porch and arches to tie the look into the contributing structure. Board Member Salter did not agree that the modifications to the contributing structure were in the best interest and suggested any skirting accent the existing masonry piers. He also suggested the mullion pattern on the replacement windows should be vertically oriented 2 over 2, maintaining its historical original architecture. It was determined they planned for the existing windows to coordinate with the new structure. Chairperson Quina advised the windows needed to be wood framed since those would have been the original; the applicants preferred a clad product for both. Board Member Salter asked if anyone would have a problem with the two structures not matching. On the new structure, the east elevation windows were a little tight to the chimney, and the grade needed to be at least 18". Chairperson Quina was concerned with all of the arched windows since they were not common to this district. He also pointed out the concrete step which was almost the entire width of the property. Mr. Voelkel indicated they would probably go to a rectangle window with a transom on the two sides, keeping the front and rear with arched windows. Regarding the steps, the idea was for a grand entrance to walk up to either house. He also explained the parking would be on-street only and confirmed this would be a primary residence and not an Air BNB.

Board Member Campbell-Hatler felt the March 2019 drawing was more appropriate with the house not being as massive looking. It was noted the Board's concern was with the earlier concept of moving the smaller building to the rear. Advisor Pristera agreed in showing the piers, and the gingerbread was not appropriate since the shotgun homes were

Board Member Campbell-Hatler made a motion to approve conceptually with no gingerbread on the contributing structure; okay with the recessed columns on the contributing structure; the windows being remade; reduce the width of the steps to be more in line with the district; reduce scale and massing to go toward the original March 2019 submittal; to have rectangle windows. Board Member Salter amended the motion that the retaining wall be replaced to what was more typical to this area. The amendment was accepted, and the motion seconded by Board Member Salter, and it carried unanimously.

Item 3	100 BLK W. Garden	PHBD / C-2A
New Construction		

Mr. Yee addressed the Board and stated the building now faces Garden Street with the mass of the building along the property line with the Bank of American building, and it opens the greenspace to the Spring Street elevation. There will be a restaurant space on the corner of Garden and Spring. Board Member Campbell-Hatler thought this was a better orientation, and Board Member Mead agreed it opened up better to Spring Street. Board Member Fogarty felt it was a great project especially considering working with social distancing. Board Member Salter recused himself from the discussion since he was involved in the development.

Item 4	15 W. Strong St	NHPD / PC-1
New Construction		

Mr. Bozeman addressed the Board and stated they placed the gables on the roofline, 2' projected balconies on the side as requested, and the handrails will be pressure treated wood or a composite and no powder coated aluminum. Mr. Liberis withheld comments. Board Member Mead advised the revisions were very responsive to the Board's comments and consistent with the overall plan. Chairperson Quina explained the revisions had addressed the North Hill comments.

222 West Main Street Pensacola, Florida 32502
www.cityofpensacola.com

Item 5

800 BLK N. Baylen

NHPD / PC-1

New Construction

Action taken: Approved with comments and abbreviated review.

Jim Bozeman is requesting elevation changes to four new single-family residences. This project was approved by the Board in September 2017. The revised elevations are consistent with those submitted for 15 W. Strong Street. Nearly all of the materials and color scheme has remained consistent as approved by the Board in 2017.

Mr. Bozeman presented to the Board and stated the changes were similar to the previous Building F. The gables were added, and the balconies were at 1.5'. He explained the A/C balcony and location. Board Member Salter addressed the rear elevation A/C units and asked if they could be located on the ground; Mr. Liberis advised he could move them to the side of the building without the mechanical balcony. Board Member Mead agreed the equipment balconies should go with the A/C being placed on the ground. Board Member Salter asked that they keep the rear windows in mind when making the adjustments.

Board Member Salter made a motion to approve with the modification of the removal of the equipment balconies on the rear elevation and that a revised rear elevation be submitted for abbreviated review, seconded by Board Member Mead, and it carried unanimously.

Item 6

314 S. Alcaniz Street

**PHD / HC-1 / Wood
Cottages District**

New Construction

Action taken: Conceptual Approval with comments.

Scott Holland is seeking *CONCEPTUAL* approval for a new two-story, single-family residence. The demolition of the existing non-contributing structure was approved in December 2019 and a Variance to reduce the required rear yard setback was denied in February 2020. Since then, the applicant has revised the site plan to accommodate the zoning setback requirements.

Mr. Holland addressed the Board and stated without the Variance, the footage of the house increased to 2,042 sq. ft. He had gotten permission to remove the tree at the rear, but he would be replanting oak trees in the area between the property line and the edge of the road. Board Member Mead asked about the west elevation louvers, and Mr. Holland indicated his desire was to make the louvers operable. Mr. Mead's concern was when the shutters were open that they fit within the frame of the façade, and Mr. Holland agreed this was a viable comment. Board Member Salter pointed out the bronze metal railing was not typical with the district, and Board Member Campbell-Halter felt the bronze was more traditional and liked the converging of the two timeframes. Mr. Holland indicated the columns would be either be mahogany or Spanish cedar; since he was trying to meet a 200mph wind load he would be using a steel or structural aluminum core. Staff explained the Streetscape Type 2 features in the LDC, Figure 12-2.1 for the Wood Cottages District. Regarding the extensions on the north and east elevations, Mr. Holland stated he would probably change that from stucco to wood. Chairperson Quina advised the railing type for this district is typically wood. Board Member Salter stated if the bronze material becomes part of the architecture that spreads throughout the house and some of the other detailing, that concept would probably work.

Board Member Salter made a motion to approve with the comments noted in discussion for material consideration, seconded by Board Member Campbell-Hatler, and it carried unanimously.

Item 7

919 N. Baylen Street

NHPD / PR-1AAA

Contributing Structure

Action taken: Denied without prejudice.

Pat Bolster, Merrill Land Construction, is requesting approval to replace the roofing on a contributing structure. A sample of the existing cement tile shingle, profile and the proposed Terracotta tile were provided to the Board.

Chairperson Quina advised the guidelines from the Secretary of Interior Standards indicate they would request the use of the same material if it is available. Mr. Bolster stated the existing tile had been discontinued. The idea was to go with a product for maintenance in the future in a similar product. He explained this roof had been replaced in 1984 or 1985, with the original being clay tile. Mr. Reynolds stated the roof has leaked since Ivan in 2004, and he felt the concrete tiles were a part of the problem since they were unbelievably heavy. They wanted a product that looked the same but performed better. He also believed the Antique Chestnut was closer to the existing tile, and Mr. Bolster agreed. Advisor Pristera stated he could not find pictures of the original roof. He also found the 200 block of West Lloyd which had this type of roof, but since you could still get Terracotta and concrete, the Secretary of Interior Standards would prefer the more historic material.

Board Member Salter asked about the difference in price, and Mr. Bolster advised metal shingles were 70 percent of the cost of the replacement concrete tiles; there has also been water damage to the roof and having a lighter material would make the actual roof structure last longer. Chairperson Quina stated this was a very unique building in North Hill, and the Board was not supposed to consider cost when analyzing the appropriateness of replacement materials. Board Member Salter stated as unique as this structure was, the primary concern was the aesthetics, and if the profile of the tile and profile of the edge is more dominant in this situation, he would not have a problem with it. Advisor Pristera pointed out you can still get the original materials, and the faux products have to match what the original material was, and he felt this material was not appropriate. Mr. Reynolds stated the reasons they went in this direction was because the concrete tiles were part of the reason the roof was struggling, and they were not interested in replacing the roof with concrete tiles since they were not the original roof anyway. He explained the Decra tile was a substantial product, and his hope was that it would look and perform better than the concrete tile. Chairperson Quina pointed out once you remove the concrete tiles, you would place some sort of single-ply membrane down with flashing which would take care of all the waterproofing. The concrete or clay was a weathering surface which would last if the under layer was properly installed. He proposed the concrete or clay would be more expensive, but would be a more lasting roof than the metal product with asphaltic material. His feeling was that the asphalt would eventually fade away, and you would begin to see a metal roof.

Board Member Mead asked if there as a time pressure for this project. Two points to consider would be how this product had performed in the real world, and terracotta would be lighter than the concrete tile which was not the original roof. He suggested the item be

resubmitted with information on the product performance and comparison to a typical terracotta product or something along those lines. Mr. Reynolds explained the turnaround time would be 12-16 weeks for concrete tile production, with the Decra being significantly less, and hurricane season approaching. Board Member Campbell-Hatler suggested looking at 398 Bayou Boulevard for a new version of the curb tile.

Board Member Mead made a motion to deny without prejudice for resubmission with information on the performance of the stone-coated metal product for better judgement. The motion was seconded by Board Member Campbell-Hatler and carried unanimously.

Item 8 **113 N. Palafox Street** **PHBD / Zone C-2A**
Non-Contributing Structure
Action taken: Approved.

Scott Sallis is requesting approval to modify the front and rear of a non-contributing structure. Mr. Sallis presented to the Board and stated the canopy structure was shared with the adjacent building and would be repaired. Board Member Salter stated he appreciated the old storefronts on this section of Palafox, and this awning was a part of this. He did not think the modern shed awning was a positive impact on this streetscape; the awning was one of the few remaining elements of a period of time. Advisor Pristera advised it was hard to find old pictures of this block. This was not original but represented a period of time. Board Member Campbell-Hatler liked the presentation since it would not look alike, and the change in the rhythm was quite nice. Board Member Fogarty suggested it also helped enhance the pedestrian experience. Board Member Mead stated this has precedent in terms of treatment of the Palafox frontage. He also explained retail spaces are variable, and we don't keep everything from every era since some are not worth keeping. He also appreciated the rear façade detail, and felt the overall presentation would be a great addition to the Palafox Street frontage. Board Member Salter explained it was not the specific canopy, but it was the style of architecture and the streetscape with the continuous canopy. The trend of the storefronts getting their individual canopies would break up the street front, and a bracket-mounted canopy as proposed would not be a positive addition in this area. **Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Mead. The motion carried 4 to 1 with Board Member Salter dissenting.**

Item 9 **415 N. Alcaniz Street** **OEHPD / OEHC-1**
Non-Contributing Structure
Action taken: Approved with comments.

Scott Sallis is requesting final approval to renovate the 1928 Mount Olive Christian Church. The plans depict an Air BNB-style boarding house with a new restaurant, bar, outdoor dining and event space.

Mr. Mabee presented to the Board and indicated they were excited to be working on this building. Mr. Stackhouse explained he was excited to work with this property as well. Mr. Sallis advised the project had not changed that much, and they hoped to begin demolition in the next few weeks and start the work in June. He stated their intent was to make this an Air BNB model lodging house as a mixed use with a restaurant and complimentary bar

on the ground floor dining plaza which is submerged under the earth at a range of 3 to 4 feet. On the south side, they will create a covered dining plaza connecting to an open plaza for events. Most of the new construction is independent of the building, which allows much of the structure to be retained. They intend to re-stucco and finish all of the existing stucco base and paint the existing brick. To meet energy code, condition the space, and to keep moisture out, and elastomeric paint was the easiest tool to accomplish this. He pointed out the neighborhood association comments embraced this renovation. Since it did not make sense to have windows in the kitchen which are behind kitchen equipment, those windows would be filled with masonry and not really visible. As of now, there are windows in the exit stairs, but it was possible that Inspections would not allow this, however, they will be working with that department.

Board Member Salter was excited for the direction of the project but was still concerned with painting the brick since it had a beautiful pattern. However, simply painting the brick would not solve the water intrusion problems, and there were methods of addressing this from the interior. Mr. Sallis knew of these methods but there were very few ideas for high humidity areas. The patterns of the brick are in small portions at the front of the building, and they would remain as they paint the brick. He pointed out the masonry of the building was atrocious with random uses of the brick, clay tile and different sizes of brick; there was nothing standard in the masonry. Mr. Sallis confirmed in replacing the windows, they were taking out the glazed brick. Mr. Mabee emphasized the paint would protect the building for another 100 years, and it would survive longer by being protected in this fashion. Board Member Mead did not feel he had enough proof that would support the painting.

Advisor Pristera indicated he agreed with Board Member Salter in that the street sides had a nice brick pattern with no major issues, and painting seemed to be a cosmetic concern; he did not see painting it as a solution to water issues. Old Christ Church still has water issues, and it was originally painted.

Board Member Fogarty understood the concerns but felt painting was a nice solution to a somewhat chaotic and neglected façade. Board Member Campbell-Hatler agreed that painting would be a nice facelift and would be amazing for that block but was also concerned about the interior moisture. Board Member Mead agreed with this issue in pushing the moisture from the exterior to the interior. Mr. Sallis explained the inside of the building is chaotic masonry which is exposed, leading to the collapsing of the plaster. He advised they would be installing new structural studs which will allow for new insulation and sheetrock inside. He also stressed he needed the Board to place them in a position to pull a permit.

Board Member Campbell made a motion to approve assuming the windows in the hall pass the Inspections Department. Board Member Mead proposed a modification that the Board take up the suggestion that the question of painting the brick on the upper portions be submitted to an abbreviated review to study the degree and quantity of deterioration of the brick, of the proposed systems deal with that deterioration whether by repointing and rehabilitation of the existing brick surface as it stands without painting, or if in the opinion of the architect during the abbreviated review, the painting and other systems dealing with the moisture problem is the best solution to preserve the fabric of the structure. The modification was not accepted. The motion was then seconded by Board Member Fogarty. The

motion carried 3 to 2 with Board Members Salter and Mead dissenting.

Item 10 **1915 N. 11th Avenue** **R-1AA**
Historic Structures Demolition Review **Fairnie Hill Place**

Action taken: Delayed for 60 days.

Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to its architecture. Historic Preservation Planner Harding read the ordinance to the Board.

Mr. Sitton presented to the Board his desire to build on this property. Chairperson Quina advised this structure had some strong visual elements, and this building would be a contributing building if East Hill had a historic district. Advisor Pristera stated the architectural detail on this structure was more than on the surrounding houses, and it represented the 1930s; he felt the Board should review it. Mr. Sitton agreed the outside was neat, but it was really unsafe to walk inside and was in really bad shape; the land value was worth much more than the structure. He felt rebuilding would be more contributing to the neighborhood. Board Member Mead shared a picture of the home in 2013 when it was reasonably maintained. Mr. Sitton pointed out with the interior condition, it had been neglected for more than seven years, and it would take \$100,000 to repair the home and make it right. He planned to build two nice homes on 60' wide lots. Board Member Mead advised he would have to subdivide to accomplish this, but he had one really nice house with two sidewalks, and if he preserved the house, he would end up with three sellable structures as opposed to two. If the City was going to allow some leeway for preserving a historical structure, he could build two compatible structures, sell the historical home and come out ahead. He also explained variances in the setbacks were available when trying to save a historical structure which might fall within the guidelines as a hardship. He asked that Mr. Sitton explore this possibility within the 60 days to see if there was a better way to preserve the value of the structure and possibly coming out economically ahead.

Board Member Mead made a motion to deny the request for 60 days, seconded by Board Member Campbell-Hatler, and it carried unanimously.

Item 11 **190 W. Government** **GCD / C-2A**
Non-Contributing Structure

Action taken: Approved.

Ben Townes, Townes + architects, is requesting approval for additions to the MC Blanchard Judicial Center. The proposed work includes adding a covered canopy to the main east entrance and several concrete security planters which will match the existing planters on site. Mr. Townes presented to the Board and stated this structure would give almost 1,000 sq. ft. of coverage to protect citizens from weather elements when the County conducted jury selections.

Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Fogarty, and it carried unanimously.

Item 12 **804 E. Wright Street** **OEHPD / OEHC-2**
New Construction

Action taken: Approved with comments.

George Williams is providing revisions to a new single story retail building. The revisions include changes and clarifications to the landscaping, the storm water layout, details on the front brackets, and the final storefront details. This project came before the Board in March 2020 where it was approved with an Abbreviated Review to follow. That review was referred to the Full Board.

Mr. Williams presented to the Board and provided photos to illustrate the existing retention pond which is barely visible and the final landscape plan which would blend with the old and camouflage the new surface retention swales. The front two columns are now 8"x10" and in developing the engineering plans, they took advantage of the sloping of the side from north to south on the back of the lot toward the street. Now the porch on the front of the building is 30" plus or minus above grade which gives the opportunity to create steps to alleviate the problem of walking underneath the columns. Board Member Salter addressed chain link fencing at the retention ponds, and Mr. Williams stated there would be no chain-link fencing at the swales. He also explained the CMU foundation would be parge coated and concealed with paint.

Board Member Salter made a motion to approve as submitted with the notation the questions asked would be in the final design as addressed with the parch coating CMU base and no chain link fence around the ponds. The motion was seconded by Board Member Mead and carried unanimously.

ADJOURNMENT – With no further business, the meeting adjourned at 5:32 p.m.

Respectfully Submitted,



Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00285

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 1
905 N. Barcelona Street
North Hill Preservation District / Zone PR-2
Contributing Structure

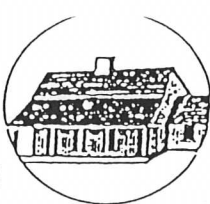
BACKGROUND:

Fredrick and Julia Hoeschler are requesting approval to re-install the screen on their side porch. Photographs from the 1960's and 1990's show the side porch as screened in. The new porch will have a white aluminum frame and charcoal inset screening.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(6) NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES00317
Recorder #
Field Date 5 / 1 / 95
Form Date 6 / 23 / 95

Original
Update

SITE NAMES (addr. if none) SERAPHINE FELL HOUSE [MULT. LIST. #8]
SURVEY NORTH HILL [SURVEY #]
NATIONAL REGISTER CATEGORY building structure ☒ district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 905 N BARCELONA ST
CROSS STREETS nearest/between W SIDE OF N BARCELONA BETW W STRONG AND W DESOTO
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9010-017- 41
SUBDIVISION NAME NORTH HILL BLOCK 41 LOT NO. 17, 18, 19
OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING NORTHING]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

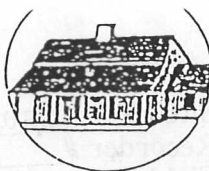
STYLE FRAM EXTERIOR PLAN IRRE NO. STORIES 2
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS SDDR
ROOF: Types GA Materials SHCO
Secondary strucs. (dormers etc.) CRGA
CHIMNEY: No. 3 Materials BRIC/ STUC LOCATIONS CENTER RIDGE, S,W EXT
WINDOWS (types, materials, and placements) DHS, 2/2, wood

MAIN ENTRANCE (stylistic details)
PORCHES: #open 1 #closed #incised Locations E/ 1 story shed PORCH W/ PAIRED
Porch roof types WOOD COLUMNS, PARTLY ENCLOSED, 3 bay access from E
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1902 CIRCA ☒ yes ☐ no

ARCHITECT: (last name first) _____

BUILDER: (last name first) _____

MOVES ☐ yes ☒ no Dates _____ Orig. addr. _____ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____ADDITIONS ☐ yes ☐ no Dates _____ Nature _____

ORIGINAL USES (give dates) RESIDENCE _____

INTERMEDIATE USES (give dates) _____

PRESENT USES (give dates) RESIDENCE _____

OWNERSHIP HISTORY (especially original owner) J. J. FELL BUILT THE HOUSE IN 1902 AND HIS FAMILY LIVED THERE UNTIL 1963. VIRGIL B. AND HELEN C. DAILEY (CURRENT).

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?

Individually elig. for Nat. Register?

Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic her _____)

EXPLANATION OF EVALUATION (req _____)

BIBLIOGRAPHIC REFERENCES (Aut _____
give FSF Manuscript Number, or loca _____)

PHOTOGRAPHS (REQUIRED) B&W _____, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
Location of negatives/neg. nos. R13, F19-20

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE	/ /	KEEPER-NR ELIGIBILITY*	y	n	pe	ii	Date / /
DELIST DATE	/ /	SHPO-NR ELIGIBILITY*	y	n	pe	ii	Date / /
		LOCAL DESIGNATION*					Date / /
		Local office					

* y=Yes; n=No; pe=Potentially Eligible; ii=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

905 N. Barcelona Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 27 May 2020

Project Address: 905 N Barcelona St, Pensacola, FL 32501
Applicant: Frederick R. & Julia H. Hoeschler
Applicant's Address: 905 N Barcelona St, Pensacola, FL 32501
Email: fritz@hoeschler.us **Phone:** 850-530-7220
Property Owner: _____

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Re-install the screen on side porch, per historical pictures of the home, provided by the West Florida Historic Preservation, Inc.

We would like to have an outdoor covered sitting area free from bugs

Installers - Screenmobile, Inc. - Pensacola, FL

Screen porch installed on the outside of the columns like it existed when the pictures were taken around 1960 and from 1995.

If unable to install on the outside of the columns, install the screen porch on the inside of the columns.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Frederick R. Hoeschler
Applicant Signature

27 May 2020

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

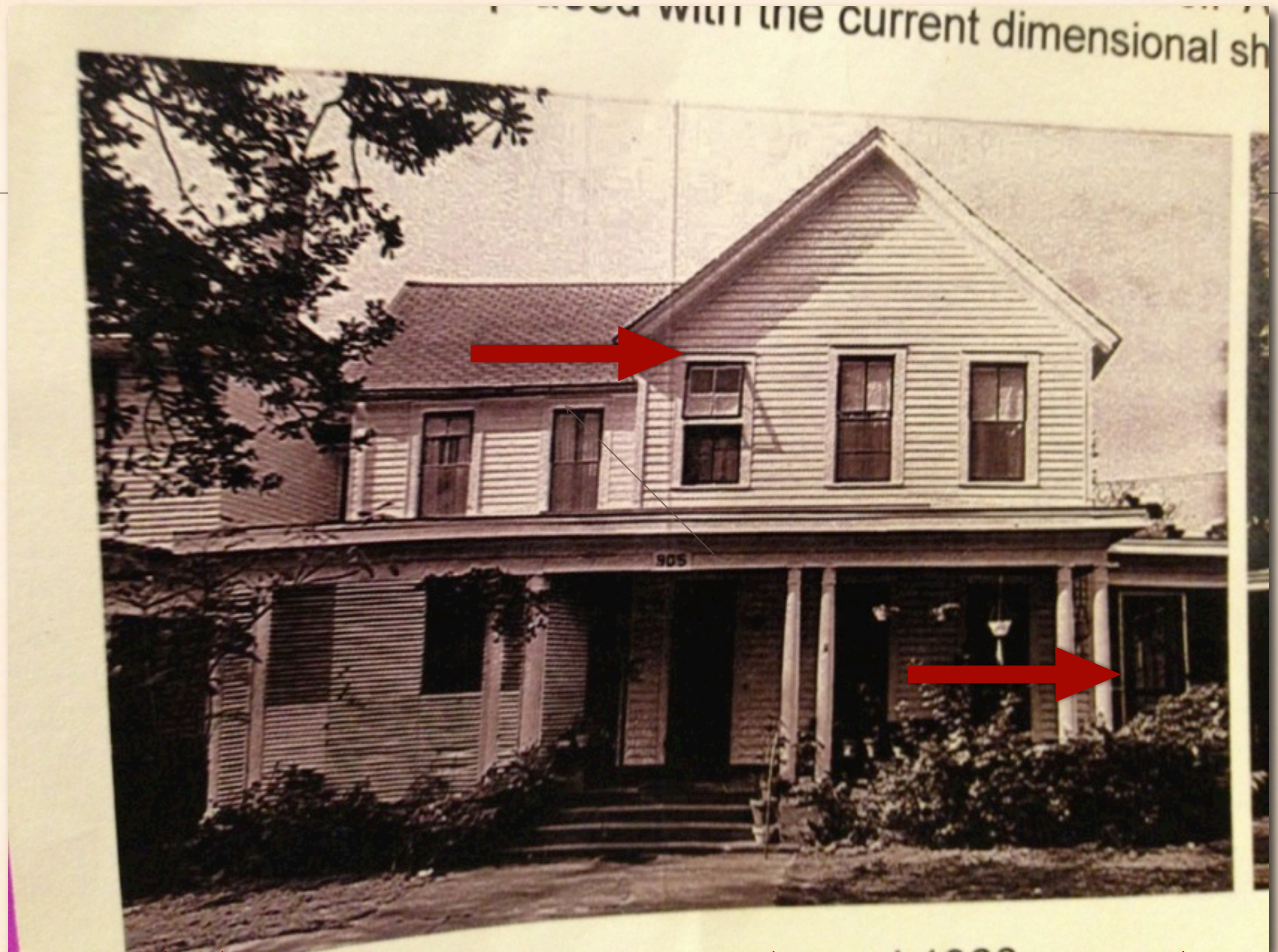
905 N. Barcelona



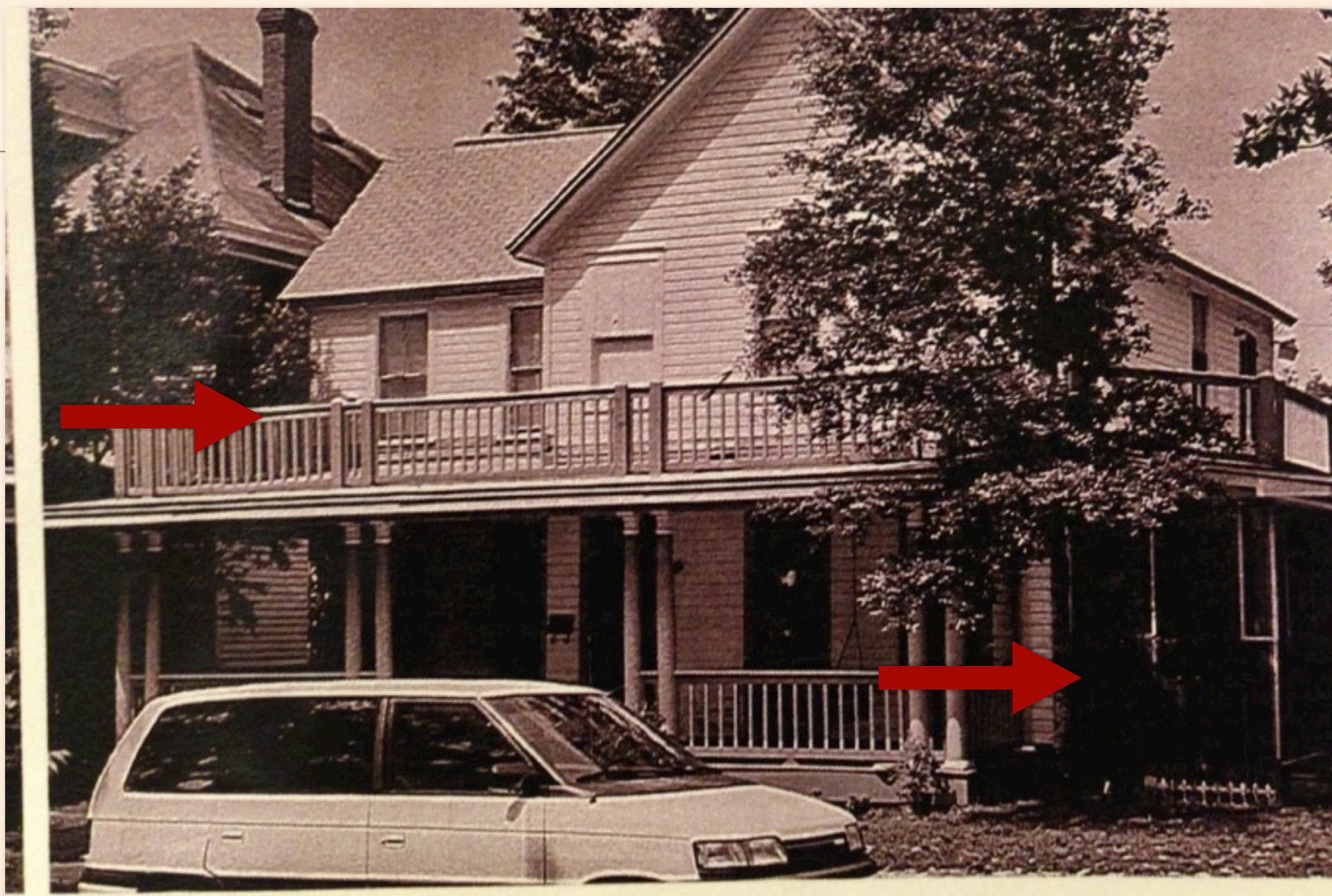
Fritz and Julia H. Hoeschler

Screen Porch

- ❖ Request: Re-install the screen on side porch, per historical pictures of the home, provided by the West Florida Historic Preservation, Inc.
- ❖ Reason: We would like to have an outdoor covered sitting area free from the bugs
- ❖ Installers: Duncan Custom Gutter, Inc. or Screenmobile, Inc.
- ❖ Screen porch installed on the outside of the columns like it existed when the pictures taken around 1960 and from 1995 show
- ❖ If unable to install on the outside of the columns, install the screen porch on the inside of the columns



Historical photos support painting the panes, screened porch












From: Screenmobile of Pensacola Screenmobile.ofPensacola@0.razorsync.com 
Subject: Your Estimate is ready for your review!
Date: May 7, 2020 at 4:29 PM
To: CRZYLKAFOX@yahoo.com CRZYLKAFOX@YAHOO.COM

SP

Your Estimate is ready for your review!



Screenmobile of Pensacola

P. O. Box 374

Gulf Breeze, FL 32562

(850) 972-9500

pensacola@screenmobile.com

www.screenmobile.com/Pensacola

Hi Frederick!

Hi Frederick!

Please see the attached PDF document to review your Estimate.

We look forward to the opportunity of doing business with you!



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05/08/2020

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122186
6102202



ESTIMATE

DATE: 05/07/2020
EXP. DATE: 07/05/2020
ESTIMATE # 5373

Screenmobile of Pensacola
www.screenmobile.com/Pensacola
P. O. Box 374
Gulf Breeze, FL 32562
Phone: (850) 972-9500
Email: pensacola@screenmobile.com

BILL TO:

Frederick Hoeschler
905 North Barcelona Street
South Pensacola - Pensacola, FL 32501, United States

SERVICE TO:

Frederick Hoeschler
905 North Barcelona Street
South Pensacola - Pensacola, FL 32501, United States

ITEM	DESCRIPTION	QTY	PRICE PER	UNIT	AMOUNT	TAX
Patio Enclosure	White frame, charcoal insect screen above chair rail, Pet tex below. 5.5ft+.5ft+7.8ft+8.1ft+7.7ft+.5ft+5.5ft; to install OUTSIDE pillars (+~5 more feet)	41.00	\$65.00	Item	\$2,665.00	N
Swinging Screen Door	Standard-white frame, charcoal insect screen - 36 inch wide	1.00	\$249.00	Item	\$249.00	N
SUBTOTAL					\$2,914.00	
TAX RATE*					0.0000%	
TAX					\$0.00	
OTHER					-	
TOTAL					\$2,914.00	

MEMO

The estimate provided would be to enclose the patio on the OUTSIDE of the pillars.

To install the enclosure to the INSIDE of the pillars would reduce the cost of this job to \$2654.

TERMS & CONDITIONS

Estimates honored for 60 days from date received.

Any changes to structure or nature of request require a new estimate.



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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00286

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 2
226 E. Government Street
Pensacola Historic District / Zone HC-1 / Wood Cottages
Contributing Structure

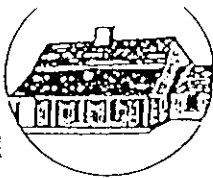
BACKGROUND:

Christy Cabassa is requesting conceptual approval to modify and add on to a contributing structure. This packet addresses three primary requests. The first is for the design, window locations, and additions to the primary structure and rear yard. The second is for the consideration to use Hardi Roughsawn siding. The third is for the consideration to use either Fypon or Azek for the trim and window surrounds and a custom synthetic trim for the corbels, porch trim and details to replicate the existing.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(6) *PHD, Restoration, rehabilitation, alterations or additions to existing contributing structure sin the Historic District, specifically subparagraph (b) Exterior Walls, (d) Porches, (f) Windows, (i) Trim and miscellaneous ornament*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES 2397
Recorder # _____
Field Date 5/2/95
Form Date 7/14/95

☒ Original
☒ Update

SITE NAMES (addr. if none) BENJAMIN OVERMAN HOUSE [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4788]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 226 E. GOVERNMENT ST.
CROSS STREETS nearest/between BETW. S. TARRAGONA AND S. ALCANIZ ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-001-299
SUBDIVISION NAME PENSACOLA HIST DIST BLOCK 23 LOT NO. 167
OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-ladiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO _____

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING 111101 NORTHING 111101]
PLAT OR OTHER MAP (Map's name, location) _____

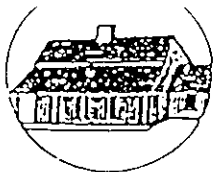
DESCRIPTION

STYLE ITAL EXTERIOR PLAN LSHP NO. STORIES 2.5
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GAIN Materials SM3V
Secondary strucs. (dormers etc.) CRGA
CHIMNEY: No. _____ Materials _____ LOCATIONS _____
WINDOWS (types, materials, and placements) DHS, 4/4, 4/6, 6/6, WOOD, FIXED, 4-LIGHT,
WOOD AND PEDIMENTED WINDOW SURROUNDS AND LOUVERED SHUTTERS

MAIN ENTRANCE (stylistic details) _____
PORCHES: #open _____ #closed _____ #incised _____ Locations S/ 1 STORY SHED WITH BRACKETS
Porch roof types SQUARE POSTS AND SPINDLE AND SPOOL BALLUSTERS, 3 BAY, ACCESS FROM SOUTH
EXTERIOR ORNAMENT BRACKETED CORNICE WITH PANEL FRIEZE

INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)
Artifacts or other remains _____
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)

**HISTORY**

CONSTRUCTION DATE 1860s CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES ☒ yes ☐ no Dates 1978 Orig. addr. FROM E. GREGORY ST.
 ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____
 ADDITIONS ☐ yes ☐ no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) COMMERCIAL, OFFICE
 OWNERSHIP HISTORY (especially original owner) BENJAMIN OVERMAN (ORIGINAL),
JOHN C. AND MARY E. DONOVAN (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? ☐ yes ☐ no ☐ insuff. info | Local Designation Category _____
 Individually elig. for Nat. Register? ☐ yes ☐ no ☐ insuff. info | _____
 Potential contributor to NR district? ☐ yes ☐ no ☐ insuff. info | _____

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R4, F11-12

RECORDER

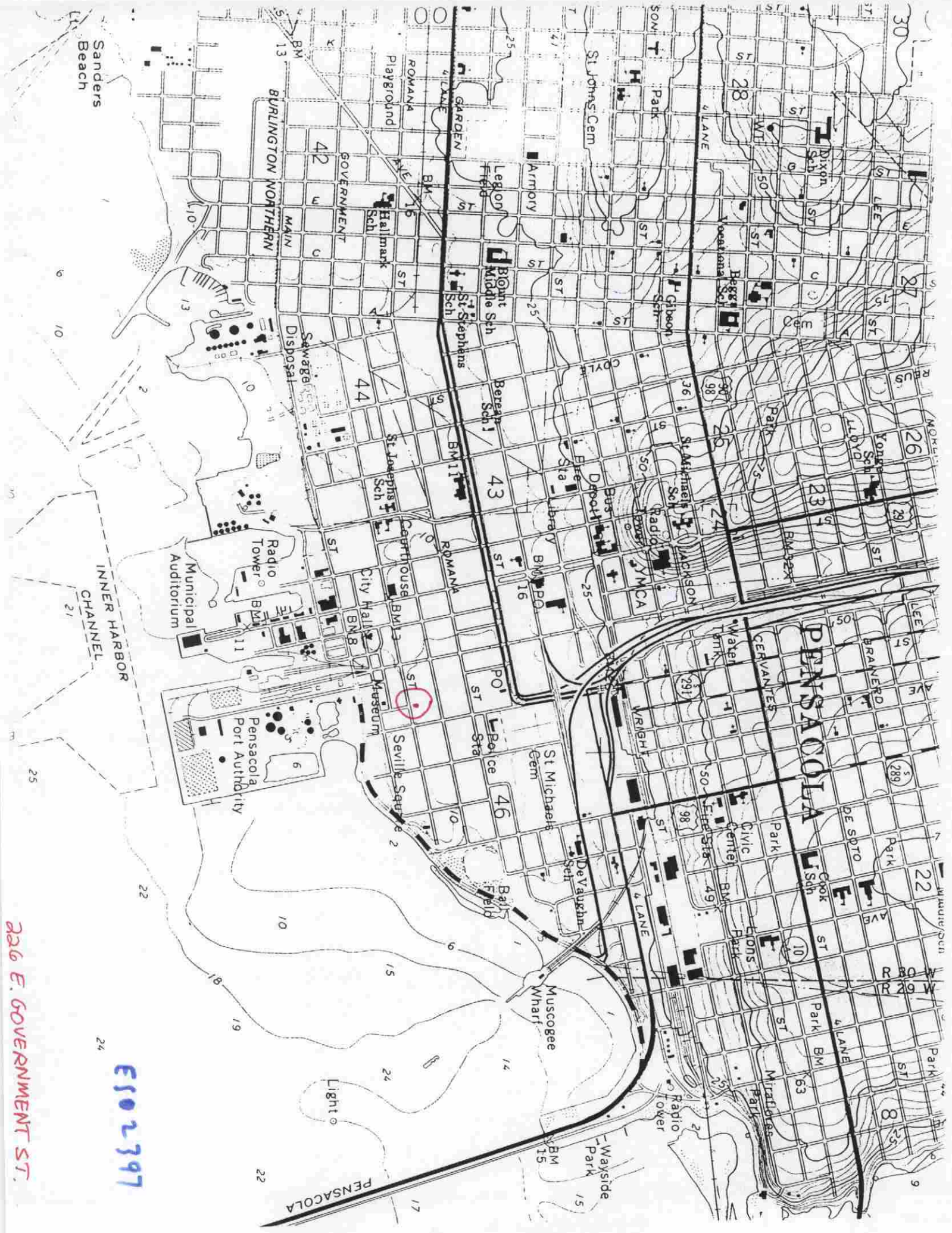
NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHPR USE ONLY		OFFICIAL EVALUATIONS				DHPR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date
		SHPO-NR ELIGIBILITY	<input type="checkbox"/> y	<input type="checkbox"/> n	<input type="checkbox"/> pe	<input type="checkbox"/> i	Date
DECS DATE		LOCAL DESIGNATION					Date
		Local office					

REQUIRED:

- * y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



226 E. GOVERNMENT ST.

ES102397



DECLASSIFIED BY 308 JUL 18 2002

1. BENJAMIN OVERMAN HOUSE
2. 226 E. GOVERNMENT ST.

3. J. SCOTT JANCY
4. 2 MAY 1995

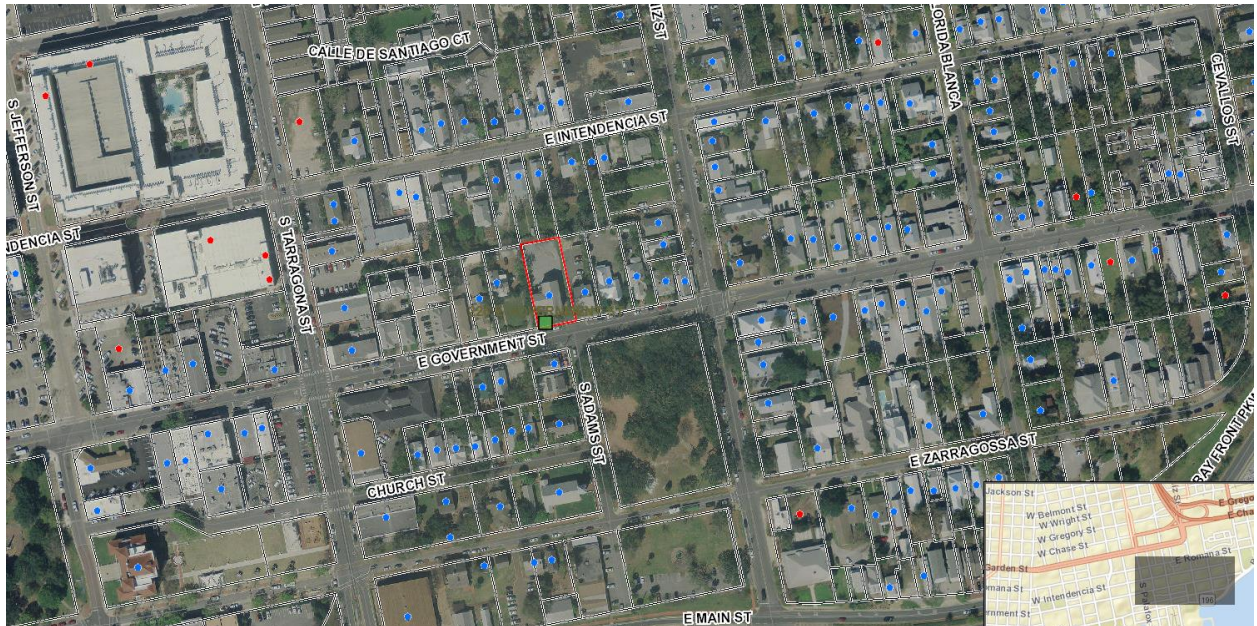
5. HPPB

6. N

7. R4, F11

ES02397

226 E. Government Street





City of
Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: May 26, 2020

Project Address: 226 East Government Street **CONCEPTUAL REVIEW ONLY**

Applicant: Robert B. Switzer

Applicant's Address: 92 Highpointe Drive Gulf Breeze, Florida 32561

Email: bobby.switzer@gmail.com **Phone:** 850-712-8844

Property Owner: Robert B. and Janie A. Switzer Jeremy T. and Alise J. Switzer

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

First Request is for the design, window locations, and addition to be approved for the renovation.

Second Request is for the Board to consider allowing Hardiboard Rough Sawn for the siding.

Third request is to allow Fypon, Azek or equal for the trim and window surrounds and a custom synthetic trim for the corbels, porch trim and details to replicate the existing.

See attached narrative for a description of the project as it would not fit on this form.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

May 26, 2020
Date

FOR SWITZER FAMILY

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Narrative of Project ARB Conceptual Review (page 1 of 3)

Switzer Residence

226 East Government

CONCEPTUAL REVIEW ONLY-3 PART REQUEST

1 First Request is for Board to consider the design, window locations, and additions to be approved for the renovation.

2 Second Request is for the Board to consider allowing Hardiboard Rough Sawn for the siding in lieu of wood siding.

3 Third Request: is for the Board to consider allowing synthetic trims and details by Durabrac and either Fypon or Azek for the trim and window surrounds, corbels, porch trim, decking and details to replicate the existing.

Narrative of Project

Use

The project consists of the conversion of an existing office building once originally a home, to create a single family home for the Switzers. This will be their permanent residence. This conversion will require windows to be relocated in order to work with the flow of the floor plan. The design of the exterior with these changes utilizes the same vernacular elements and vocabulary for the Italianate architecture so as to look as it was original. Many homes from the Era the structure was originally built were added onto.

History

The building was originally a home built in the 1860's located on Gregory Street. It was moved in 1978 to its current location and converted to an office. In 1994 the wood shake roof was replaced with the current metal roof.

Proposed Exterior Scope of Work for the Building

The project consists of an addition to the North which will be in line with the addition from the 70's and will follow the same roof line and pitch. There will be new porches added on the front and the rear. A proposed pool will be in the backyard. Eventually a Garage and Breezeway will be added in the rear but will be submitted as a separate request or at the final submittal. The siding, trim, windows and roofing shall all be replaced. The house shall be brought up to current code with straps for hurricane wind codes as well as impact windows installed.

Narrative of Project ARB Conceptual Review (page 2 of 3)
Switzer Residence
226 East Government

Siding and Sheathing and Structure

The existing structure has no sheathing behind the siding and no insulation in the exterior walls. The older addition off to the North had Thermoply as a sheathing. The desire is to remove all the existing wood siding, and replace with new plywood sheathing, water proofing and insulation to meet Florida Energy Codes. We propose that Hardi Board Cedar sawn (wood grain effect) siding be considered in lieu of wood siding. When painted, the Hardi Board looks like real wood, is fire resistant, pest resistant and will not deteriorate and does not warp like real wood.

Trim and Decking

We would like to propose replacing all of the trim with synthetic trim by Durabrac, Azek or Fypon type trim . We will use trim to replicate the porch spandrels, corbels, balusters and rails. The intent is to maintain all the architectural elements of the existing structure but in materials that will last and not rot and have fabricated to look exactly like the existing. The decking would be a composite decking that would not rot at the porches.

Windows and Doors

The windows and French doors are proposed to be replaced and in some cases relocated with new Metal Wood Clad impact windows and doors rated for current codes for hurricane protection. The trim at the headers of the windows and doors shall be replaced with a "flat head" rather than rather than replicated with a sloped pediment so that flashing above the trim can help eliminate water intrusion.

Roofing

The roofing will be replaced as well as the sheathing and underlayment . New insulation will be added at the roof. The west side roof framing will be replaced where required as there was a fire and some of the framing members were burned.

Switzer Residence

226 East Government

Consideration of Request

We ask for the Board to consider the requests to restore and rehabilitate this structure with state of the art modern day materials mimicking those of the past. The performance of these synthetic, modern day materials will provide longevity for generations to come and are a valid substitute for historic materials in this current age.

At the time of Final approval, if the use of synthetic materials in lieu of wood is approved at the conceptual level, the proposed synthetic materials will all identified and specified and shall be part of the package for the final ARB approval.

We first wanted to determine if the Board would

1. allow the new design,
2. consider the use of Hardi siding and
3. consider the use of synthetic trim in lieu of wood.

8:19 AM Fri May 22

38%

226 East Government

East Government St



Google

30°24'36"N 87°12'37"W 422 ft

MERRILL PARKER SHAW, INC.

4928 N. DAVIS HWY
PENSACOLA, FL 32503

PROFESSIONAL SURVEYING SERVICES

PH: (850) 478-4923

FAX: (850) 478-4924



PREPARED FOR: ROBERT B. SWITZER & JEREMY T. SWITZER

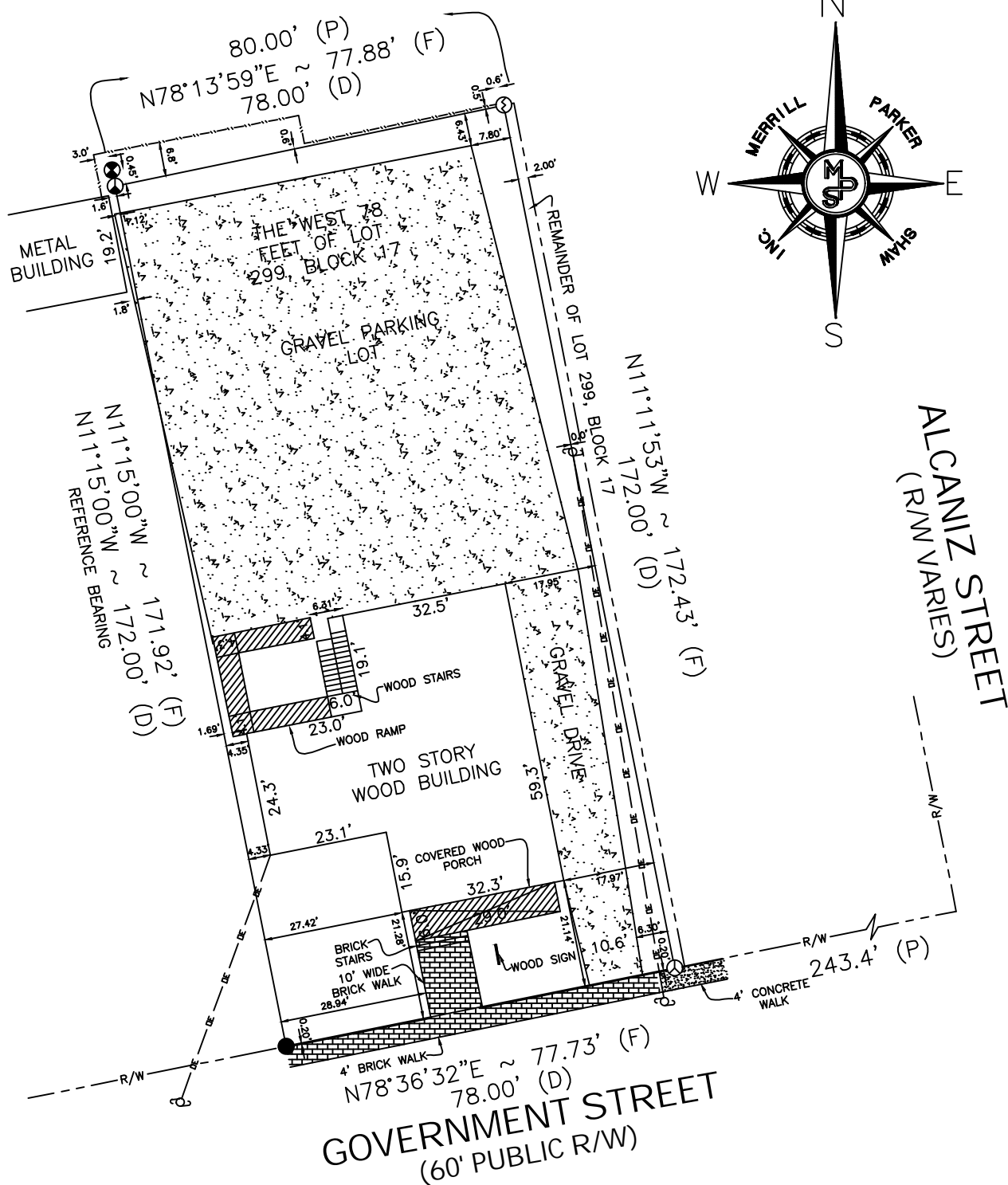
REQUESTED BY: BILLY LOVELACE

JOB NO.: 19-11859-S-1

DATE: 09/12/19

PROPERTY ADDRESS: 226 E. GOVERNMENT STREET

SCALE: 1" = 30'



SURVEYOR'S NOTES:

1.) THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 11 DEGREES 15 MINUTES 00 SECONDS WEST BOUNDARY LINE OF THE SUBJECT PROPERTY, ACCORDING TO MAP OF THE CITY OF PENSACOLA, COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBIA COUNTY, FLORIDA.

2.) SOURCE OF INFORMATION: MAP OF THE CITY OF PENSACOLA, COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBA COUNTY, FLORIDA; AND EXISTING FIELD MONUMENTATION.

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4.) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.

5.) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.

6.) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.

7.) THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.

8.) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.

LEGEND:

- ☒ ~ 5/8" CAPPED IRON ROD, ILLEGIBLE (FOUND)
 ☑ ~ 1/2" CAPPED IRON ROD, NUMBER 1053 (FOUND)
 ☐ ~ 1/2" CAPPED IRON ROD, NUMBER 4802 (FOUND)
 ☐ ~ 1/2" CAPPED IRON ROD, NUMBER 7107 (FOUND)
 ● ~ 1/2" PLAIN IRON ROD, UNNUMBERED (FOUND)

O.R. ~ OFFICIAL RECORDS

R/W ~ RIGHT OF WAY

B.S.L. ~ BUILDING SETBACK LINE

(P) ~ PLATTED INFORMATION

(F) ~ FIELD MEASUREMENT/ INFORMATION

(D) ~ DEED / INFORMATION

~ INDICATES NOT TO SCALE
 ~ OVERHEAD ELECTRIC LINE
 ~ 6' HIGH WOOD PRIVACY FENCE
 ~ UTILITY POLE

CERTIFIED TO:

ROBERT B. SWITZER & JEREMY T. SWITZER
LITTVAK, BEASLEY, WILSON & BALL, LLP
WESTCOR LAND TITLE INSURANCE COMPANY

THAT THE SURVEY SHOWN HEREON MEETS THE FLORIDA STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN THE STATE OF FLORIDA, ACCORDING TO FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.051 AND 5J-17.052, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

"BOUNDARY SURVEY WITH IMPROVEMENTS"

SHEET 1 OF 1

MEASUREMENTS MADE TO UNITED STATES STANDARDS

COPYRIGHT © 2019 BY MERRILL PARKER SHAW, INC.
P.C.:R.B. DRAFTED: DSP TYPED: DSP CHECKED: EWP

DESCRIPTION: THE WEST 78 FEET OF LOT 299, BLOCK 17, OLD CITY TRACT,
ACCORDING TO MAP OF CITY OF PENSACOLA, COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBIA COUNTY, FLORIDA.

SECTION _____, TOWNSHIP _____, RANGE _____, ESCAMBIA COUNTY, STATE OF FLORIDA.

RECORDED O.R. BOOK 5626 , PAGE 1459 *THE ENCROACHMENTS ARE AS SHOWN*

FIELD DATE: 09/10/19, FIELD BOOK: 425, PG. 98

MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174

REVISIONS:

DATE: 09/12/19

E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA

NOT VALID WITHOUT THE
SIGNATURE AND THE
ORIGINAL RAISED SEAL OF
A FLORIDA PROFESSIONAL
LAND SURVEYOR



226 Government Existing Front Elevation



226 Government Existing Rear Elevation



226 Government Existing Elevation Looking at East Side



226 Government Existing Elevation Looking towards West Side



226 Government Elevation Looking towards Westside showing vegetation

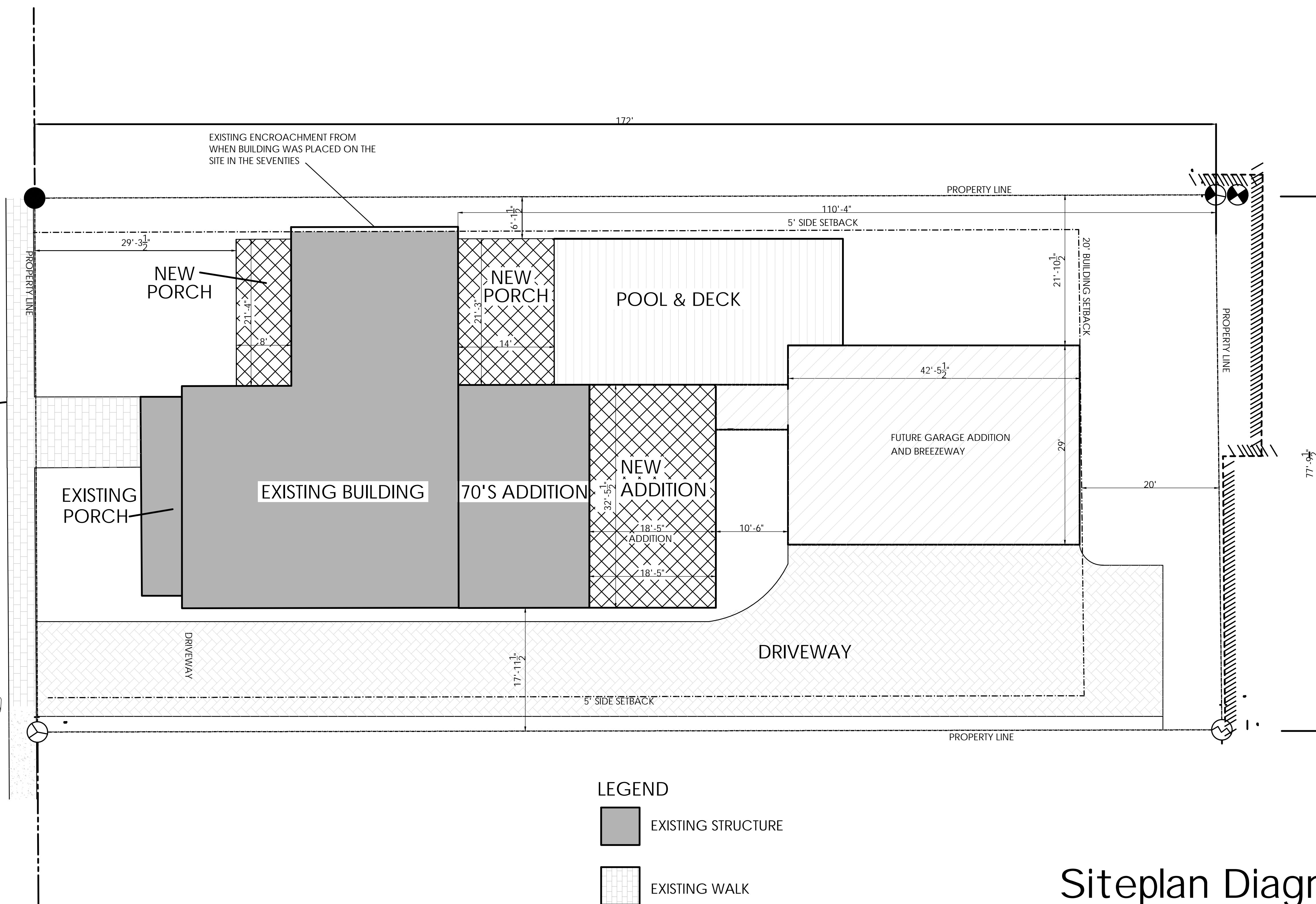


226 Government Existing Window and Trim Condition




226 Government Existing Window and Trim Condition

GOVERNMENT STREET
(60' PUBLIC R/W)



- LEGEND
- EXISTING STRUCTURE
 - EXISTING WALK
 - NEW DRIVEWAY
 - NEW ADDITION
 - FUTURE GARAGE AND BREEZEWAY
 - POOL AND DECK AREA

Siteplan Diagram
Scale 1/8"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Switzer Family Home
Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020
for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Site Plan

SHEET NO. :

AS-1



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT -- LOCATION :

Switzer Family Home
Pensacola, Florida

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REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020

for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO.

A2-1



Proposed Front Elevation

Scale 1/4"=1'-0"

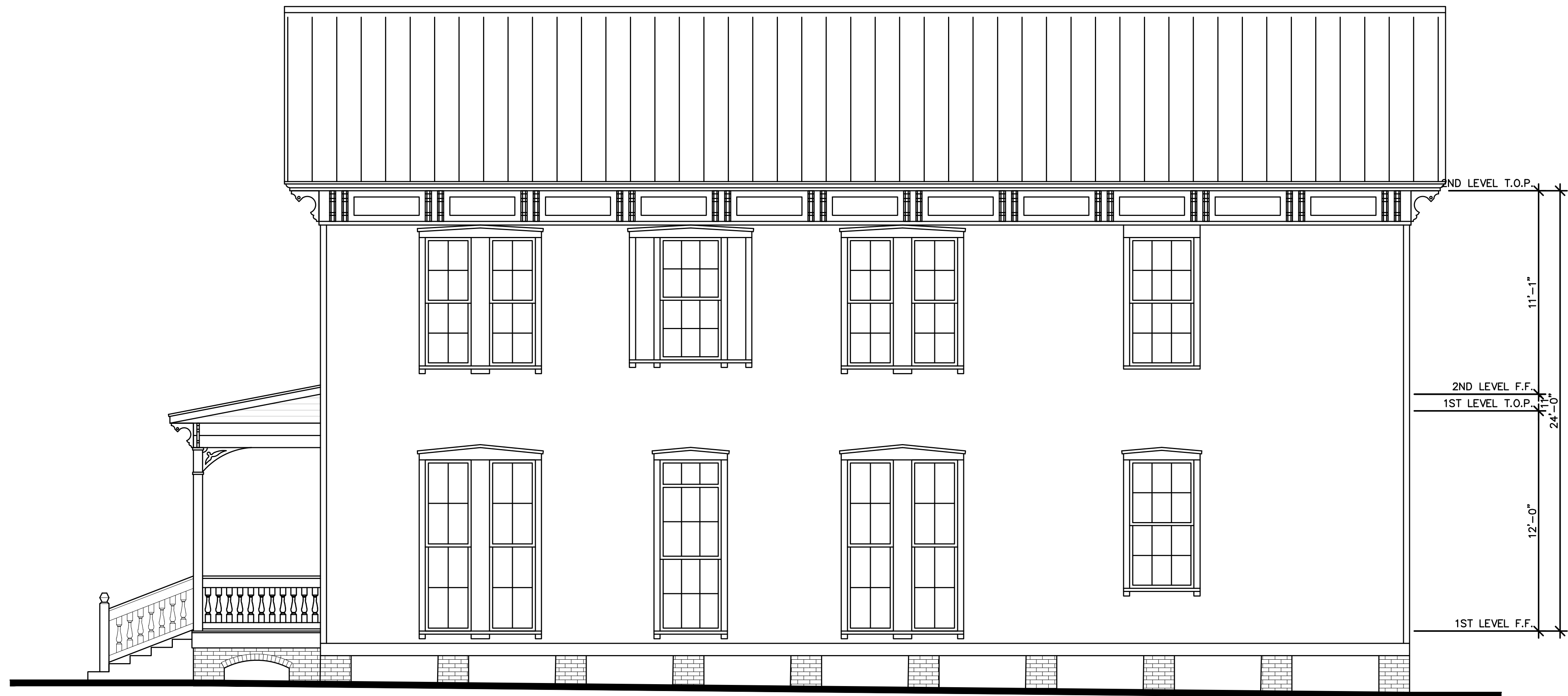


Existing Front Elevation

Scale 1/4"=1'-0"



Proposed East Elevation
Scale 1/4"=1'-0"



Existing East Elevation
Scale 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Switzer Family Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020

for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO. :

A2-2



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Switzer Family Home
Pensacola, Florida

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REVISIONS :

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Submitted May 26, 2020

for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO.

A2-3



Proposed North Elevation

Scale 1/4"=1'-0"



Existing North Elevation

Scale 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT — LOCATION :

Switzer Family Home
Pensacola, Florida

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PROJECT NO.

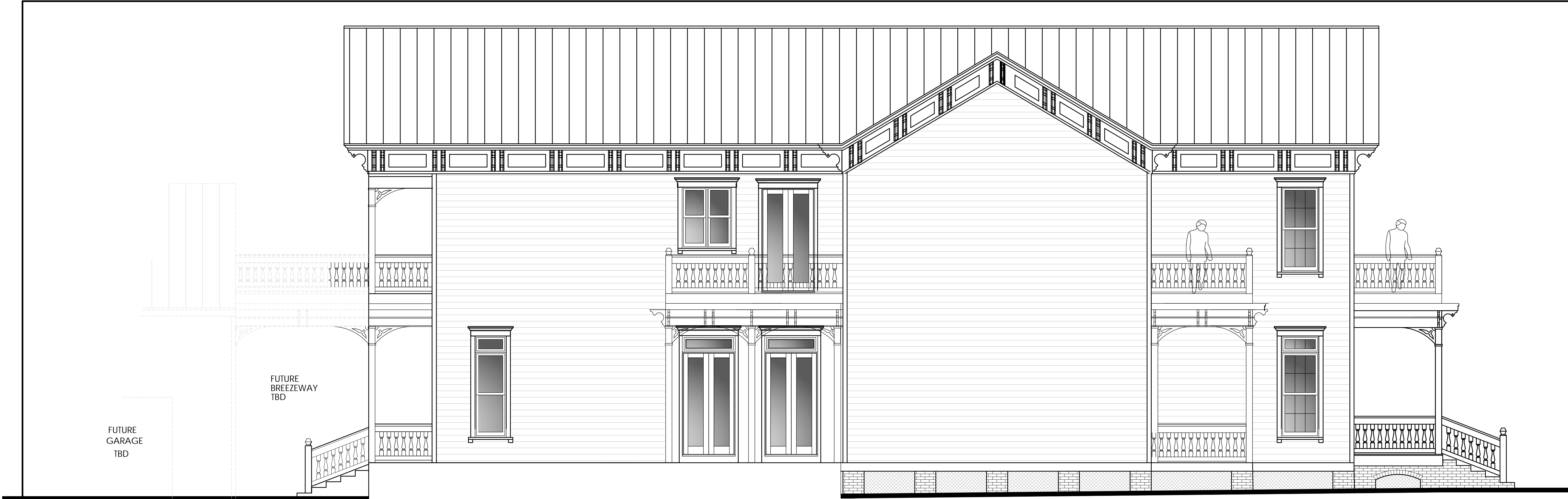
DATE :

SHEET TITLE :

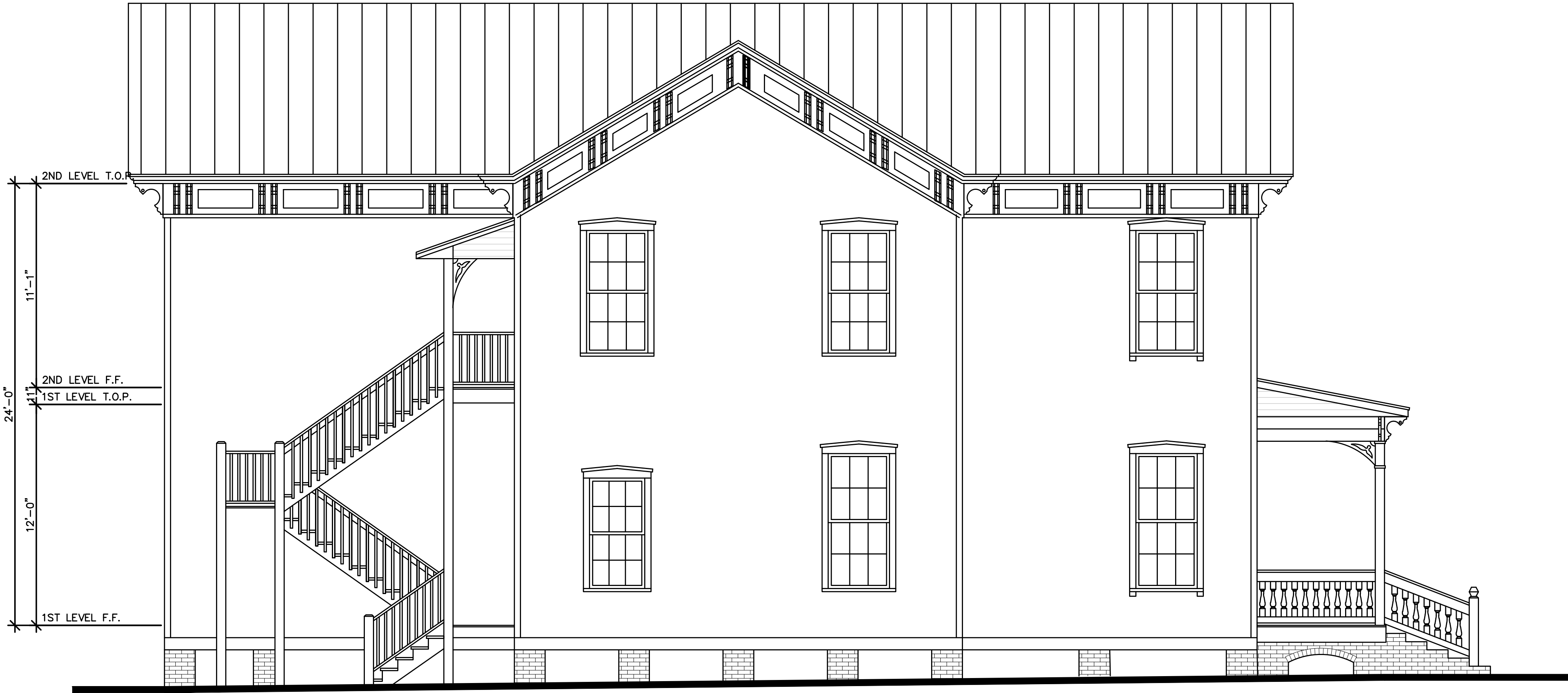
Elevations

SHEET NO.

A2-4



Proposed West Elevation
Scale 1/4"=1'-0"



Existing West Elevation
Scale 1/4"=1'-0"



New Ground Level
Scale: 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003815

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Switzer Family Home
Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
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OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020

for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

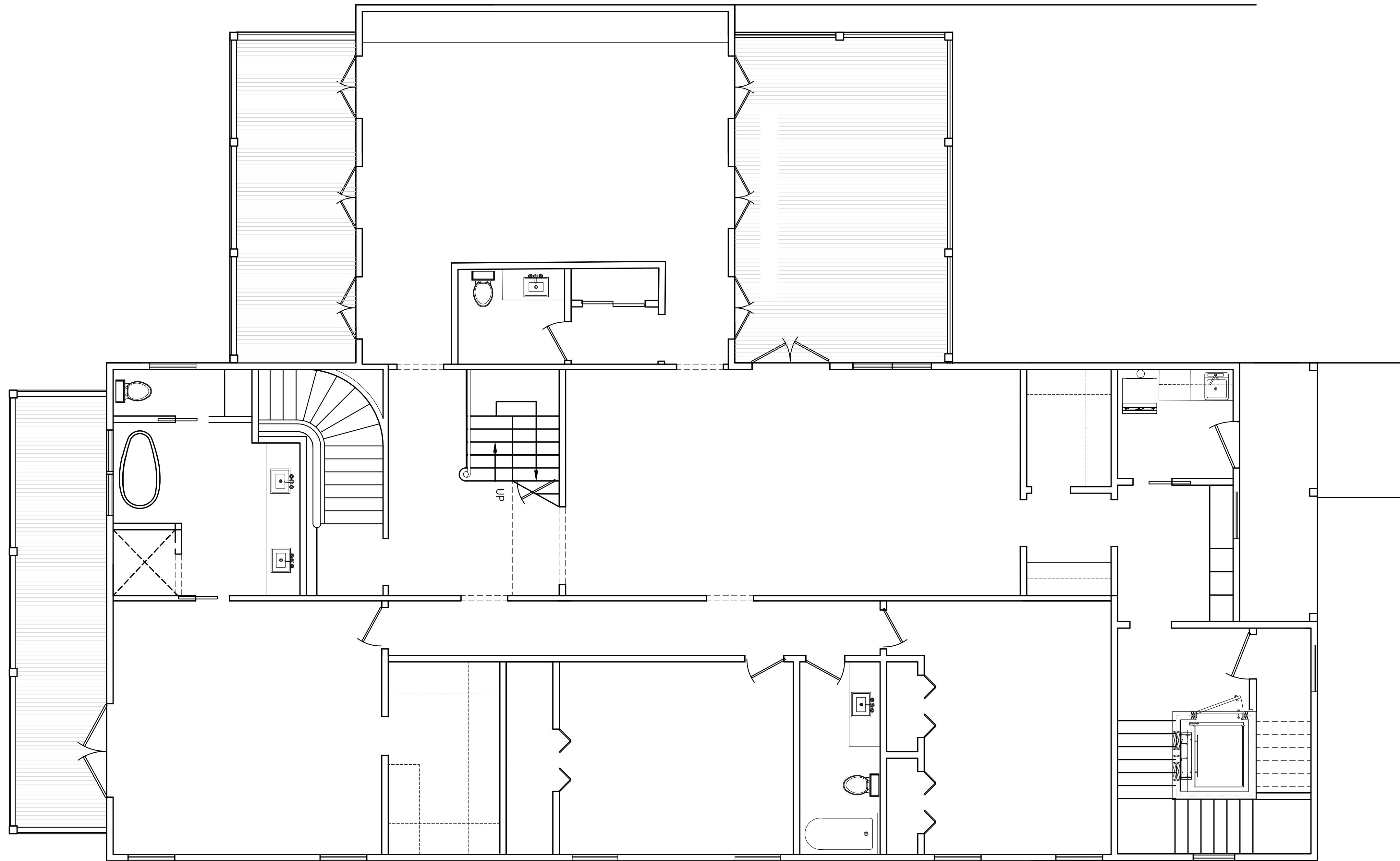
DATE :

SHEET TITLE :

Ground Level
Floor Plans

SHEET NO. :

A1-1



New Second Level
Scale: 1/4"=1'-0"



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Switzer Family
Home
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

Switzer Family Home
ARB Conceptual Submittal
Submitted May 26, 2020
for May 28th Deadline for June 18th , 2020 ARB Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :
Second Level
Floor Plans

SHEET NO. :

A1-2



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00287

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 3
611 E. Belmont Street
Old East Hill Preservation District / Zone OEHR-2
Contributing Structure

BACKGROUND:

Kimberly Thompson is requesting approval to install a small storage shed. The accessory structure will measure 8 feet by 10 feet and will be located in the southeast corner of the lot. It will be constructed to match the style of the main residence with Hardie shiplap siding, charcoal dimensional shingles, and a barn door detail to match the front porch. The color palette was chosen to also complement the primary structure and is proposed to have a "Goblin" blue base and "Delicate White" trim.

Please find attached all relevant documentation for your review

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(C) *OEHPD*

X original
— updateHISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89Site 8 ES **02147**
Recorder # _____

SITE NAME Robert Montgomery, House
 HISTORIC CONTEXTS Post-reconstruction
 NAT. REGISTER CATEGORY District
 OTHER NAMES OR MSF NOS None
 COUNTY Escambia OWNERSHIP TYPE private-individual
 PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
 LOCATION (Attach copy of USGS map, sketch-map of immediate area)
 ADDRESS 611 East Belmont St. CITY Pensacola
 VICINITY OF / ROUTE TO West-East Hill neighborhood, S. side of E. Belmont
St. between N. 6th Ave. and N. 7th Ave.
 SUBDIVISION East King Tract BLOCK NO 2 LOT NO 50
 PLAT OR OTHER MAP county appraiser's atlas sheet #68
 TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
 IRREGULAR SEC? x Y n LAND GRANT _____
 USGS 7.5' MAP Pensacola 1970 PR 1987
 UTM: ZONE _____ EASTING _____ NORTHING _____
 COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
 BUILDER: F _____ M _____ L unknown
 CONST DATE 1896 CIRCA C RESTORATION DATE(S): _____
 MODIFICATION DATE(S): _____
 MOVE: DATE _____ ORIG LOCATION _____
 ORIGINAL USE(S) private-residence
 PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
 PLAN: EXTERIOR irregular
 INTERIOR _____
 NO.: STORIES 1 OUTBLDGS 1 PORCHES 2 DORMERS 0
 STRUCTURAL SYSTEM(S) balloon wood framing
 EXTERIOR FABRIC(S) clapboard, plaster
 FOUNDATION: TYPE pier MATLS brick
 INFILL none
 PORCHES s/porch/4"x4" square columns/2/s, N&W/verandah/2/3 chamfered columns 1/3 brick
 ROOF: TYPE gable SURFACING composition shingle plastered 7/S&N
 SECONDARY STRUCS. porch, shed, gable
 CHIMNEY: NO 1 MTLS brick/plaster LOCNS W: offset, lateral
 WINDOWS dhs, 6/6 wood; fixed, 6; awning, 3; awning, 6; front door has 12 lights
 EXTERIOR ORNAMENT wood decorative cornice
 CONDITION fair SURROUNDINGS residential
 NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings; magnolia

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)
 ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
 SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
 SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

* * *DHR USE ONLY* * * * * DHR USE ONLY * *
 *
 * DATE LISTED ON NR
 * KEEPER DETERMINATION OF ELIG.(DATE): -YES -NO
 * SHPO EVALUATION OF ELIGIBILITY (DATE): -YES -NO
 * LOCAL DETERMINATION OF ELIG.(DATE): -YES -NO
 * OFFICE
 * * *DHR USE ONLY* * * * * DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T L Brosnaham
 DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Board

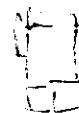
PHOTOGRAPHS (Attach a labeled print bigger than contact size)
 LOCATION OF NEGATIVES Historic Pensacola Preservation Board
 NEGATIVE NUMBERS 91N117WEH 9frames 14-15)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.

M A P
 Street/plat map, not
 USGS

BE/mont

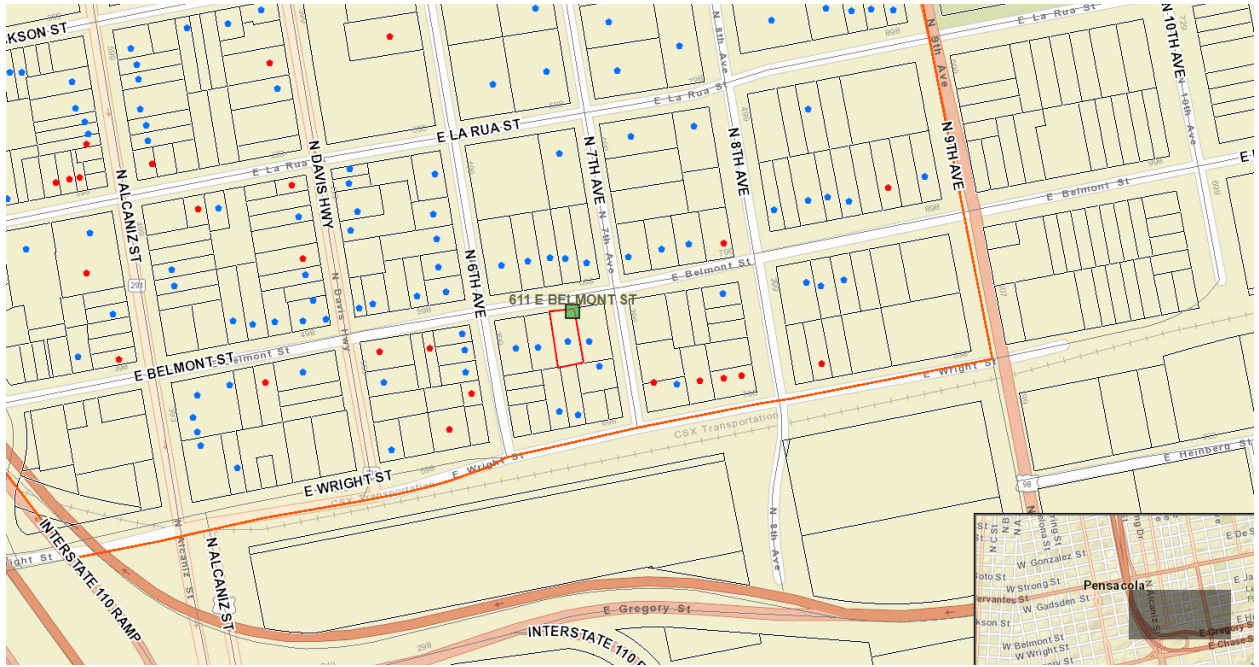


17th Ave

REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



611 E. Belmont Street



**Architectural Review Board Application
Full Board Review**

Application Date: May 28, 2020

Project Address: 611 E. Belmont Street
Applicant: Kimberly Casson
Applicant's Address: 611 E. Belmont Street
Email: kimber.c. thompson@gmail.com **Phone:** 850-777-9964
Property Owner: _____

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

8 X 10 Exterior Shed- no electricity or plumbing; movable ; one door and one window; 5 1/2
pitch roof with charcoal shingles to match house; hardi board ship lap siding; complimentary
color to existing house; back East corner of lot on old slab where previous structure existed
before current owner purchased house.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Kimberly Casson
Applicant Signature

May 28, 2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

611
E. Belmont St.

Scale

1 ■ = 2'

wooden fence

SHED

3'

3'

back porch

HOUSE

front porch

DRIVE WAY

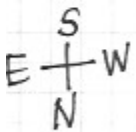
sidewalk

Belmont

50'

street

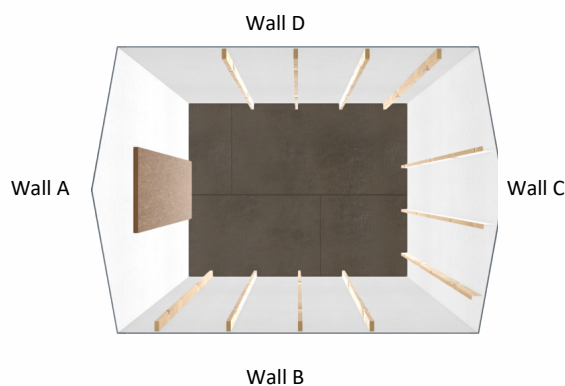
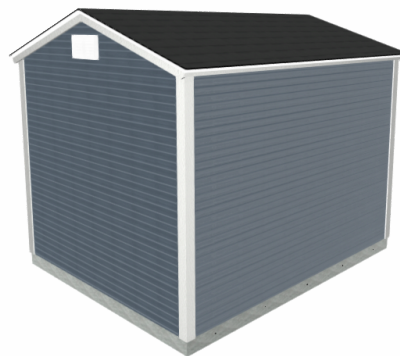
110'



chain fence



Kimberly Casson
611 E. Belmont St.
Pensacola FL 32501
Q-554598



Base Details

Building Size & Style

Premier Ranch - 8' wide by 10' long

Paint Selection

Base: Goblin, Trim: Delicate White

Roof Selection

Charcoal Dimensional Premium
Shingle

Drip Edge

White

Options Details

Special Instructions

There is an old concrete pad that most of the shed will be on. Wall "B" will be one foot beyond the concrete pad

High Wind

High Wind - Retail

Doors

3' x 6'2" Single Shed Door, Left Hinge
Placement, LowerX

Windows

2'x2' Horizontal Sliding Window

Walls

252 Sq Ft Horizontal Wood Lap Siding

Floor and Foundation

4 Ea Shed Anchor into Dirt - Auger or
MR88

Vents

2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Partial concrete on two sides

Customer Signature: _____ Date: _____

611 E. Belmont Street

Front elevation from Belmont Street



Front elevation



Left side yard, shed to be in back left corner



Left side yard, shed to be in back left corner (close up)



Left rear corner of lot showing location of proposed shed (southwest corner)



NOTES:

1. BUILDING CODE: FLORIDA BUILDING CODE, 6th EDITION (2017)
BUILDINGS ARE NOT FOR HIGH-VELOCITY HURRICANE ZONES (HVHZ)

2. DESIGN LOADING:
WIND SPEED: $V_{ult} = 155$
 $V_{asd} = 120$
EXPOSURE: C
ROOF LIVE LOAD: 20 PSF
ROOF DEAD LOAD: 10 PSF
FLOOR LIVE LOAD: MIN. 50 PSF (SEE NOTE 5, DETAIL 1, SHEET 3)
RISK CATEGORY: I
COMPONENT AND CLADDING: ROOF: 29 PSF (ZONE 1)
WIND PRESSURE (psf) (ASD VALUES) 50 PSF (ZONE 2)
(BASED ON 10 SQ FT) 74 PSF (ZONE 3)
WALL: 34 PSF (ZONE 4)
42 PSF (ZONE 5)

- FLORIDA BUILDING APPROVAL NUMBERS--
1. WINDOWS BY TAFCO CORP - FLORIDA BUILDING APPROVAL #FL20743.1.

2. WINDOWS BY SILVER LINE BUILDING PRODUCTS CORP - FLORIDA BUILDING APPROVAL FL14911.5.

3. LP SMARTSIDE SIDING - FLORIDA BUILDING APPROVAL #FL9190.6.

4. ROOF UNDERLAYMENT BY WOODLAND INDUSTRIES INC. - FLORIDA BUILDING APPROVAL #FL17206.1.

5. ROOF UNDERLAYMENT BY GAF - FLORIDA PRODUCT APPROVAL #FL10626.1

6. SHINGLES BY OWENS CORNING - FLORIDA BUILDING APPROVAL #FL10674.1.

7. SHINGLES BY GAF - FLORIDA PRODUCT APPROVAL #FL10124.1

8. INNOVATIONS MANUFACTURING, INC. TRANSOM WINDOWS - FLORIDA BUILDING APPROVAL #FL17667.1.

9. FLOOD SOLUTIONS, LLC FLOOD VENTS (IF REQ'D)- FLORIDA BUILDING APPROVAL #FL17588.1.

10. OX PAPERBOARD MICHIGAN, LLC THERMO-PLY SHEATHING - FLORIDA BUILDING APPROVAL #FL16391.1.

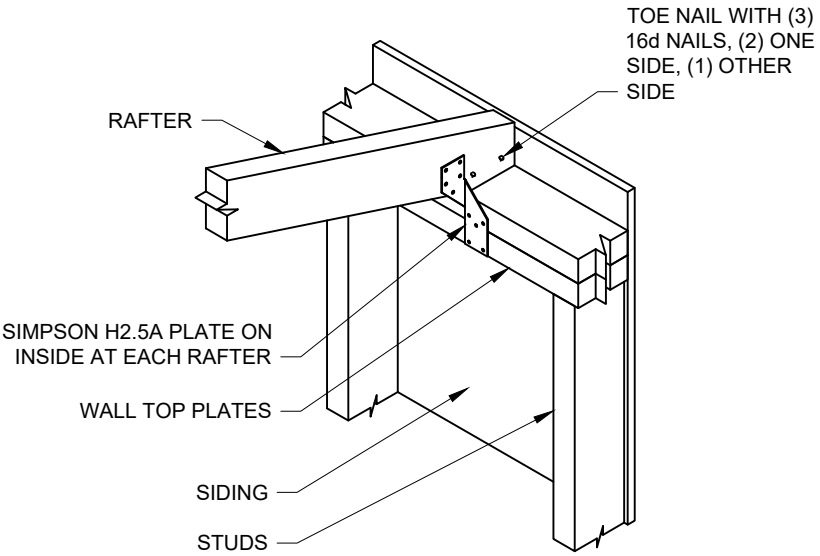
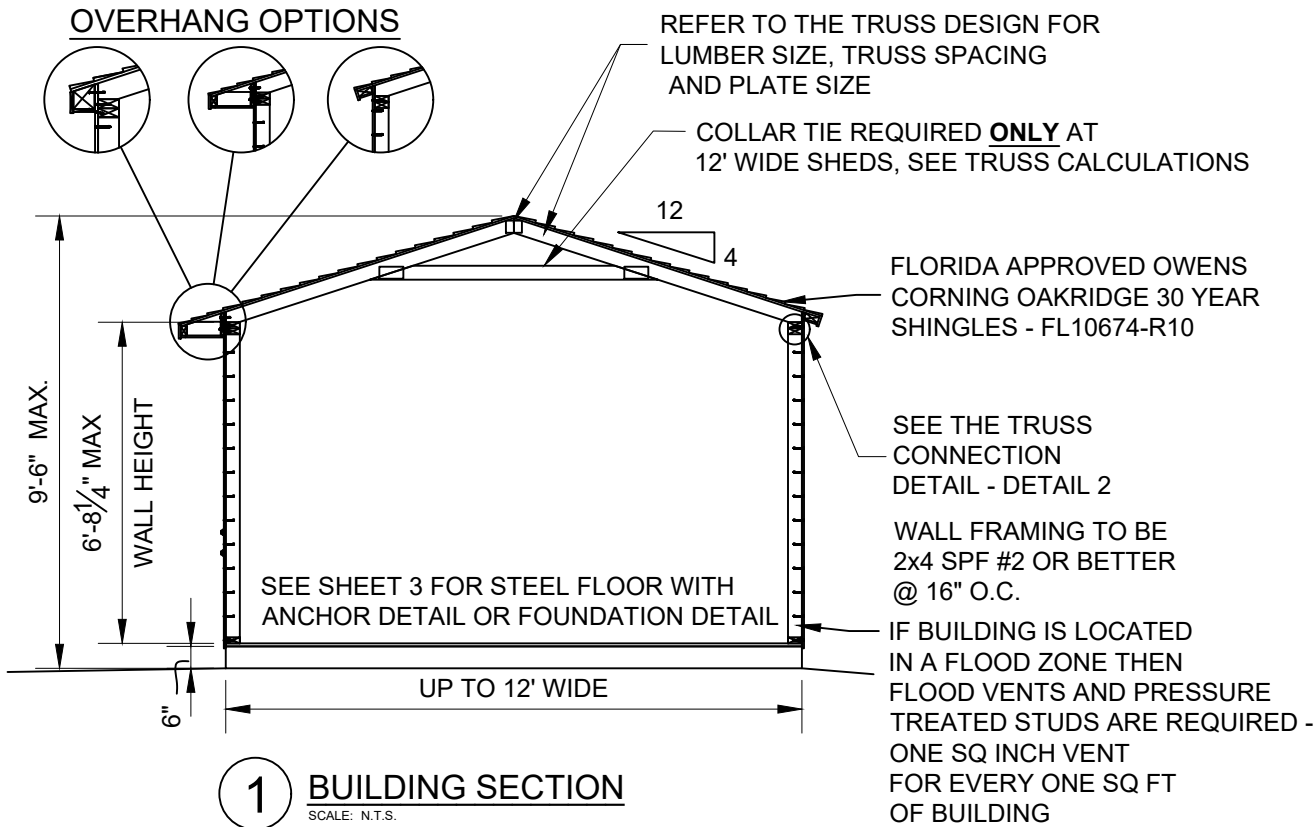
11. TUFF SHED, INC DOORS - FLORIDA BUILDING APPROVAL #FL22202.1, #FL22202.2, #FL22202.3, #FL22202.4

HEADER NAILING:
HEADER TO STUD - 4-16d END NAIL DOUBLED HEADER
- 16d @ 16" STAGGERED FACE NAIL

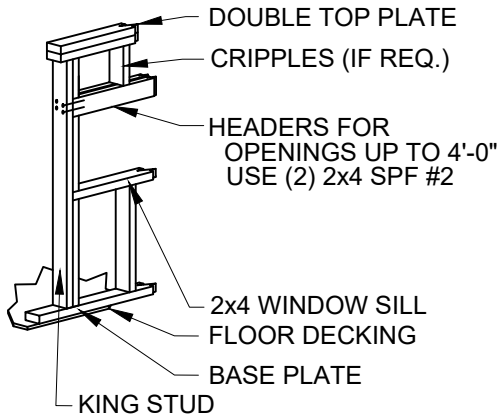
NAILING:
REFER TO SHEET 2 FOR WALL AND ROOF SHEATHING NAILING.

MAX WALL HEIGHT FOR EACH SHED:
SR600 - 5'-8 1/4" (68 1/4")
TR700 - 6'-8 1/4" (80 1/4")
PR - 6'-8 1/4" (80 1/4")

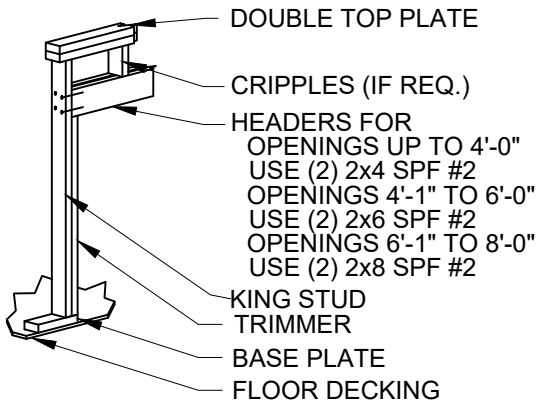
UNINHABITED UTILITY SHED UP TO 12' WIDE x UP TO 24' LONG
SR600, TR700, PR



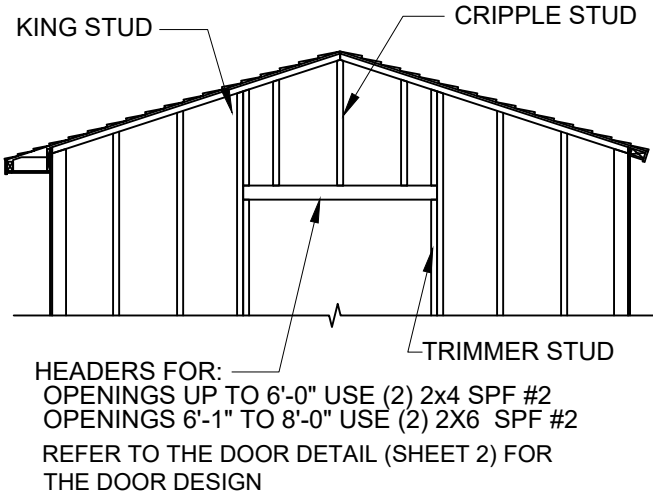
2 TRUSS TO WALL CONNECTION DETAIL
SCALE: N.T.S.



3A WINDOW HEADER DETAIL FOR SIDE WALLS
SCALE: N.T.S.



3B DOOR HEADER DETAIL FOR SIDE WALLS
SCALE: N.T.S.



4 HEADER DETAIL FOR END WALLS
SCALE: N.T.S.



Order #.	
Customer:	
Site Address:	
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA	

P.O. #	
Drawn By: PK	
Date: 3/12/19	
Checked By:	
Date:	
Scale: N.T.S.	

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD

TUFF SHED, INC.
ENGINEERING DEPARTMENT

RICHARD J. WILLS, P.E.

1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

TITLE

BUILDING SECTIONS
HEADER FRAMING DETAILS
FBC, 6th EDITION (2017)
155C

DRAWING NO.
FL-PR-SR-TR-01

REV. LEVEL 01

SHEET 1

PAGE 1 OF 4

3/8 SMART SIDE NAILING REQUIREMENTS
USE THESE NAILING TABLES FOR THE SR600, TR700 AND PR DRAWINGS

SIDE WALL EDGE NAILING REQUIREMENTS						END WALL EDGE NAILING REQUIREMENTS					
MARK WALLS BEING USED	END WALL WIDTH	SIDE WALL LENGTH	EDGE NAILING	MAX. COMB. OPENING (NOTE 2)	MIN TOTAL COMBINED SHEAR WALL	MARK WALLS BEING USED	END WALL WIDTH	SIDE WALL LENGTH	EDGE NAILING	MAX. COMB. OPENING	MIN TOTAL COMBINED SHEAR WALL
NO OPENINGS ALONG THE WALL						NO OPENINGS ALONG THE WALL					
	6'	6'-18'	8d NAILS @ 6" O.C.	0'	6'-18'		* 6'	6'	8d NAILS @ 3" O.C.	SEE NOTE 3	
	8'	8'-24'	8d NAILS @ 6" O.C.	0'	8'-24'		* 6'	8'-9'	8d NAILS @ 3" O.C. (BS)	SEE NOTE 3	
	10'	10'-24'	8d NAILS @ 6" O.C.	0'	10'-24'		6'	10'-14'	8d NAILS @ 3" O.C.	0'	6'
	12'	12'-24'	8d NAILS @ 6" O.C.	0'	12'-24'		6'	16'-18'	8d NAILS @ 4" O.C. (BS)	0'	6'
							8'	8'-12'	8d NAILS @ 6" O.C.	0'	8'
							8'	14'-18'	8d NAILS @ 4" O.C.	0'	8'
							8'	20'-22'	8d NAILS @ 3" O.C.	0'	8'
							8'	24'	8d NAILS @ 4" O.C. (BS)	0'	8'
							10'	10'-14'	8d NAILS @ 6" O.C.	0'	10'
							10'	16'-20'	8d NAILS @ 4" O.C.	0'	10'
							10'	22'-24'	8d NAILS @ 3" O.C.	0'	10'
							12'	12'-16'	8d NAILS @ 6" O.C.	0'	12'
							12'	18'-24'	8d NAILS @ 4" O.C.	0'	12'

■ MIN 2'-0" RTN WALLS ON EACH END OF WALL- ■ MIN 2'-0" WALL SEGMENT

	6'	6'-18'	8d NAILS @ 6" O.C.	UP TO 12'	4'
	8'	8'-24'	8d NAILS @ 6" O.C.	UP TO 12'	6'
	8'	8'-24'	8d NAILS @ 4" O.C.	UP TO 12'	4'
	10'	10'-24'	8d NAILS @ 6" O.C.	UP TO 12'	7'
	10'	10'-24'	8d NAILS @ 4" O.C.	UP TO 12'	5'
	12'	12'-24'	8d NAILS @ 6" O.C.	UP TO 12'	9'
	12'	12'-24'	8d NAILS @ 4" O.C.	UP TO 12'	6'
	12'	12'-24'	8d NAILS @ 3" O.C.	UP TO 12'	5'

ROOF SHEATHING (7/16" OSB)

WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-18'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
8'	8'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
10'	10'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
12'	12'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.

NOTES:
1. USE 8d COMMON OR GALVANIZED BOX NAILS.

TABLE NOTES:

1. NAILING IS FOR 3/8" SMARTSIDE PANEL OR 3/8" SMARTSIDE WITH FOIL BACKER.
2. NO SINGLE OPENING GREATER THAN 8'-0"
3. * 6' WIDE X 6'-9' LENGTH BUILDINGS ARE BASED ON 3-SIDED DIAPHRAGM. THE END WALL OPPOSITE OF THE OPENING MUST BE FULLY SHEATHED, IN THE 3-SIDED DIAPHRAGM CASES. THE END WALL WITH THE OPENING DOES NOT HAVE A MIN. RETURN WALL ON EACH SIDE OF THE OPENING.
4. USE COMMON OR GALVANIZED BOX NAILS.
5. FIELD NAILING FOR 3/8" SMARTSIDE: 8d @ 12" O.C.
6. ON THESE BUILDINGS 6' X 10'-18' THE 3' DOOR IN THE END WALL WILL NEED TO BE OFF SET. THERE WILL BE A 2' PANEL ON ONE SIDE AND A 1' PANEL ON THE OTHER SIDE OF THE DOOR.
7. (BS) - DESIGNATES WALLS THAT NEED TO BE SHEATHED ON BOTH SIDES.

■ MIN 2'-0" RTN WALLS ON EACH END OF WALL- ■ MIN 2'-0" WALL SEGMENT

	6'	6'-9'	8d NAILS @ 6" O.C.	3'	SEE NOTE 3
	6'	10'	8d NAILS @ 3" O.C. (BS)	3'	2' (RE: NOTE 6)
	8'	8'-10'	8d NAILS @ 4" O.C.	3'	5'
	8'	12'-14'	8d NAILS @ 3" O.C.	3'	5'
	8'	16'-24'	8d NAILS @ 3" O.C. (BS)	3'	5'
	8'	8'	8d NAILS @ 4" O.C.	4'	4'
	8'	10'	8d NAILS @ 3" O.C.	4'	4'
	8'	12'-22'	8d NAILS @ 3" O.C. (BS)	4'	4'
	10'	10'	8d NAILS @ 6" O.C.	3'	7'
	10'	12'-14'	8d NAILS @ 4" O.C.	3'	7'
	10'	16'-18'	8d NAILS @ 3" O.C.	3'	7'
	10'	20'-24'	8d NAILS @ 4" O.C. (BS)	3'	7'
	10'	10'-12'	8d NAILS @ 4" O.C.	4'	6'
	10'	14'-16'	8d NAILS @ 3" O.C.	4'	6'
	10'	18'-24'	8d NAILS @ 4" O.C. (BS)	4'	6'
	10'	10'	8d NAILS @ 3" O.C.	6'	4'
	10'	12'-22'	8d NAILS @ 3" O.C. (BS)	6'	4'
	12'	12'-16'	8d NAILS @ 4" O.C.	4'	8'
	12'	18'-20'	8d NAILS @ 3" O.C.	4'	8'
	12'	22'-24'	8d NAILS @ 3" O.C. (BS)	4'	8'
	12'	12'	8d NAILS @ 4" O.C.	6'	6'
	12'	14'-16'	8d NAILS @ 3" O.C.	6'	6'
	12'	18'-24'	8d NAILS @ 4" O.C. (BS)	6'	6'
	12'	12'-20'	8d NAILS @ 3" O.C. (BS)	8'	4'



Order #. _____

Customer: _____

Site Address: _____

Building Size: _____

P.O. # _____

Drawn By: PK _____

Date: 3/12/19 _____

Checked By: _____

Date: _____

Scale: N.T.S. _____

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TUFF SHED, INC.
ENGINEERING DEPARTMENT

RICHARD J. WILLS, P.E.

1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

TITLE

DOOR DETAILS

NAILING REQUIREMENTS

FBC, 6th EDITION (2017)

155C

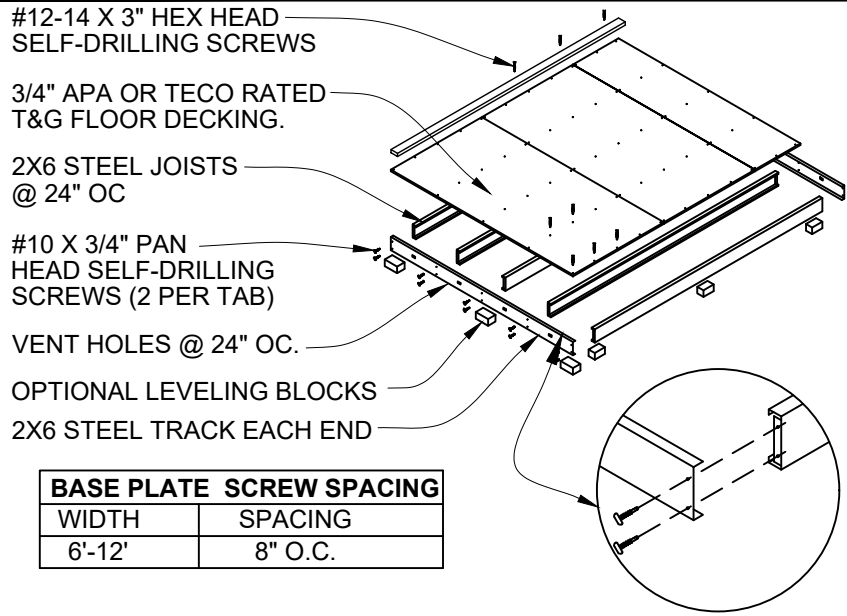
DRAWING NO.

FL-PR-SR-TR-01

REV. LEVEL 01

SHEET 2

PAGE 2 OF 4

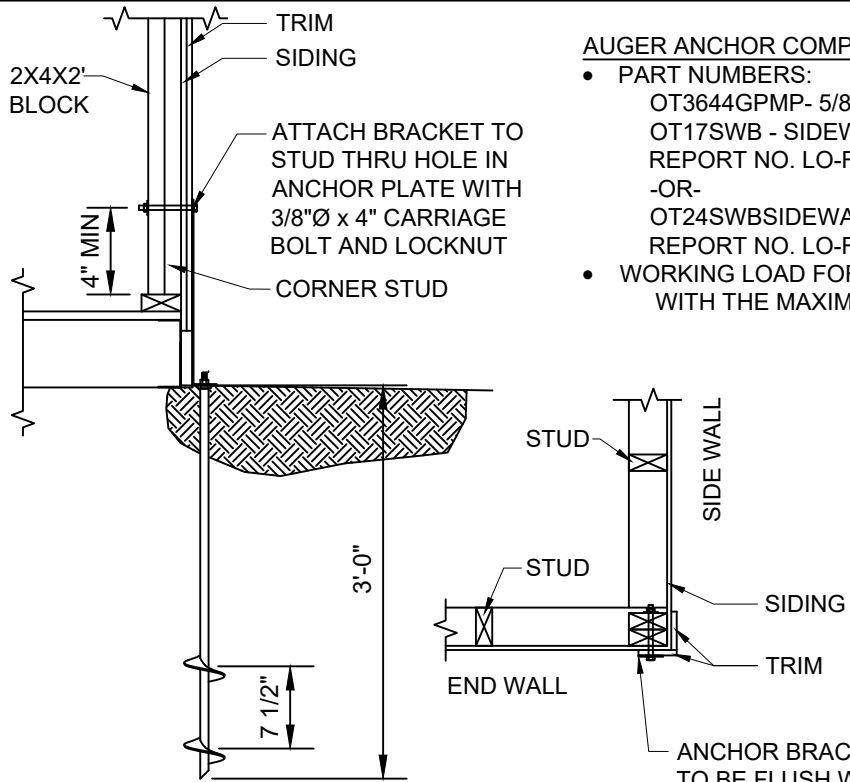


BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

1. STEEL SHED FOUNDATION:
600T125-054 - 16 GAUGE STEEL TRACKS G140 ZINC COATED
600S137-054 - 16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C.
(SUPPLIER: ALLIED STUDCO (JOIST: 600S137-054 / TRACK: 600T125-054) ICC ER-4943P.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
3. FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1-5/8" ZINC PLATED SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #12-14 X 3" GALVANIZED SELF-DRILLING SCREWS. REFERENCE SPACING CHART.
5. ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.
BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

1 STEEL SHED BASE DETAIL

SCALE: N.T.S.



AUGER ANCHOR COMPONENTS BY OLIVER TECHNOLOGIES

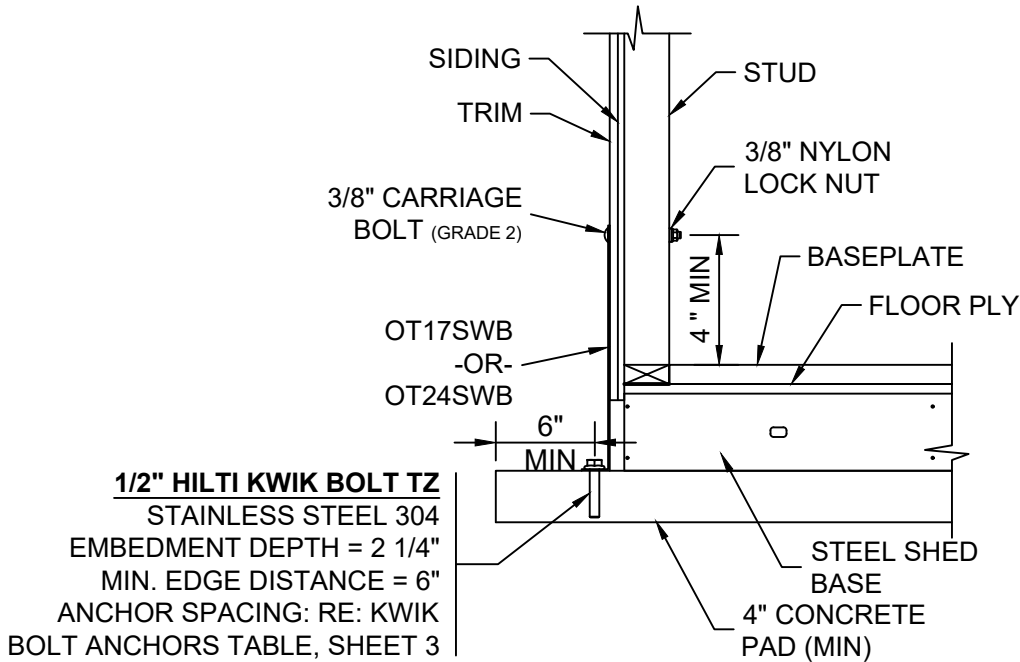
- PART NUMBERS:
OT3644GPMP- 5/8" X 36" (36" IMBED) GALVANIZED AUGER
OT17SWB - SIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-A
-OR-
OT24SWBSIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-B
- WORKING LOAD FOR ANCHOR SYSTEM IS 3,150 LBS WITH THE MAXIMUM LOAD OF 5,080 LBS

AUGER ANCHORS		
WIDTH	LENGTH	# OF ANCHORS
6'	6'-18'	4 ANCHORS
8'	8'-24'	4 ANCHORS
10'	10'-24'	6 ANCHORS
12'	12'-24'	6 ANCHORS

4-ANCHORS PROVIDE (1) AT EA. CORNER OF THE BUILDING.
6-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EA. SIDE WALL.

2 AUGER ANCHOR DETAIL

SCALE: N.T.S.

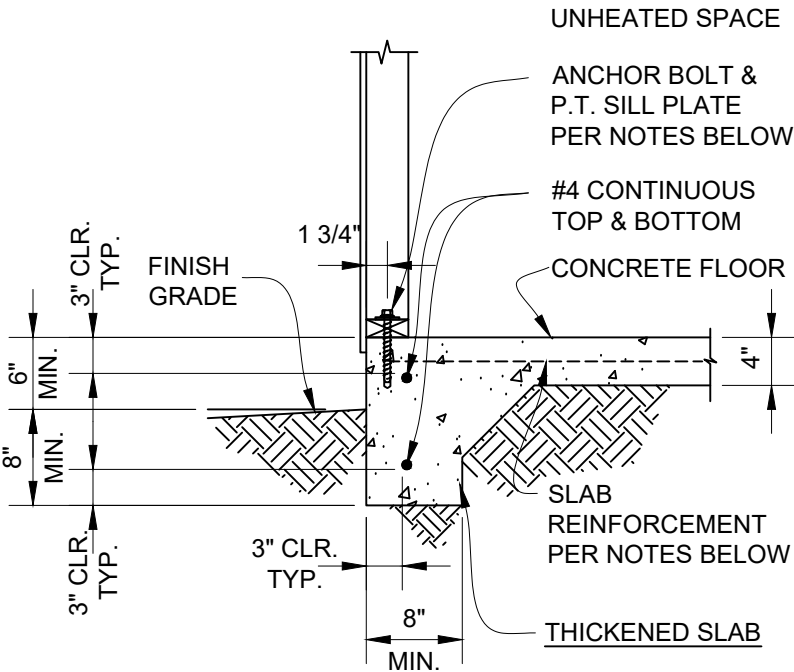


KWIK BOLT ANCHORS (INTO CONCRETE) RE: DETAIL 3 SHEET 3			
WIDTH	LENGTH	QTY	
6'	6'-10'	6	
6'	12'-18'	8	
8'	8'-14'	6	
8'	16'-20'	8	
8'	22'-24'	10	
10'	10'-16'	6	
10'	18'-24'	8	
12'	12'-18'	6	
12'	20'-24'	8	

- NOTES:
1. ANCHORS TO BE KWIK BOLT TZ, 304 SS
 2. PROVIDE (1) ANCHOR AT EA. CORNER OF THE BUILDING. THE REMAINING ANCHORS EQUALLY SPACED ALONG THE LENGTH OF THE BUILDING. (1/2 THE REMAINING ANCHORS ON EA. LENGTH SIDE EQUALLY SPACED).

3 SIDEWALL BRACKET DETAIL

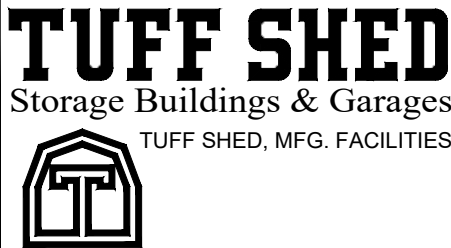
SCALE: N.T.S.



- CONTINUOUS FOOTING NOTES
1. TOP OF SLAB TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE WWF 6X6 W1.4xW1.4. LOCATE AT MID-DEPTH OF SLAB.
-OR-
SLAB REINFORCEMENT SHALL BE FIBERMESH 150 OR BLENDED FIBERMESH150. FIBERMESH SHOULD BE DISPERSED UNIFORMLY THROUGH CONCRETE W/ MIN. 1 POUND PER CUBIC YARD OF CONCRETE.
 2. ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
 3. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPETENT SOIL, OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1000 PSF AT 12" BELOW GRADE.
 4. CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH, $f_c = 2500$ PSI.
 5. REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 38 BAR DIAMETERS OR 24" MINIMUM, WHICHEVER IS LARGER.
 6. SEISMIC DESIGN CATEGORY: A
A. ATTACH PRESSURE TREATED SOLE PLATE TO THE FOOTING USING 1/2" DIA X 8" LONG SIMPSON TITEN HD ANCHOR WITH WASHERS.
B. EXPANSION BOLTS SHALL BE EMBEDDED AT LEAST 5" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6' OC.
C. THERE SHALL BE A MINIMUM OF 2 BOLTS PER SOLE PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF EACH PIECE.

4 CONCRETE FOUNDATION DETAIL

SCALE: N.T.S.



Order #.	_____
Customer:	_____
Site Address:	_____
Building Size:	WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

P.O. #	_____
Drawn By:	PK
Date:	3/12/19
Checked By:	_____
Date:	_____
Scale:	N.T.S.

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TUFF SHED, INC.
ENGINEERING DEPARTMENT

RICHARD J. WILLS, P.E.

1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

TITLE

DETAILS

FBC, 6th EDITION (2017)

155C

DRAWING NO.

FL-PR-SR-TR-01

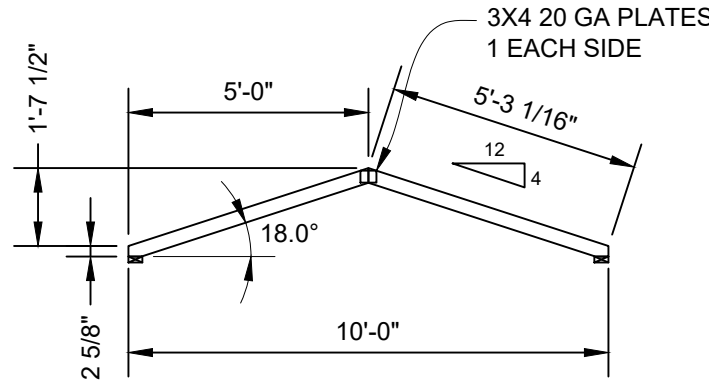
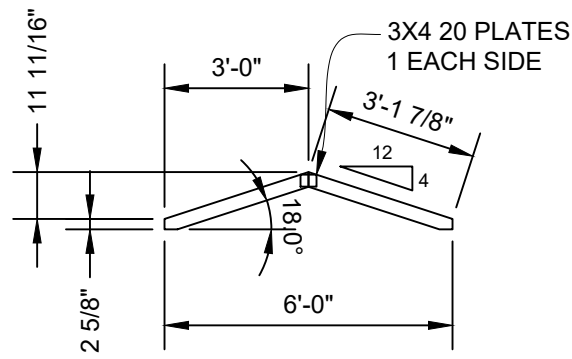
REV. LEVEL 01

SHEET

3

PAGE 3 OF 4

13 MAR 2019



6' SPAN
REACTIONS:
MAX. VERTICAL: 180 LBS.
MAX. UPLIFT: -160 LBS.

8' SPAN
REACTIONS:
MAX. VERTICAL: 240 LBS.
MAX. UPLIFT: -195 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS
UP TO 12FT UNLESS CEILING JOIST OR OTHER
TENSION TIE IS PROVIDED.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS
UP TO 14FT UNLESS CEILING JOIST OR OTHER
TENSION TIE IS PROVIDED.

10' SPAN
REACTIONS:
MAX. VERTICAL: 300 LBS.
MAX. UPLIFT: -250 LBS.

12' SPAN
REACTIONS:
MAX. VERTICAL: 390 LBS.
MAX. UPLIFT: -285 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS
UP TO 20FT UNLESS CEILING JOIST OR OTHER
TENSION TIE IS PROVIDED.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS
UP TO 24FT UNLESS CEILING JOIST OR OTHER
TENSION TIE IS PROVIDED.

MAXIMUM DEFLECTION (12 FT. SPAN)
VERT LL: 0.06 in.
VERT TL: 0.08 in.

DESIGN LOADS:
TOP CHORD LIVE LOAD = 20 PSF
TOP CHORD DEAD LOAD = 10 PSF
COLLAR TIE DEAD LOAD = 5 PSF

NOTES:
FBC, 6th EDITION (2017)
ANSI/TPI 1-2007
TRUSSES TO BE SPACED @ 24" OC
MATERIAL TO BE 2X4 SPRUCE PINE FIR GRADE #2 OR BETTER
PLATES ARE TO BE PRESSED IN THE WOOD PER TPI.

REP MEMBER INCREASE: YES
LUMBER D.O.L.: 1.25

WIND:
ASCE 7-10, 155 mph, Exposure C, D.O.L.=1.60

PLATES ARE MANUFACTURED BY EAGLE METAL PRODUCTS,
ICC-ES #ESR-1082.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING THIS TRUSS ARE TO DO SO IN
ACCORDANCE TO THE RECOMMENDATIONS OF THE LATEST VERSION OF THE BCSI.

TUFF SHED

Storage Buildings & Garages



8524 EAST COLONIAL DRIVE
ORLANDO, FL 32817
(888) 788-TUFF
STORE 520

Order #. _____ Customer: _____ Site Address: _____ Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____	P.O. # _____ Drawn By: PK Date: 3/12/19 Checked By: _____ Date: _____ Scale: N.T.S.	THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD	TUFF SHED, INC. ENGINEERING DEPARTMENT RICHARD J. WILLS, P.E. 1777 S. HARRISON STREET DENVER, COLORADO 80210 (303) 753-8833 EXT. 96315		TITLE TRUSS DETAILS FBC, 6th EDITION (2017) 155C	DRAWING NO. FL-PR-SR-TR-01
						REV. LEVEL 01
						SHEET 4
						PAGE 4 OF 4



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00288

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 4
435 E. Government Street
Pensacola Historic District / Zone HC-1 / Wood Cottages
Contributing Structure

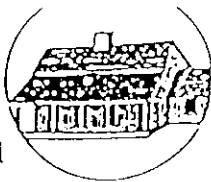
BACKGROUND:

Brian Spencer is requesting approval for exterior modifications to a contributing structure. The proposed work includes the addition of a dormer on the east elevation, the addition of a shed dormer on the west elevation, and filling in the southwest existing porch. Materials for the additions include Hardie siding and trim, Windsor window systems, and 5V-Crimp metal roofing to match the existing. Paint colors for the additions will match the existing palette.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(A)(6) *PHD, Restoration, rehabilitation, alterations or additions to existing contributing structures, specifically subparagraphs (b) Exterior walls, (c) Roofs, (f) Windows, and (i) Trim*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 E52409
 Recorder # _____
 Field Date 4/26/95
 Form Date 7/18/95

☒ Original
☒ Update

SITE NAMES (addr. if none) 435 E. GOVERNMENT ST. [MULT. LIST. #8]
 SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4758]
 NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 435 E. GOVERNMENT ST.
 CROSS STREETS nearest/between BETW. S. ALCANIZ ST. AND S. FLORIDA BLANCA ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
 COUNTY ESCAMBIA TAX PARCEL # 9001-002-092
 SUBDIVISION NAME PENSACOLA HIST DIST BLOCK 9 LOT NO. port 92
 OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
 NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
 ROUTE TO _____

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
 [UTM: ZONE 16 17 EASTING 1000000 NORTHING 1000000]
 PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

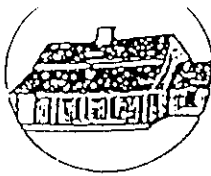
STYLE FRAM EXTERIOR PLAN RECT NO. STORIES 1.5
 STRUCTURAL SYSTEMS WF
 FOUNDATION: Types PIER Materials BRIC
 EXTERIOR FABRICS WTBD
 ROOF: Types GA Materials SM3V
 Secondary strucs. (dormers etc.) DRGA
 CHIMNEY: No. 1 Materials BRIC LOCATIONS E SIDE OF HOUSE
 WINDOWS (types, materials, and placements) DHS, 6/6, WOOD

MAIN ENTRANCE (stylistic details) _____
 PORCHES: #open _____ #closed _____ #incised _____ Locations N/1 STORY APRON, 5 BAY,
 Porch roof types ACCESS FROM NORTH
 EXTERIOR ORNAMENT _____

INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains _____
 NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
A large, long, house which sits about 2 1/2 feet off the ground on brick piers. There is a full width front porch.



HISTORICAL STRUCTURE FORM

Site #8

HISTORY

CONSTRUCTION DATE 1850 CIRCA ☒yes ☐no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES ☐yes ☐no Dates _____ Orig. addr. _____
 ALTERATIONS ☐yes ☐no Dates _____ Nature _____
 ADDITIONS ☐yes ☐no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) COMMERCIAL - OFFI
 OWNERSHIP HISTORY (especially original owner) CHARLES C. AND AMELIA M. SHERRILL (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	Local Designation Category _____
Individually elig. for Nat. Register?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	
Potential contributor to NR district?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R12, F15-16

RECORDER

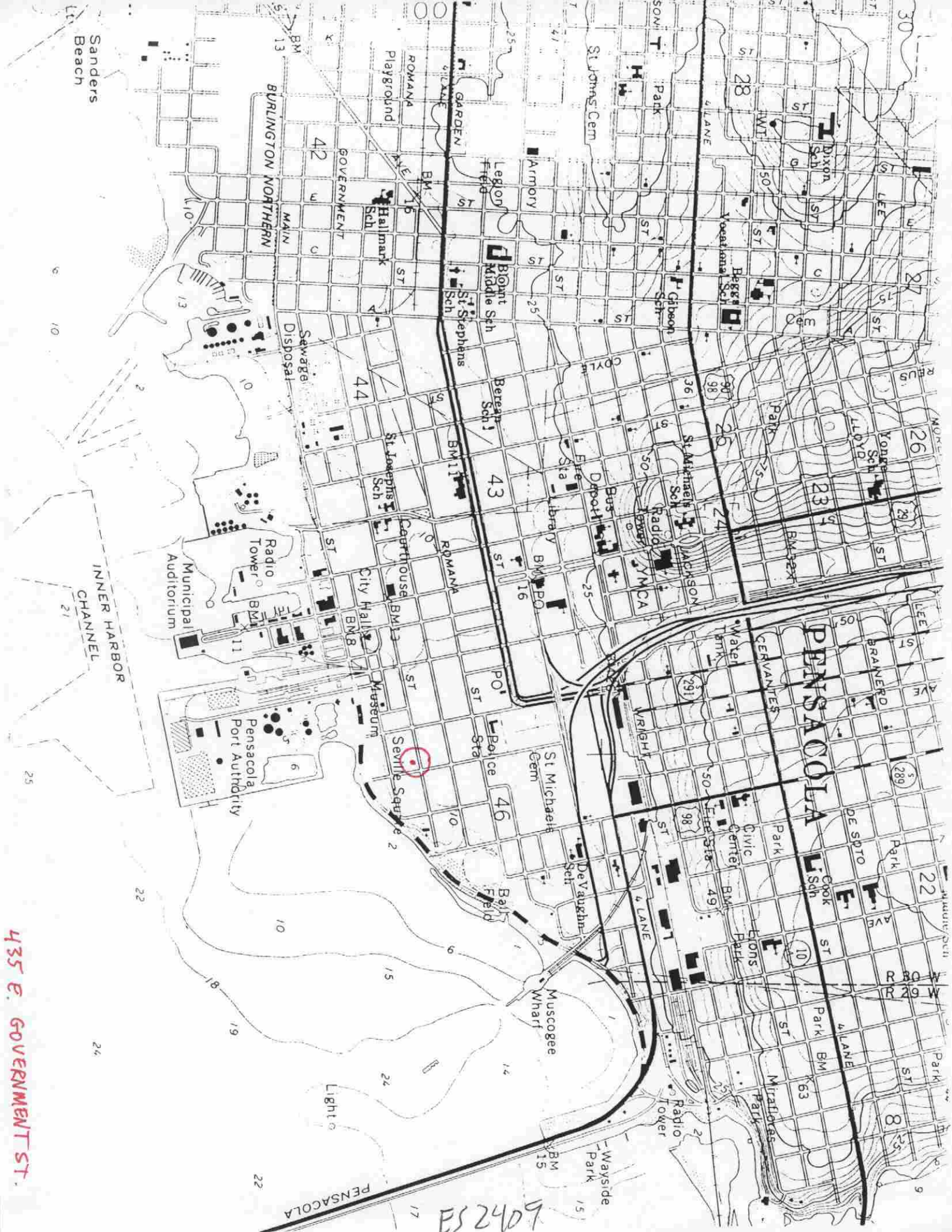
NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DEPT. USE ONLY		OFFICIAL EVALUATIONS				DEPT. USE ONLY	
NR DATE	KEEPER NR ELIGIBILITY	y	n	pe	i	Date	
	SHPO PRELIGIBILITY	y	n	pe	i	Date	
DEPT. DATE	LOCAL DESIGNATION					Date	
	Local office						

REQUIRED:

- * y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



435 E. GOVERNMENT ST.

ES 2409

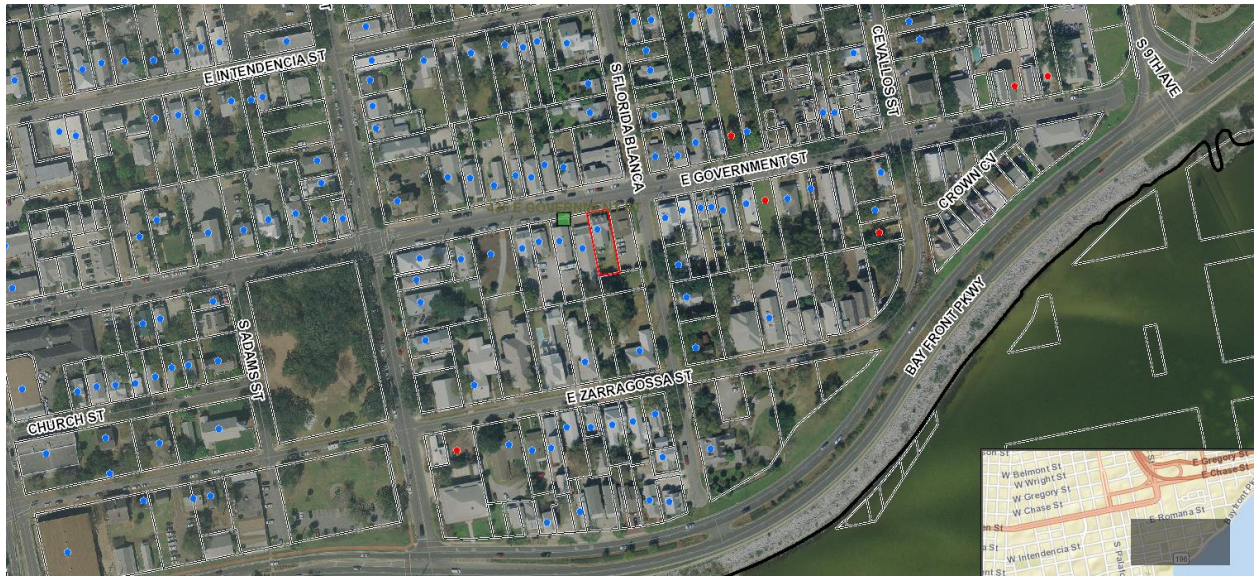


- 1.
2. 435 E. GOVERNMENT ST.
3. J. SCOTT JANCY
4. 26 APRIL 1995
5. HPPB
6. S
7. R12, F16

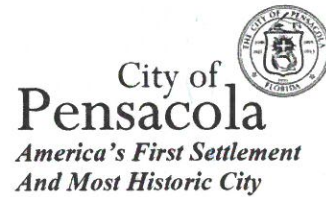
ES 2409

0011 24 04 95

435 E. Government Street



**Architectural Review Board Application
Full Board Review**



Application Date: 5/27/20

Project Address: 435 East Government Street, Pensacola, FL.
Applicant: Brian Spencer, AIA
Applicant's Address: 40 S. Palafox Place, Pensacola, FL.
Email: Brian@smp-arch.com **Phone:** 850.712.2612
Property Owner: Susan Simmons

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

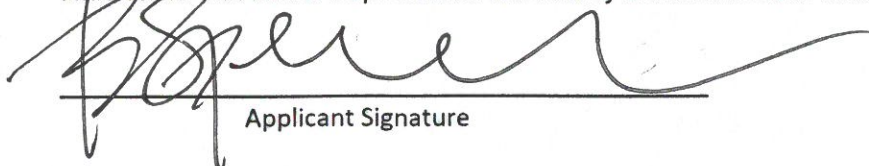
- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

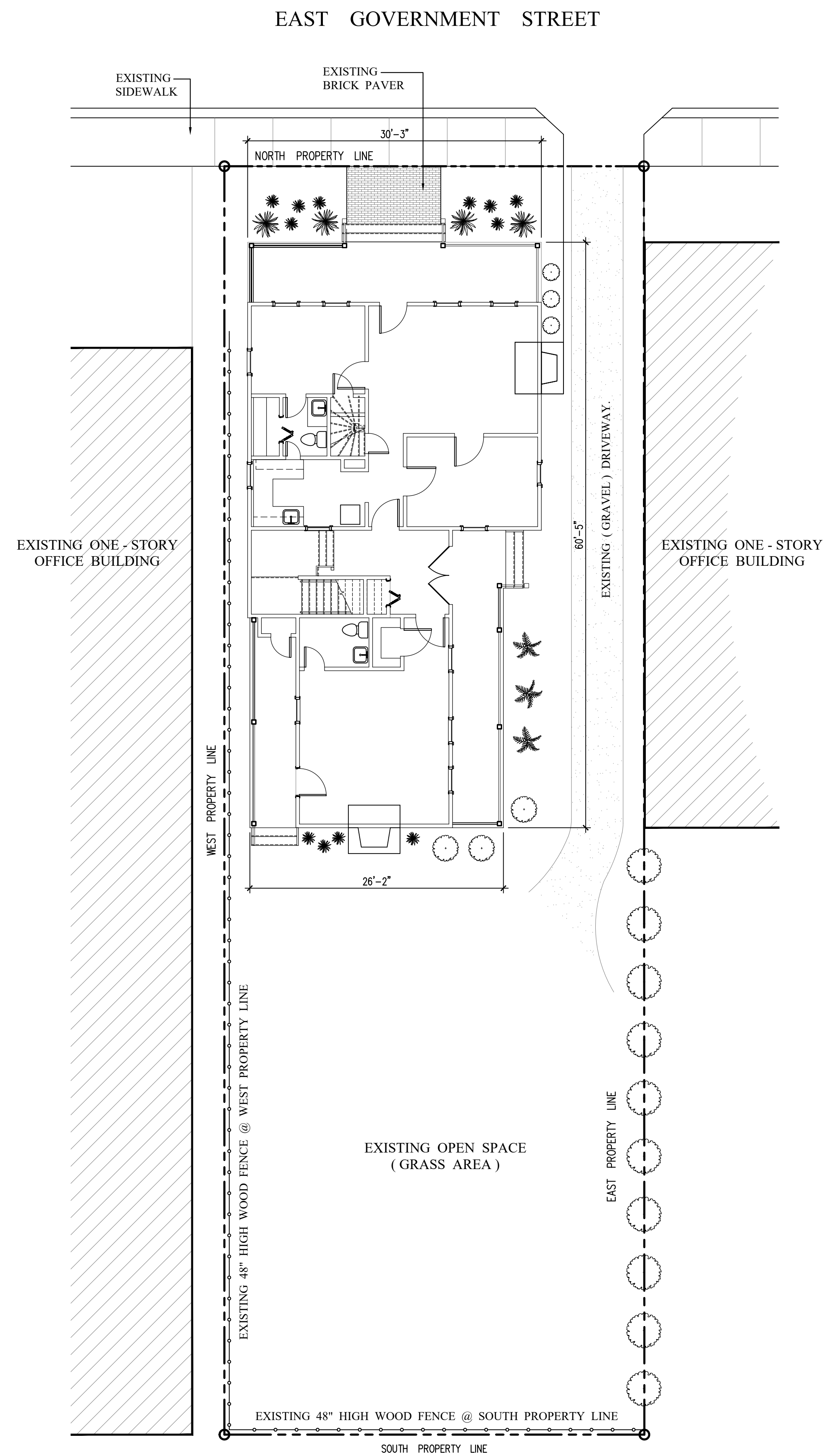
Interior floor plan changes and exterior modification involving addition of dormers and related exterior alterations.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

5/28/20
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"





NORTHEAST ELEVATION
(EAST GOVERNMENT STREET)



NORTH ELEVATION (EAST GOVERNMENT STREET)



NORTHWEST ELEVATION (EAST GOVERNMENT STREET)



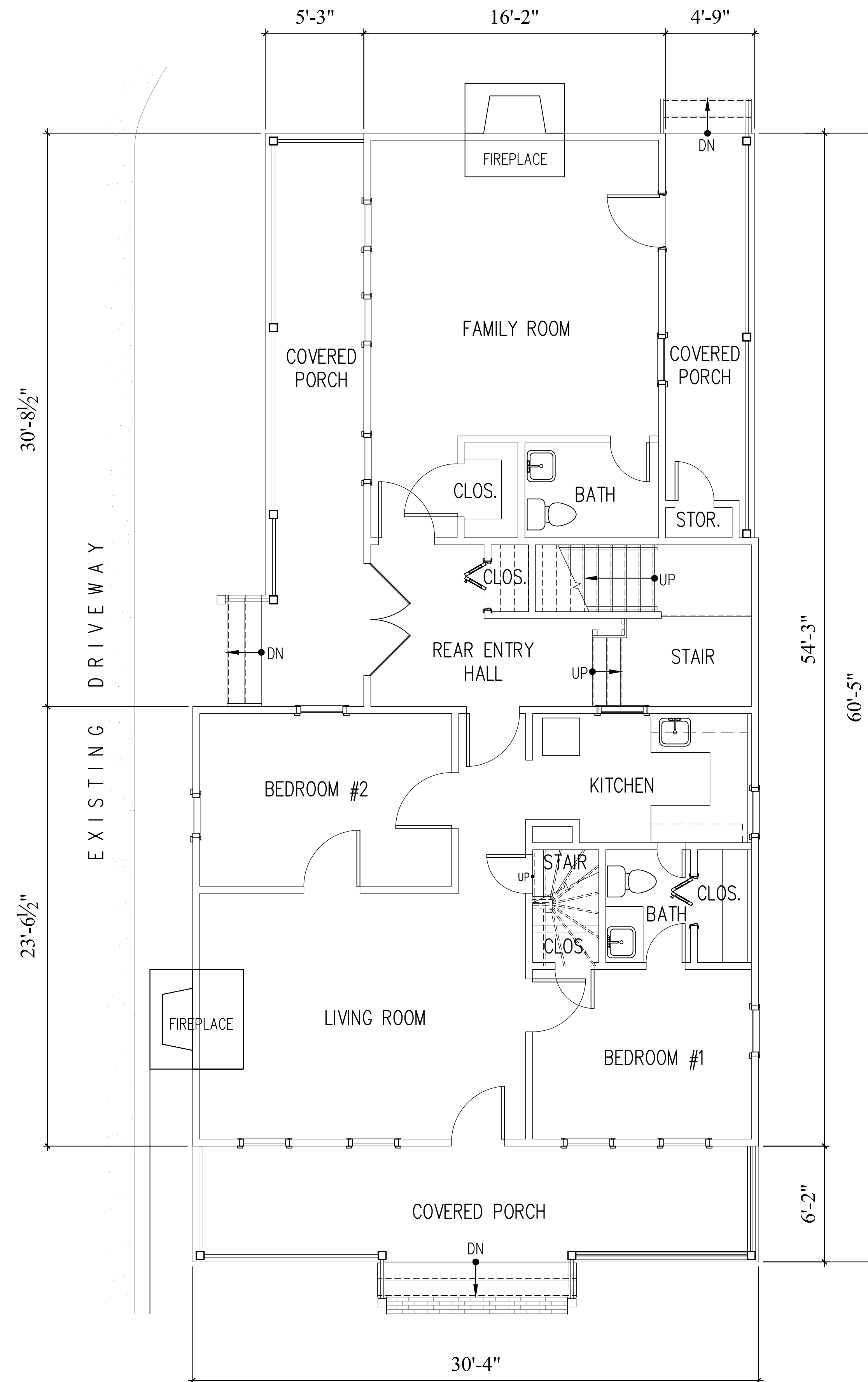
SOUTHWEST ELEVATION



SOUTH ELEVATION

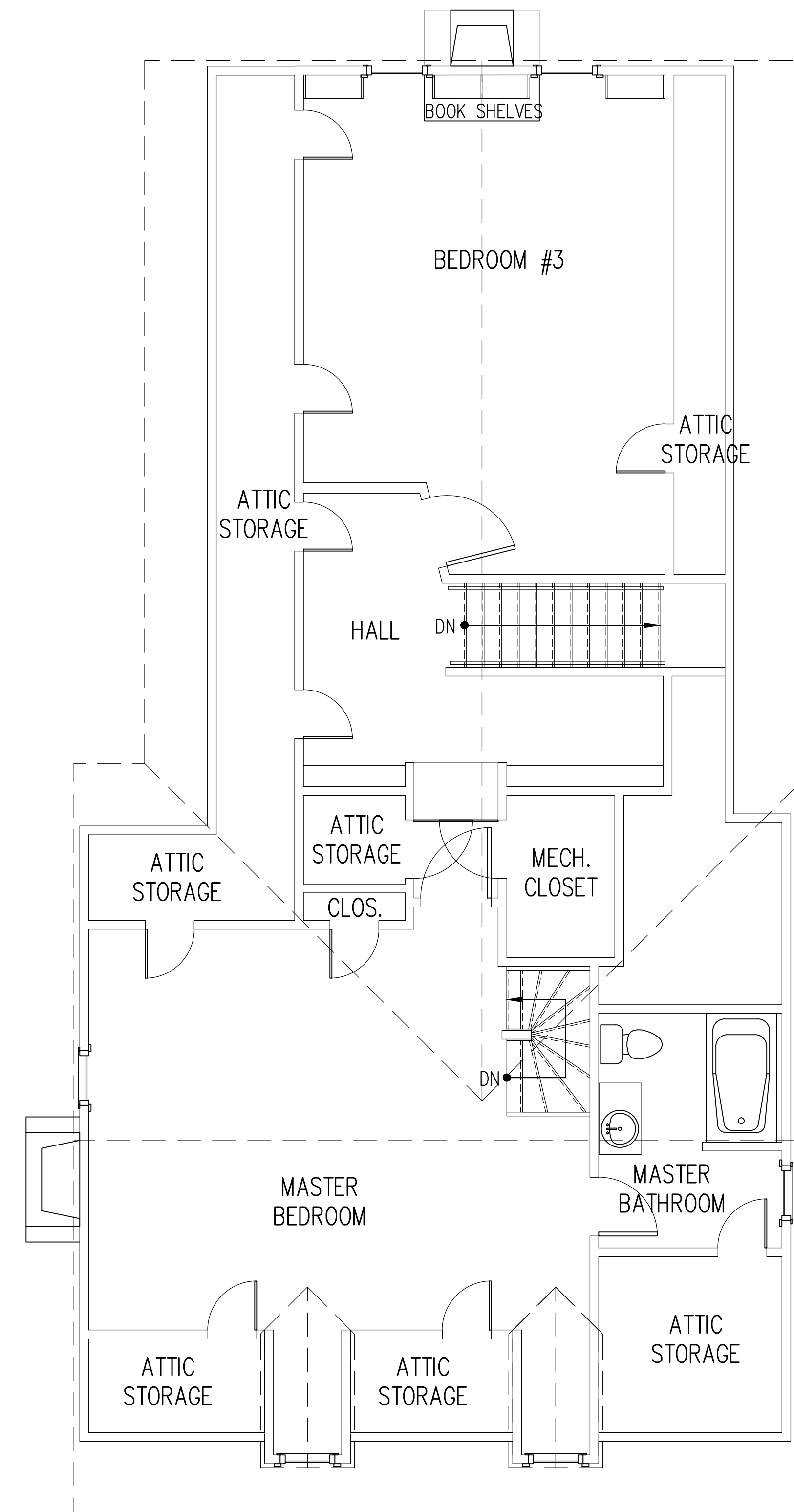


SOUTHEAST ELEVATION



EXISTING 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

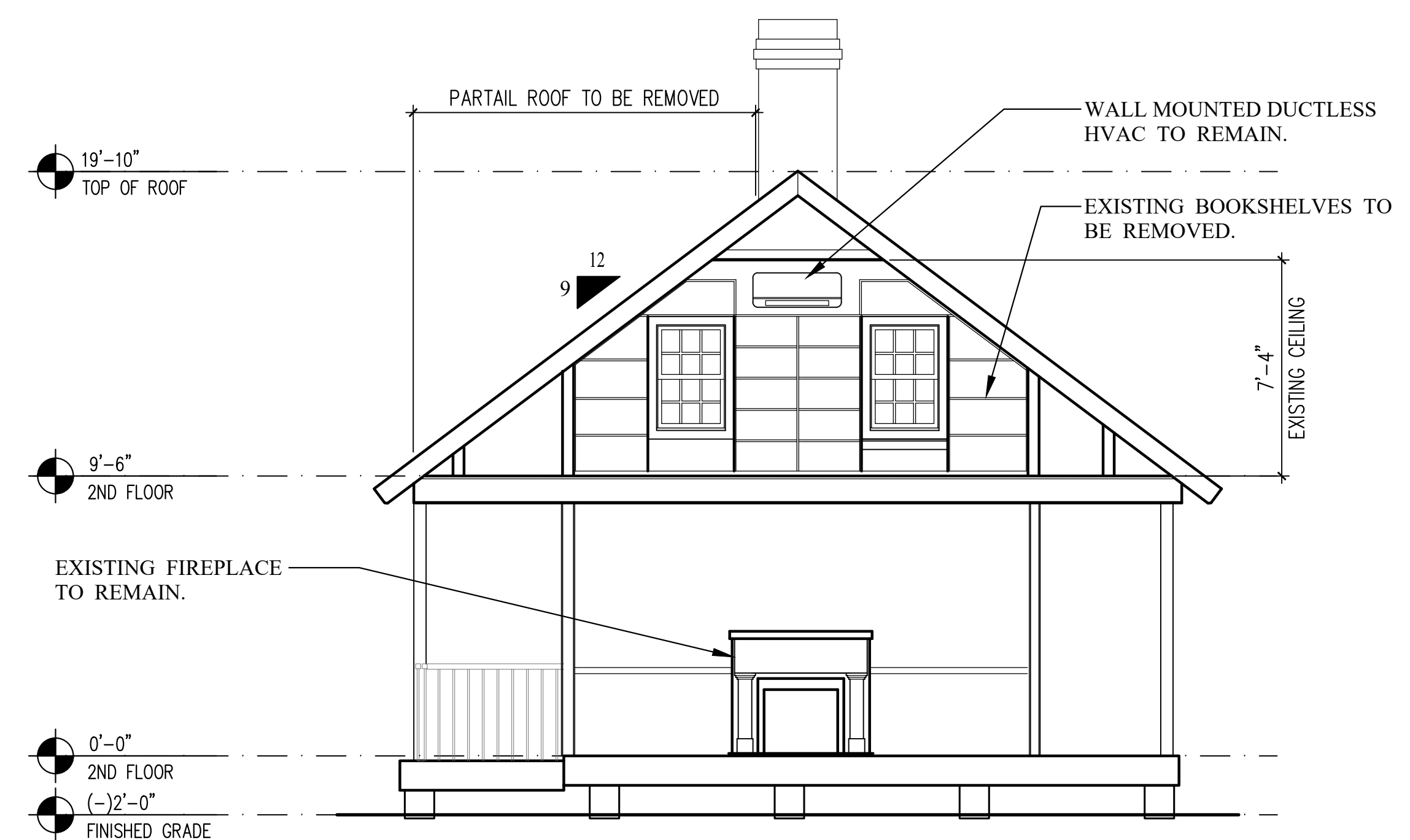


EXISTING 2nd FLOOR PLAN

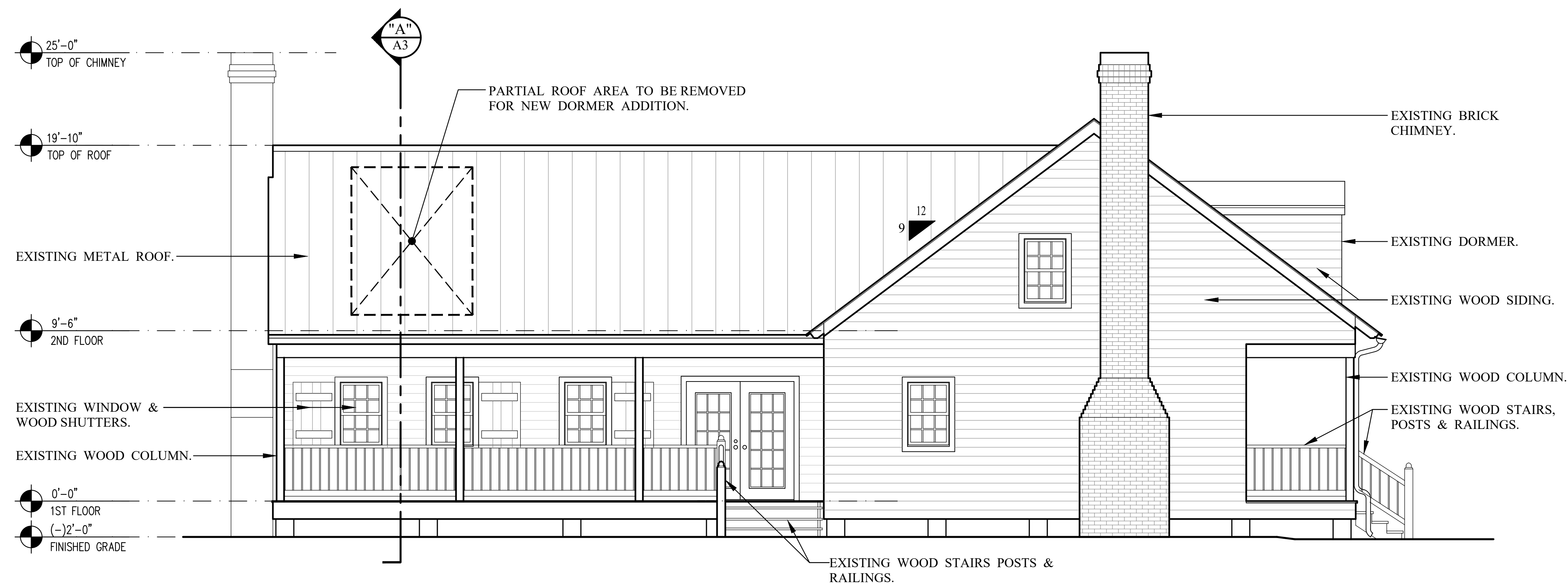
SCALE: 1/4" = 1'-0"



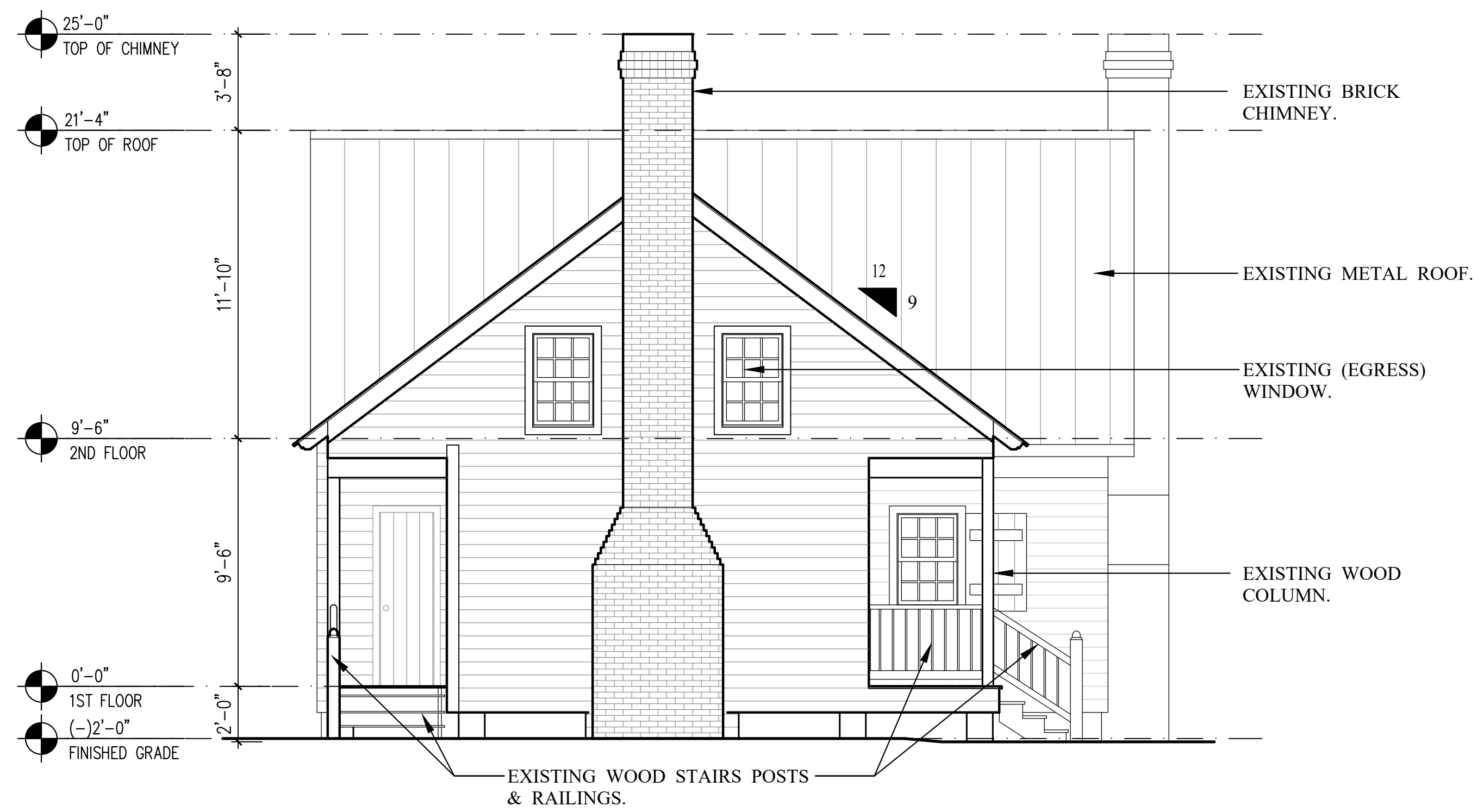
EXISTING NORTH ELEVATION (EAST GOVERNMENT STREET)
SCALE: 1/4" = 1'-0"



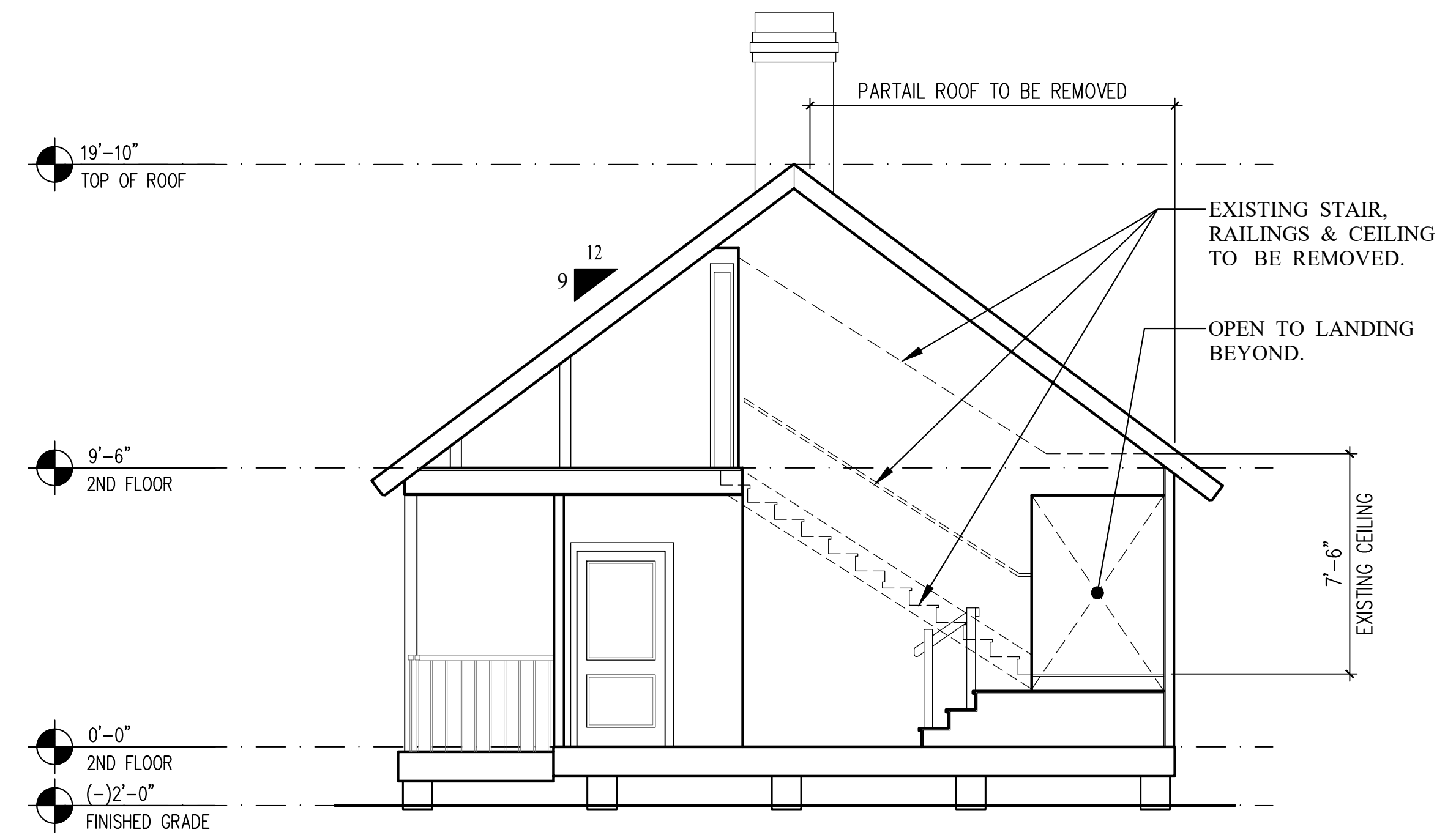
EXISTING BUILDING SECTION "A"
SCALE: 1/4" = 1'-0"



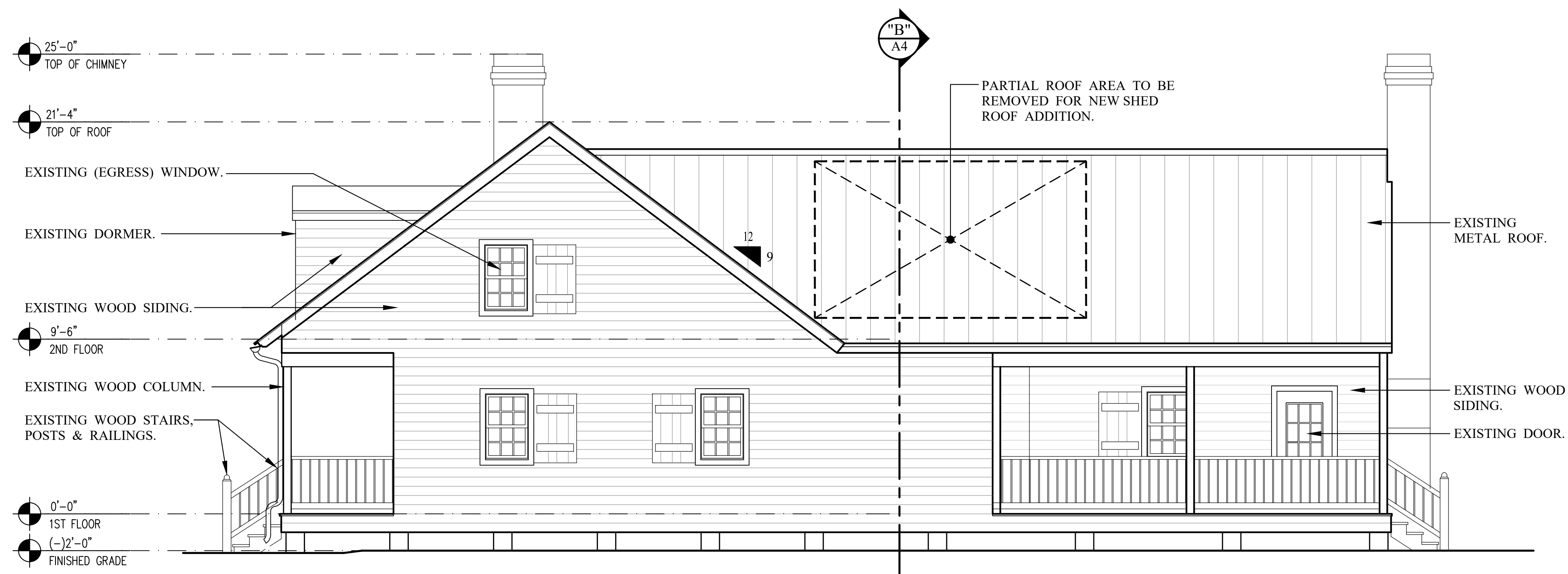
EXISTING EAST ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION (REAR YARD)
SCALE: 1/4" = 1'-0"



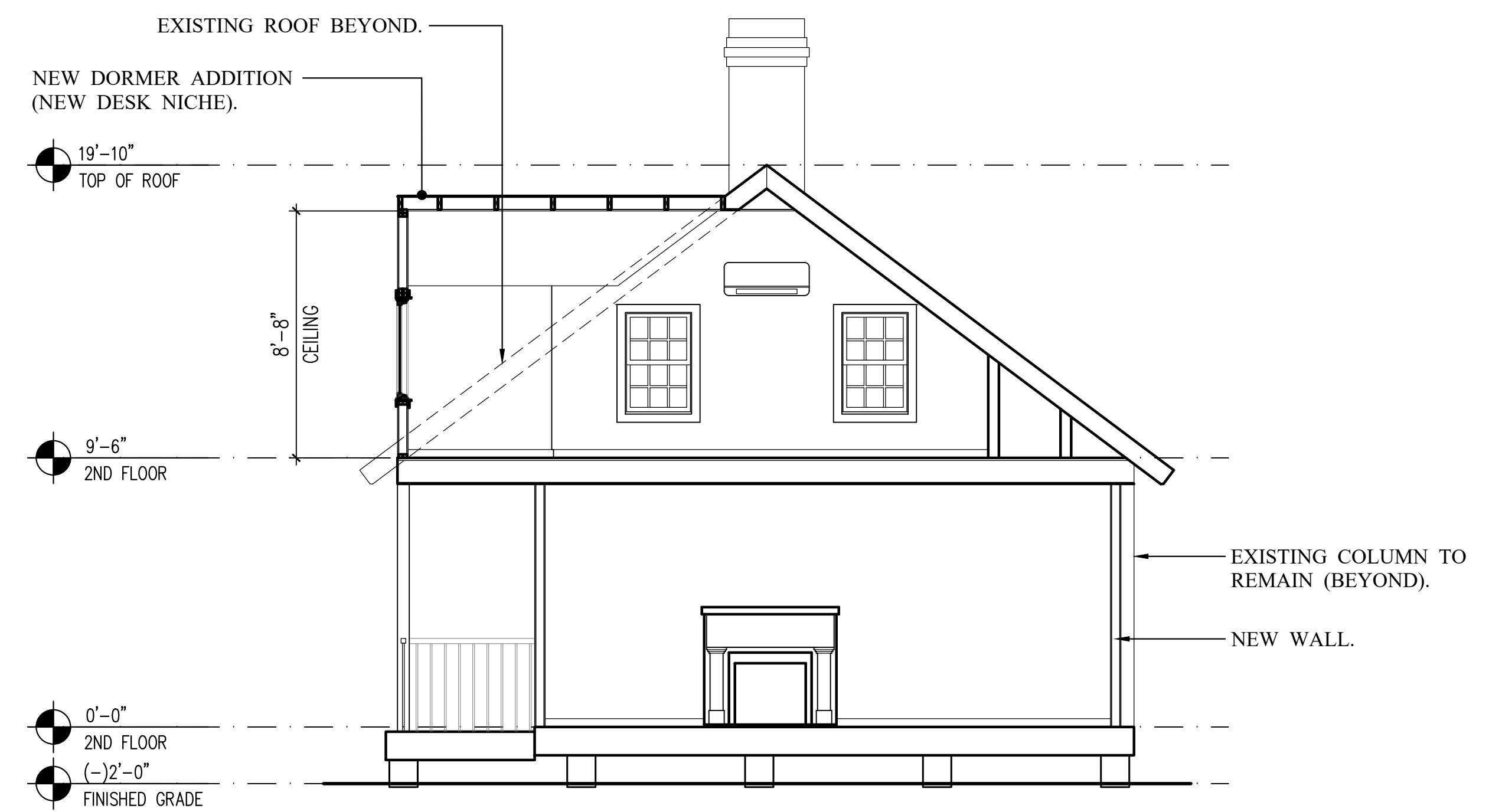
EXISTING BUILDING SECTION "B"
SCALE: 1/4" = 1'-0"



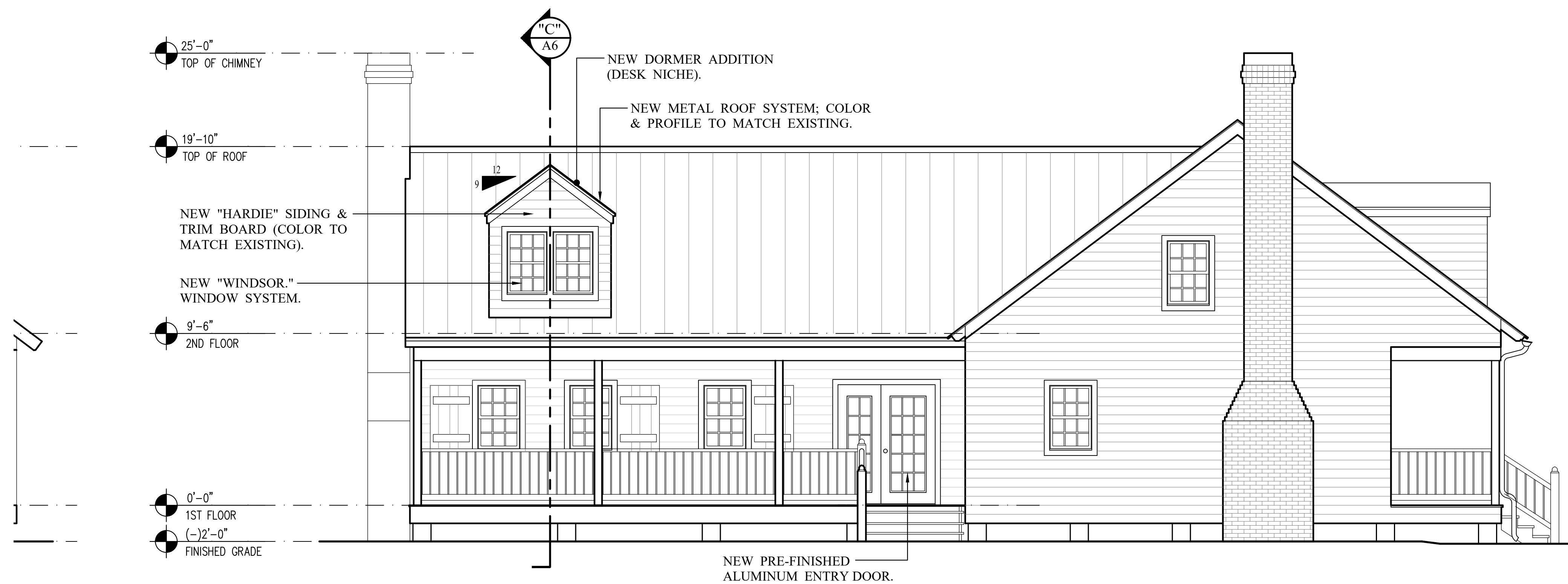
EXISTING WEST ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



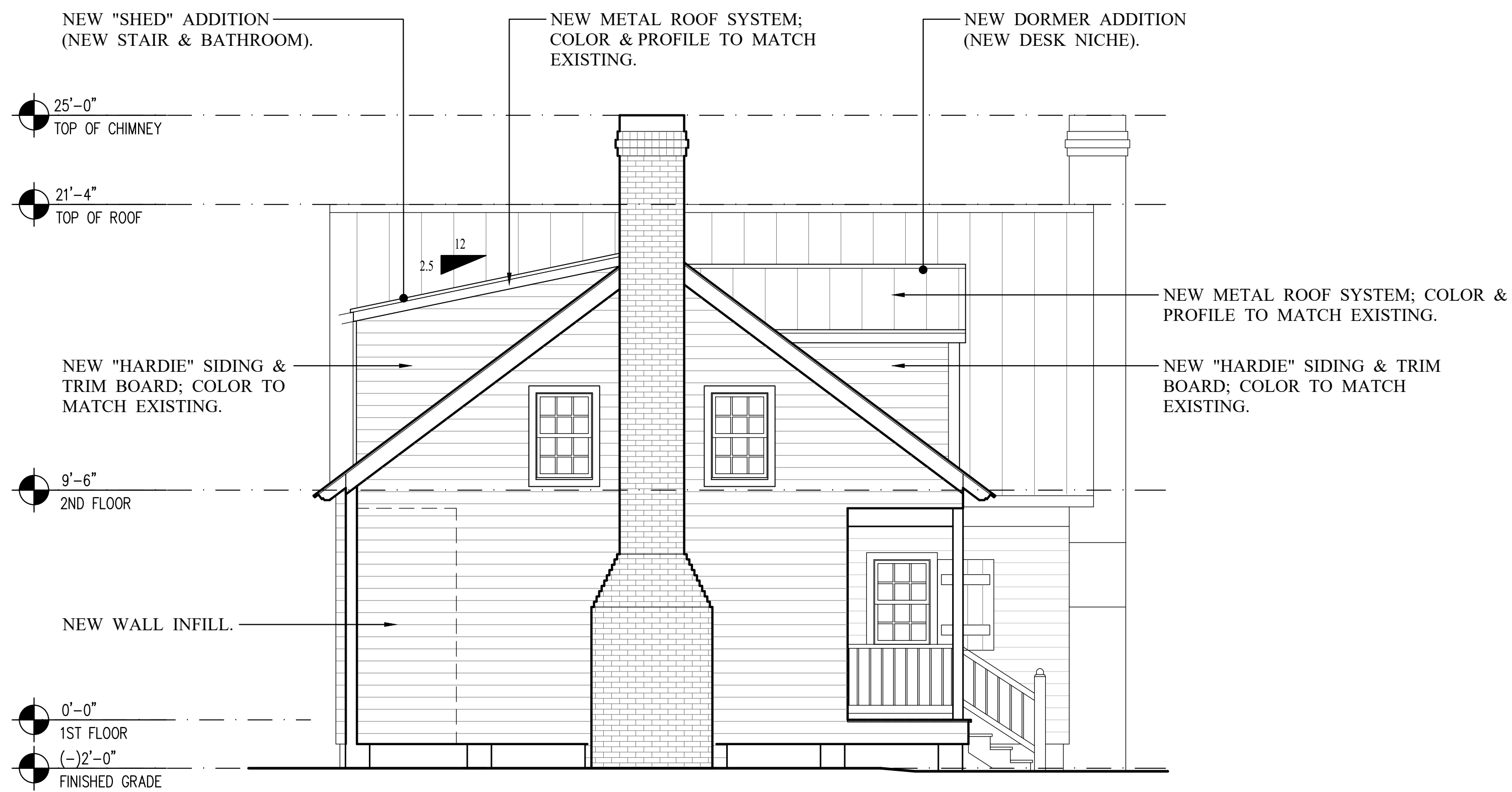
EXISTING NORTH ELEVATION (EAST GOVERNMENT STREET)
SCALE: 1/4" = 1'-0"



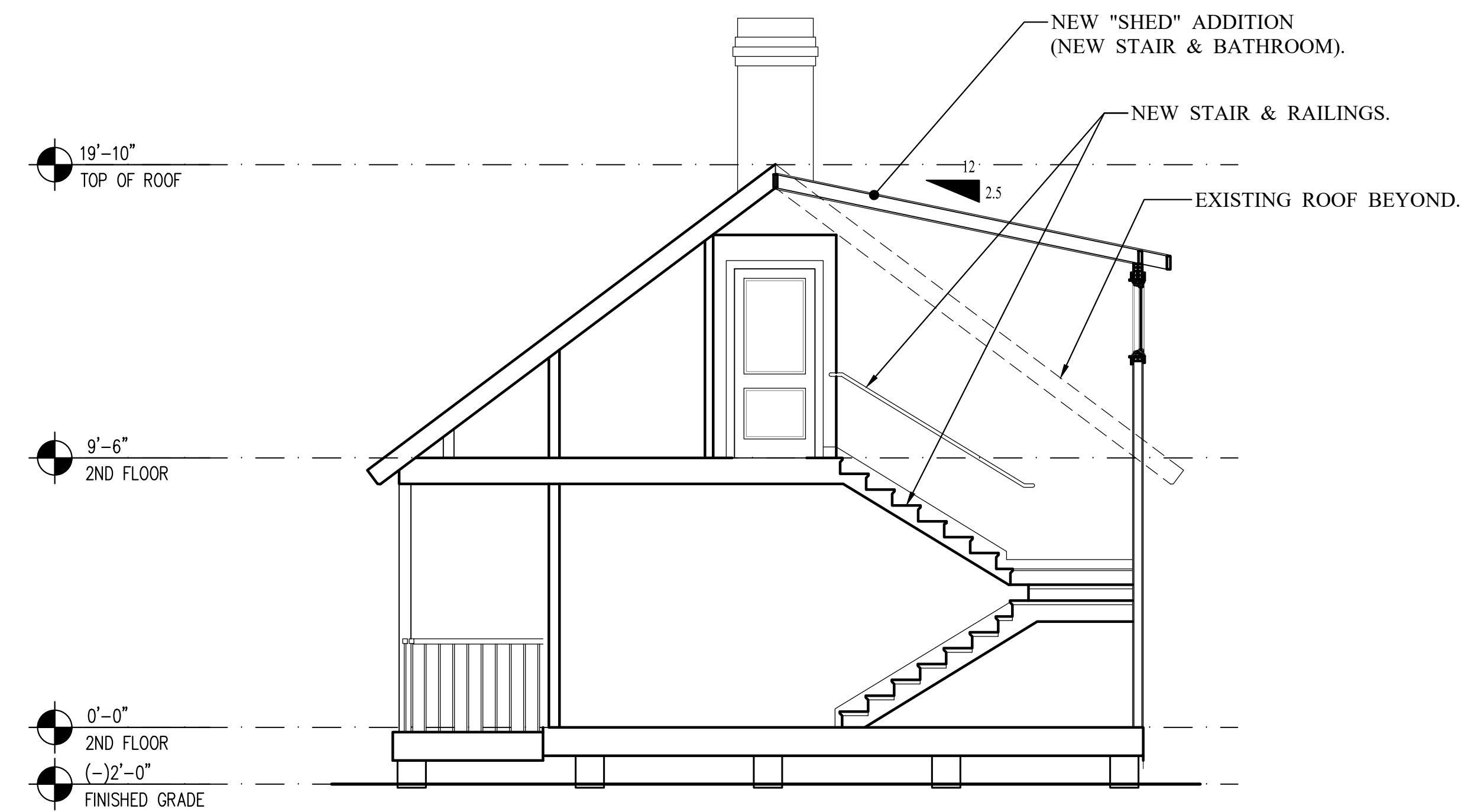
MODIFIED BUILDING SECTION "C"
SCALE: 1/4" = 1'-0"



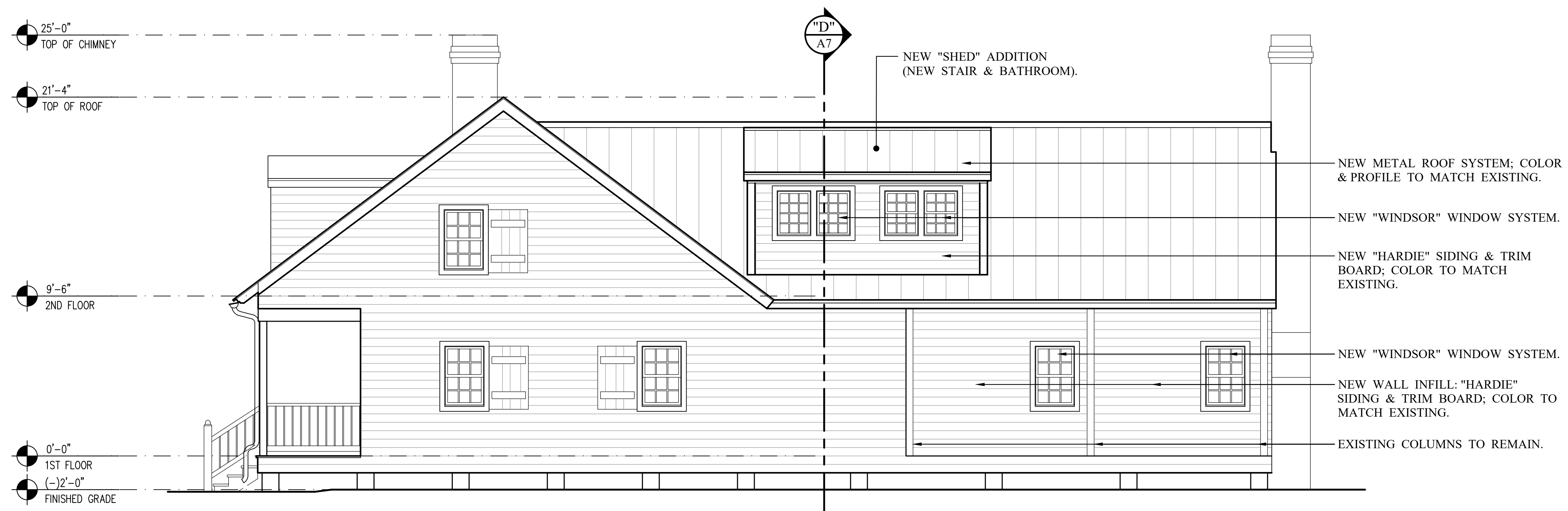
MODIFIED EAST ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



MODIFIED SOUTH ELEVATION (REAR YARD)
SCALE: 1/4" = 1'-0"



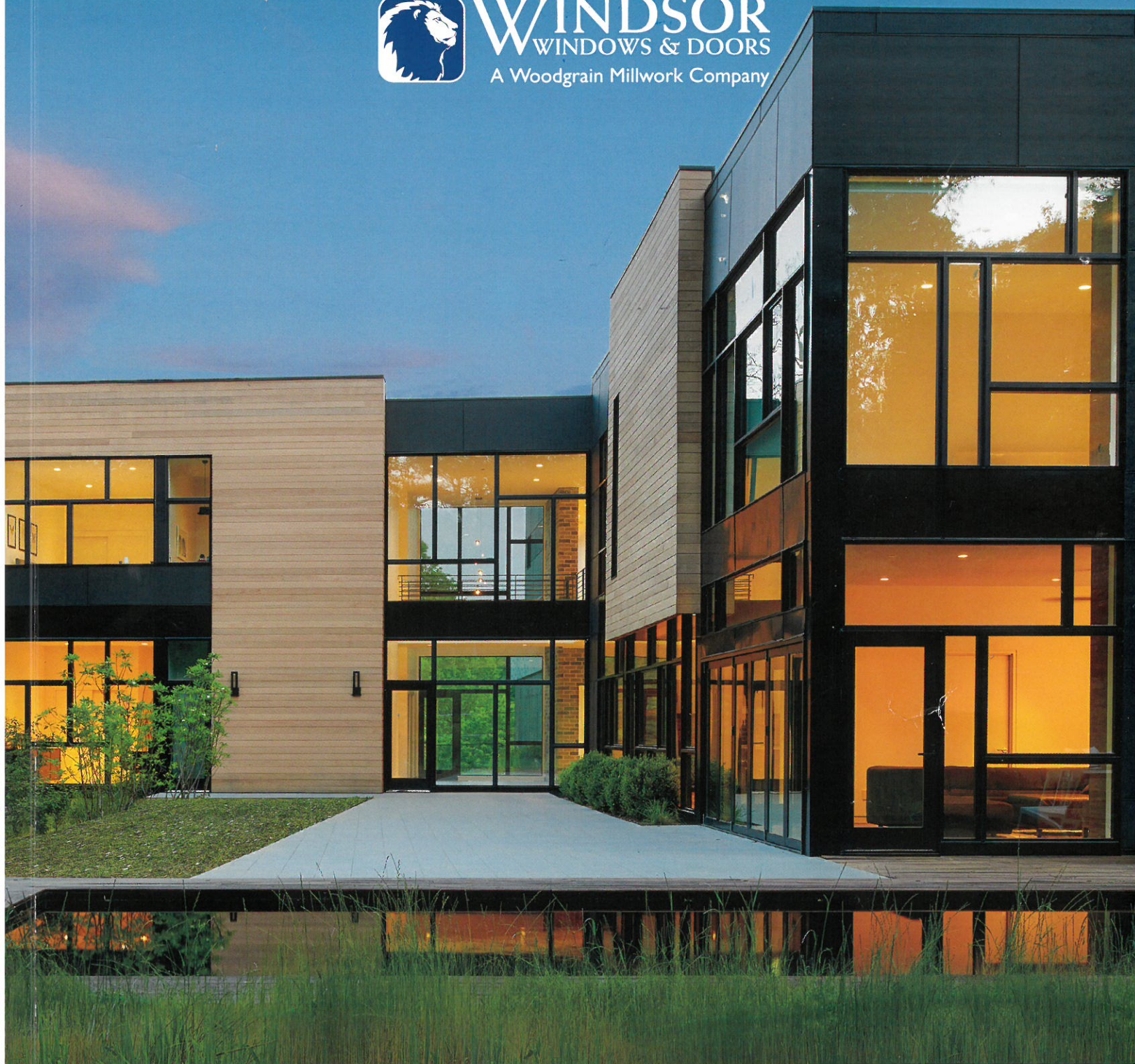
MODIFIED BUILDING SECTION "D"
SCALE: 1/4" = 1'-0"



MODIFIED WEST ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



WINDSOR
WINDOWS & DOORS
A Woodgrain Millwork Company



PINNACLE

WOOD CLAD AND PRIMED WINDOWS & DOORS

www.windsorwindows.com

The Wonders of Wood

Strength and beauty shine through in Windsor's Pinnacle products. We use only the finest pine, alder and fir so you can create only the finest homes. The many sizes and shapes available allow you to make a statement – from contemporary looks to classic lines.

No matter what design you have in mind, Windsor allows you to achieve it in style. With each Pinnacle product, you get the rugged durability and traditional appeal of real wood.

See What Sets Pinnacle Apart

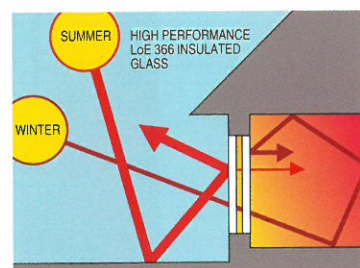
[1] PREMIUM WOOD CONSTRUCTION Natural wood serves as one of the most energy efficient materials available. Windsor uses only the finest wood interiors of Clear Select Pine, Natural Alder or Douglas Fir.

[2] CARDINAL® LoE 366 GLASS Windsor products feature LoE 366 glass with a coating that alters the way glass transmits visible and invisible light. LoE 366 decreases heat loss in the winter and heat gain in the summer. Reduced ultraviolet light penetration also helps prevent your furniture, drapes and carpet from fading.

A triple-glazed IG option is available for Pinnacle Select and Pinnacle clad direct set and radius units. Triple IG consists of 1-1/4" OA thickness and two LoE coatings.

The LoE 366 coating on surface #2 and the LoE 180 coating on surface #5 provides superior U-value thermal performance.

[3] EXTRUDED ALUMINUM We use only heavy-duty .050 extruded aluminum cladding, versus thin roll form aluminum. It is sturdier and more resistant to exterior damage, including dents and chips. The powder coat used in our paint application is the extremely durable 2604 finish. The 2605 finish is available when your project requires an even stronger defense against the elements. All Pinnacle clad and Select casement and awning products feature a thermally-broken frame for improved efficiency.



Custom Creations

Finishing touches to perfect your vision. Windsor does more than just create durable, high-performance windows and doors. We pay attention to every detail and offer a wide array of options and finishes to match any décor. Flashy and eye-catching or simple and understated, our hardware, finishes, grille options, cladding colors, glass options and trim options complete the perfect window and door package.

See the difference paint can make. Windsor's in-house powder paint application can help you make a statement with your windows and doors. Choose from over 40 shades in our standard and feature color palettes, or make it truly unique with custom color matching. All paints are protected with the highly durable 2604 finish, or you can upgrade to 2605 for even stronger defense against the elements.¹

Standard Clad Colors



Feature Clad Colors

Custom color matching is also available.

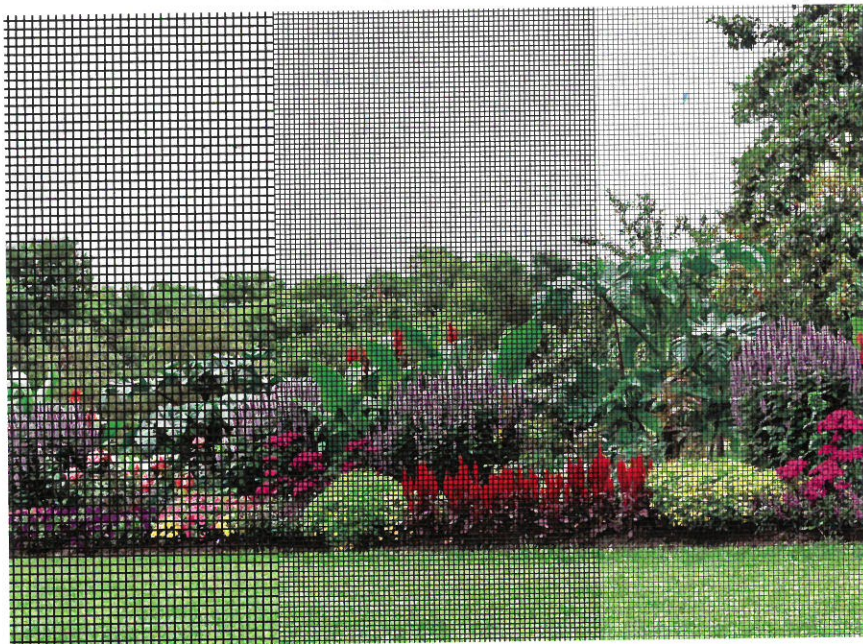


¹2604 finish backed by a 20-year* warranty; 2605 finish backed by a 30-year* warranty; applications within one mile of the coast carry a 10-year warranty. For specific warranty details, please refer to the warranty document posted on our website, www.windsorwindows.com.



Screens

All exterior-applied screens for Pinnacle double hung, glide-by and patio doors come with screen frames matching the clad color of the unit. Interior-applied screens for Pinnacle casement and awning windows have screen frames available in champagne, white, bronze, black, wood-veneered pine, wood-veneered alder or wood-veneered fir.



Conventional Screen Mesh

BetterVue® (Standard)

UltraVue®

Grilles

All of our wood and cellular PVC (CPVC) Windsor Divided Lite bars are hand-fitted to ensure a perfect fit.



7/8" & 1-1/4"
Perimeter Grille



7/8" & 1-1/4"
Stick Grille



3/4" & 1"
Profiled Inner Grille



13/16" Flat Inner Grille
(Not available on Select)



7/8" & 1-1/4"
Interior Wood
Windsor Divided Lite



7/8" & 1-1/4"
Exterior Clad
Windsor Divided Lite



7/8" & 1-1/4"
Exterior CPVC
Windsor Divided Lite
(Primed only)



5/8" & 7/8" Tall Putty
Windsor Divided Lite



5/8" & 7/8" Short Putty
Windsor Divided Lite



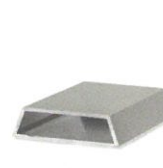
1/4" Ogee



5/8", 7/8", 1-1/4" & 2"
Contemporary Windsor
Divided Lite



5/8", 7/8", 1-1/4" & 2"
Contemporary Windsor
Divided Lite



2" Tall Putty
Simulated Check Rail



2" Exterior Low Profile
Simulated Check Rail



2" CPVC Simulated
Check Rail (Primed only)

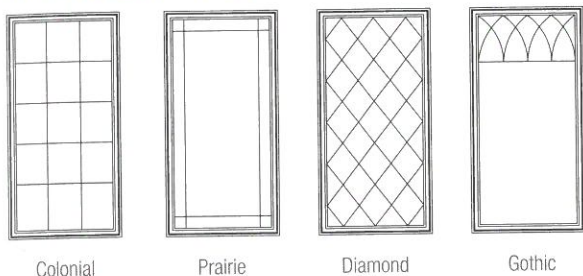


3-3/8"
Simulated Mid Rail

Grille Patterns

Some grille patterns are not available in all configurations and products.

Casement and Awning Grille Patterns



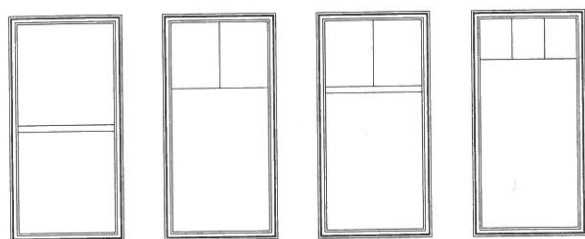
Colonial

Prairie

Diamond

Gothic

Casement and Awning Grille Patterns



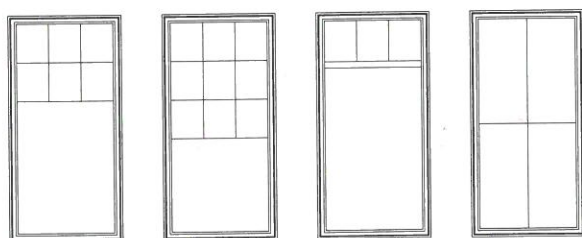
Simulated
Check Rail

Custom Plaza

Custom Plaza
with 2" Bar

Single Plaza

Casement and Awning Grille Patterns



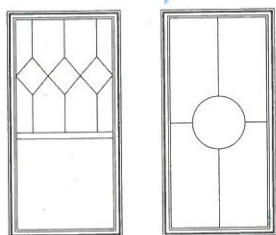
Double Plaza

Triple Plaza

Plaza with
2" Bar

Specified
Equal Lite
(2x2 shown)

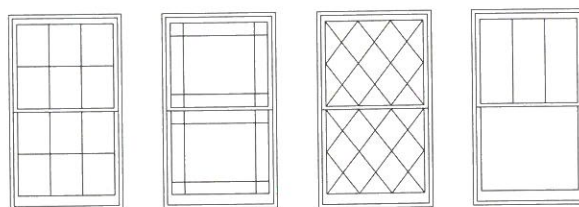
Casement and Awning Grille Patterns



Custom Pattern
(Example)

Custom Pattern
(Example)

Double Hung Grille Patterns



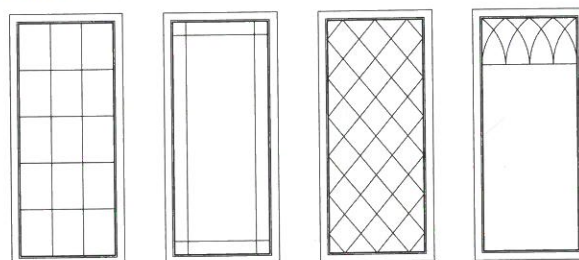
Colonial

Prairie

Diamond

Plaza

Patio Door Grille Patterns



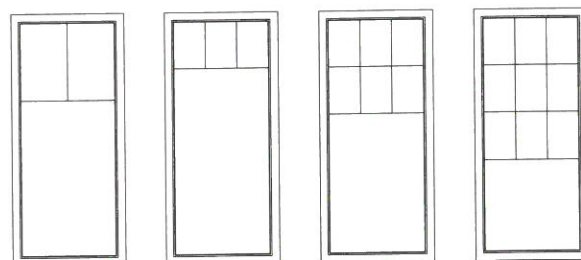
Colonial

Prairie

Diamond

Gothic

Patio Door Grille Patterns



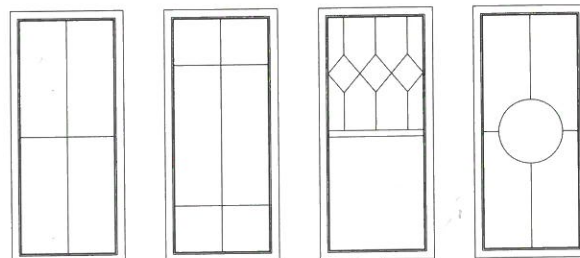
Custom Plaza

Single Plaza

Double Plaza

Triple Plaza

Patio Door Grille Patterns



Specified
Equal Lite
(2x2 shown)

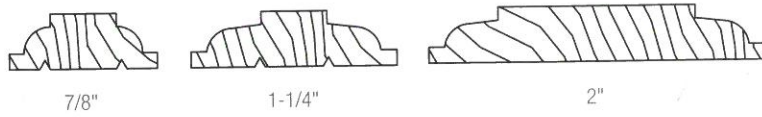
Custom Pattern
(Example)

Custom Pattern
(Example)

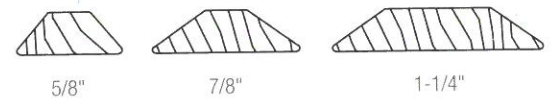
Custom Pattern
(Example)

Grille Profiles

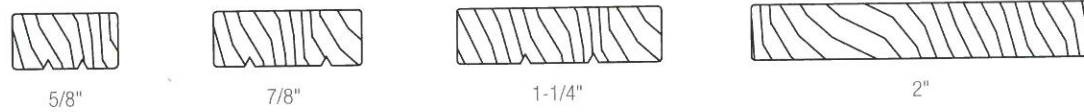
Interior Grilles – Ogee



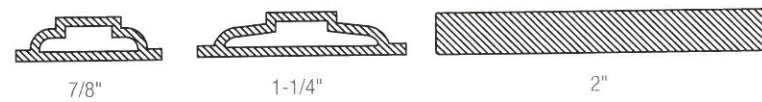
Interior Grilles – Putty



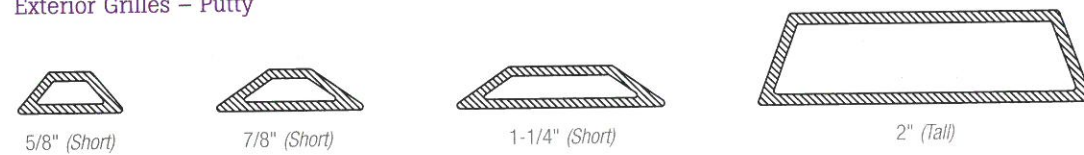
Interior Grilles – Contemporary



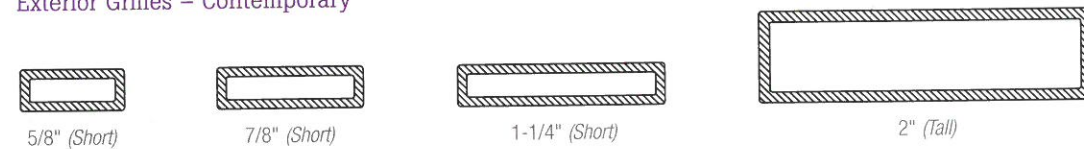
Exterior Grilles – Ogee



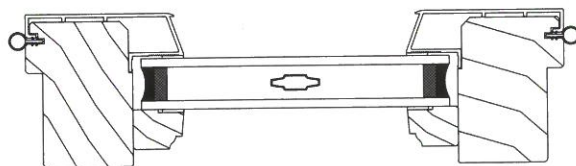
Exterior Grilles – Putty



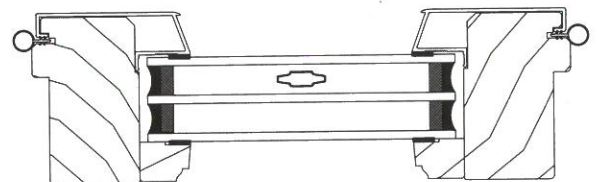
Exterior Grilles – Contemporary



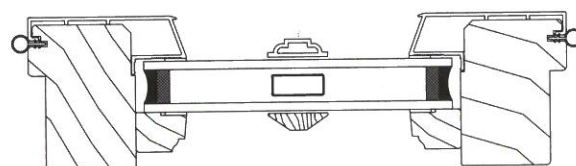
Grille Sections



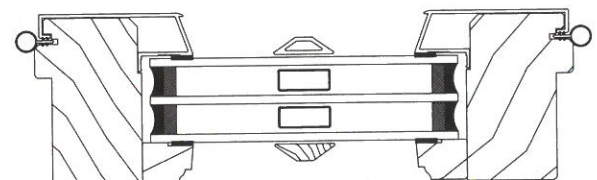
Standard Select IG with Inner Grille



Triple IG with Inner Grille



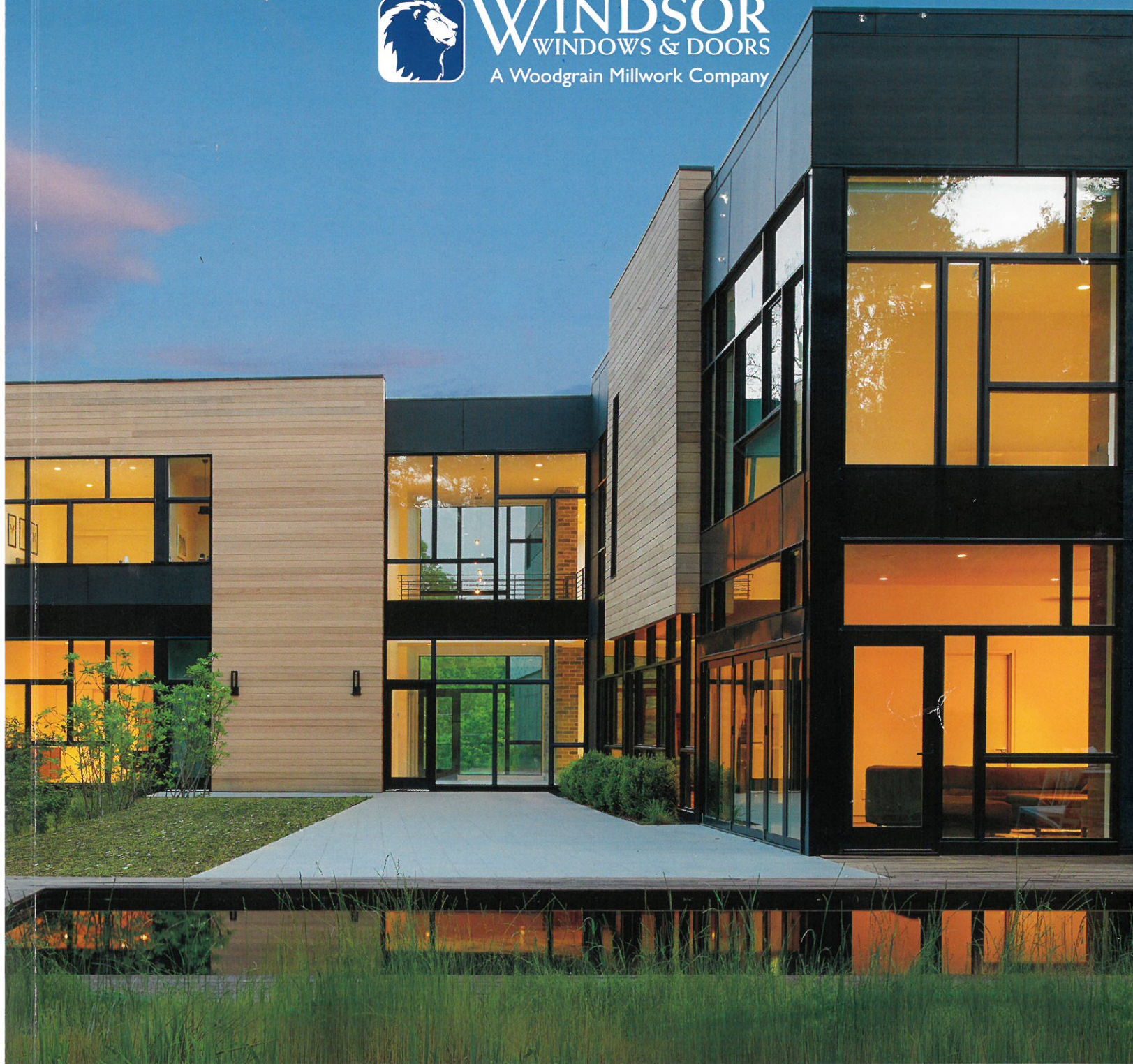
Standard Select IG with WDL
and Inner Bar



Triple IG with WDL
and Inner Bar



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A Woodgrain Millwork Company



PINNACLE

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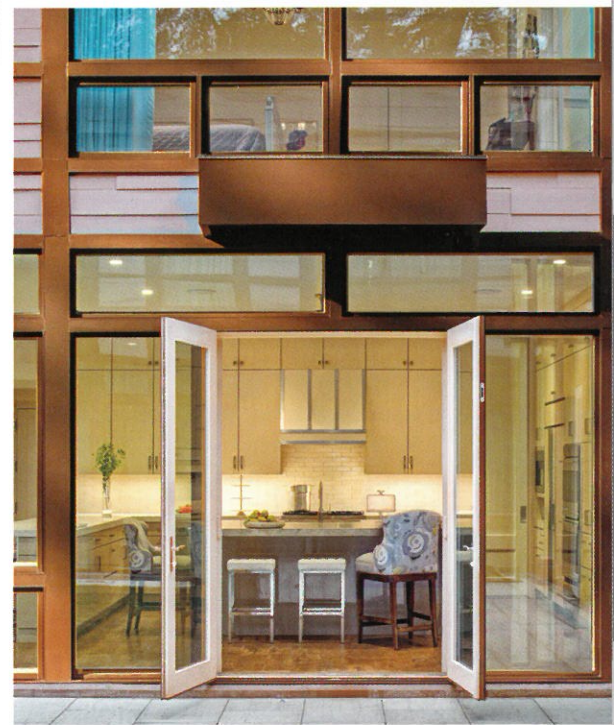
www.windsorwindows.com



Swinging Patio Doors

The highlight of a house. Your patio is an extension of your home, and your home is an extension of yourself and your style. That's why at Windsor we offer you several options for our Pinnacle swinging patio doors. Choose from in-swing or out-swing models. Add architectural interest to any project by choosing a curved seg-top patio door. Select one panel to operate or two panels. Include up to four panels in one frame. For safety, we can install multi-point locking hardware – for style, we can accent your doors with a customized transom, radius or sidelites. A complement to any home's décor, Windsor's beautifully crafted 1/2 and 3/4 lite panel doors are available in the finest wood interior finishes and offer more customizable features with split panel or flat panel options. The design options continue, with over 50 different exterior clad colors and finishes, several hardware styles, multiple hardware finishes and numerous grille options.

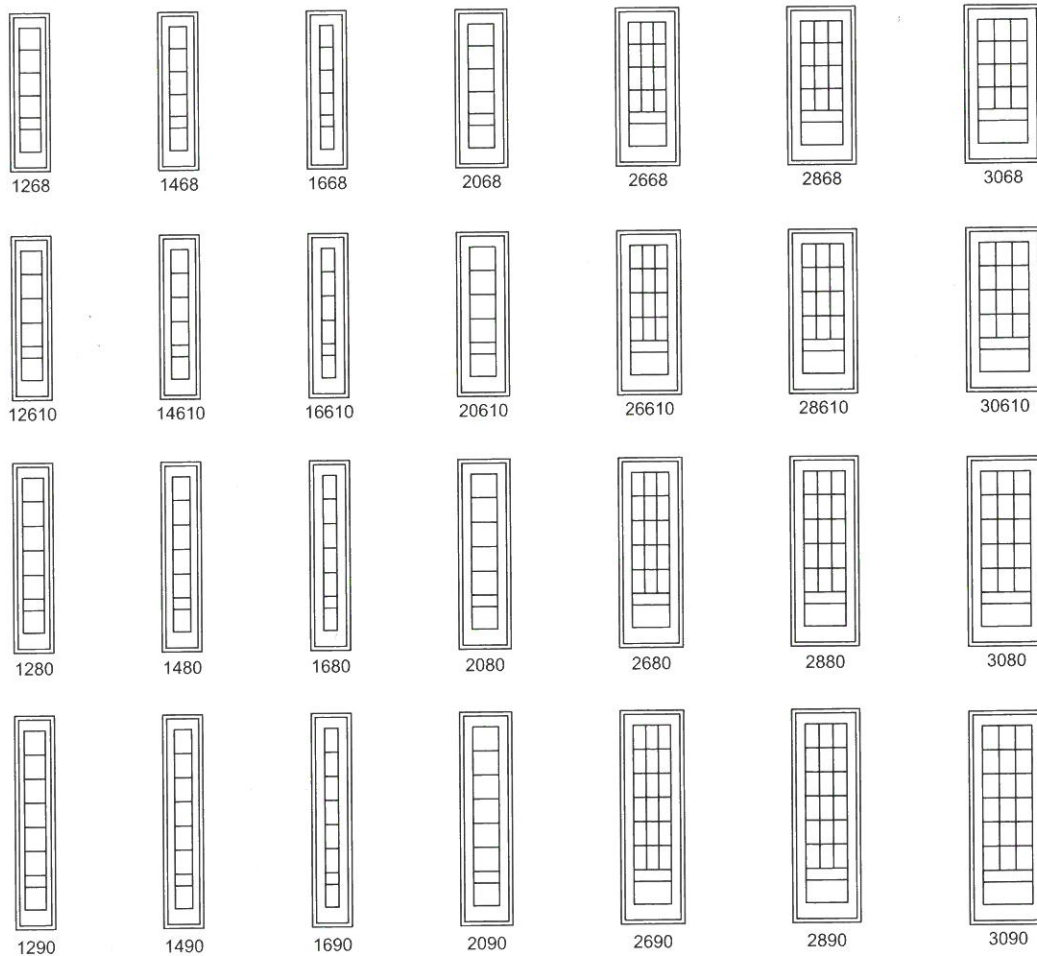
NOTE: Primed in-swing patio doors come standard with cellular PVC exterior trim.



PINNACLE DIRECT SET WINDOWS AND OUT-SWING NARROW STILE PATIO DOOR. Washington, D.C.

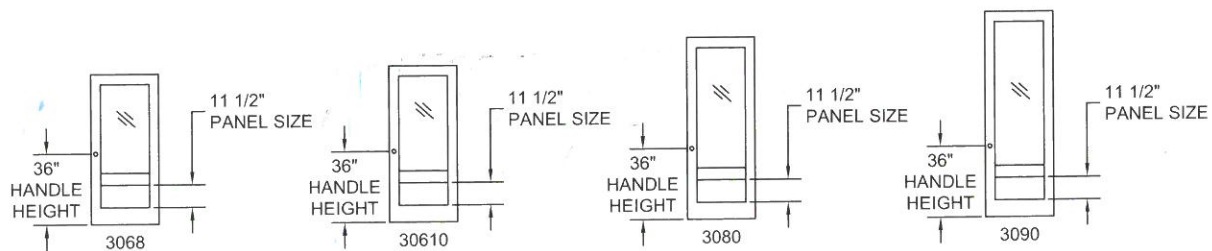
Pinnacle

3/4 Lite Panel Doors



Pinnacle

Panel Height & Midrail Locations



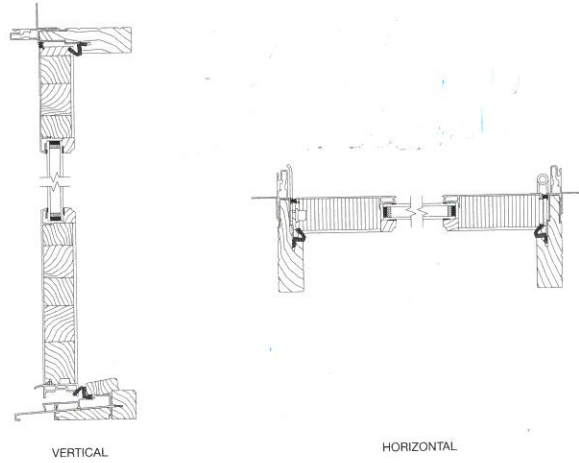
Door handing is determined while standing on the **OUTSIDE** of the door.
Left hand door: Hinges are on the left. **Right hand door:** Hinges are on the right.

All sizes and specifications subject to change without notice.

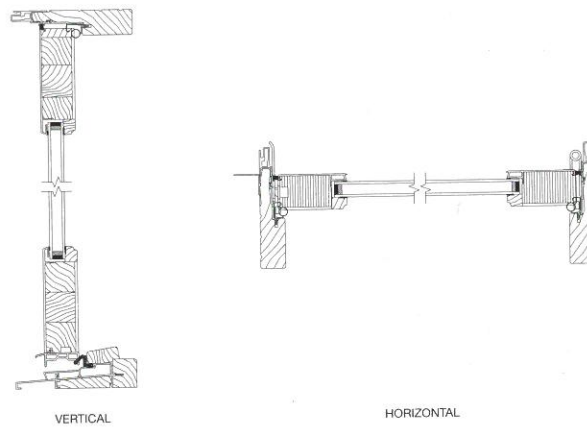
Pinnacle Out-swing Patio Doors

Technical Drawings

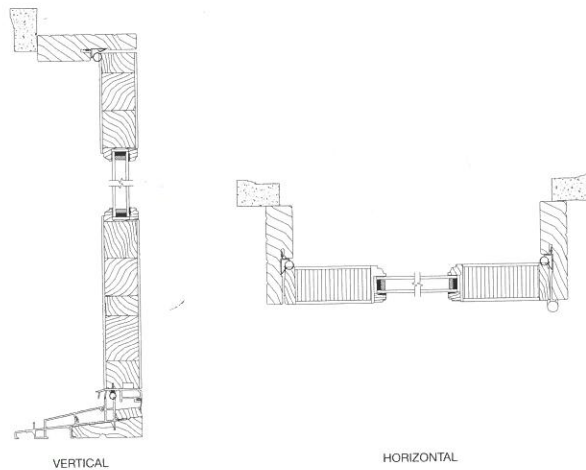
Pinnacle Clad Out-swing Patio Door



Pinnacle Clad Narrow Out-swing Patio Door



Pinnacle Primed In-swing Patio Door



All sizes and specifications subject to change without notice.

Custom Creations

Finishing touches to perfect your vision. Windsor does more than just create durable, high-performance windows and doors. We pay attention to every detail and offer a wide array of options and finishes to match any décor. Flashy and eye-catching or simple and understated, our hardware, finishes, grille options, cladding colors, glass options and trim options complete the perfect window and door package.

See the difference paint can make. Windsor's in-house powder paint application can help you make a statement with your windows and doors. Choose from over 40 shades in our standard and feature color palettes, or make it truly unique with custom color matching. All paints are protected with the highly durable 2604 finish, or you can upgrade to 2605 for even stronger defense against the elements.¹

Standard Clad Colors



Feature Clad Colors

Custom color matching is also available.



¹2604 finish backed by a 20-year* warranty; 2605 finish backed by a 30-year* warranty; applications within one mile of the coast carry a 10-year warranty. For specific warranty details, please refer to the complete warranty document posted on our website, www.windsorwindows.com.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00291

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 5
220 W. Gadsden Street
North Hill Preservation District / Zone PR-2
New Construction

BACKGROUND:

Jim Veal is requesting *final* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. This project received conceptual approval in February 2020 and revisions have been made according to the Board's input. The proposed home will have a large front porch, hipped roof and access to an attached two-car garage. The architectural design is meant to blend with the neighborhood and with the future residences to the west. Exterior materials include Hardie lap siding and trim, vinyl windows with divided lights, clad doors, a sloped concrete porch deck, and architectural shingles.

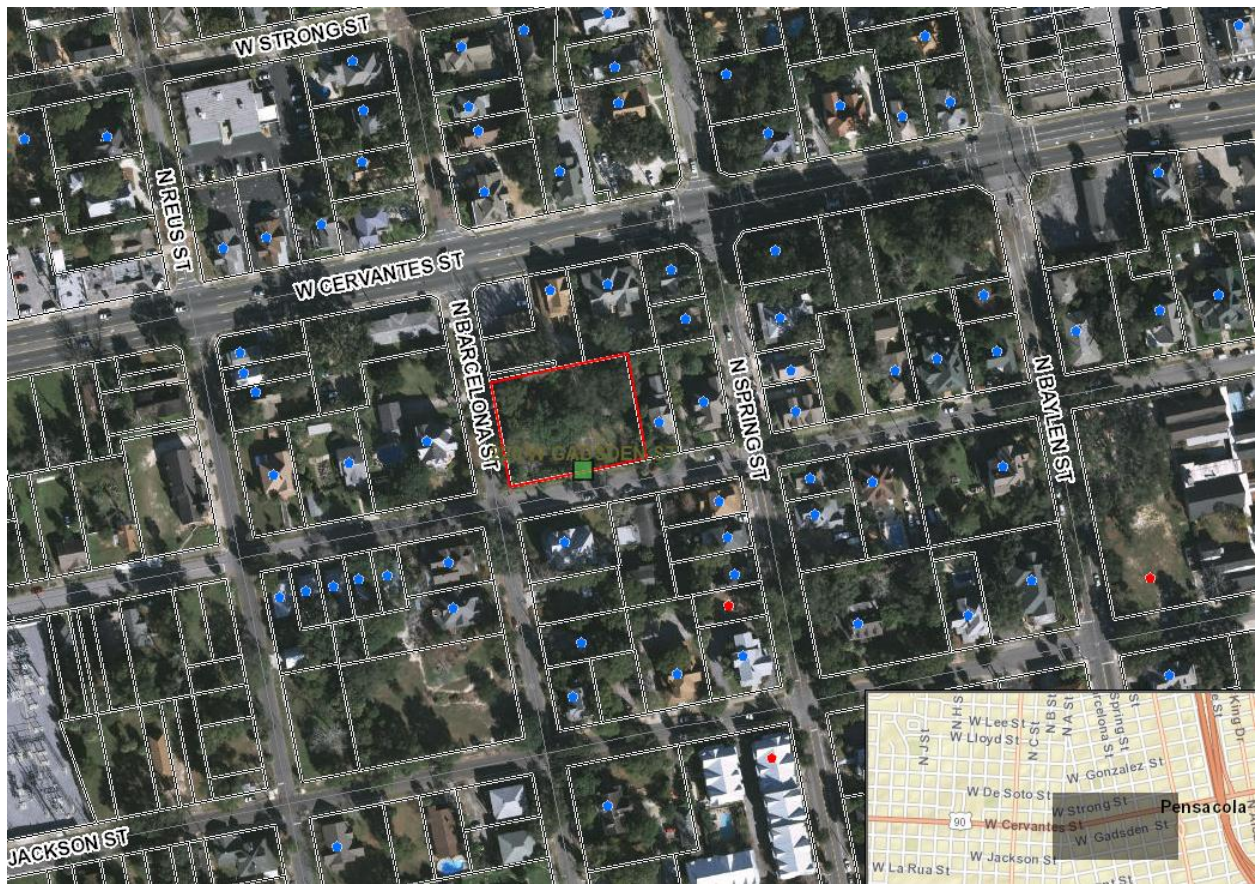
This packet includes conceptual elections from February 2020, comments on the final design by Board Member Mead and Crawford, and then the applicant's packet for review.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction*

220 W. Gadsden Street





MINUTES OF THE ARCHITECTURAL REVIEW BOARD

February 20, 2020

Item 5

220 W. Gadsden Street

NHPD

New Construction

PR-2

Action taken: Conceptual Approved with comments.

Jim Veal is requesting *CONCEPTUAL* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. The southwest parcel received final approval for a single family residence in July 2019.

Mr. Veal presented to the Board and stated the owners desired to build on the east side of the property, and the other two parcels were for sale. Chairperson Quina asked about the eave height, and Mr. Veal indicated it was commensurate with the 10' ceilings. He explained the owner's goals were the same for wind mitigation. He also stated the fireplace would be wood and noted other wood chimneys such as 315 W. Jackson. He advised the product submission showed composite materials, and they intended to follow through with those.

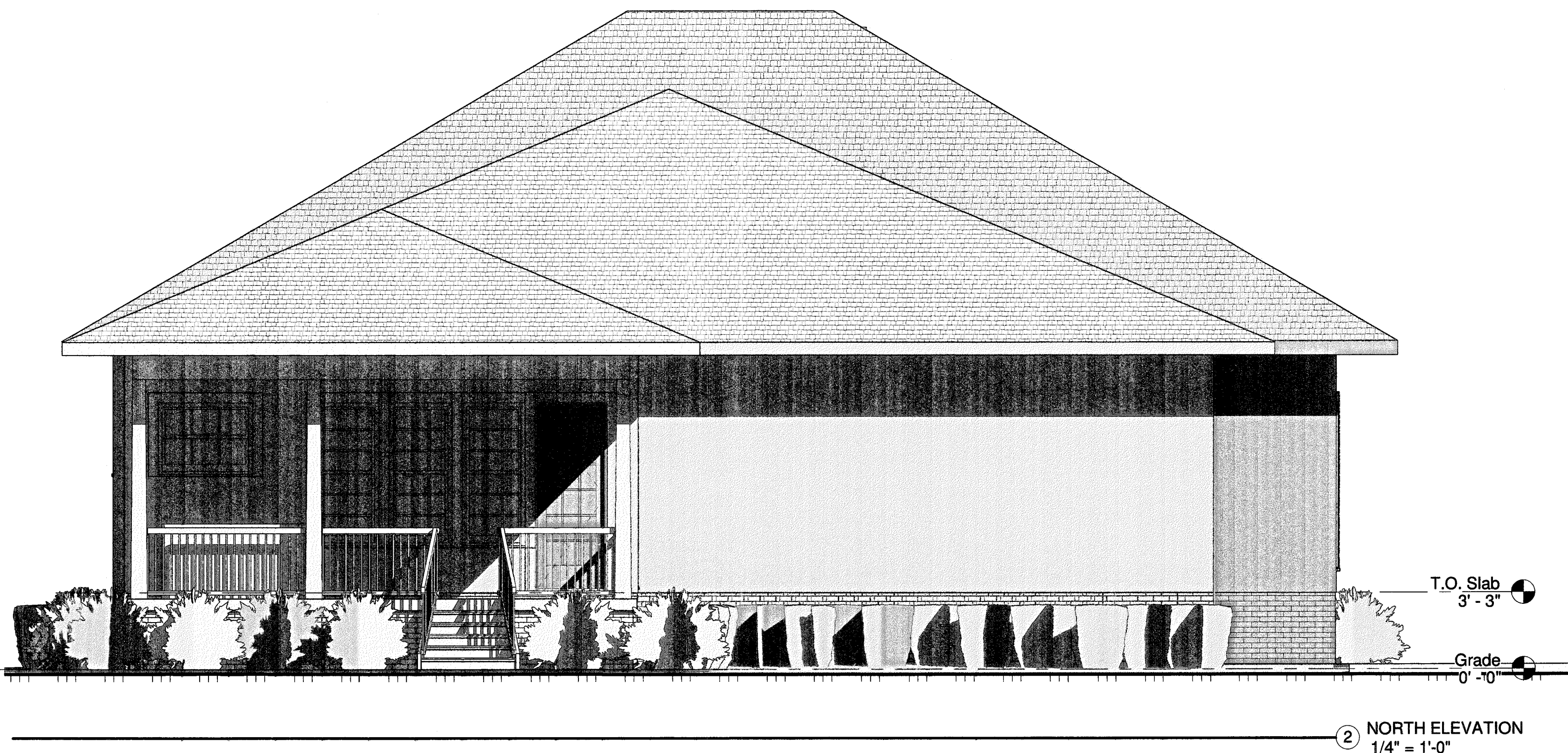
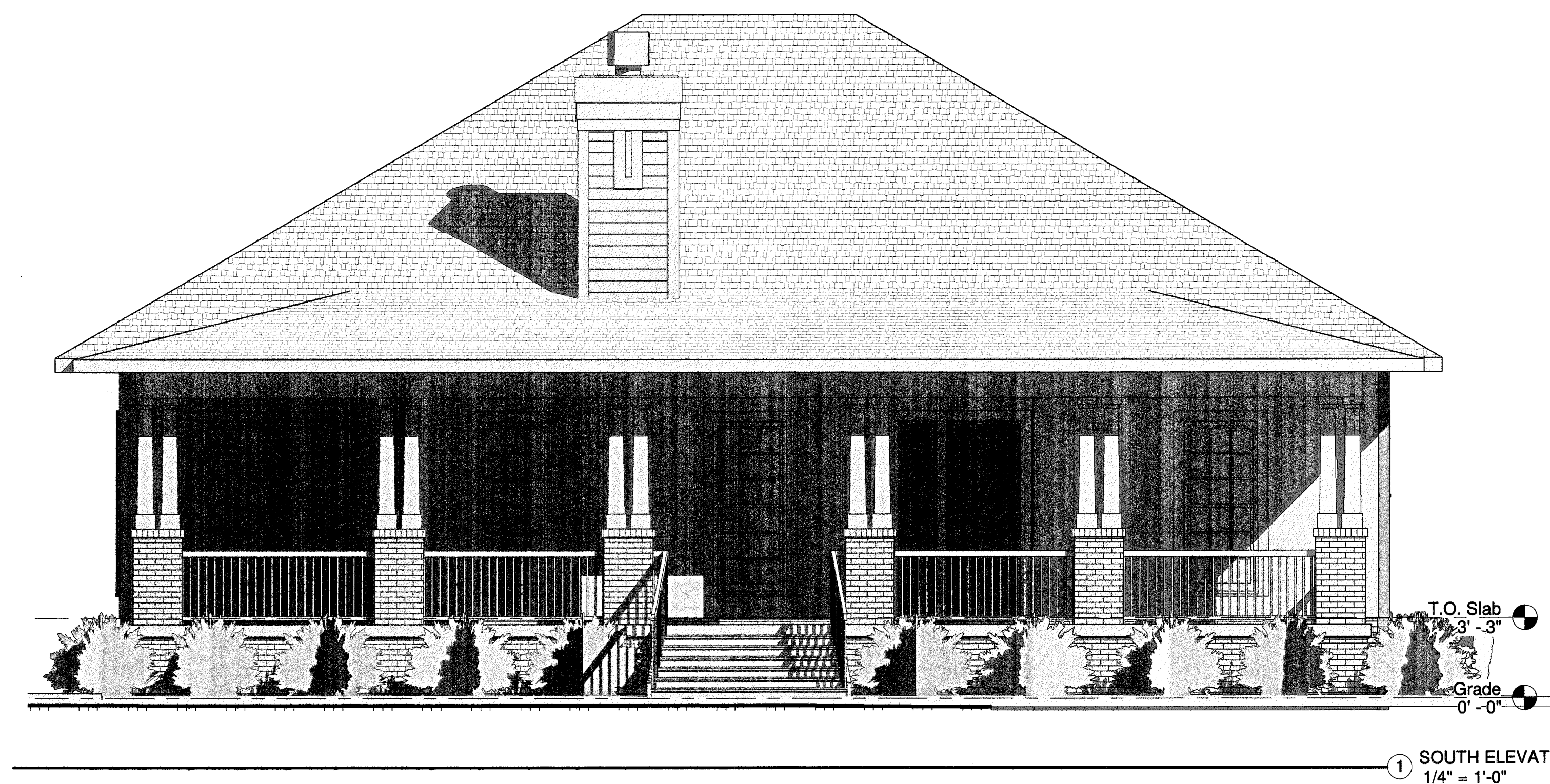
Board Member Mead was concerned with the roof and fireplace placement since this had more of a cottage style, and he felt this was the wrong roof for that; the placement of the fireplace and displacement of the front entrance door, and the placement of the fireplace and chimney created a problem. Mr. Veal stated with respect to the design of the home, the fireplaces were in the most desirable locations. He pointed out every house in the neighborhood brings a unique feature where they all blend together. Board Member Mead suggested the chimney and fireplace would look better if pushed to the corner of the house rather than on the front porch and would give a better roof line.

Board Member Villegas thought the chimney stood out because they were not getting the feel of the lap siding in the renderings, and she felt it looked odd. Mr. Veal stated in order to build the chimney in brick presented several structural challenges, and economically it would be a real hit to the budget, but they would be open to exploring a plastered look. Board Member Villegas offered it would be a cheaper solution and appreciated that a masonry chimney could cost \$20,000, but it addressed what's around it. Mr. Pristera asked if this was an actual wood burning fireplace, and Mr. Veal advised it was. Mr. Pristera asked if they explored a different type of flue, and Mr. Veal stated that nobody made a vent less wood burning fireplace.

Board Member Salter asked if they had thought to bring the brick skirting up to the level of the column base, continuing it around which would make the column base more consistent; Mr. Veal advised the skirt would be taller at the rear by approximately 4' above grade. Board Member Villegas asked why the porches were not connected, and Mr. Veal stated

they were connected, and there was a security feature to prevent someone from entering the side porch. Board Member Fogarty asked about the rear windows, and Mr. Veal advised their intent was to have a window on the north wall; there had also been an effort to not impact the trees. **Board Member Mead made a motion for conceptual approval with the following changes as options: 1) Breaking the symmetry of a very symmetrical aspect with a slightly asymmetrical chimney was jarring and suggested moving it to the side wall and move the entrance way commensurate with the front door to the next bay, then the two asymmetries offset each other which gives a more pleasing composition for the overall front of the house; 2) Roofline needs to be broken up with some feature or brought lower; 3) The addition of some sort of fenestration at the back wall of the garage. Board Member Salter seconded the motion, and with no audience speakers, it carried unanimously.**

February 2020 Submission



DATE:
01-02-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295, jv@jvealarchitect.com
AL 32636

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

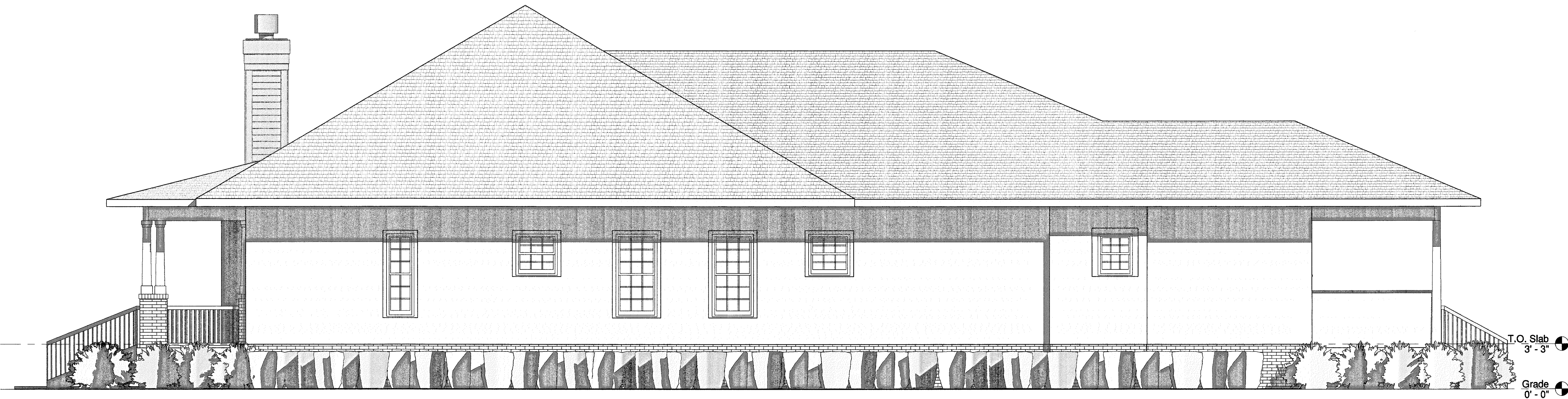
PRELIMINARY
NOT FOR
CONSTRUCTION
© 2019 J. VEAL, ARCHITECT

DRAWN BY:

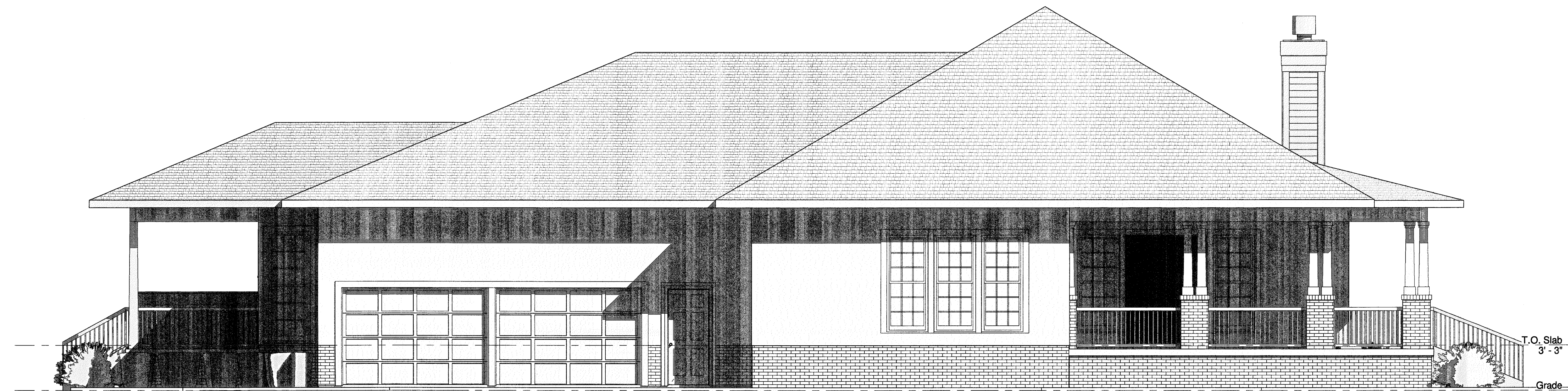
A-3
OF

DN

February 2020 Submission



③ EAST ELEVATION
1/4" = 1'-0"



④ WEST ELEVATION
1/4" = 1'-0"

DATE:
01-02-20

JVA
J. VEAL, ARCHITECT
1-850-450-5295 jv@jvealarchitect.com
AL 32656

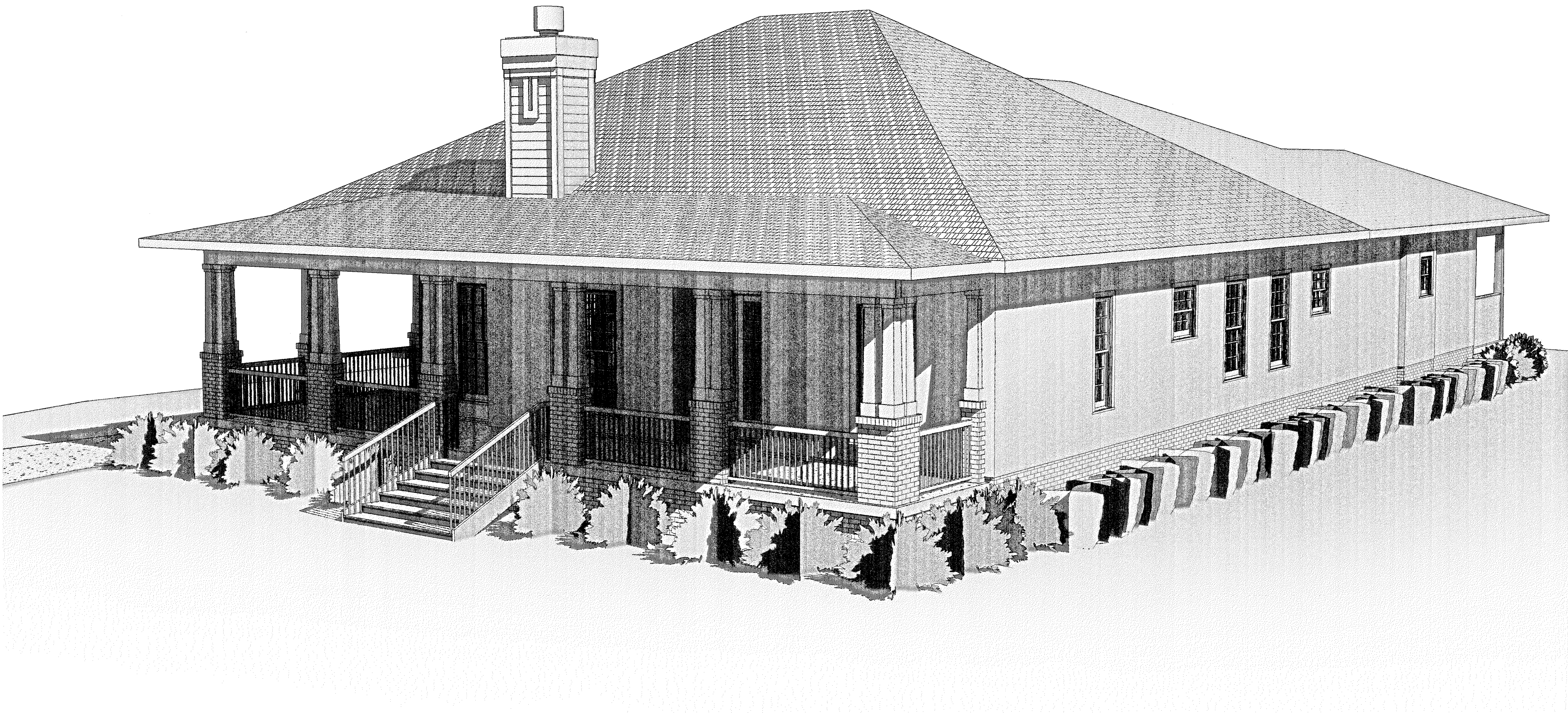
A NEW HOUSE
PRELIMINARY
NOT FOR CONSTRUCTION
© 2019 J. VEAL ARCHITECT
HOLMES HOUSE
PENSACOLA, FLORIDA

DRAWN BY:

A-4
OF

DN

February 2020 Submission



① SOUTHEAST PERSPECTIVE

JVA
J. VEAL, ARCHITECT
1-850-450-5295 JV@jvealarchitect.com
AL 32636

A NEW HOUSE
PRELIMINARY
NOT FOR
CONSTRUCTION
© 2018 J. VEAL, ARCHITECT
HOLMES HOUSE
PENSACOLA, FLORIDA

DRAWN BY:
A-5
OF
DN



City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Abbreviated Review**

Application Date: 03-26-20

Project Address: 220 West Gadsden St

Applicant: J.Veal, Architect

Applicant's Address: 627 Bayshore Drive

Email: jv@jvealarchitect.com **Phone:** 850-450-3295

Property Owner: Bob Holmes

(If different from Applicant)

District: PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

There is a \$25 Application Fee for the following project types:

- ☐ Change of Paint Color(s) Body: CHANGE TO CONCEPTUAL APPROVAL ONLY*
Trim: THIS ABBREVIATED REVIEW IS NOT FOR
Accent: FINAL APPROVAL OR FINAL CHANGES
- ☐ New/Replacement Sign(s) Sign Type: GM
Dimensions: _____
Colors: _____
- ☒ Minor Deviation to an Approved Project / Change of Roofing Material Description: Moved Fr Steps & change to brick, change FR handrails, add garage windows, change chimney to smooth, lower roof slope

CONCEPTUAL

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

[Signature]
ARB Secretary Signature

3/30/2020
Date

This request was reviewed and approved by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

Comments: _____

UWFHT Representative Signature / Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Gregg Harding

From: Michael Crawford <michael@caldwell-assoc.com>
Sent: Thursday, April 2, 2020 9:37 AM
To: Gregg Harding
Subject: RE: 220 W. Gadsden Street / Abbreviated Review - Conceptual changes reviewed by E. Meade

I take no objections to the general direction, but don't think an abbreviated review is appropriate for this.

Michael W. Crawford, Partner

CALDWELL
ASSOCIATES | ARCHITECTS

From: Gregg Harding <GHarding@cityofpensacola.com>
Sent: Thursday, April 2, 2020 9:05 AM
To: Michael Crawford <michael@caldwell-assoc.com>
Subject: 220 W. Gadsden Street / Abbreviated Review - Conceptual changes reviewed by E. Meade

Good morning Michael,

Please see the attached Abbreviated Review for design changes to the **conceptually** approved plans for the eastern most parcel of 220 W. Gadsden Street (Jim Veal's submission at the February 2020 meeting). Jim has provide revised elevations and has also provided an itemized list of changes. We do not typically do abbreviated reviews for conceptual plans. However, I believe that Jim and his client wanted to make sure that they were on the right track to move forward. Approval by the abbreviated review panel would show that Jim has taken steps to incorporate the Board's input in anticipation for a future final review. This is for conceptual purposes only and is not considered to be a review for final approval. Since Jim has discussed this project at length with Erick, I asked that he review this as well. His approval via email is included in the packet. I suspect that Jim will submit his plans for final review at the May meeting since April is canceled.

Please let me know if you have any questions or if additional information is needed. Thank you very much for your time!

I hope that you are doing well and staying safe!

Best,

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

gharding@cityofpensacola.com



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Gregg Harding

From: Erick Mead <emead@mhw-law.com>
Sent: Tuesday, March 31, 2020 9:35 AM
To: Gregg Harding
Cc: Leslie Statler
Subject: RE: 220 W. Gadsden Street / Abbreviated Review - Changes to Conceptual Approval

Thanks Gregg.

I was circumspect in my comments as I wanted not to intrude on abbreviated review.

From my standpoint, the changes have ably addressed the massing concerns I had with the roof proportions and the overall composition of the front façade, with a better balanced asymmetry between the chimney and steps as opposed vertical elements, opposed right and left.

Jim liked that “balanced asymmetry” term, so I’ll give him another one: “stable dynamic.” They aren’t paradoxical. FWIW, the upward chimney and downward steps of a similar scale and equivalent lateral offset position nevertheless prove a strong centering principle but quite differing in feel from formal symmetry. In sketch, it is a dynamically balanced form, illustrated in Asian symbols by a two-fold tomoe, or taijitu (yin-yang):



The surface materials and the column elements especially are also more complementary with one another in this final design.

Overall, the building is still its own design, but with a fair selection and arrangement of themes and elements fitting to the neighborhood.

Those are my thoughts on the revised submission. If you can come by the office this afternoon after about 1:00, I’ll be in and I can sign the pages or, if not, I can print them and sign them and send them to you.

George R. Mead, II
(Erick Mead)

Moore, Hill & Westmoreland, P.A.
Maritime Place | 350 West Cedar Street
Suite 100
Pensacola, Florida 32502
Post Office Box 13290 (32591)
Phone: (850) 434-3541
Fax: (850) 435-7899
www.mhw-law.com



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Gregg Harding

From: James Veal <jv@jvealarchitect.com>
Sent: Monday, March 30, 2020 5:17 PM
To: Erick Mead; Leslie Statler; Gregg Harding
Cc: Bob Holmes
Subject: [EXTERNAL] FW: Holmes Home
Attachments: Holmes - DD (20-03-30) color.pdf; Chimney Cap.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Eric
Hope all is well with you.

Please when you get a moment, take a look at the revised Holmes Package. As discussed, we have;

01. Lowered the roof slope as suggested. Seems to be an improvement.
02. Shifted the front step to align with the front door, slightly off center to the bay directly to the east of center. This location is aligned with the front door.
03. We will construct the front steps out of masonry as suggested.
04. We have change the handrail to conform with the product initially submitted. This incorporates the larger handrail section and larger baluster section. As stated this has always been the intent and is now reflected in the model.... A definite improvement.
05. As discussed, moving the chimney farther to the left, in our opinion is too far. The current location seem to provide the balance that has been discussed, especially in relationship to the new location of the front steps. re
06. We have lowered the height of the chimney and as discussed propose to use a smooth cement plaster finish with appropriate plaster trim details.
07. We also have sourced a chimney cap that is more suited to a period detail made by CopperCraft. See the attachment.
08. Window were intended to be in the north wall of the Garage and have been added to the model.

As a reminder this package is a revision of the package submitted for the conceptual review. It is our hope that yall find these revision sufficient for requested conceptual approval.

Respectfully,

j.veal, architect
627 Bayshore drive
pensacola, FL 32507
850-450-3295
jv@jvealarchitect.com

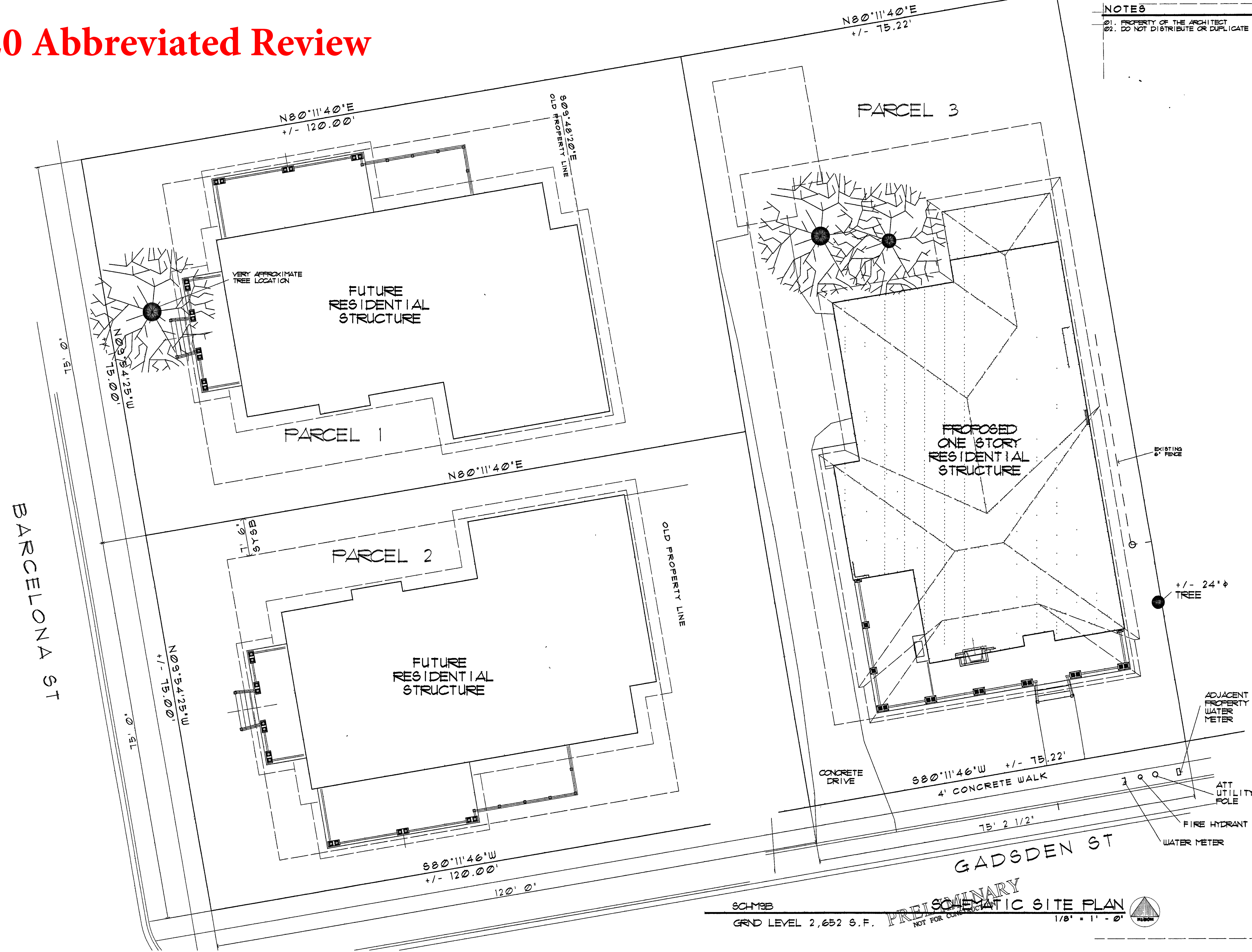
From: James Veal
Sent: Tuesday, March 17, 2020 1:20 PM
To: Erick Mead <emead@mhw-law.com>
Cc: Leslie Statler <LStatler@cityofpensacola.com>; Gregg Harding <GHarding@cityofpensacola.com>; Bob Holmes <rgh@haccpa.com>
Subject: Holmes Home

Eric

I have prepared a couple of sketches in response to your comments
Could we get together and discuss?

j.veal, architect
627 bayshore drive
pensacola, FL 32507
850-450-3295
jv@jvealarchitect.com

3/20 Abbreviated Review



NOTES
01. PROPERTY OF THE ARCHITECT
02. DO NOT DISTRIBUTE OR DUPLICATE

DATE:
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JVA
J. VEAL, ARCHITECT
507 RAYMOND DR. PENSACOLA, FL 32503
1-850-430-3330 NC #9566 FL #1955

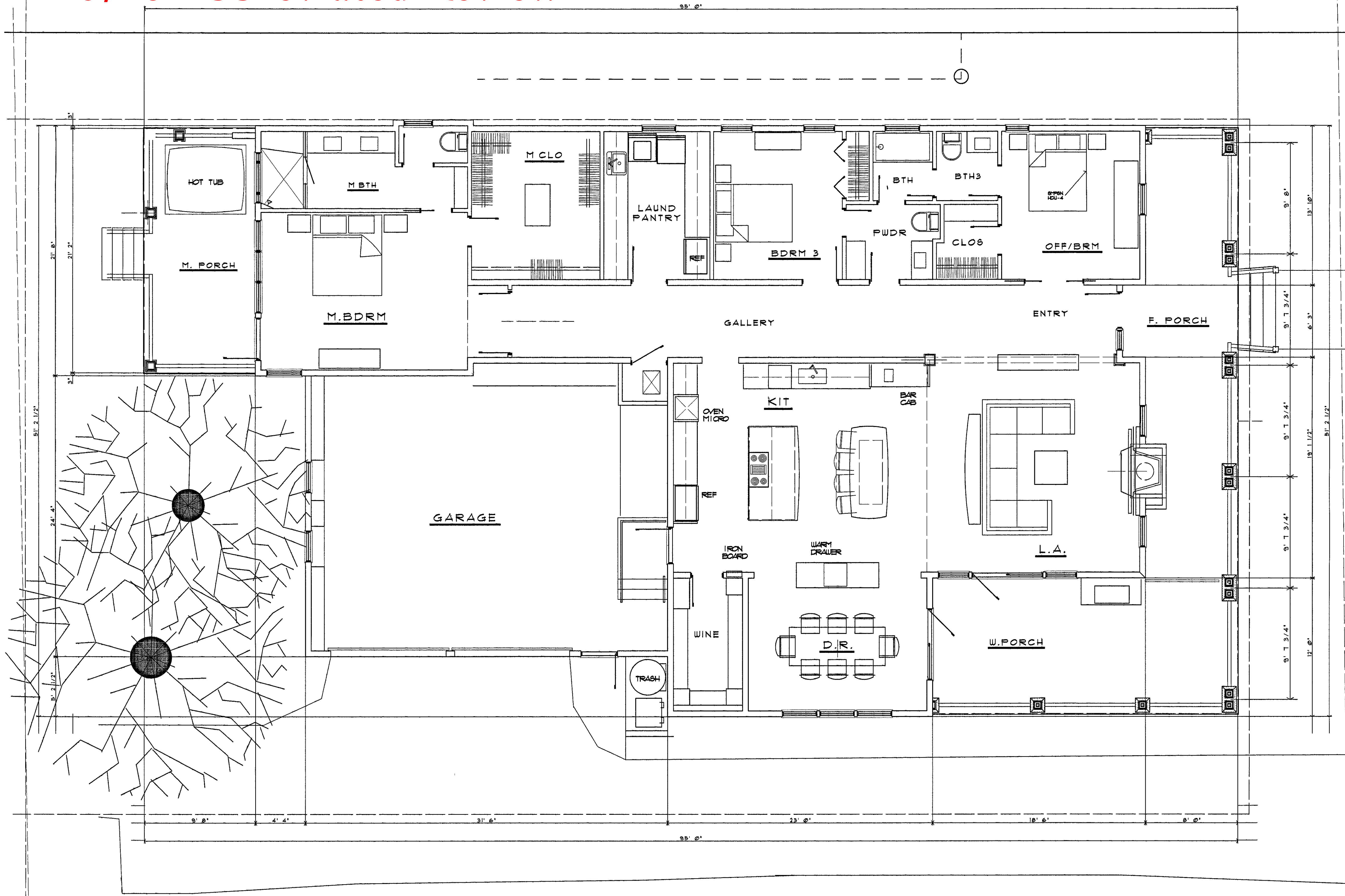
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SCH193B
GRD LEVEL 2,652 S.F.
PRELIMINARY SCHEMATIC SITE PLAN
1/8" = 1' - 0"

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- GENERAL PLAN NOTES
- 01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
 - 02. ALL EXTERIOR WALLS AND SELECTED INT. WALLS SHALL BE SHEATHED IN 5/8" CDX PLYWOOD, GLUED AND NAILED. LAY PLYWOOD HORIZONTAL AND SOLID BLOCK EDGES. PLYWOOD SHALL BE CONTINUOUS ACROSS FLR. TRUSSES AND TO BOTTOM OF RAFTER TAILS. SEE NAILING SCHEDULE.
 - 03. SEE SPECIFICATIONS, DIVISION ONE, FOR ALL ALLOWANCES AND ALTERNATE REQUIREMENTS.
 - 04. SEE SPECIFICATIONS, DIVISION EIGHT, FOR DOOR & WINDOW REQUIREMENTS.
 - 05. SEE SPECIFICATIONS, DIVISION SEVEN, FOR THERMAL INSULATION REQUIREMENTS.
 - 06. VERIFY SIZE REQUIREMENTS OF ALL MECHANICAL EQUIP. & DUCTWORK.
 - 07. VERIFY SIZE REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT.
 - 08. VERIFY SIZE ROUGH OPENINGS FOR ALL DOORS AND WINDOWS.
 - 09. EXTEND ALL FLOOR FINISHES UNDER CABINETS, APPLIANCES, DOOR FRAMES, ETC.
 - 10. SEE THE SITE PLAN FOR ADDITIONAL DRIVEWAY, WALKS, AND ALL OTHER SITE IMPROVEMENTS.

DATE:
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JVA
J. VEAL ARCHITECT
107 RAYMOND DR. FLEMING, FL 32007
1-877-440-3355
AL #22836 NC #9066 FL #19055

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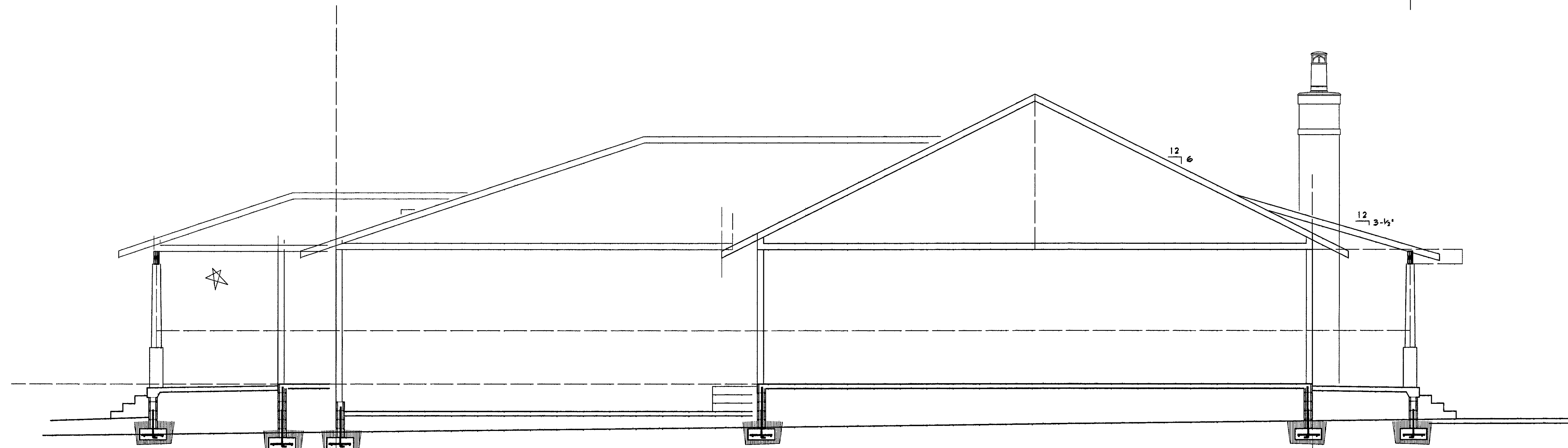
FLOOR PLAN
1/4" = 1'-0"

3/20 Abbreviated Review

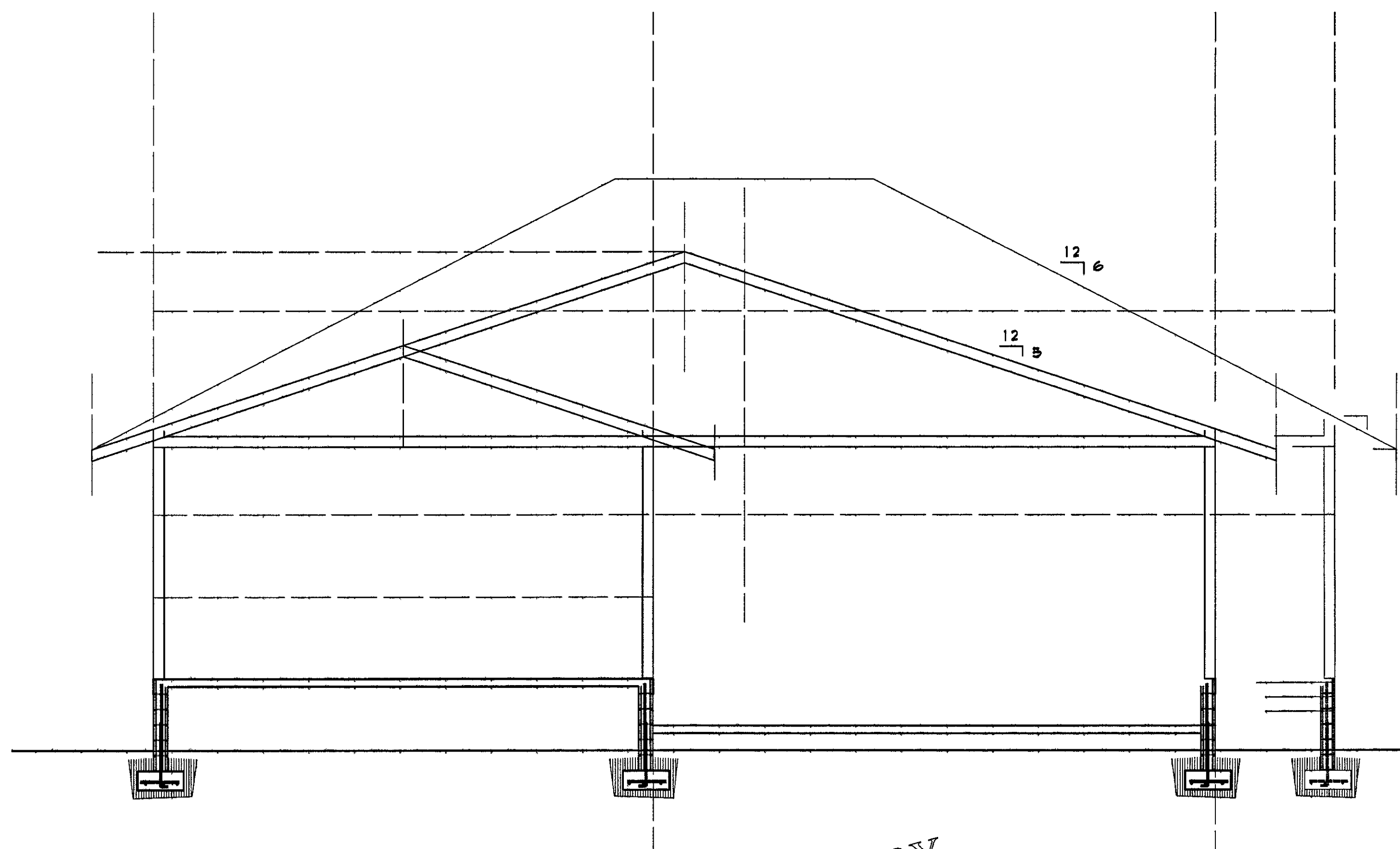
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NORTH - SOUTH SECTION (A)
1/4" = 1' - 0"



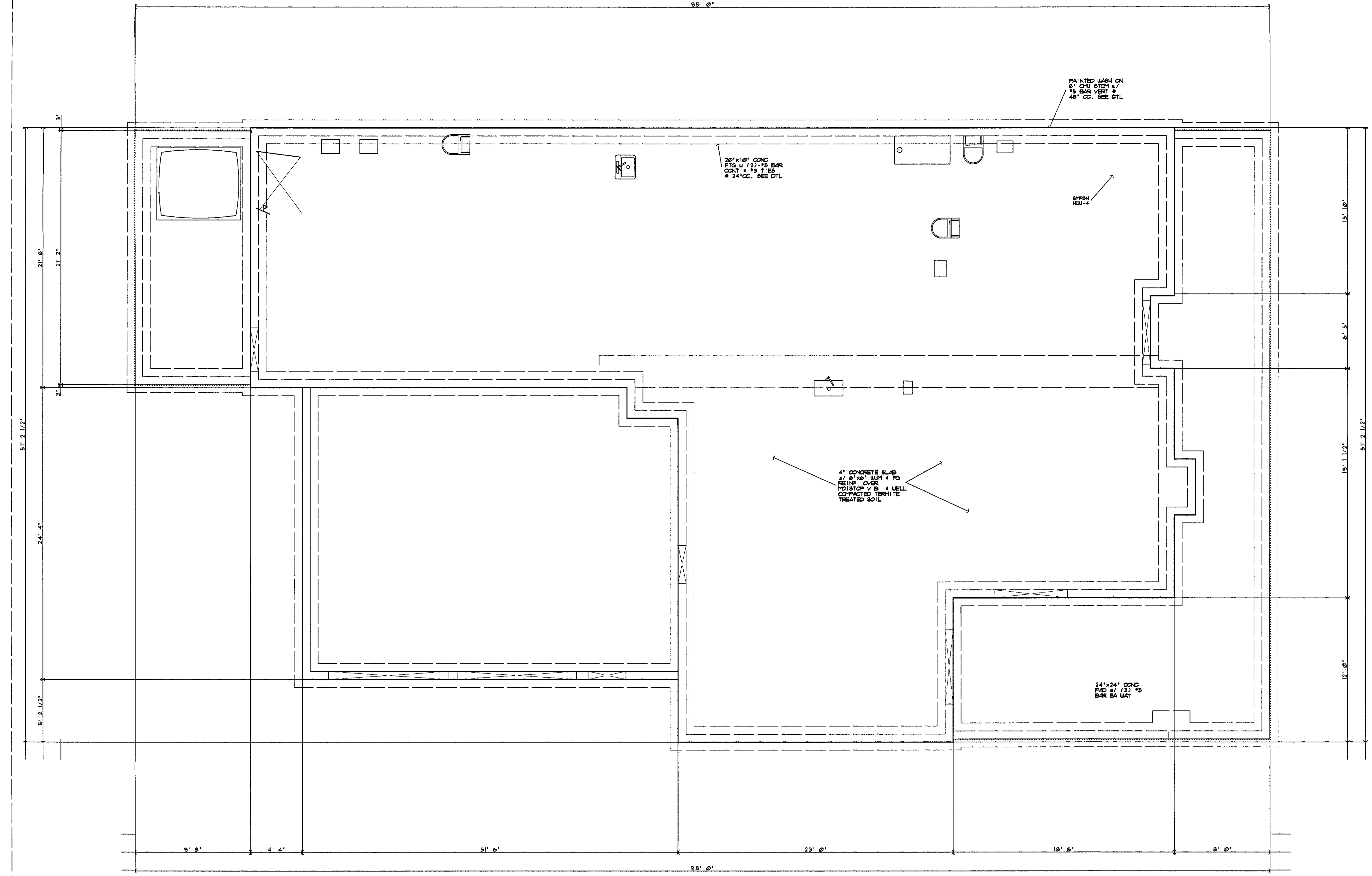
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EAST - WEST SECTION (B)
1/4" = 1' - 0"

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- FOUNDATION NOTES**
- 01 THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTORS SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
 - 02 THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW THE RECOMMENDATIONS OF THE SOILS REPORT.
 - 03 SEE THE DIVISION TWO FOR SITE PREPARATION AND COMPACTION REQUIREMENTS.
 - 04 SEE THE DIVISION THREE FOR CONCRETE REQUIREMENTS.
 - 05 ALL FOOTINGS SHALL EXTEND 12" MINIMUM INTO UNDISTURBED SOIL.
 - 06 PROVIDE AND INSTALL ALL STEEL REINFORCEMENT, COUELS, TIES, AND-ORS, ETC. SEE SECTIONS AND DETAILS.
 - 07 VERIFY LOCATION & REQUIREMENTS FOR ALL PLUMBING, CONDUITS, & ITEMS EMBEDDED IN CONCRETE.
 - 08 SEE SITE PLAN FOR ADDITIONAL CONCRETE REQUIREMENTS.
 - 09 FACE DIMENSIONS ARE TO THE OUTSIDE OF FRAMING ABOVE. SET PILING BACK AS REQ. TO FACILITATE FRAMING GROUND FLOOR WALLS AND FRAMING ABOVE.

DATE:
03-01-20
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507 RAYMOND DR. PENSACOLA, FL 32507
1-800-440-9392 NC #9566 FL #15055

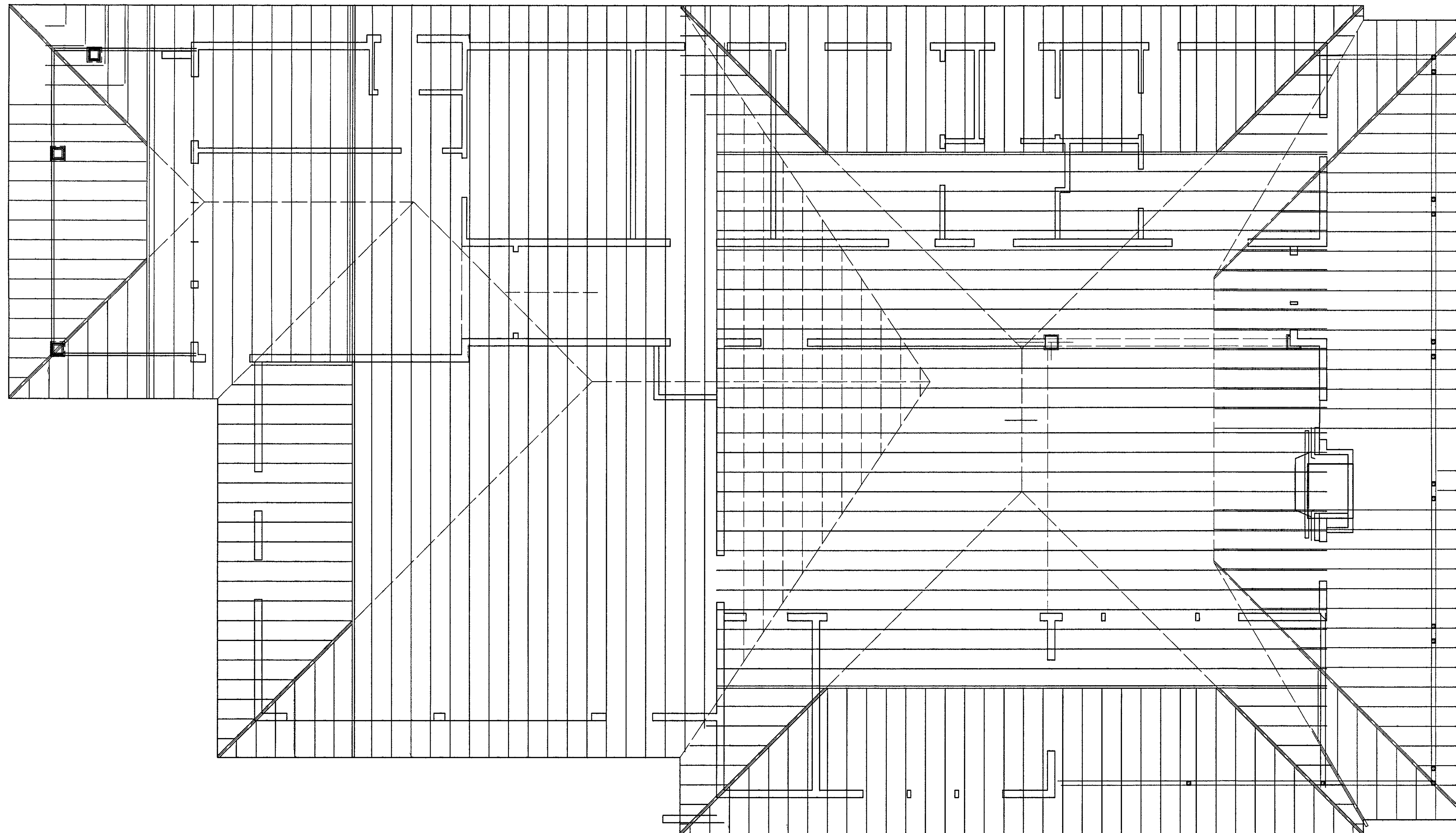
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FRAMING NOTES

- THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTORS SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
- SEE THE SPECS, DIVISION SIX FOR ADDITIONAL REQUIREMENTS.
 - ALL FRAMING LUMBER SHALL BE #2 S Y P, OR BETTER, U N C.
 - FLOOR DECKING SHALL BE 3/4" x 16" GROSS, FLYWD, GLUED & NAIL.
 - SEE NAILING SCHEDULE FOR FLOOR DECKING.
 - ROOF DECKING SHALL BE 5/8" CDX, 5-PLY, GLUED & NAIL.
 - SEE NAILING SCHEDULE FOR ROOF DECKING.
 - WALL SHEATHING SHALL BE 5/8" CDX SHEATHING ON INT WALLS AS SHOWN, GLUE & NAIL. SEE NAILING SCHEDULE.
 - PROVIDE 1/2" BC FLYWD UNDER VINYL FLOORING LOCATIONS.
 - FLOORING TREATED WOOD SHALL CONFORM TO AUPH STANDARDS. ALL WOOD IN CONTACT W/ CONCRETE, IN OR WITHIN 12" OF GRADE SHALL BE 15" MCX. GROUND CONTACT SHALL BE 34 MCX.
- WALL SHEATHING
 - INSTALL FLYWOOD WALL SHEATHING HORIZONTALLY. PROVIDE SOLID.
 - MAKES ALL SHEATHING CONTINUOUS ACROSS PLATES, SILLIS AND FLOOR SYSTEMS. VERIFY W/ ARCHITECT.
 - START WALL SHEATHING AT END OF STEM WALL. PROVIDE RIP AS REQUIRED SO FULL SHEET SPANS ACROSS SECOND FLOOR TRUSS SYSTEM.
 - PROVIDE RIP AS REQUIRED SO FULL SHEET EXTENDS DOWN FROM THE TRUSS TAILS OR RAFTERS ACROSS THE TOP PLATE.
 - GLUE & NAIL. SEE SCHEDULE.
 - FASTENERS FOR ALL DECKING & SHEATHING SHALL BE PLACES NO CLOSER THAN 3/8" FROM PANEL EDGE. HEADS SHALL BE FLUSH W/ EXT. SURFACE OF PANEL. OVERDRIVING OF FASTENERS MAY BE CAUSE FOR REJECTION.
- BLOCKING
 - PROVIDE BLOCKS AT MID-POINTS AT ALL SPANS OVER 8' 0" & AT THIRD POINTS. ALL SPANS OVER 16' 0" & AS REQUIRED.
 - PROVIDE DOUBLE ROW OF BLOCKING BETWEEN ALL RAFTERS, JOIST OR TRUSSES. PROVIDE 3" x 16" FACE NAILS TO PLATES OR BLOCKING. EA BLOCK AND 2-16d TOE NAILS. EA END OF EACH BLOCK TO RAFTER OR TRUSS.
 - PROVIDE BLOCKING AS REQUIRED FOR ALL EQUIPMENT, ETC.
 - PROVIDE FULL FIRE BLOCKING ON ALL PARTITIONS AS REQUIRED. PROVIDE FRAMING ANCHORS AS SHOWN & AS REQUIRED BY CODE.
- ALL RAFTERS, JOISTS AND TRUSSES SHALL BE CONNECTED TO PLATES OR BEAMS BY GALVANIZED OR STAINLESS STEEL FRAMING ANCHORS. PROVIDE 2 FRAMING STRIPS & ALL TRUSSES & RAFTERS. SEE DRAWINGS.
- ALL HIP & RIDGE RAFTERS SHALL BE FLUSH CUT FOR FULL BEARING. CO-ORDINATE ALL FRAMING WORK W/ MECHANICAL, ELECTRICAL, PLUMBING SUB-CONTRACTOR AND EQUIPMENT SUPPLIERS TO PROVIDE ADEQUATE SPACE AND ELIMINATE CONFLICTS. LOCATE JOIST AS REQ FOR PROPER INSTALLATION OF FIXTURES AND EQUIPMENT AS SHOWN. VERIFY ALL ROUGH OPENINGS.

NAILING SCHEDULE

PLYWD	NAIL	EDGE SP	INT SP	GLUE
FLOOR	12d	4"	12"	X
WALL	12d	4"	6"	X
ROOF (Z-1)	12d	4"	6"	X
ROOF (Z-2/3)	12d	3" OC IN ZONE 2 & 3		
BLOCKING	..	SEE BLOCKING NOTES FOR NAILING REQUIREMENTS		

NAILING NOTES

- NAILS SHALL NOT BE CLOSER THAN 3/8" FROM THE PANEL EDGE.
- DO NOT OVER DRIVE FASTENERS. HEADS SHALL BE FLUSH WITH PANEL FACE.

FASTENER NOTES

- ALL FASTENERS, BOLTS, SCREWS, NAILS, ETC. USED IN PRESSURE TREATED MATERIALS SHALL BE STAINLESS STEEL OR DOUBLE DIPPED HOT DIPPED GALVANIZED.
- VERIFY ALL REQUIREMENTS WITH MANUFACTURERS RECOMMENDATIONS FOR ALL LOAD RATED HOLD-DOWNS.

TIE-DOWN SCHEDULE

#	LOCATION	TYPE	MODEL	L	W	GA	ALLOWABLE LOAD	FASTENERS REQ. HEADER / JOINT
TD-01	RAFTER/JOIST	TE	1.25A	5'-1/2"	8"	10d	12k - 3-8d / RFTX - 3-8d	
TD-02	RAFTER/TRUSS	TE	1.40A	6'-1/4"	8"	10d	3-10d/4W / 3-10d/4W	
TD-03	RAFTER/TRUSS	TURST STRP	LTS 2	17'	14'-4"	16	3300	6-10d / 6-10d EA
TD-04	RAFTER/TRUSS	TURST STRP	MTB-20	20'	14'-4"	16	10200	1-10d / 1-10d EA
TD-05	RAFTER/BEAM	TURST STRP	MTB-20	20'	14'-4"	14	1400	2-10d / 2-10d EA
TD-06	BEAM / HEADER	FLAT STRP	ST-624	10'	14'-0"	16	500	1-10d / 1-10d EA
TD-07	BEAM / HEADER	FLAT STRP	ST-624	20'	14'-0"	16	2310	1-14d / 1-14d EA
TD-08	BEAM / HEADER	FLAT STRP	ST-624	34'	14'-0"	14	2460	2-10d / 2-10d EA
TD-09	ACROSS RIDGE	FLAT STRP	LATA-24	24'	14'-0"	16	800	3-10d
TD-10	POST/CORNER	HOLD-DOWN	HOU-808	8'-3/4"	9"	14	3,070	(6) 1/4"x2-1/2" SD6 W/ 5/8" AB
TD-11	POST/CORNER	HOLD-DOWN	HOU-808	11'	9"	14	4,360	(8) 1/4"x2-1/2" SD6 W/ 5/8" AB
TD-12	JOIST HANGER	2x HANGER	HJH-26	4'-3/4"	14'-2"	16	830	4-10d / 4-10d
TD-13	JOIST HANGER	2x HANGER	HJH-26	6'-3/8"	14'-2"	16	890	4-10d / 4-10d
TD-14	JOIST HANGER	2x HANGER	HJH-210	13'-3/4"	14'-2"	16	770	2-10d / 2-10d
TD-15	HANGER	2x HANGER	HJH-210-2	4'	15'-0"	16	760	2-10d / 2-10d
TD-16	HANGER	2x HANGER	HJH-210-3	4'	15'-0"	14	760	2-10d / 2-10d

GENERAL NOTES

- PROVIDE REQUIRED ALL NAILS OR BOLTS AS PER MANUFACTURERS RECOMMENDATIONS.
- ALL MODEL NUMBERS ARE FOR SHIMON STRONG-TIE CONNECTORS. VERIFY ALL CAPACITIES, SIZES, & FASTENER REQ.
- PROVIDE FULL PRODUCT DATA FOR REVIEW OF ANY SUBSTITUTIONS.
- 16d SINKERS (5/8" x 3-1/4") MAY BE SUBSTITUTED FOR 16d COMMONS AT JOINTS OF THE TABLE.
- 16d SINKERS (5/8" x 3-1/4") MAY BE SUBSTITUTED FOR THE SPECIFIED 16d COMMONS W/ NO LOAD REDUCTION.
- ALL NAILS SHALL BE COMMONS UNLESS NOTED OTHERWISE.
- PROVIDE STAINLESS STEEL CONNECTORS AND FASTENERS AT ALL EXTERIOR LOCATIONS.
- PROVIDE STAINLESS STEEL CONNECTORS AND FASTENERS AT ALL INT LOCATIONS.

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ROOF FRAMING PLAN

1/4" = 1' - 0"

TD-07
2x8
2x8 6x12-PACIA

TD-08
TYP

2x8 6x12-PACIA - 10' CONT.
PT. 1/2' W/ 1x6 PACIA
MATCH EXISTING

(2)-2x BLK. & RIDGE

DOUBLE TRUSS 1/2"
DEL. CHAIR TRUSS 1/2"

DATE:
03-01-20
03-18-20

JVA
J. VEAL ARCHITECT
1501 W. 10TH AVE. SUITE 100
TALLAHASSEE, FL 32305
TEL: 904-225-1111
FAX: 904-225-1112

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① SOUTH ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"

DATE:
01-02-20
02-25-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636 FL # 13055

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

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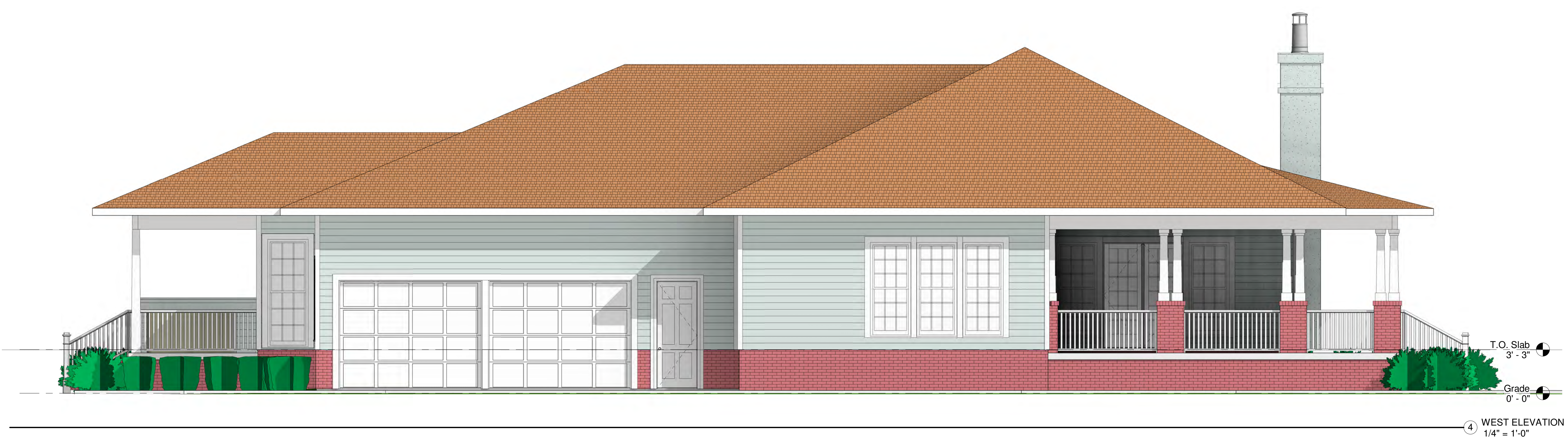
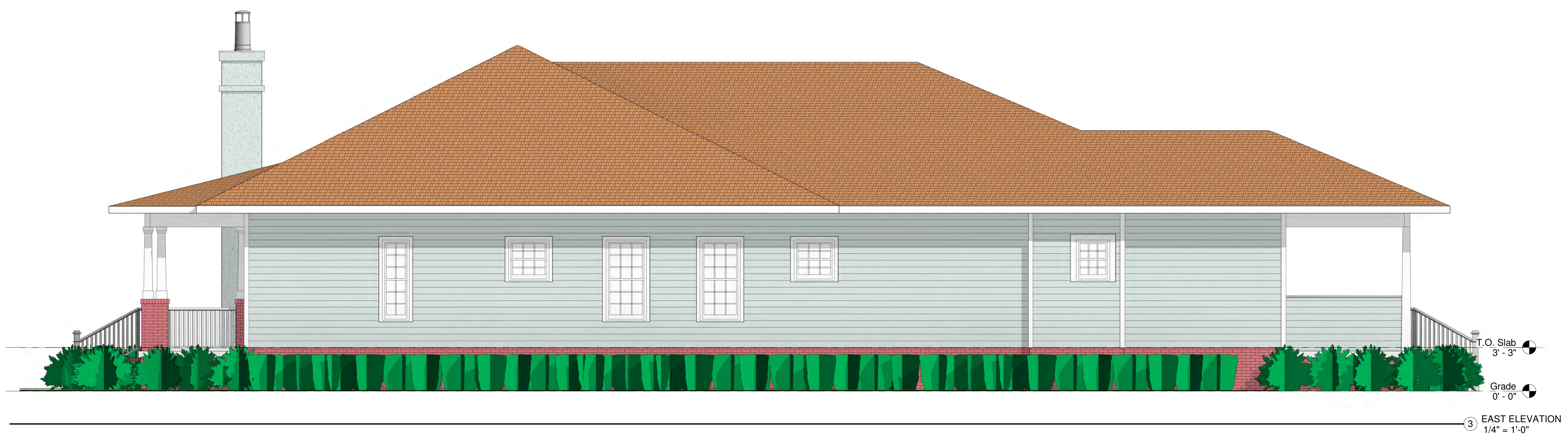
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DATE:
01-02-20
02-25-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636



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① SOUTHEAST PERSPECTIVE



② SOUTHWEST PERSPECTIVE

DATE:
01-02-20
02-25-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636 FL # 13055

A NEW HOUSE
HOLMES HOUSE
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Bishop II by Coppercraft, made from galvanized metal, 18" dia x 39" tall



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 05-28-2020

Project Address: 220 West Gadsden Street

Applicant: J.Veal, Architect

Applicant's Address: 627 Bayshore Dr, Pensacola, FL 32507

Email: jv@jvealarchitect.com **Phone:** 850-450-3295

Property Owner: Bob Holmes

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of Single Family Structure located at the above address

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

5.28.2020

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

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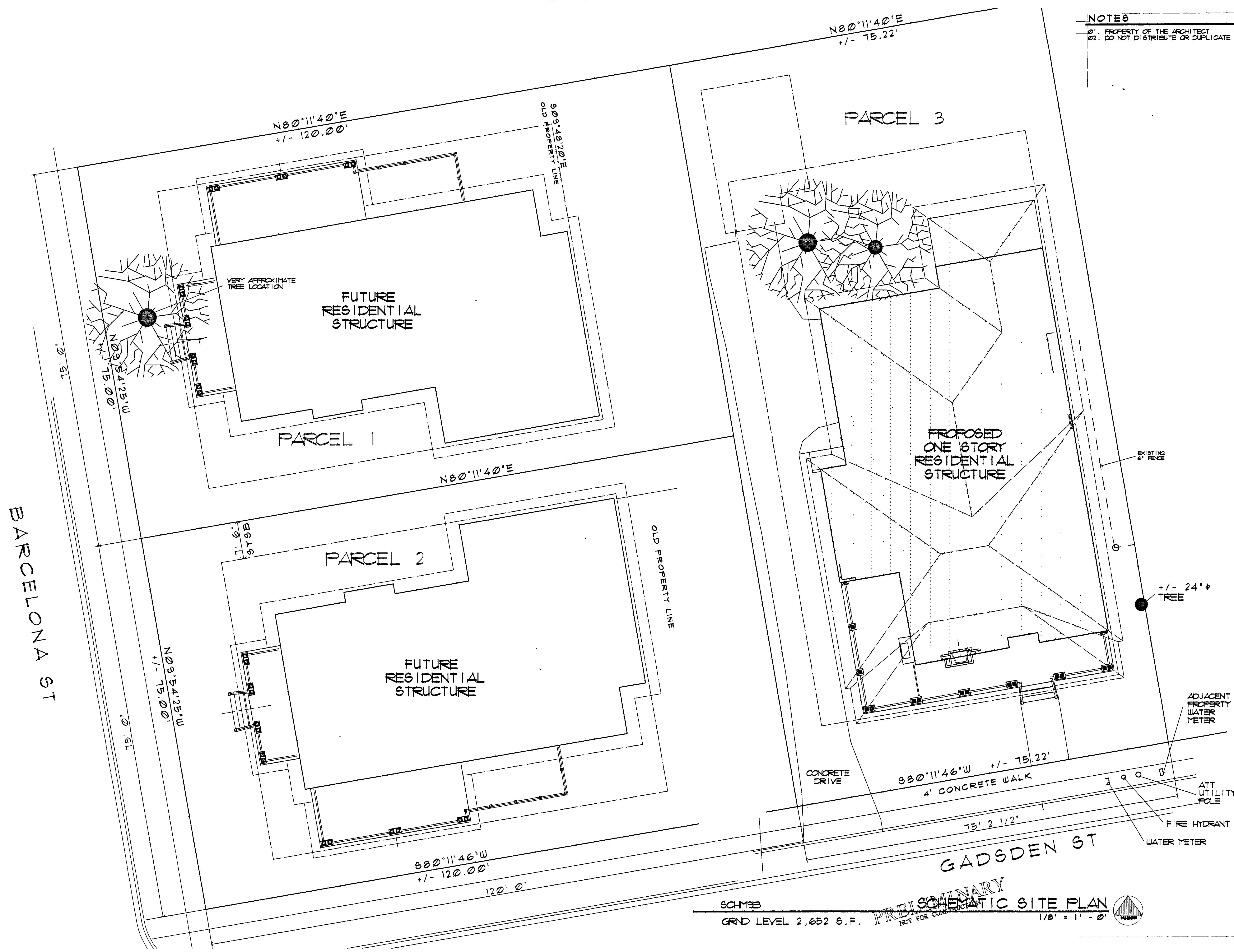
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J. VEAL, ARCHITECT
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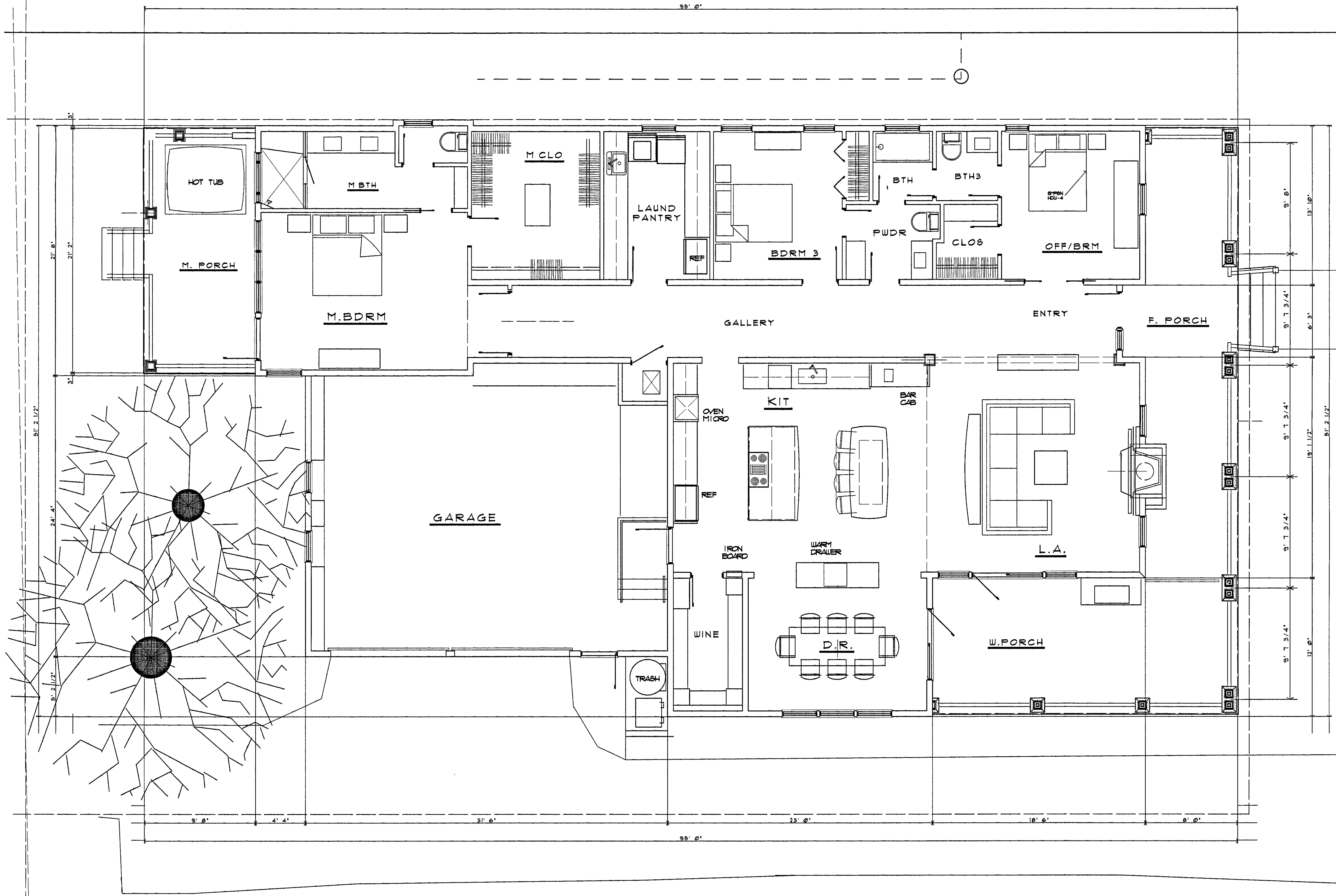
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GRND LEVEL 2,652 S.F.
1/8" = 1' - 0"



- GENERAL PLAN NOTES**
01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
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DATE:
03-01-20
03-18-20

JVA
J. VEAL ARCHITECT
107 RAYMOND DR. FORT MYERS, FL 33907
1-800-440-3305
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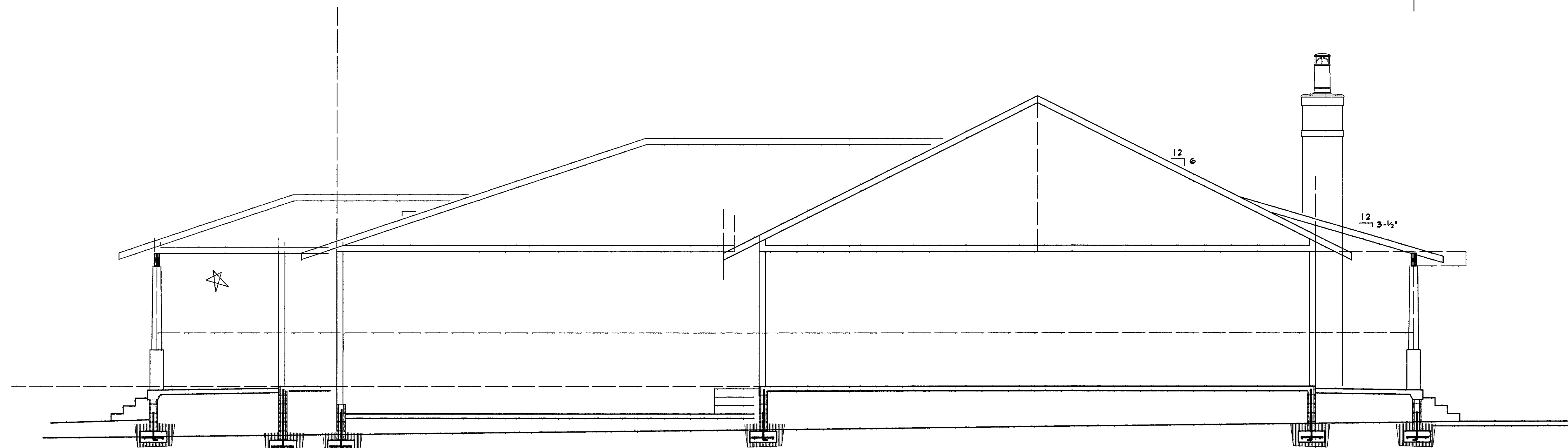
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FLOOR PLAN
1/4" = 1'-0"

NOTES

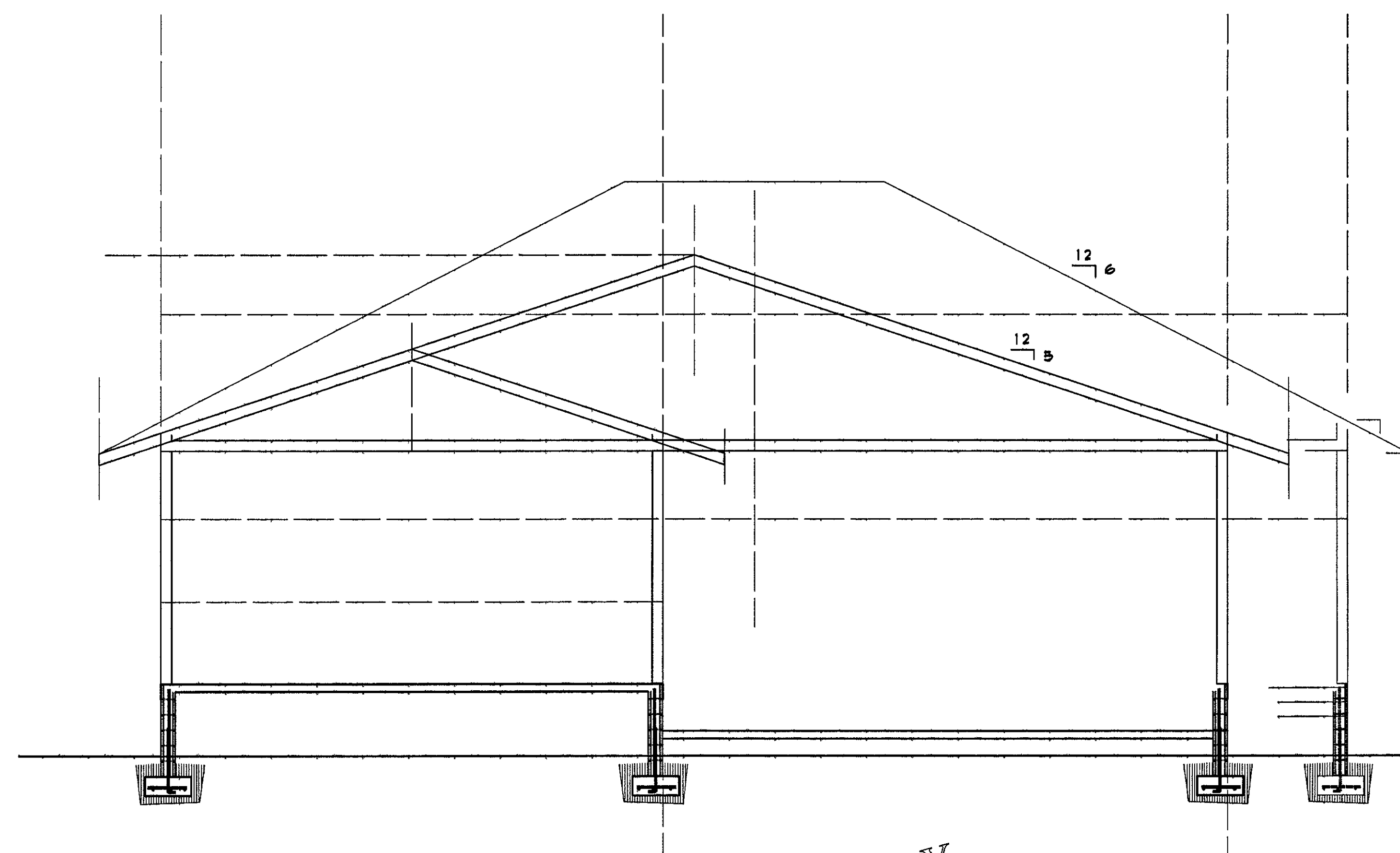
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DATE:
03-01-20
03-18-20

JVA
J. VIAL ARCHITECT
507 RAVENHURST DRIVE, PENSACOLA, FL 32505
1-800-440-3300 NC #9566 FL #13055
www.jvialarchitect.com



PRELIMINARY
NOT FOR CONSTRUCTION
NORTH - SOUTH SECTION (A)
1/4" = 1' - 0"



PRELIMINARY
NOT FOR CONSTRUCTION
EAST - WEST SECTION (B)
1/4" = 1' - 0"

A NEW RESIDENCE for
HOLMES HOME
220 WEST GADSDEN STREET, PENSACOLA, FL

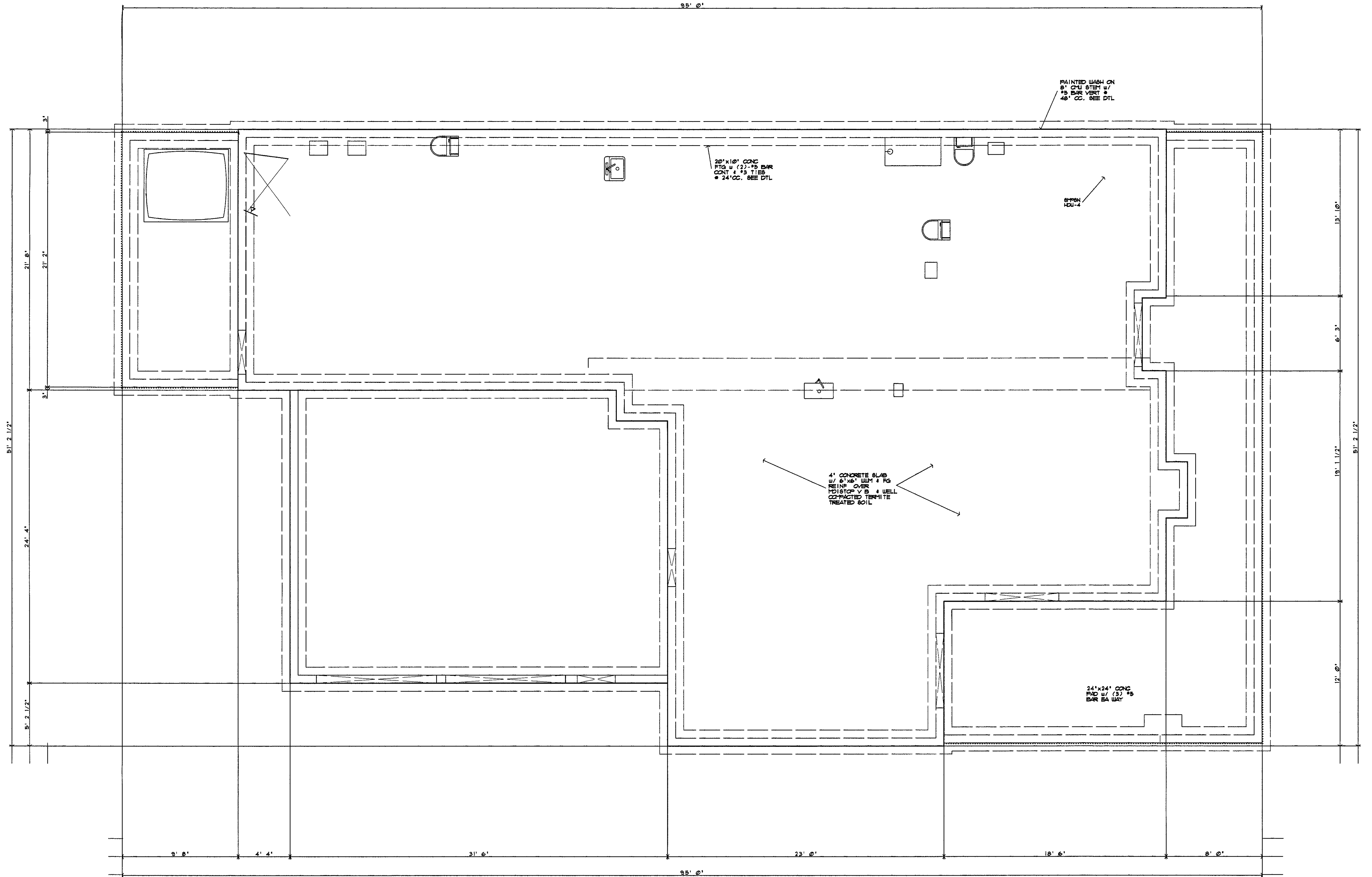
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A-2

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HA020SEC



PRELIMINARY
NOT FOR CONSTRUCTION

FOUNDATION PLAN

1/4" = 1' - 0"

FOUNDATION NOTES

- 01 THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTORS SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
- 02 THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW THE RECOMMENDATIONS OF THE SOILS REPORT.
- 03 SEE THE DIVISION TWO FOR SITE PREPARATION AND COMPACTION REQUIREMENTS.
- 04 SEE THE DIVISION THREE FOR CONCRETE REQUIREMENTS.
- 05 ALL FOOTINGS SHALL EXTEND 12" MINIMUM INTO UNDISTURBED SOIL.
- 06 PROVIDE AND INSTALL ALL STEEL REINFORCEMENT, COUPLERS, TIES, AND-ORS, ETC. SEE SECTIONS AND DETAILS.
- 07 VERIFY LOCATION & REQUIREMENTS FOR ALL PLUMBING, CONDUITS, & ITEMS EMBEDDED IN CONCRETE.
- 08 SEE SITE PLAN FOR ADDITIONAL CONCRETE REQUIREMENTS.
- 09 FACE DIMENSIONS ARE TO THE OUTSIDE OF FRAMING ABOVE. SET PILING BACK AS REQ. TO FACILITATE FRAMING GROUND FLOOR WALLS AND FRAMING ABOVE.

DATE:
03-01-20
03-18-20

JVA
J. VEBAL ARCHITECT
507 RAYMOND DR. PENSACOLA, FL 32507
1-800-440-9392 NC #9066 FL #13055

A NEW RESIDENCE for
HOLMES HOME
220 WEST GADDEN STREET, PENSACOLA, FL

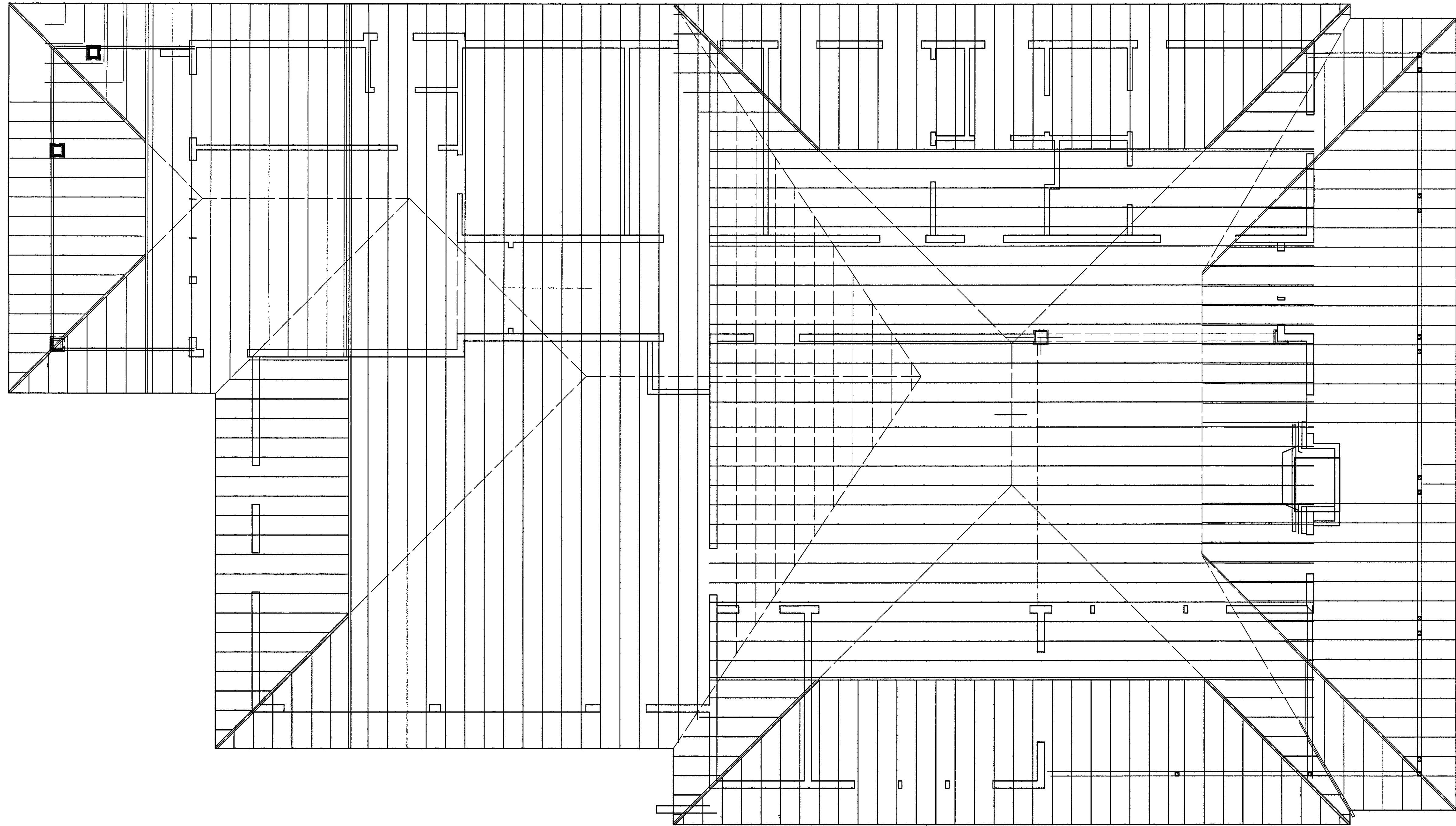
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S-1

OF

H401PLN



FRAMING NOTES

- 01 THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR & SUB-CONTRACTORS SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
- 02 A. SEE THE SPECS, DIVISION 51X FOR ADDITIONAL REQUIREMENTS. B. ALL FRAMING LUMBER SHALL BE #2 S Y P. OR BETTER U N C O. C. FLOOR DECKING SHALL BE 3/4" 14G GROSS FLYWD GLUED & NAILLED. SEE NAILING SCHEDULE. D. ROOF DECKING SHALL BE 5/8" CDX 5-PLY GLUED & NAILLED. SEE NAILING SCHEDULE. E. WALL SHEATHING SHALL BE 5/8" F T L ON ALL EXT. WALLS & 5/8" CDX SHEATHING ON INT. WALLS AS SHOWN. GLUE & NAIL SEE NAILING SCHEDULE. F. PROVIDE 1/2" BC FLYWD UNDER VINYL FLOORING LOCATIONS. G. PRESSURE TREATED WOOD SHALL CONFORM TO AUPCI STANDARDS ALL WOOD IN CONTACT W/ CONCRETE, IN CONTACT OR WITHIN 12" OF GRADE SHALL BE 15" MCA. WOOD IN CONTACT SHALL BE 34 MCA.
03. WALL SHEATHING A. INSTALL FLYWOOD WALL SHEATHING HORIZONTALLY. PROVIDE SOLID B. MAKE ALL SHEATHING CONTINUOUS ACROSS PLATES, SILLIS AND FLOOR SYSTEMS. VERIFY W/ ARCHITECT C. START WALL SHEATHING AT TOP OF STEM WALL. PROVIDE RIP AS REQUIRED SO FULL SHEET SPANS ACROSS SECOND FLOOR TRUSS SYSTEM. D. PROVIDE RIP AS REQUIRED SO FULL SHEET EXTENDS DOWN FROM THE TRUSS TAILS OR RAFTERS ACROSS THE TOP PLATE. GLUE & NAIL SEE SCHEDULE. E. FASTENERS FOR ALL DECKING & SHEATHING SHALL BE PLACES NO CLOSER THAN 3/8" FROM PANEL EDGE. HEADS SHALL BE FLUSH W/ EXT. SURFACE OF PANEL. OVERLAPPING OF FASTENERS MAY BE CAUSE FOR REJECTION.
04. BLOCKING A. PROVIDE BLOCKS AT MID-POINTS AT ALL SPANS OVER 8'0" & AT THIRD POINTS. ALL SPANS OVER 16'0" & AS REQUIRED. B. PROVIDE DOUBLE ROW OF BLOCKING BETWEEN ALL RAFTERS, JOIST OR TRUSSES. PROVIDE 3"14d FACE NAILS TO PLATES OR BLOCKING. EA. BLOCK AND 2"14d TOE NAILS. EA. END OF EACH BLOCK TO RAFTER OR TRUSS. C. PROVIDE BLOCKING AS REQUIRED FOR ALL EQUIPMENT, ETC. D. PROVIDE FULL FIRE BLOCKING ON ALL PARTITIONS AS REQUIRED. PROVIDE ALL FRAMING ANCHORS AS SHOWN & AS REQUIRED BY CODE.
05. ALL RAFTERS, JOISTS AND TRUSSES SHALL BE CONNECTED TO PLATES OR BEAMS BY GALVANIZED OR STAINLESS STEEL FRAMING ANCHORS. PROVIDE 2" FRAMING STRIPS & ALL TRUSSES & RAFTERS. SEE DRAWINGS.
06. ALL HIP & RIDGE RAFTERS SHALL BE FLUSH CUT FOR FULL BEARING. CO-ORDINATE ALL FRAMING WORK W/ MECHANICAL, ELECTRICAL, PLUMBING SUB-CONTRACTOR AND EQUIPMENT SUPPLIERS TO PROVIDE ADEQUATE SPACE AND ELIMINATE CONFLICTS. LOCATE JOIST AS REQ. FOR PROPER INSTALLATION OF FIXTURES AND EQUIPMENT AS SHOWN. VERIFY ALL ROUGH OPENINGS.

NAILING SCHEDULE

PLYWD	NAIL	EDGE SP	INT SP	GLUE
FLOOR	12d	4"	12"	X
WALL	12d	4"	6"	X
ROOF (Z-1)	12d	4"	6"	X
ROOF (Z-2/3)	12d	3"OC IN ZONE 2 & 3		
BLOCKING	..	SEE BLOCKING NOTES FOR NAILING REQUIREMENTS		

NAILING NOTES

- 01 NAILS SHALL NOT BE CLOSER THAN 3/8" FROM THE PANEL EDGE.
- 02 DO NOT OVER DRIVE FASTENERS. HEADS SHALL BE FLUSH WITH PANEL FACE.

FASTENER NOTES

01. ALL FASTENERS, BOLTS, SCREWS, NAILS, ETC. USED IN PRESSURE TREATED MATERIALS SHALL BE STAINLESS STEEL OR DOUBLE DIPPED HOT DIPPED GALVANIZED.
02. VERIFY ALL REQUIREMENTS WITH MANUFACTURERS RECOMMENDATIONS FOR ALL LOAD RATED HOLD-DOWNS.

#	LOCATION	TYPE	MODEL	L	W	GA	ALLOWABLE LOAD	FASTENERS REQ. HEADER / JOINT
TD-01	RAFTER/JOIST	TE	1-28A	5'-1/2"	8"	18	102	12d - 3-8d / RFTL - 3-8d
TD-02	RAFTER/TRUSS	TE	1-10A	6'-1/4"	8"	18	95	3-12d/14d / 3-12d/14d
TD-03	RAFTER/TRUSS	TURST STRP	LTS 2	17'	14'-4"	18	330	6-12d / 6-12d * EA
TD-04	RAFTER/TRUSS	TURST STRP	MTB-20	20'	14'-4"	16	1020	1-12d / 1-12d * EA
TD-05	RAFTER/BEAM	TURST STRP	MTB-20	20'	14'-4"	14	1450	1-12d / 1-12d * EA
TD-06	BEAM / HEADER	FLAT STRP	MTB-10	10'	14'-4"	18	560	1-12d / 1-12d * EA
TD-07	BEAM / HEADER	FLAT STRP	BT-624	20'	2"	16	2313	14-14d / 14-14d * EA
TD-08	BEAM / HEADER	FLAT STRP	BT-624	34'	2"	14	2465	20-14d / 20-14d * EA
TD-09	ACROSS RIDGE	FLAT STRP	L8T-24	24"	14'-4"	20	800	3-12d
TD-10	COL/CORNER	HOLD-DOWN	HOU-808	8'-3/4"	9"	14	3,075	(6) 1/4"x2-1/2" SD6 w/ 5/8" AB
TD-11	POST/CORNER	HOLD-DOWN	HOU-808	11'-1"	9"	14	4,365	(10) 1/4"x2-1/2" SD6 w/ 5/8" AB
TD-12	JOIST HANGER	2x HANGER	HJ8-26	4'-3/4"	14'-2"	18	830	4-12d / 4-12d
TD-13	JOIST HANGER	2x HANGER	HJ8-28	6'-3/8"	14'-2"	18	890	6-12d / 4-12d
TD-14	JOIST HANGER	2x HANGER	HJ8-210	13'-3/4"	14'-2"	18	770	8-12d / 4-12d
TD-15	HANGER	2x HANGER	HJ8-210-2	4'	15'-0"	18	760	8-12d / 6-12d
TD-16	HANGER	2x HANGER	HJ8-210-3	4'	15'-0"	14	760	8-12d / 6-12d

GENERAL NOTES

01. PROVIDE REQUIRED ALL NAILS OR BOLTS AS PER MANUFACTURERS RECOMMENDATIONS.

02. ALL MODEL NUMBERS ARE FOR SHIMON STRONG-TIE CONNECTORS. VERIFY ALL CAPACITIES, SIZES, & FASTENER REQ.

03. PROVIDE FULL PRODUCT DATA FOR REVIEW OF ANY SUBSTITUTIONS.

04. 14d SNKERS (S GA x 3-1/4") MAY BE SUBSTITUTED FOR 14d COMMONS AT JOINTS OF THE TABLE.

05. 14d SNKERS (S GA x 3-1/4") MAY BE SUBSTITUTED FOR THE SPECIFIED 14d COMMONS W/ NO LOAD REDUCTION.

06. ALL NAILS SHALL BE COMMONS UNLESS NOTED OTHERWISE.

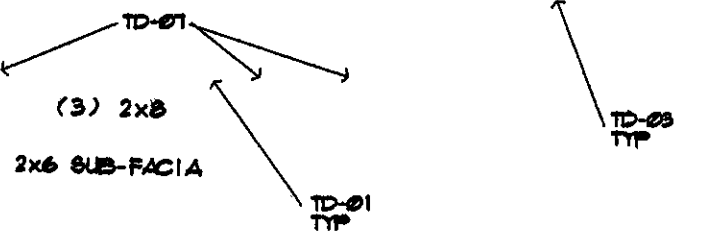
07. PROVIDE STAINLESS STEEL CONNECTORS AND FASTENERS AT ALL EXTERIOR LOCATIONS.

08. PROVIDE STAINLESS STEEL CONNECTORS AND FASTENERS AT ALL INT. LOCATIONS.

PRELIMINARY
NOT FOR CONSTRUCTION

ROOF FRAMING PLAN

1/4" = 1' - 0"



2x6 6x12-PACIA - 10' CONT.

PT. 1/2" / PT. 1/4" PACIA MATCH EXISTING

DATE:
03-01-20
03-18-20

JVA
J. VEAL ARCHITECT
1801 W. 10TH AVE. SUITE 100
TALLAHASSEE, FL 32305
TEL: 904-225-1111
FAX: 904-225-1112

A NEW RESIDENCE FOR
HOLMES HOME
220 WEST GARDEN STREET, PENSACOLA, FL

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H201PLN



① SOUTH ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"

DATE:
01-02-20
02-25-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636 FL # 13055

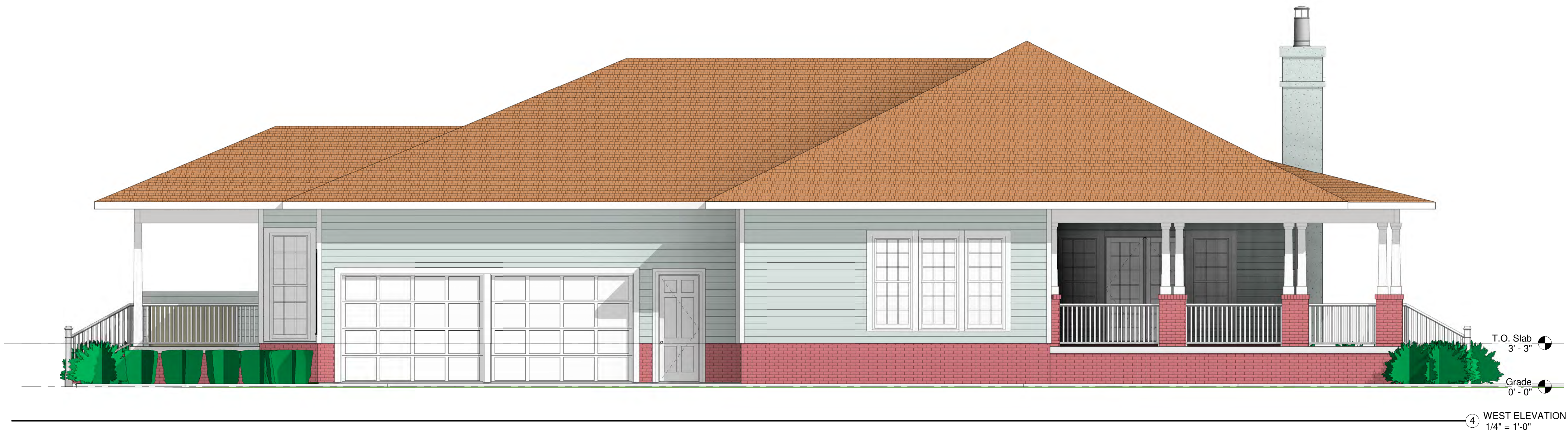
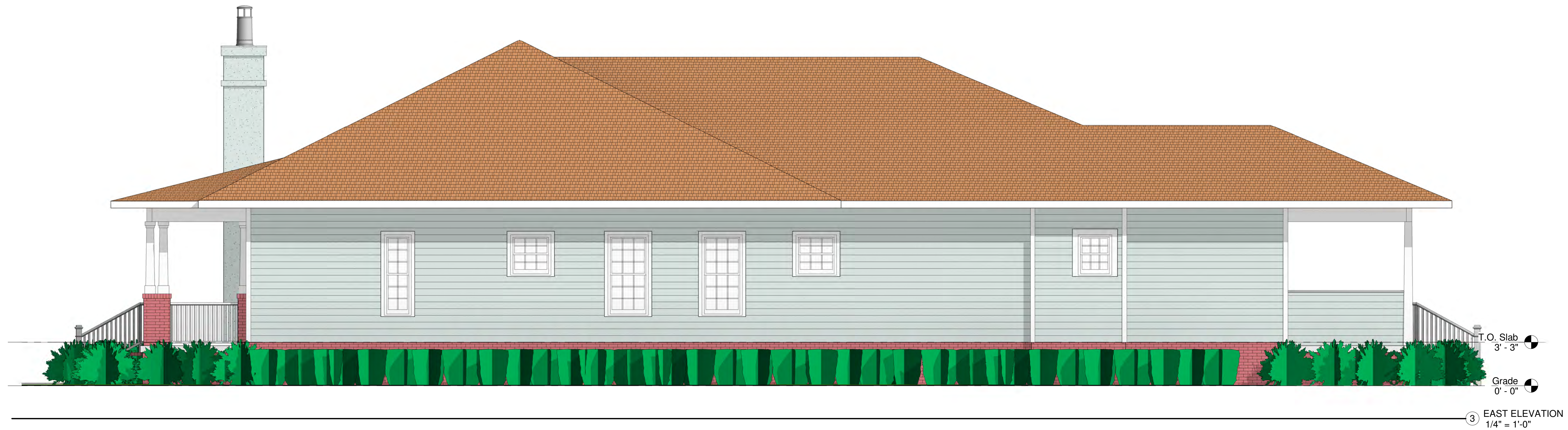
A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

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02-25-20

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AL 32636 FL # 13055

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

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① SOUTHEAST PERSPECTIVE



② SOUTHWEST PERSPECTIVE

DATE:
01-02-20
02-25-20

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J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636 FL # 13055

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

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Bishop II by Coppercraft, made from galvanized metal, 18" dia x 39" tall



J. Veal, Architect

05-28-2020

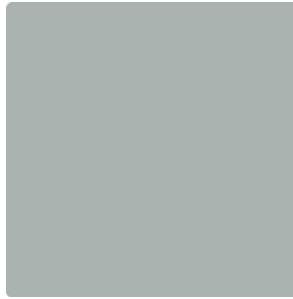
Holmes Home – Materials / Products & Colors

page 1

Siding – Hardie Plank Lap Siding,



8.25” Boards w/ 7” exposure....

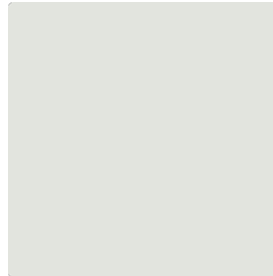


Ben Moore HC-165 “Boothbay Gray”

Trim – Hardie Trim,



Door & Window Casing, Corner Boards.... Gray

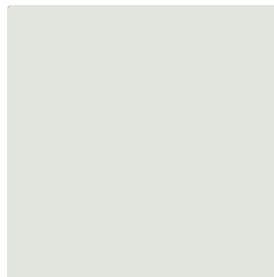


Ben Moore HC-1590 “Paper White”

Window Casing – Hardie Trim,



4” Boards.....

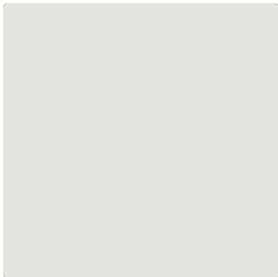


Ben Moore HC-1590 “Paper White”

Door Casing – Hardie Trim,



4” Boards.....



Ben Moore HC-1590 “Paper White”

Windows – Jeld Wen Premium Atlantic Vinyl divided lights top sash only



Vinyl Windows.....



“Flagstone Gray”

Exterior Doors – Jeld Wen Sitrine,



Clad Doors.....

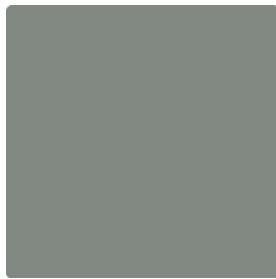


Ben Moore HC-154 “Hale Navy”

Stem Wall, Porch Column Base, - Pebble Dash Cement Stucco



Pebble Dash Stucco....

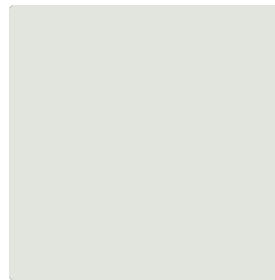


Ben Moore HC-163 “Duxbury Gray”

Porch Columns



No1, KDAT Boards.....



Ben Moore HC-1590 “Paper White”

Porch Ceiling & Soffits



Hardie Soffit & Porch Ceiling.....



sweet bluette
813

Ben Moore 813 “Sweet Bluette”

Porch Floor



Sloped Concrete Porch Deck..



Ben Moore HC-163 “Duxbury Gray”

Handrails



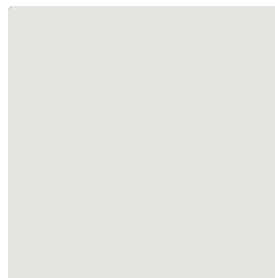
Structall – Aluminum Maxi Rail.....

White Aluminum

Garage Doors – Wayne Dalton



Carriage House Steel Garage Door



Ben Moore HC-1590 “Paper White”

Exterior Lighting - Wall Bracket



Quoizel Canyon 9.88-in H Matte Black Medium Base (E-26) Outdoor

Exterior Lighting - Pendant



Quoizel Canyon Black Single Craftsman Clear Glass Cage Pendant Light

Exterior Ceiling Fan



Sea Air 52 in. Outdoor New Bronze Ceiling Fan – New Bronze

Architectural Shingles - Tampco



Tampco – Heritage Premium “ Glacier White” Lifetime 340# Architectural Shingles

Front Steps / Column Bases



Old Chicago Brick



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00305

Architectural Review Board

6/18/2020

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2020

SUBJECT:

New Business - Item 6
700 S. Palafox Street
Palafox Historic Business District / Zone C-2A
Contributing Structure

BACKGROUND:

The UWF Historic Trust is requesting approval to install a large building wallscape on the south side of a contributing structure. The mural will consist of three large panels with an invisible frame system and will not be lit. The wallscape will be a painting of what the south end of Palafox Street appeared as in the 1960s. This is part of a larger project focused on highlighting the history of Pensacola through murals. These wallsapes will not be used as advertising or as signs for businesses.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-2-21(F)(1) *PHBD, Architectural review of proposed exterior development*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==

Site Name _____ Site No. 251207
Address of Site: 700-712 S. Palafox St., Pensacola, FL 32501 830 == Survey Date 8210 820 ==
Instruction for locating On E side of S. Palafox St. between E. Pine St. and E. Magnolia St. 905 ==
Location: Waterfront 813 ==
subdivision name 13 block no. 1 lts. 1-7, 11-20 868 ==
County: Escambia lot no. _____
Owner of Site: Name: Quayside Quarters 808 ==
Address: P. O. Box 1172 ;
Pensacola, FL 32595 902 ==
Type of Ownership Corporate 848 == Recording Date _____ 832 ==
Recorder:
Name & Title: Moore-Popalis, Diane ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 ==
Check One Check One or More 838 ==
☐ Excellent 863 == ☒ Altered 858 == Present Use Commercial 850 ==
☒ Good 863 == ☐ Unaltered 858 == Dates: Beginning + 1910 844 ==
☐ Fair 863 == ☒ Original Site 858 == Culture/Phase American 840 ==
☐ Deteriorated 863 == ☐ Restored () (Date: X) 858 == Period 20th Century 845 ==
☐ Moved () (Date: X) 858 ==

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More
☐ Zoning (X) 878 == ☐ Transportation (X) 878 ==
☐ Development (X) 878 == ☐ Fill (X) 878 ==
☐ Deterioration (X) 878 == ☐ Dredge (X) 878 ==
☐ Borrowing (X) 878 ==
☐ Other (See Remarks Below): _____ 878 ==

Areas of Significance: Architecture, commerce 910 ==

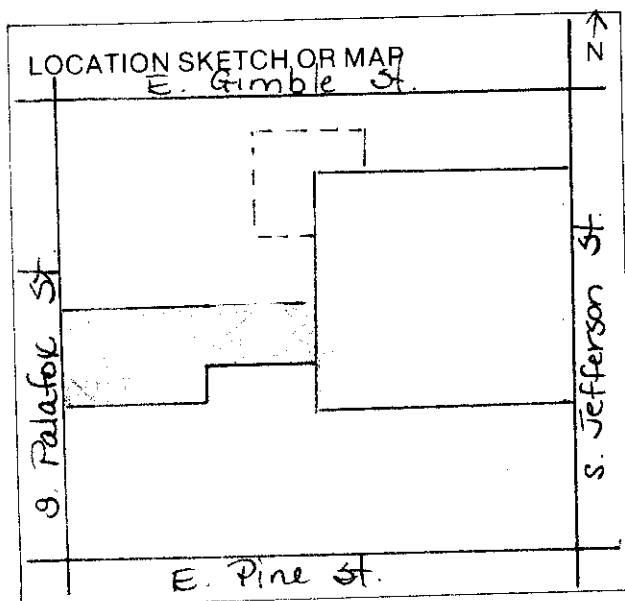
Significance:

Built in 1910 by the Avery Hardware company, this two story masonry vernacular building and warehouse is typical of commercial structures erected early in the twentieth century. Avery Hardware Company changed its name to the W. A. Ray Hardware Company and continued to use the building until about 1940.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Masonry vernacular 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) Brick: common # horizontal wood siding 854 ==
 STRUCTURAL SYSTEM(S) Masonry: brick 856 ==
 PORCHES N/1 story wrap veranda, hip, metal: standing seam
roof, enclosed on E. end 942 ==
 FOUNDATION: Continuous: brick 942 ==
 ROOF TYPE: Flat: built-up with parapet 942 ==
 SECONDARY ROOF STRUCTURE(S): Flat, N addition # wood awning 942 ==
 CHIMNEY LOCATION: - 942 ==
 WINDOW TYPE: Fixed metal, multi-light # hinged, multi-light 942 ==
 CHIMNEY: - 882 ==
 ROOF SURFACING: Built-up 882 ==
 ORNAMENT EXTERIOR: Corbelling 882 ==
 NO. OF CHIMNEYS 0 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 Min. Pensacola 1970 809 ==

Latitude and Longitude: " " " " 800 ==
 Site Size (Approx. Acreage of Property): Lt. 1 833 ==



Township	Range	Section	**
			812 ==

UTM Coordinates:

Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P.83.13 Frames 2, 3, 4, 5, 860 ==
and 8; HPPB P.83.18 Frame 9

Contact Print

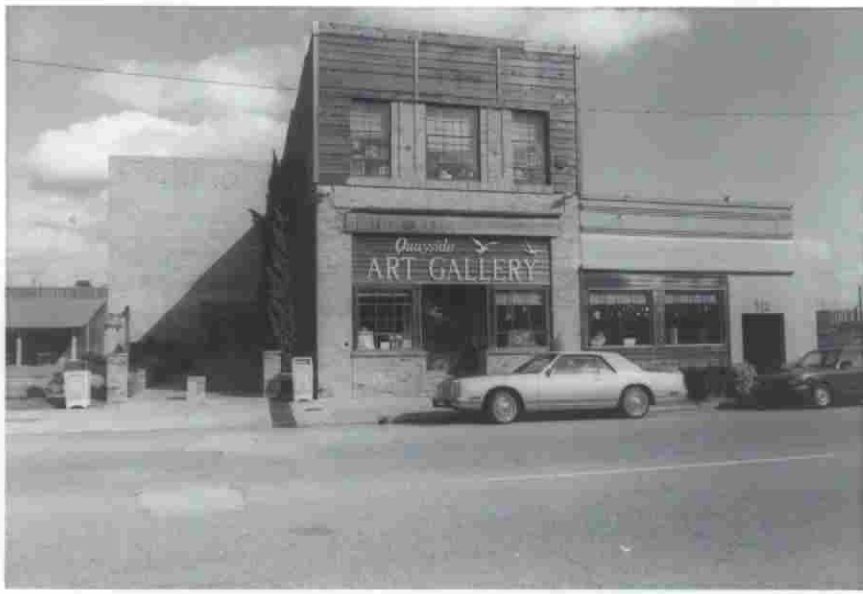
**Waterfront Tract has no metes and bounds description

CONTINUATION SHEET

LOCATION: port 8 868==
lot no.

EXTERIOR FABRIC(S): with corner boards # stucco:
smooth # cement, poured smooth # N. addition Board
and Batten # Aluminum siding 854==

WINDOW TYPE: Jalousie # DHS 2/2, metal 942==



700 S. Palafox Street



**Architectural Review Board Application
Full Board Review**



Application Date: 6/6/2020

Project Address: 700 S Palafox
Applicant: UWF Historic Trust
Applicant's Address: 120 Church Street, Pensacola, FL 32502
Email: rpristera@uwf.edu **Phone:** 850-595-5985
Property Owner: Clark & Jonathan Thompson

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

This project is a continuation of the downtown building murals overseen by the UWF Historic Trust. The mural will be located on the lower south wall of 700 S Palafox facing the parking lot.
The layout will feature 3 panels sized at 14 feet tall by 21 feet long. The proposed image is a painting of what the southern end of Palafox and this part of the downtown looked like in the 1960s. Lighting is not part of this project.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

6/6/2020

Date





Invisible frame system bolts to the wall. Hidden hardware secures the graphic to the frame.

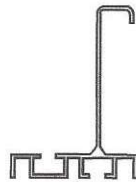
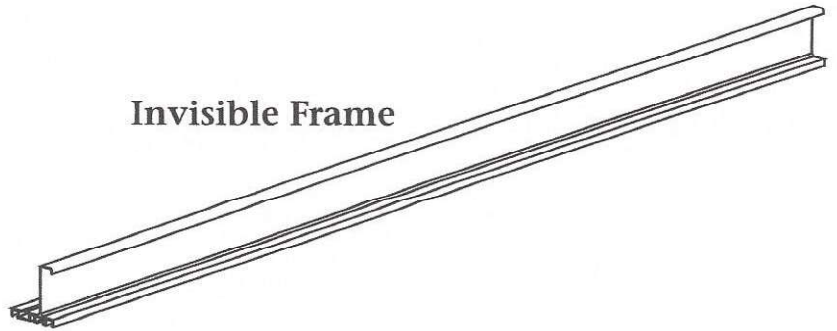


Image wraps around frame

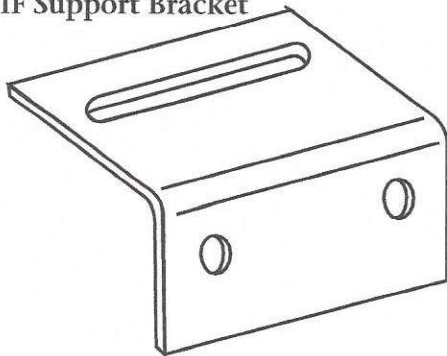
Invisible Frame System

The IF Frame Aluminum Extrusion is 3 1/4" deep and 4 1/2" high. When you order your IF Frame you order by the size of your copy area. The IF Frame Kit comes to you pre-cut to length and with the corners mitered. All you do is install the IF Frame to the wall.

Invisible Frame



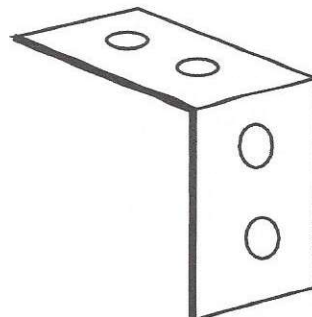
IF Support Bracket



The IF Support Brackets are made from 1/4" steel. We recommend 3 IF Brackets for 10' - 12' IF Frames and 2 IF Brackets for IF Frames 8' and less.

Bolts, lag screws etc. used to mount the IF Support Bracket to the walls are not included with the IF Kit.

IF Corner Support Brackets will keep the mitered corners in a tight fit for easy installation of the vinyl.



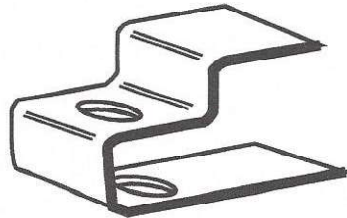
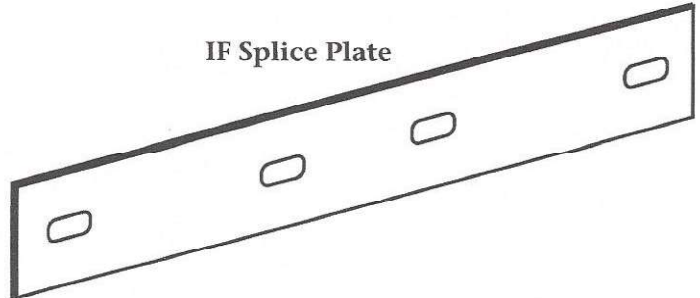
IF Clamp

Invisible Frame System

IF Splice Plates applied at butt joints in the IF Frame keeps them tight.

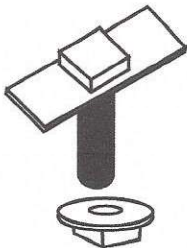
IF Clamps tension the vinyl behind the IF Frame therefore hiding the IF Frame from view.

IF Splice Plate

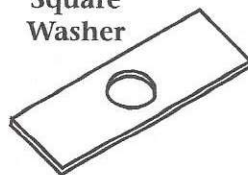


IF Support Bracket,
IF Corner Support
and IF Splice Plate
Attachment

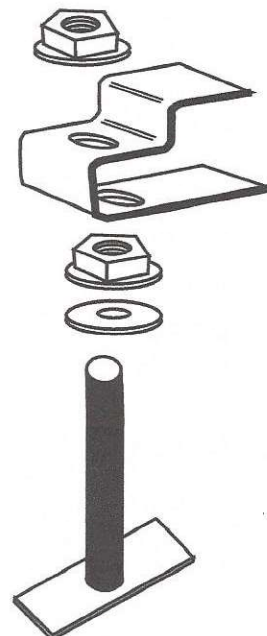
3/8" x 1" Sq Head Bolt
Square Washer
Flange Nut
2 per IF Support Bracket



Square
Washer



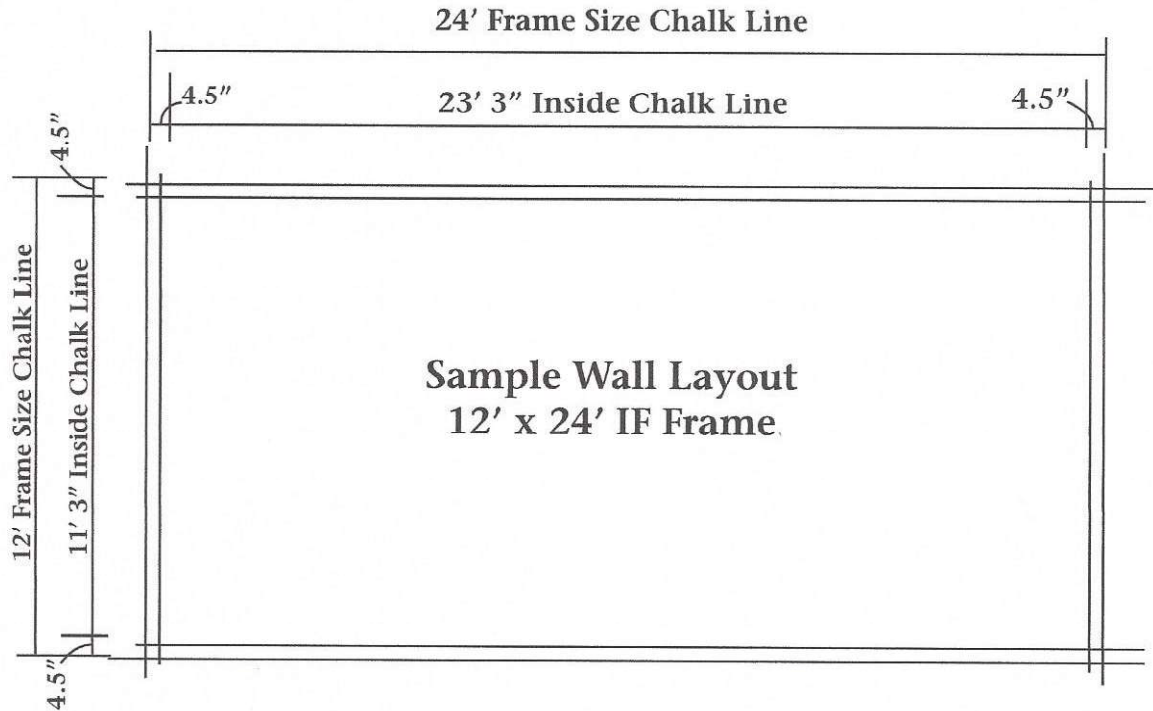
3/8" x 4" Bolt
IF Clamp
Flange Nuts
3/8" Washer



Invisible Frame System

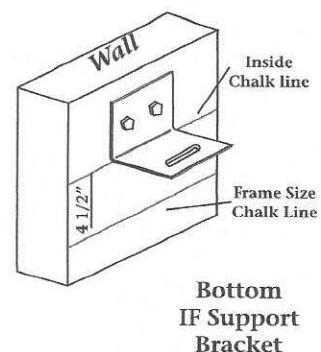
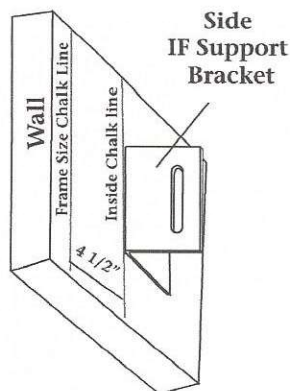
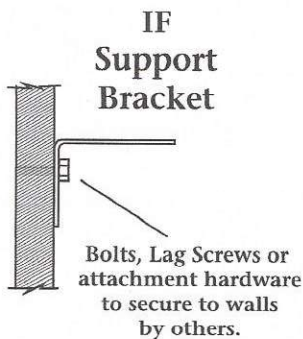
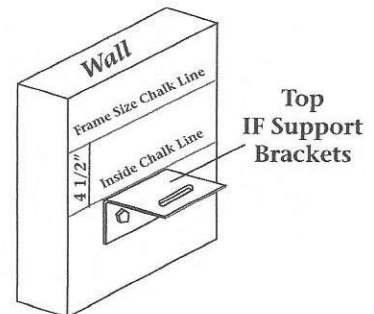
IF Frame Installation

First make chalk lines on the wall the size of your IF Frame. Then make a second set of chalk lines 4 1/2" inside the Frame chalk lines.

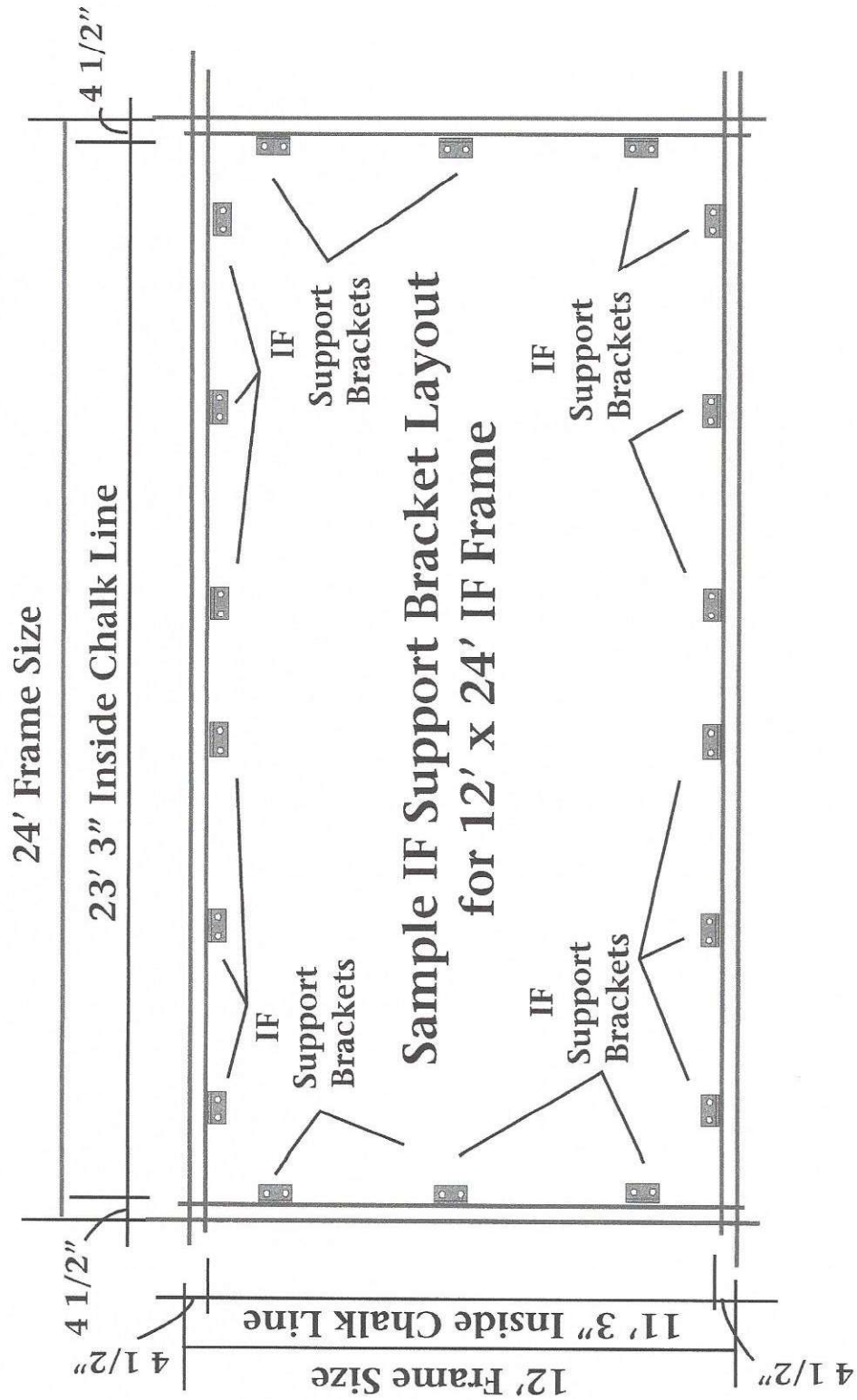


Install the IF Support Brackets flush with the inside chalk line facing out.

Note: Install IF Support Brackets at least 10" from corners and butt joints as to not interfere with the installation of IF Corner Supports or IF Splice Plates.



Invisible Frame System



Invisible Frame System

Take an IF Frame piece and slide 2 - 3/8" x 1" Square Head Bolt and Square Washer in the bottom slot for each IF Support Bracket, IF Corner Support and IF Splice Plate (if needed). Bolts should be facing to the inside of the IF Frame. Space the bolts out in the approximate location of the IF Support Brackets.

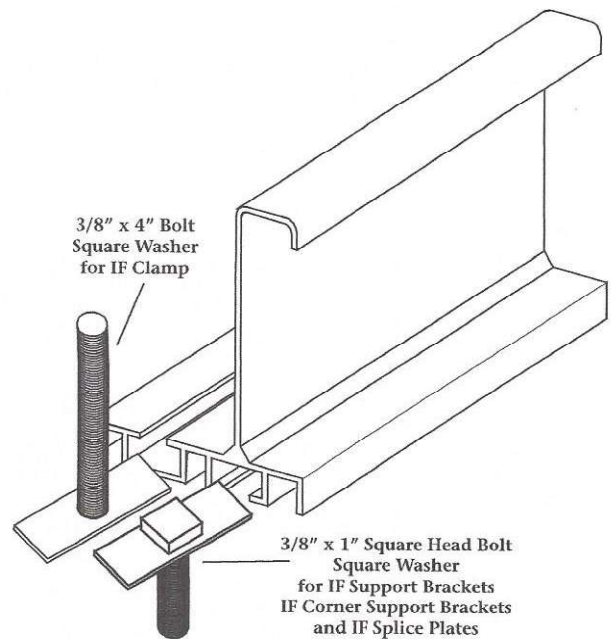
At this time loosely install an IF Corner Support and/or an IF Splice Plate to the IF Frame.

Place IF Frame on the IF Support Brackets and tighten the Flange Nuts.

Continue installing the IF Frames until all have been installed.

Now tighten all of the bolts and Flange Nuts.

You are ready to install the vinyl.

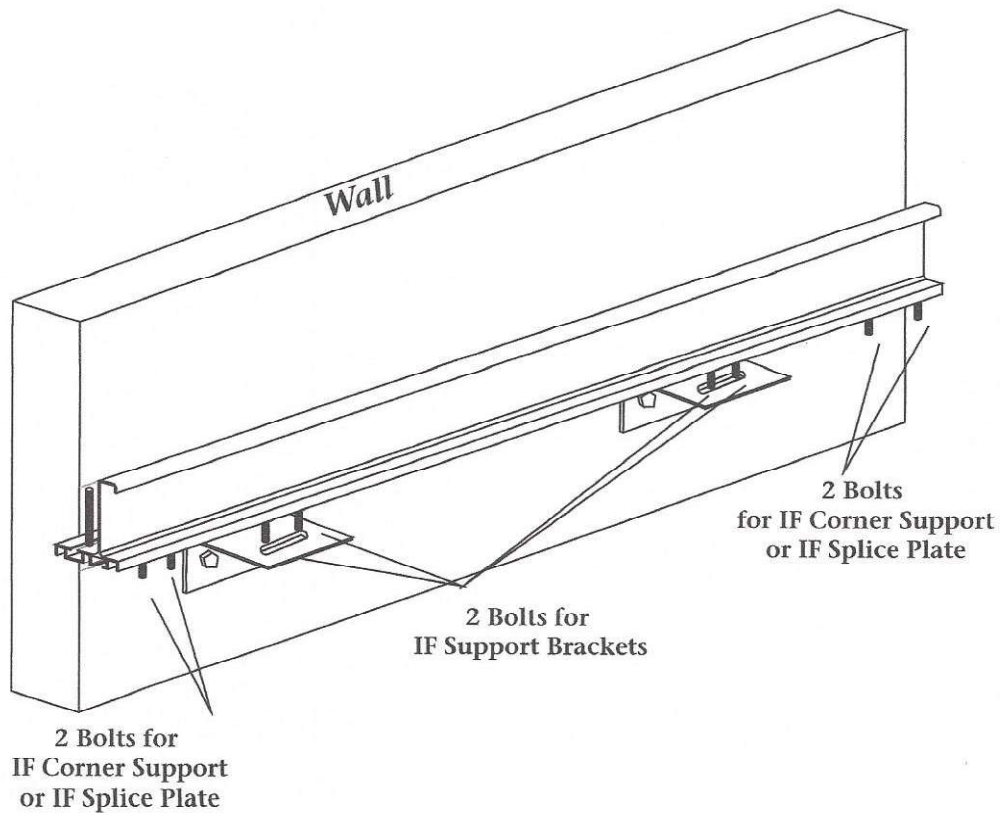


IF Corner Support

IF Splice Plate

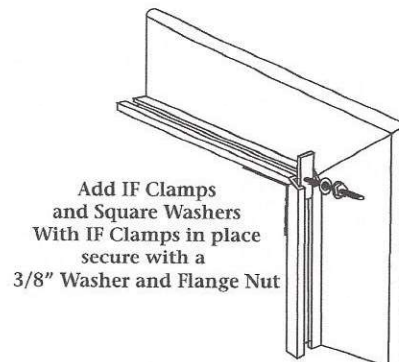
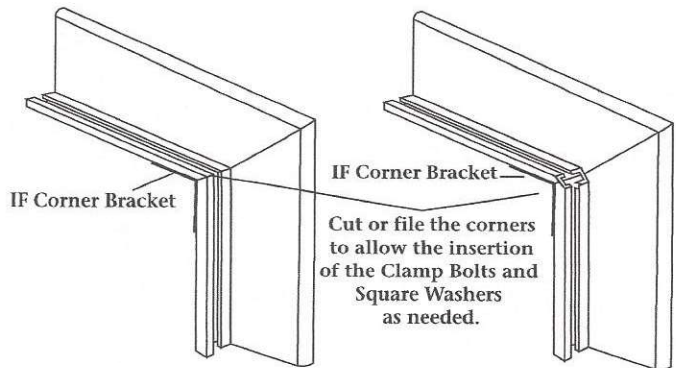
Before installing the IF Frame slide 2 - Bolts and Square Washers in frame for each IF Corner Support or IF Splice Plate. Also, slide 2 - Bolts and Square Washers in frame for each IF Support Bracket.

Invisible Frame System

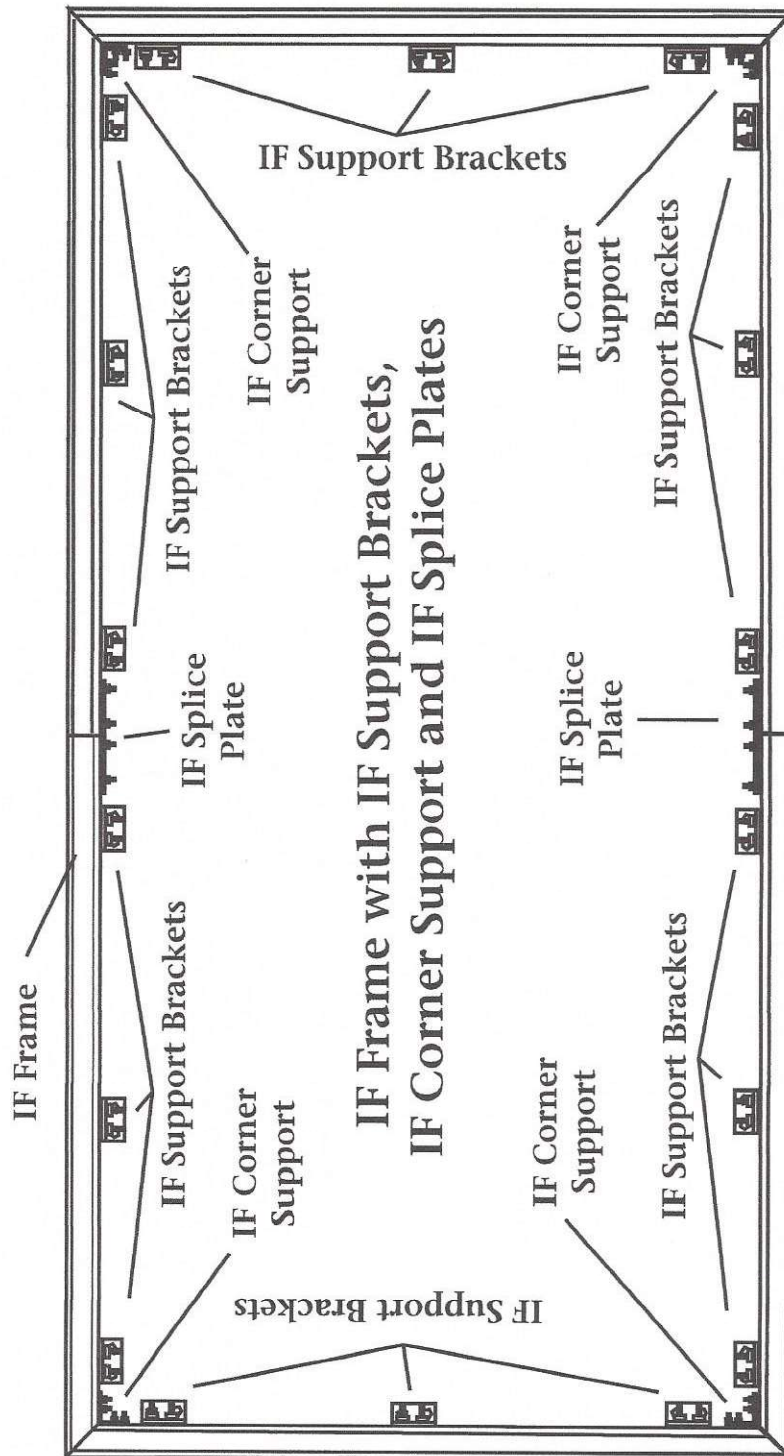


To make it easier to insert the 4" Bolts for the IF Clamps, file or cut the corner of the mitered IF Frame, see illustration.

You can now insert all the IF Clamp bolts with the Square Washer that you need.



Invisible Frame System



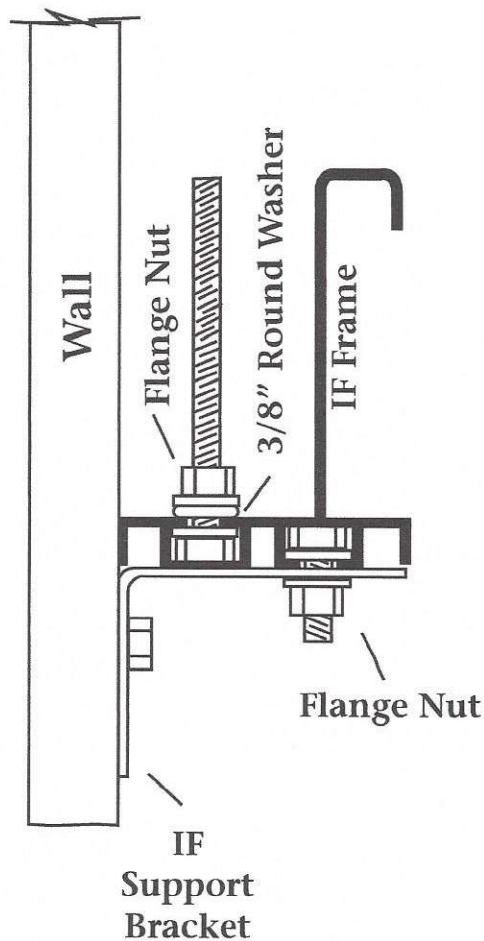
Invisible Frame System

IF Vinyl Installation

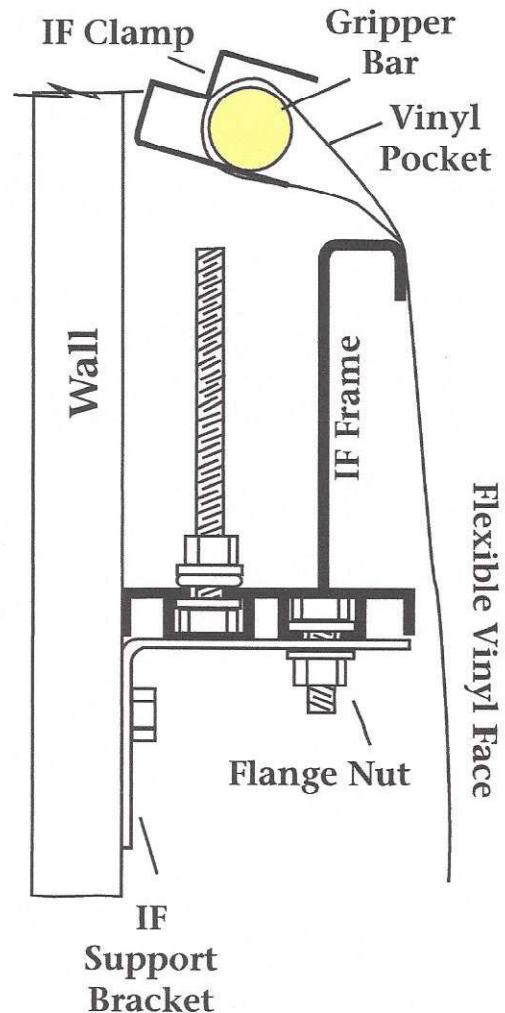
Slide the 4" bolt in place and secure with a Flange Nut.

Install the Gripper Bars into the pockets of the vinyl face. Place an IF Clamp over the Gripper Bar and vinyl. Rotate over and onto the 4" bolt.

Insert the 4" Bolts
with Square Washers
in IF Frame.
When in position
secure the bolts
with Flange Nuts



Place a IF Clamp
over the vinyl pocket
and Gripper Bar.
Place IF Clamp on
the 4" Bolt.

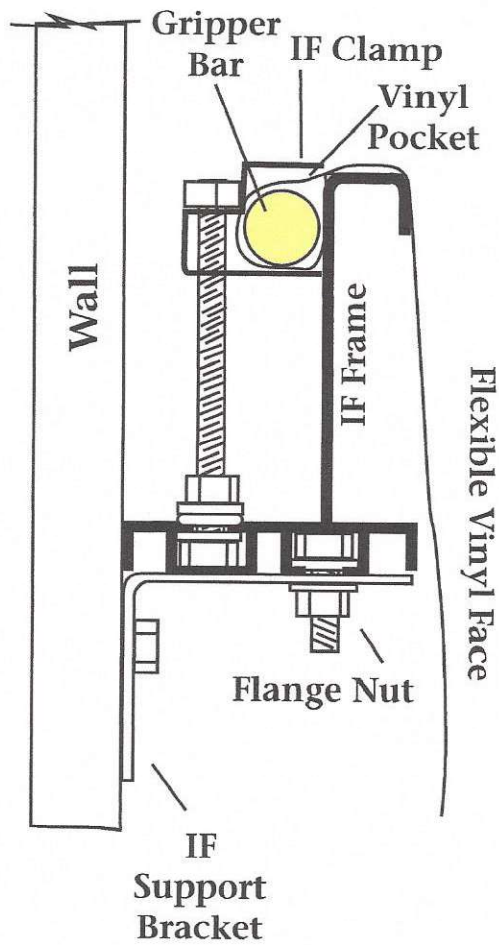


Invisible Frame System

IF Vinyl Installation

Slide the IF Clamp down on the bolt and place a Flange Nut on the bolt and tighten just enough to hold in place. After all of the IF Clamps have been placed on the bolts, start tightening the Flange Nuts using a 3/8" deep well socket until the vinyl is taut.

**With IF Clamp on Bolt
hold in place with a
Flange Nut.
Do not tighten
at this time.**



**With all IF Clamps
in place on the bolts,
using a 3/8" deep well
socket tension all
of the IF Clamps.**

