



# City of Pensacola

## Planning Board

### Agenda

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Tuesday, June 9, 2020, 2:00 PM

Hagler-Mason Conference Room,  
2nd Floor

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Members of the public may only attend via live stream

#### Quorum / Call to Order

#### Approval of Meeting Minutes

[20-00298](#) MAY 12, 2020 PLANNING BOARD MINUTES

*Attachments:* [Planning Board Minutes May 12 2020 DRAFT](#)

#### Requests

[20-00294](#) 57 S. 9TH AVENUE - GATEWAY REVIEW DISTRICT - NEW TWO STORY TOWNHOUSE

*Attachments:* [57 Ninth Avenue GRD Aesthetic Review](#)

[20-00289](#) 29 N. 9TH AVENUE - GATEWAY REVIEW DISTRICT - NEW THREE STORY MIXED-USE BUILDING

*Attachments:* [29 N 9th Ave GRD Aesthetic Review](#)

[20-00290](#) REQUEST FOR VACATION OF RIGHT-OF-WAY - 2900 E. LEE STREET BETWEEN PERRY AVENUE AND PICKENS AVENUE

*Sponsors:* Grover C. Robinson, IV

*Attachments:* [2900 E. Lee St. Vacation of Alley Application](#)

[20-00292](#) REQUEST FOR LICENSE TO USE RIGHT-OF-WAY - 2110 E. LAKEVIEW AVENUE

*Sponsors:* Grover C. Robinson, IV

*Attachments:* [License to Use 2110 E. Lakeview Avenue](#)

#### Open Forum

#### Discussion

[20-00293](#)**DISCUSSION ON PROPOSED AMENDMENTS TO THE TREE ORDINANCE***Sponsors:*

Grover C. Robinson, IV

**Adjournment**

**If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.**

**ADA Statement**

**The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities.**

**Please call 850-435-1670 (or TDD 435-1666) for further information.**

**Request must**

**be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.**

*If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the*





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00298

Planning Board

6/9/2020

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**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

May 12, 2020 Planning Board Minutes

**BACKGROUND:**

Click or tap here to enter text.



## **MINUTES OF THE PLANNING BOARD**

**May 12, 2020**

**MEMBERS PRESENT:** Chairperson Paul Ritz, Board Member Grundhoefer, Board Member Murphy, Board Member Wiggins

**MEMBERS VIRTUAL:** Vice Chairperson Larson, Board Member Sampson

**MEMBERS ABSENT:** Board Member Powell

**STAFF PRESENT:** Assistant Planning Director Cannon, Senior Planner Statler, Assistant City Attorney Lindsay, Historic Preservation Planner Harding, Assistant IT Manager Nichols

**OTHERS PRESENT:** None

### **AGENDA:**

- Quorum/Call to Order
- Approval of Meeting Minutes from March 10, 2020.
- **New Business:**
  1. **Demo – GRD Pensacola Energy – Demolition 1515 E. Heinburg Street**
  2. **Final Plat Review - Corta de La Rua**
  3. **License To Use Request – 1 South Jefferson Street**
  4. **Vacation of Right-of-Way Request – 16<sup>th</sup> Avenue**
  5. **Rezoning – Sonia Avenue**
  6. **Rezoning – 1700 BLK Lansing**
  7. **LDC PB Deadline Amendment**
- Open Forum
- Discussion on the Proposed Amendment to the Tree Ordinance
- Adjournment

### **Call to Order / Quorum Present**

Chairperson Ritz called the meeting to order at 2:02 pm with a quorum present and explained the procedures of the virtual Board meeting.

### **Approval of Meeting Minutes**

**Board Member Murphy made a motion to approve the March 10, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.**

### **New Business**

#### **Demo-GRD Pensacola Energy - 1515 E. Heinburg Street**

Chairperson Ritz advised this was a request to demolish two under-utilized buildings on the applicant's property. Assistant Planning Director Cannon presented to the Board and explained the property was in the Gateway Review District which prompted the need for Planning Board approval. She stated a decorative fence would be placed around the remaining water meter structures.

**Board Member Wiggins made a motion to approve, seconded by Vice Chairperson Larson, and it carried unanimously.**

#### **Final Plat Review – Corta de La Rua**

Chairperson Ritz noted the discussion of this item had been around it being an appropriate and beneficial use to the neighborhood; it was noted the preliminary plat approval was unanimous.

**Vice Chairperson Larson made a motion to approve, seconded by Board Member Wiggins, and it carried unanimously.**

#### **License to Use Request – 1 South Jefferson Street**

Chairperson Ritz explained this request was for the Puppy Pit application, and as a pedestrian who passed this area frequently, he felt it was a much needed area for downtown and would be a welcomed addition. Assistant Planning Director Cannon stated this item went before the Architectural Review Board who unanimously approved it. **Board Member Wiggins made a motion to approve, seconded by Vice Chairperson Larson.** Board Member Murphy questioned who would maintain the dog park. Staff explained that it would be maintained by the Downtown Improvement Board (DIB). Board Member Murphy asked about ADA compliance, and Chairperson Ritz explained the Board was not approving construction documents; Building Inspections would be responsible for review for compliance; this Board was addressing the License to Use contract. Elsie Zhang with the Jerry Pate Company stated the DIB would maintain these projects through a maintenance agreement with the City. Lissa Deese, Executive Director of the DIB, explained the DIB would maintain the right-of-way on these projects. She also indicated there would be a waste station, a dog water fountain and signage informing the public of their locations. She also explained the DIB was not using City tax dollars, but the funds were coming from the ad valorem within the DIB to pay for the park and the maintenance. Ad valorem monies would be used for street ambassadors who would see that the puppy park was properly maintained.

**The motion then carried unanimously.**

#### **Vacation of Right-of-Way Request – 16<sup>th</sup> Avenue**

Chairperson Ritz advised the comments from the utility providers had been addressed. Assistant Planning Director Cannon stated the applicant had demolished a home in order to allow for the creation of two lots. Mark Norris, Rebol-Battle, the applicant's consultant, explained there was no intention of subdividing the lot but to build another structure for

rental purposes. Board Member Wiggins asked if this was one or two city lots, and Mr. Norris stated it was one city lot. Chairperson Ritz reminded the Board this was a vacation of right-of-way which would mean the property would be given over to the property owner if approved by the City Council. Councilwoman Meyers was informed the applicant wanted to vacate 10' adjacent to their property and parallel to 16<sup>th</sup> Avenue. Mr. Norris clarified the applicants were looking for the west 10' of the right-of-way of 16<sup>th</sup> Avenue to be vacated, which would leave 70' of right-of-way. The City of Pensacola would retain the utility easement which had already been cleared for this vacation; 16<sup>th</sup> Avenue would not be closed. **Board Member Wiggins made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.**

### **Rezoning – Sonia Avenue**

This property is currently split zoned with R2-B, Multiple Family Zoning District and CO, Conservation Zoning District and the existing Future Land Use Map (FLUM) designation is HDR, High Density Residential and CO. Chairperson Ritz explained the applicant is proposing to amend the zoning district to R-1AA, Single Family Residential so that the bank would be appeased in the financing for their purchase. **Board Member Wiggins made a motion to approve, seconded by Board Member Murphy.** Vice Chairperson Larson asked about the conservation area. Assistant Planning Director Cannon advised that the conservation area was meant to be a preventive measure when it was a higher density zoning district; when it was the apartment complex, the conservation area was placed as a buffer zone to not allow the HDR to migrate over into the neighborhood. Senior Planner Statler explained the existing single family residence was bisected by the Conservation Zoning District and the current R2-B which placed repairs and extensions to that building in question, and the bank was uncomfortable with the existing building being bisected by those zoning districts. They preferred the zoning be designated R-1AA as it used to be. She explained the conservation strip at the bottom of the property was recently altered by Council to a date certain with the Coastal High Hazard Area and should not be impacted by the rezoning. It was noted the ability to use the waterfront would not be affected. **The motion then carried 4 to 1 with Vice Chairperson Larson dissenting.**

### **Rezoning – 1700 BLK Lansing**

Chairperson Ritz stated he had concerns with the C-3 request. He pointed out the property across the street was county. Board Member Murphy advised she knows Ms. Todaro who has tried to sell the property as residential, but because of the substation, she was not able to do so. Board Member Murphy explained she felt there would be no problem with a C-1 or C-2 designation, but a C-3 might be too extreme. Chairperson Ritz explained a C-1 or C-2 could be offered. Assistant Planning Director Cannon advised Councilwoman Meyers preferred C-1 designation. Chairperson Ritz explained the Board's decision would proceed to Council for consideration. **Vice Chairperson Larson made a motion to approve C-1 zoning, seconded by Board Member Sampson, and it carried unanimously.**

(Board Member Grundhoefer arrived.)

LDC PB Deadline Amendment Chairperson Ritz explained the suggestion was to move all deadlines one month out. Assistant Planning Director Cannon stated that this would better accommodate external reviewing agencies, i.e., Gulf Power, AT&T, and ECUA, by allowing them more time to review and comment. It would also place all items on the same track

as subdivisions and rezonings. **Vice Chairperson Larson made a motion to approve, seconded by Board Member Wiggins.** Chairperson Ritz personally believed 30 days consistent with all applications would give other entities time to adequately address their concerns and would be beneficial to the citizens. **The motion then carried unanimously.**

Board Member Murphy received a text message from Ms. Todaro (1770 BLK Lansing rezoning). Staff advised Ms. Todaro would have been called if the Board had questions. Assistant City Attorney Lindsay advised this Board was a recommending body for this item and was not obligated to change its motion. The applicant would have an opportunity to discuss with Council since they were the body making the determination. Ms. Todaro explained to the Board that the front of property is C-3, and it needs to be the same zoning in order to sell. Chairperson Ritz explained the Board weighs the pros and cons and what is best for the City and was not there to help sell the property. **The Board offered a C-1 which would proceed to Council for consideration. He felt if the Board revoted for a C-3, it would fail; the vote stands.** C-1 designation was explained to the applicant and that she could accomplish what she wanted with C-1.

#### **Open Forum – None**

#### **Discussion on the Proposed Amendment to the Tree Ordinance**

Board Member Murphy addressed the Board and explained she was waiting for professors at the University of Florida on conducting virtual meetings, but they felt they would not get the needed public participation. She advised they were still willing to come to Pensacola for three days for meetings to get citizens engaged and talk with the Board. Board Member Wiggins advised the State passed legislation in June 2019 which restricts municipalities from being able to put in tree ordinances. Board Member Murphy advised the University representatives had developed major tree and landscape ordinances for Miami, Tampa, Jacksonville and Orlando. It was noted that staff would forward this communication to Board Member Murphy. Chairperson Ritz clarified the Board could not suggest legislation that would conflict with something the State had set as a rule of law or ordinance. It was determined that Board Member Wiggins will send the letter to staff for distribution.

**Adjournment** – With no further business, Chairperson Ritz thanked the Board for its patience with the change in methods of physical and virtual participation and adjourned the meeting at 3:10 pm.

Respectfully Submitted,

Cynthia Cannon, AICP  
Assistant Planning Director  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00294

Planning Board

6/9/2020

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**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

57 S. 9<sup>th</sup> Avenue - Gateway Review District - New Two Story Townhouse

**BACKGROUND:**

Christy Cabassa, Christy Cabassa, Architect, is requesting approval for a new 2-story townhouse residence with an attached covered breezeway to a one-car garage. The residence will be a brick structure with an architectural asphalt shingle roof and will be connected to the existing townhouse building to the north.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.



***Planning Board Application  
Request for Aesthetic Review***

Application Date: \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Review District: \_\_\_\_\_

*\* An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.*

***Project specifics/description:***

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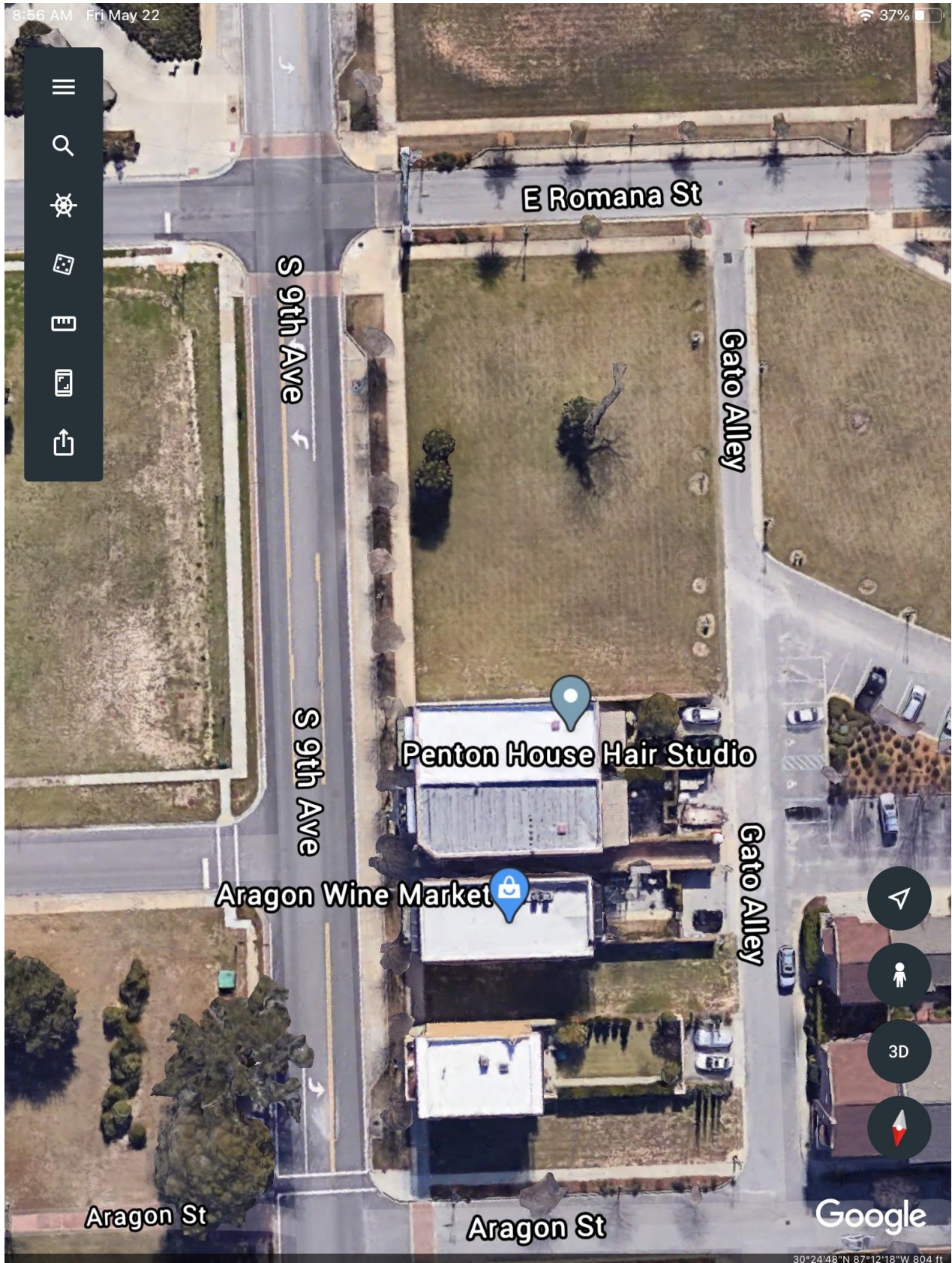
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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.*

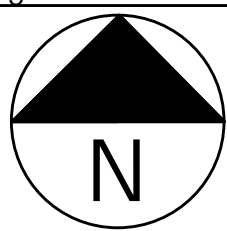
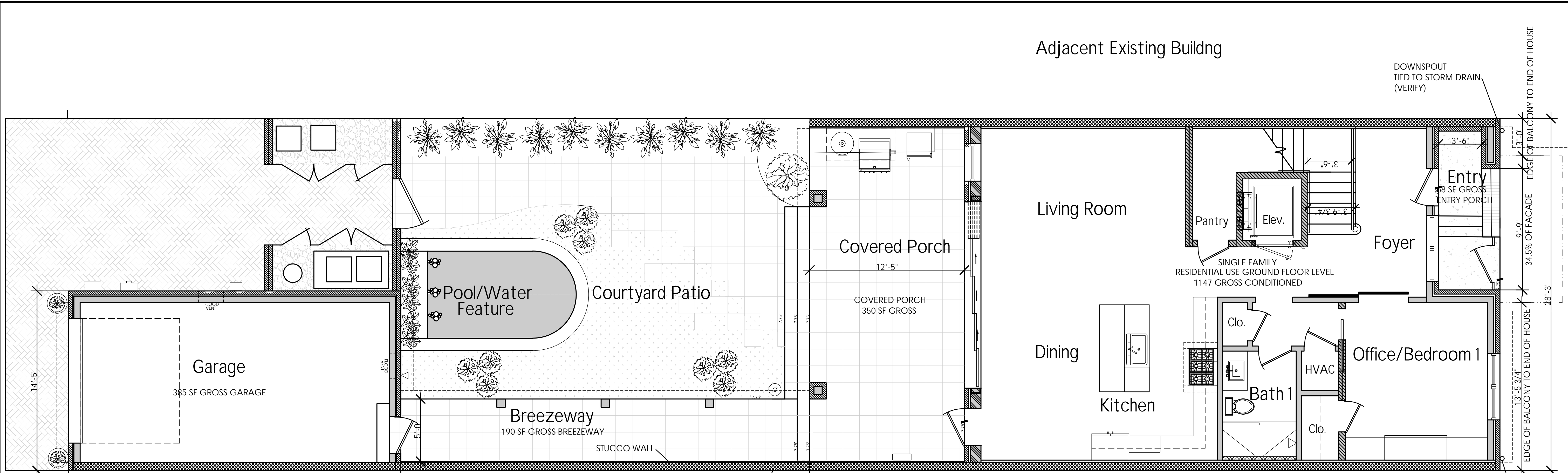
\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Date









# Ground Level

Scale: 1/4"=1'-0"


1147 GROSS CONDITIONED HOUSE  
68 SF GROSS RECESSED ENTRY  
350 SF GROSS COVERED REAR PORCH  
190 SF GROSS BREEZEWAY  
385 SF GROSS GARAGE  
2140 SF UNDER ROOF TOTAL AT GROUND LEVEL

## WALL LEGEND

- EXTERIOR WALL-6" STUDS WITH BRICK EXTERIOR  
2x6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISOVYNE INSULATION AND BRICK VENEER. INSTALL BRICK AS PER BIA RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..
- EXTERIOR WALL-CMU  
8" CMU EXTERIOR WALL WITH FURRING STRIPS AND GYP. WALL BOARD AT INTERIOR. EXTERIOR OF CMU SHALL BE PAINTED. WATERPROOFING?????
- EXTERIOR WALL-10" STUDS  
2x10 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISOVYNE INSULATION AND BRICK VENEER WITH 1" AIRSPACE. INSTALL BRICK AS PER BIA RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..
- 4" INTERIOR STUD  
2x4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)  
2x6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR PRIVACY WALL  
8" CMU WITH TRUE STUCCO SYSTEM EACH SIDE. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..

## LEGEND

- DOOR IDENTIFICATION
- WINDOW IDENTIFICATION
- HOSEBIB LOCATION



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

McCreary Residence  
57 Ninth Ave  
Pensacola, Florida

Block "I" Lot 7  
AragonTownhouse

ALL DRAWINGS AND WRITTEN MATERIAL  
HEREIN CONSTITUTE ORIGINAL AND UN-  
PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT THE WRITTEN CONSENT  
OF THE ARCHITECT.

REVISIONS :

City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :  
Ground Level  
Floor Plans

SHEET NO :  
A1-1

Submitted: June 1, 2020



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

McCreary Residence  
57 Ninth Ave  
Pensacola, Florida

Block "I" Lot 7  
AragonTownhouse

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REVISIONS :

City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting  
Submitted: June 1, 2020

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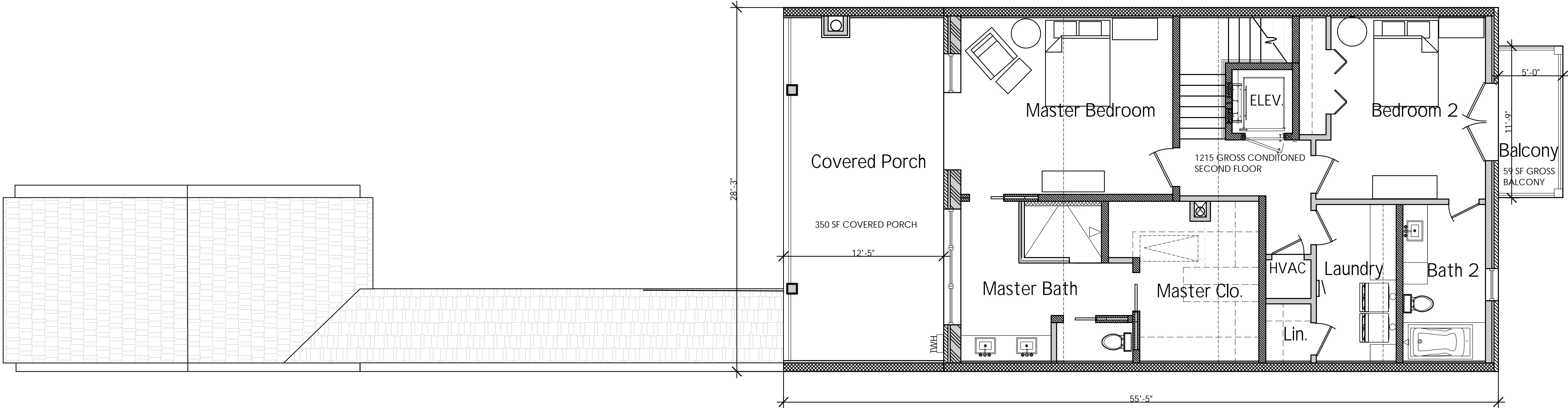
PROJECT NO.

DATE :

SHEET TITLE :  
Second Level  
Floor Plans

SHEET NO. :

A1-2



Second Level  
Scale: 1/4"=1'-0"

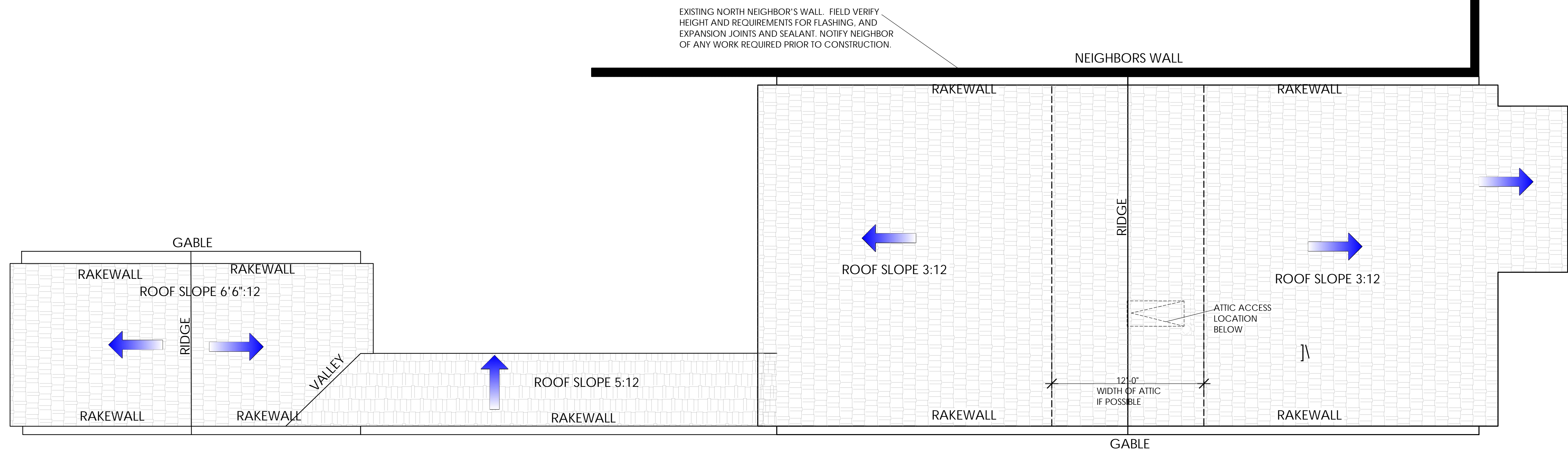
1215 GROSS CONDITIONED  
59 SF GROSS FRONT BALCONY  
350 SF COVERED PORCH  
1624 UNDER ROOF SECOND FLOOR

WALL LEGEND

- EXTERIOR WALL-6" STUDS WITH BRICK EXTERIOR  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH  
R19 OR BETTER ISOVYNE INSULATION AND BRICK VENEER  
INSTALL BRICK AS PER BIA RECOMMENDATIONS  
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- EXTERIOR WALL-CMU  
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AT INTERIOR. EXTERIOR OF CMU SHALL BE PAINTED.  
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2X10 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH  
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INSTALL BRICK AS PER BIA RECOMMENDATIONS  
AND PER INDUSTRY STANDARDS.
- 4" INTERIOR STUD  
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD  
EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)  
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- EXTERIOR PRIVACY WALL  
8" CMU WITH TRUE STUCCO SYSTEM EACH SIDE.  
INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS.  
AND PER INDUSTRY STANDARDS.

LEGEND

- DOOR IDENTIFICATION
- WINDOW IDENTIFICATION
- HOSEBIB LOCATION



## Roof Plan

Scale: 1/4"=1'-0"

## ROOF NOTES

1. ROOFING SHALL BE ARCHITECTURAL ASPHALT SHINGLES 1" ROOF AS SELECTED BY OWNER OVER HIGH TEMPERATURE ICE AND WATERSHIELD UNDERLAYMENT.
2. PROVIDE PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH FASCIA TRIM. DOWNSPOUTS SHALL TIE INTO STORM DRAIN SYSTEM. SEE ELEVATIONS FOR PROPOSED LOCATIONS. FIELD VERIFY FOR BEST LOCATIONS WHEN CONFLICTS ARISE, CONSULT W/OWNER
3. PROVIDE ATTIC ACCESS AS SHOWN TO ACCESS ATTIC SPACE PER CODE. ATTIC ACCESS STAIR SHALL BE 25"X54" WOOD ATTIC STAIR AND SHALL BE FOR 10' CEILINGS ALTERNATE SHALL BE TELESCOPING ATTIC LADDER BY RAINBOW ATTIC STAIRS.
4. PROVIDE SMOKE BARRIERS IF REQUIRED BY CODE TO SEPARATE ATTIC SPACE.
5. PROVIDE PREFINISHED ALUM. DRIP EDGE TO MATCH FASCIA AND GUTTERS. FLASHING SHALL COVER TRANSITION FROM ROOF TO WALL AND SHALL BE CAULKED WITH SEALANT TO PREVENT WATER INTRUSION. WATER RESISTANT BARRIER SHALL CONTINUOUS TO SEAL OFF ROOF/WALL TRANSITION.
6. ALL SOFFIT CEILINGS SHALL BE STUCCO UNLESS OTHERWISE SPECIFIED AS T&G STAINED WOOD. VERIFY WITH OWNER.
7. PROVIDE FLASHING AT ALL VALLEYS AND RAKEWALL CONDITIONS AND LEVEL CHANGES. CAULK AND SEAL TO MAKE WATER TIGHT.
8. FLASH, CAULK AND SEAL ALL ROOF PENETATIONS TO MAKE WATER TIGHT.
9. AT ALL RAKEWALLS PROVIDE ICE AND WATERSHIELD 12" UP WALL AS WELL AS FLASHING 12" MINIMUM UP RAKE WALL
10. ASPHALT SHINGLE ROOF SHALL BE INSTALLED AS PER ALL OF MANUFACTURERS' STANDARD DETAILS FOR ALL CONDITIONS AND AS PER INDUSTRY STANDARDS.
11. PROVIDE PREFINISHED ALUMINUM COPING CAPS AT ALL WALLS EXTENDING BEYOND ROOF DECK. FLASH CAULK AND SEAL.
12. FIELD VERIFY HEIGHT OF ADJACENT NORTH EXISTING WALL. PROVIDE BACKER ROD AND EXPANSION JOINT SEALANT BETWEEN THE TWO CMU WALLS. PROVIDE RAKEWALL FLASHING, CAULK AND SILL. NOTIFY NORTH OWNER OF WORK REQUIRED TO TIE INTO THEIR WALL TO MAKE WATER TIGHT.



Christina Lee Cabassa

ARCHITECT

Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

**CERTIFICATION :**

**PROJECT - LOCATION :**

McCreary Residence  
57 Ninth Ave  
Pensacola, Florida

Block "I" Lot 7  
AragonTownhouse

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**REVISIONS :**

City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting

Submitted: June 1, 2020

**DRAWN BY :** CLC

**CHECKED BY :** CLC

PROJECT NO.

DATE : \_\_\_\_\_

**SHEET TITLE :**

## Roof Plan

**SHEET NO. :**

NO. :  
**A1-3**

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

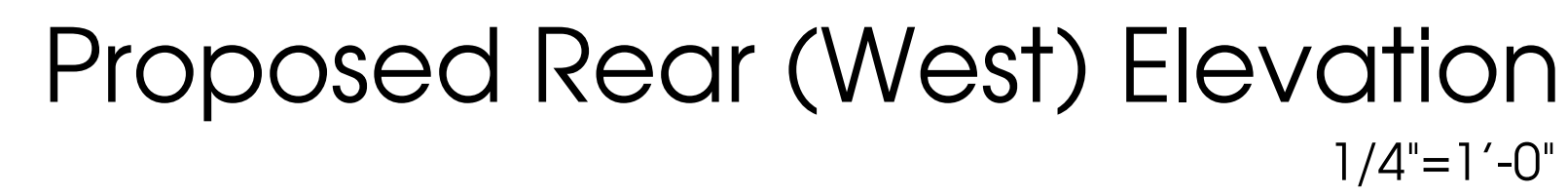
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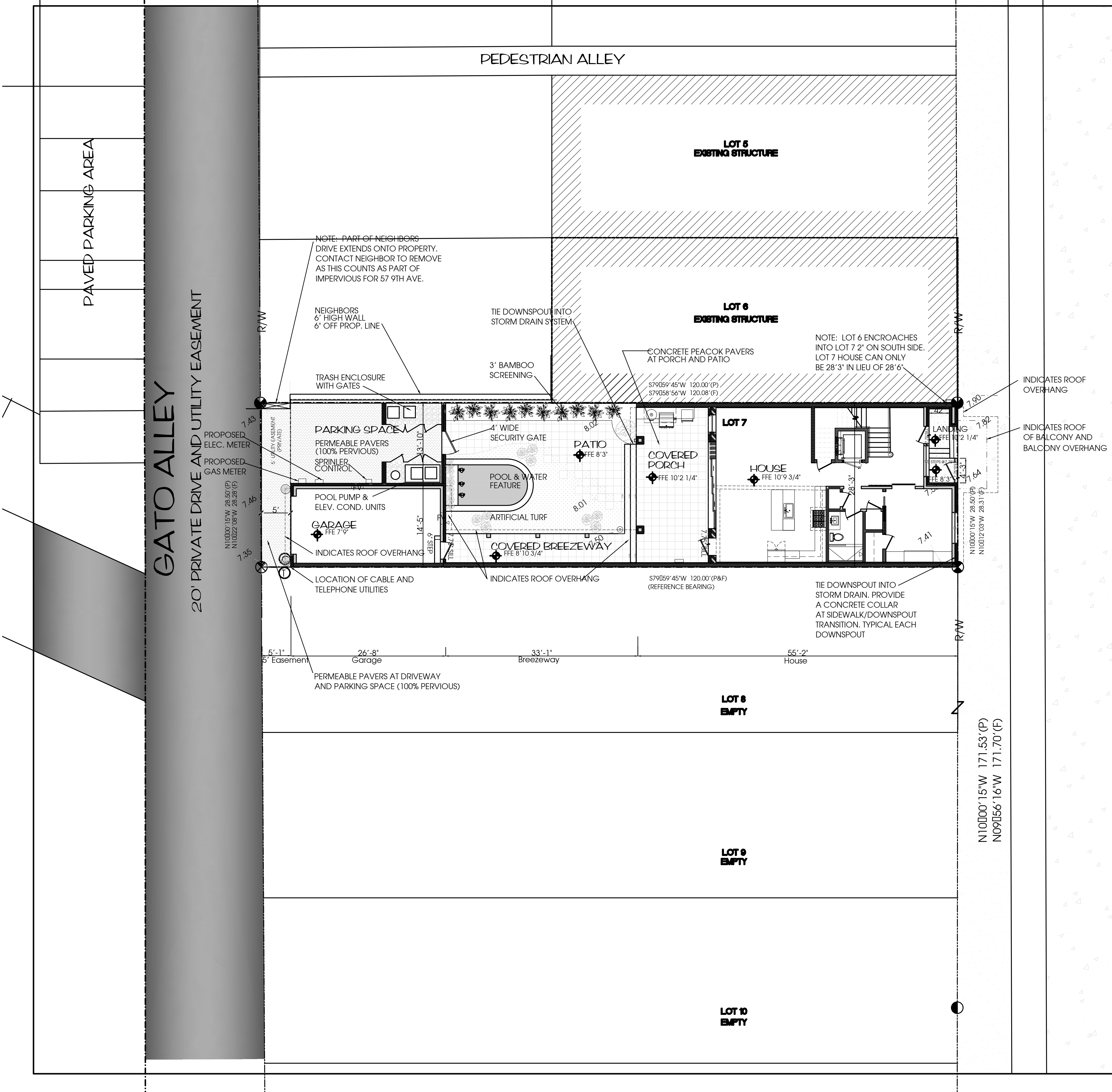
City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting

A2-1



STYLE: COASTAL VERNACULAR THE CARRIBEAN VARIANT





ARAGON  
Townhouse Type 1

IMPERVIOUS  
Site Area 3420 SF

Impervious area 2445 SF

Pervious area 832 SF 24%  
(684 SF REQD. FOR 20%)  
(MEETS REQUIRED)

ZONING  
GRD-1

SETBACKS  
FRONT: 0'  
SIDES: 0'  
REAR: 5' AT GATO ALLEY  
HEIGHT: 55' MAX

INDICATES THE FLOW OF WATER

NOTES

1. PERMEABLE PAVERS SHALL BE BELGARD AQUA-BRIC PAVERS OVER CRUSHED GRAVEL WITH OPEN JOINTS. MEETS 100% SURFACE DRAINAGE ACCORDING TO THE ICPI (INTERLOCKING CONCRETE PAVER INSTITUTE) PAVERS BY PAV-R.

### GROUND FLOOR

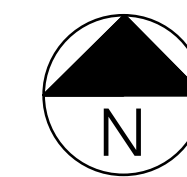
1147 GROSS CONDITIONED HOUSE  
68 SF GROSS RECESSED ENTRY  
350 SF GROSS COVERED REAR PORCH  
190 SF GROSS BREEZEWAY  
385 SF GROSS GARAGE  
2140 SF UNDER ROOF TOTAL AT GROUND LEVEL

### SECOND FLOOR

1215 SF GROSS CONDITIONED  
59 SF GROSS FRONT BALCONY  
350 SF COVERED PORCH  
1624 UNDER ROOF SECOND FLOOR

### TOTAL

2362 SF GROSS CONDITIONED  
3764 SF UNDERROOF



Siteplan  
Scale: 1/8"=1'-0"



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ARCHITECT  
Florida AR0014272  
Florida ID0003615

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REVISIONS :

ARAGON PLANNING BOARD SUBMITTAL  
JUNE 12, 2020

Jeff and Vicki McCreary

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Siteplan

SHEET NO. :

AS-1



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

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Planning Board Submittal Review  
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CHECKED BY : CLC

PROJECT NO.

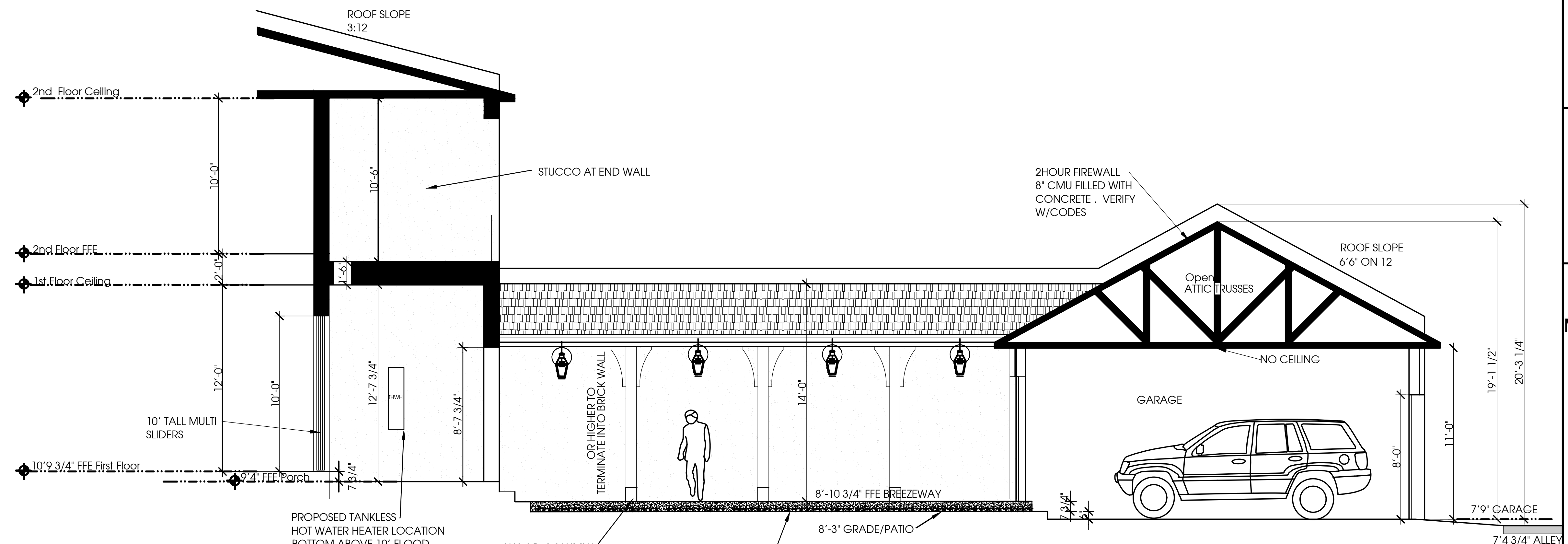
DATE :

SHEET TITLE :

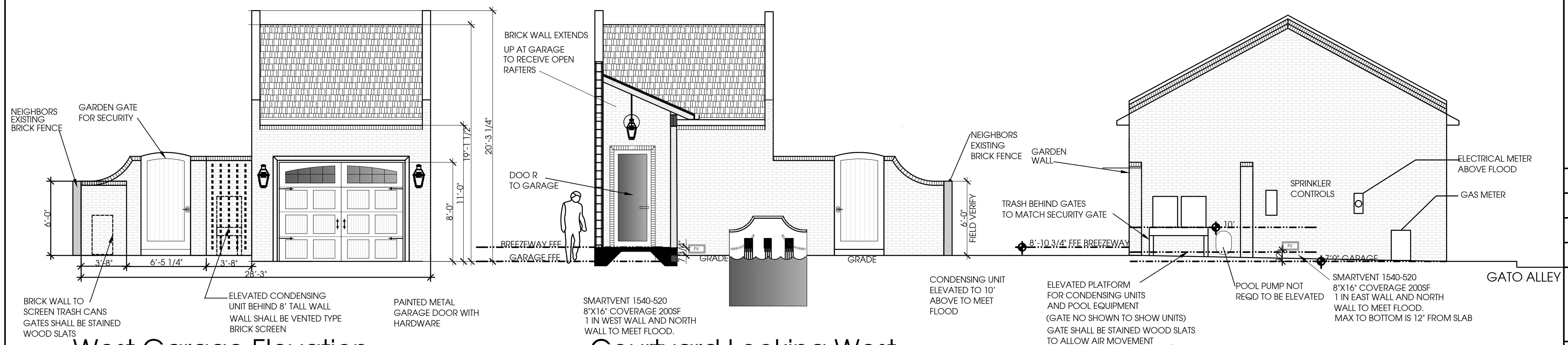
Elevations

SHEET NO. :

A2-2



Proposed North Courtyard Elevation  
Section at Garage  
1/4"=1'-0"



West Garage Elevation  
1/4"=1'-0"

Courtyard Looking West  
1/4"=1'-0"

North Garage Elevation  
1/4"=1'-0"





Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

McCreary Residence  
57 Ninth Ave  
Pensacola, Florida

Block "I" Lot 7  
AragonTownhouse

ALL DRAWINGS AND WRITTEN MATERIAL  
HEREIN CONSTITUTE ORIGINAL AND UN-  
PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT THE WRITTEN CONSENT  
OF THE ARCHITECT.

REVISIONS :

City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting

Submitted: June 1, 2020

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

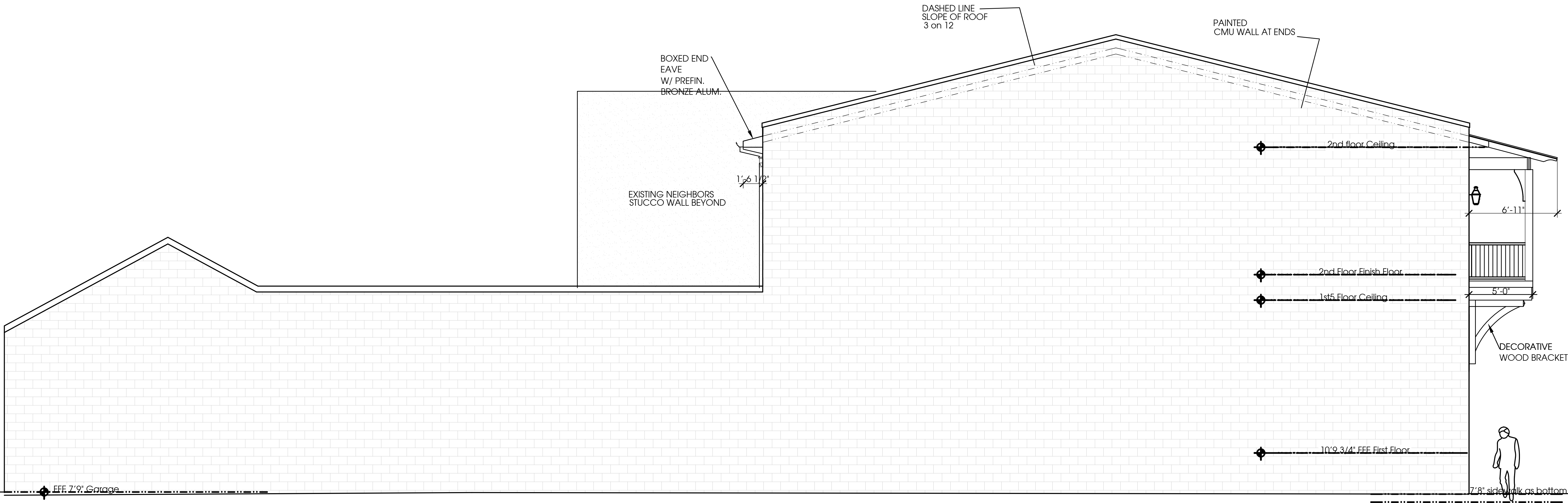
DATE :

SHEET TITLE :

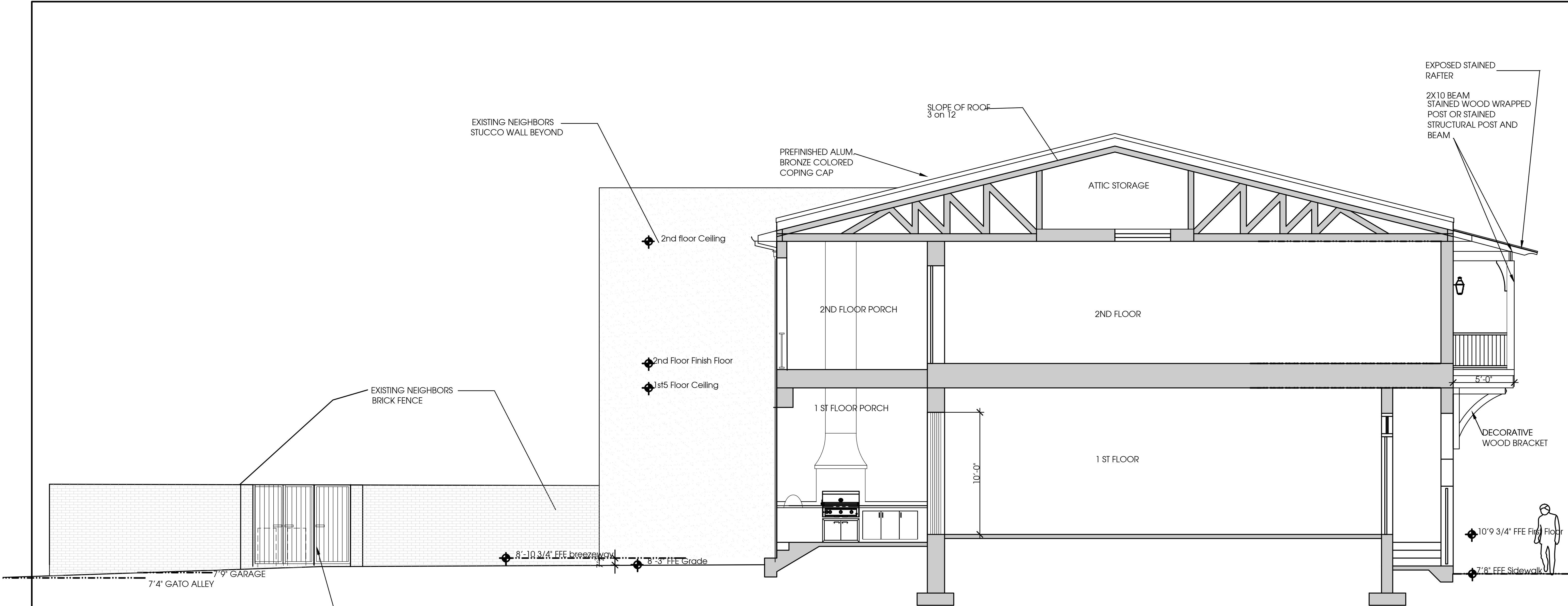
Elevations

SHEET NO. :

A2-3



Proposed South Elevation  
1/4"=1'-0"



Proposed Courtyard Looking North  
1/4"=1'-0"



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

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REVISIONS :

City of Pensacola  
Planning Board Submittal Review  
For: July 14, 2020 Meeting

Submitted: June 1, 2020

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO. :

A2-4

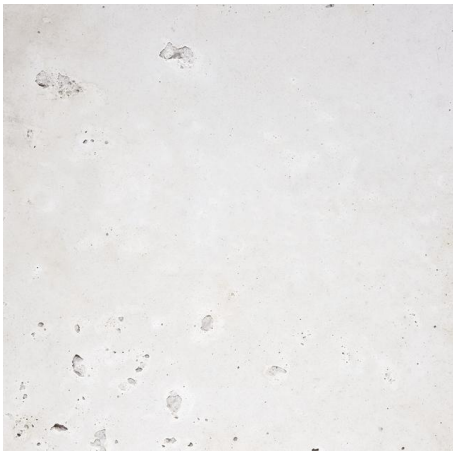




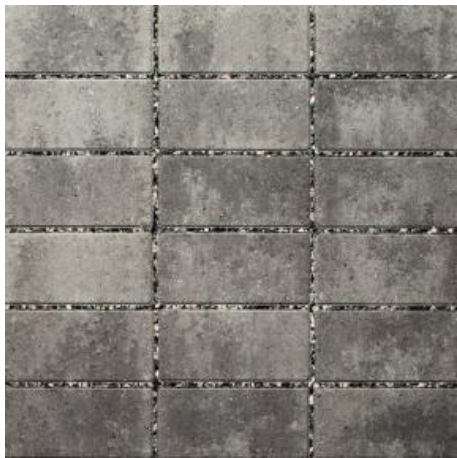
Meridian brick with white mortar



GAF Driftwood Asphalt roofing



Peacock Pavers at Private Courtyard



Belgard Aqua-Bric Permeable Pavers at Drive  
Color: Slate



Bronze railings  
/Fascia and Drip Color



Stained wood trim  
for all /doors/gates/shutters  
columns/beams



stucco Texture match mortar



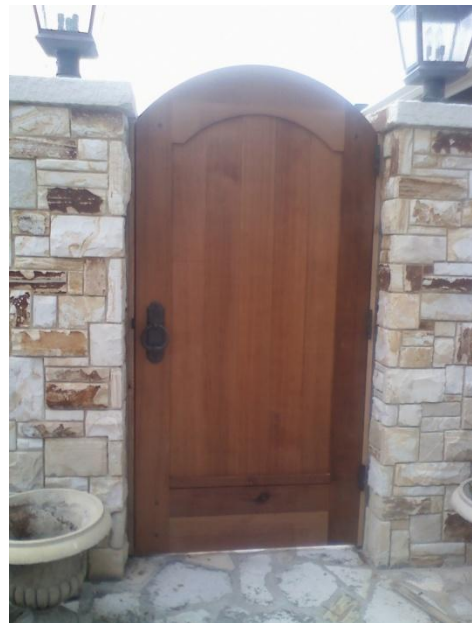
Synergy Wood Ceiling



Overhead door company Stained Wood look /metal or Fiberglass garage doors



Rustica Pumphouse front door- Stained front door style and color



Front/Rear Gate Style in stained wood on page 1



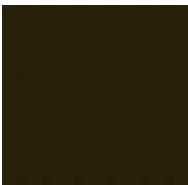
Rear Patio door and front balcony Patio door in bronze  
Kolbe/Jeldwen or Windsor



Windows Metal Clad in Bronze  
Kolbe/Jeldwen or Windsor  
See elevations for mullions at front  
See elevations for no mullions at rear



Multisliding doors in bronze at rear courtyard  
Kolbe/Jeldwen/or PGT



Exterior french doors/sliders and window color in bronze





Bevelo French Quarter Style Lights



Shutter style in stained wood



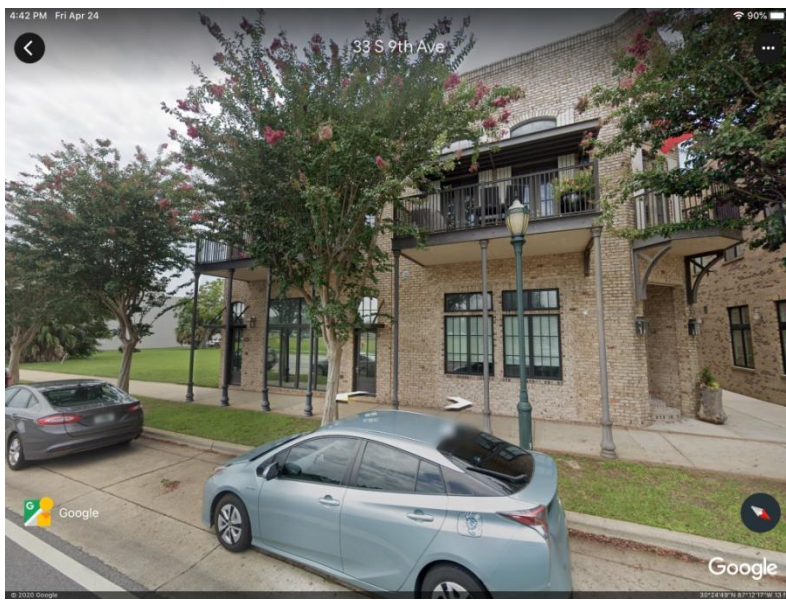
Downspout in dark bronze



Railing Style in dark bronze



Floodvents in white



Street View of Property Improved to the North of Lot 7



Lot 7 and Property Improved to the North



Alley View of Property to the North of Lot 7 Improved

**Jeff and Vicki McCreary for Planning Board  
57 Ninth Ave.**

**Photo submittal of Adjacent Property Improvement**

**Submitted by: Christy Cabassa, Architect 4/27/20**

Department:	Comments:
FIRE	No comment.
PW/E	No comment.
InspSvcs	No comment.
ESP	No comment.
ECUA	No comment.
GPW	No comment.
ATT	No comment.

## Cynthia Cannon

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Thursday, May 28, 2020 3:38 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 57 N. 9th Avenue - S/F Home - Gateway Redevelopment District

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

The ECUA has no comment on the aesthetic review of the single-family building proposed for 57 N 9<sup>th</sup> Ave. Please have the property owner contact ECUA Customer Service to schedule water/sewer connections as necessary.

Thanks,

**Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |**

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

---

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Thursday, May 28, 2020 11:00 AM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Subject:** 57 N. 9th Avenue - S/F Home - Gateway Redevelopment District

**\*\*WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders \*\***

Good Afternoon All,

Please see the attached application before the Planning Board for a single family residence at 59 N. 9<sup>th</sup> Avenue located in the Aragon Subdivision. This property is located in the Gateway Redevelopment District and requires Planning Board approval for aesthetic review.

If you could submit your comments by Monday June 1, 2020 it would be greatly appreciated.

Thank you,

**Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>



## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Thursday, May 28, 2020 4:00 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 57 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Pensacola Energy has no comments.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

\*\*\*Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit [Pensacola311.com](http://Pensacola311.com)

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

---

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Thursday, May 28, 2020 11:00 AM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>

**Subject:** 57 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Good Afternoon All,

Please see the attached application before the Planning Board for a single family residence at 59 N. 9<sup>th</sup> Avenue located in the Aragon Subdivision. This property is located in the Gateway Redevelopment District and requires Planning Board approval for aesthetic review.





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 20-00289

Planning Board

6/9/2020

---

**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

29 N. 9<sup>th</sup> Avenue - Gateway Review District - New Three Story Mixed-Use Building

**BACKGROUND:**

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for a new 3-story mixed-use building and a new detached garage and carport located at 29 N. 9<sup>th</sup> Avenue. The buildings ground floor contains commercial tenant space while the second and third floors comprise the owner's residence. There is a small rooftop terrace with pergola overlooking 9<sup>th</sup> Avenue.

All relevant documentation is included for your review. The application does not include the review comments and/or approval from the Aragon Architectural Review Board.

**Gateway Review Board Application  
Full Board Review**



Application Date: 05-04-20

**Project Address:** 29 N. 9th. Ave.  
**Applicant:** Dalrymple I Sallis Architecture  
**Applicant's Address:** 503 E. Government St.  
**Email:** scott@dalsal.com **Phone:** 850-470-6399  
**Property Owner:** Chris and Christine Alexander  
*(If different from Applicant)*

Application is hereby made for the project as described herein:

- ☒ Residential – \$50.00 hearing fee  
☐ Commercial – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

New (3) story 3,159 SF mixed use building and (1) new 660 SF detached garage and carport,  
located on Lot 4, Block E. The building's ground floor contains commercial tenant space, while  
the second and third floors comprise the owners' residence. Provided on the roof is a small  
terrace with pergola, overlooking 9th. Ave.

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.*

  
Applicant Signature

05/05/20  
Date

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521

***Gateway Review Board Application  
Full Board Review***

***Procedure for review of plans:***

- Plan submission: All development plans, including demolition, must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**
- Review and approval. *All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13.* At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.
- Final development plan. *If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development.* For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.
- Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the Board. This provision is made in an effort to save the applicant and the Board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the Board secretary and chairman, then the matter will be referred to the board for a decision.

---

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

***Gateway Review Board Application***  
***Full Board Review***

**Submittal Instructions/Requirements Checklist:**

- \_\_\_\_\_ **One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;**
- \_\_\_\_\_ **Eleven (11) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".**
- \_\_\_\_\_ **One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.**

**Support Documents MUST include:**

**DRAWINGS:**

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

**SITE PLAN:**

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

**FLOOR PLAN:**

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

**EXTERIOR ELEVATIONS:**

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.

***Gateway Review Board Application***  
***Full Board Review***

- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.
- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

**PHOTOGRAPHS:**

**RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:**

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

**NEW CONSTRUCTION:**

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

**DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:**

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

**Date:** Monday, May 04, 2020  
**Project:** 29 N. 9<sup>th</sup>. Ave.  
Pensacola, FL 32502  
**Recipient:** Planning Board – City of Pensacola

## Existing Site Conditions



**View of Existing Lot**

## Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Brick Veneer	W. R. Taylor	TBD; See Image Below
Windows and Doors	TBD	Dark Bronze
Columns	Sherwin Williams	SW 7069 "Iron Ore"
Railings	Powder Coated Alum.	SW 7069 "Iron Ore"
Precast Entry Surround	TBD	Precast Concrete or Painted Composite
Metal Roofing	Metal Sales	Galvalume
Fascias	Sherwin Williams	SW 7069 "Iron Ore"
Exterior Trim	Sherwin Williams	SW 7069 "Iron Ore"
Lighting	TBD	Black or Dark Bronze Metal
Pergola	Sherwin Williams	SW 7069 "Iron Ore"
Stucco	Sherwin Williams	SW 7636 "Origami White"
Awnings	Sherwin Williams	SW 7069 "Iron Ore"
Wood Fence	Sherwin Williams	SW 7067 "Cityscape"



## **BRICK**



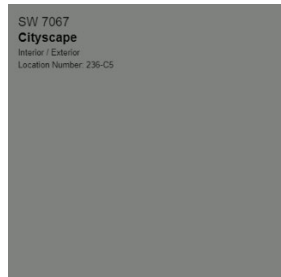
Light Brown, with White Mortar

## **PAINT COLORS**



### **Accent**

Sherwin Williams:  
SW 7069 "Iron Ore"



### **Privacy Fence**

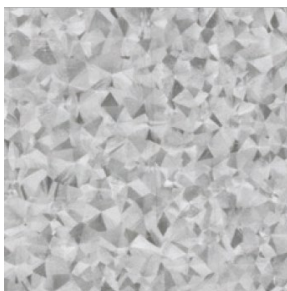
Sherwin Williams:  
SW 7067 "Cityscape"



### **Stucco**

Sherwin Williams:  
SW 7636 "Origami White"

## **ROOFING**



*Metal Sales*

Standing Seam Metal: Galvalume



## RAILING



**Powder Coated Aluminum**

## PRIVACY FENCE



**Painted Wood**

## LIGHTING



**Exterior Sconce**

Finish: Black or Bronze Metal

## Renderings

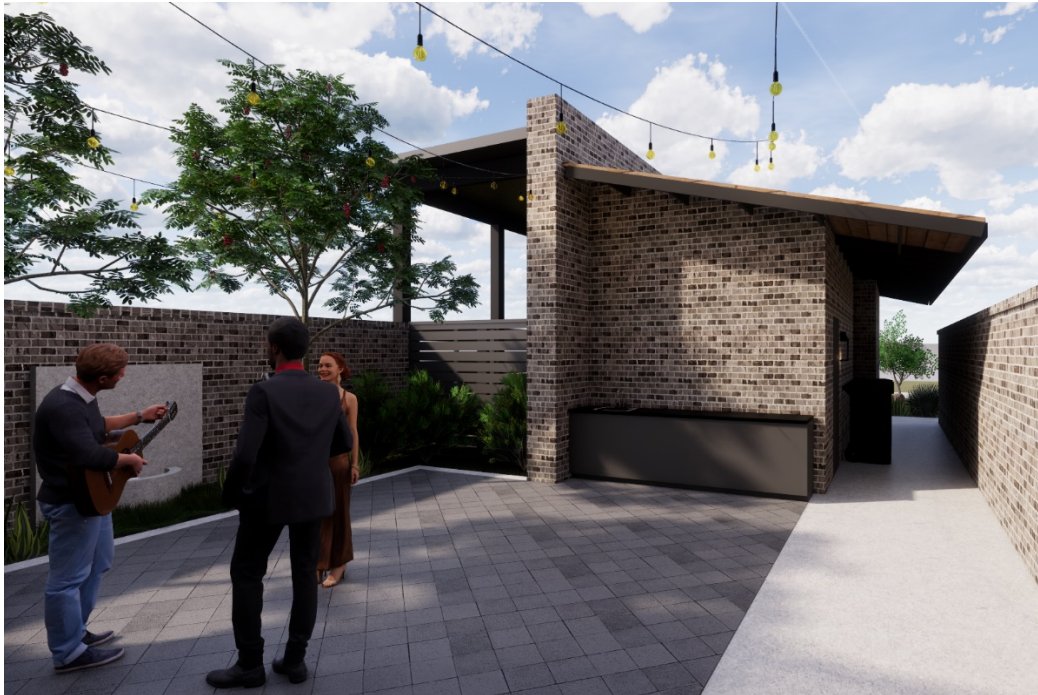


**View of Front**



**View of Rear**





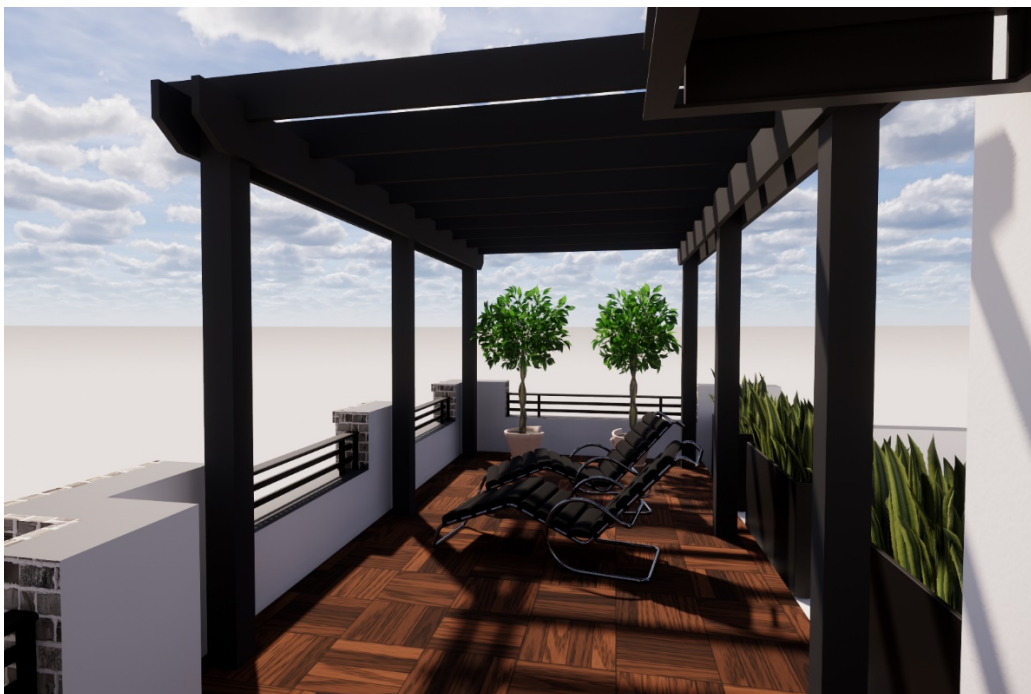
**View of Courtyard 1**



**View of Courtyard 2**



**View of Ground Floor Tenant Space**



**View Rooftop Terrace**



# Alexander Residence

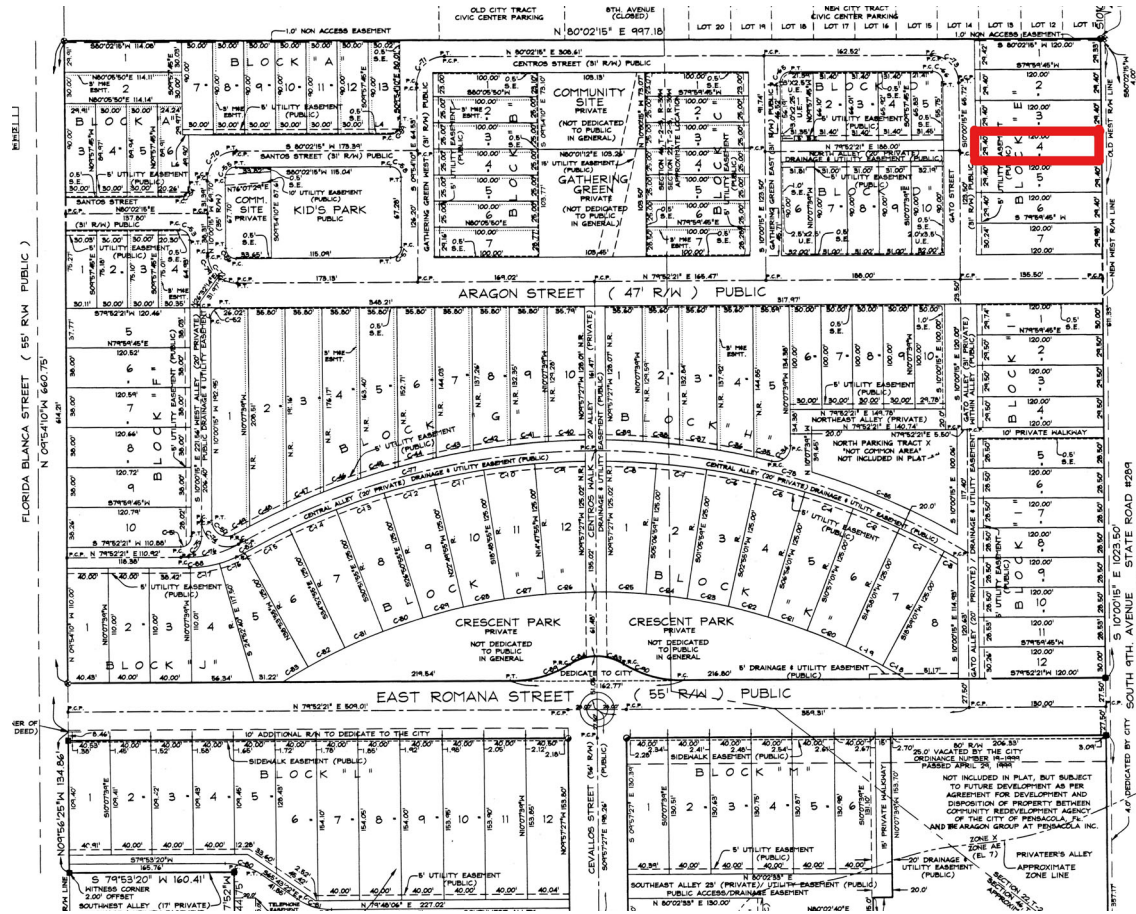
A HOME FOR CHRIS AND CHRISTINE WITH COMMERCIAL TENANT SPACE

29 N. 9th Ave.

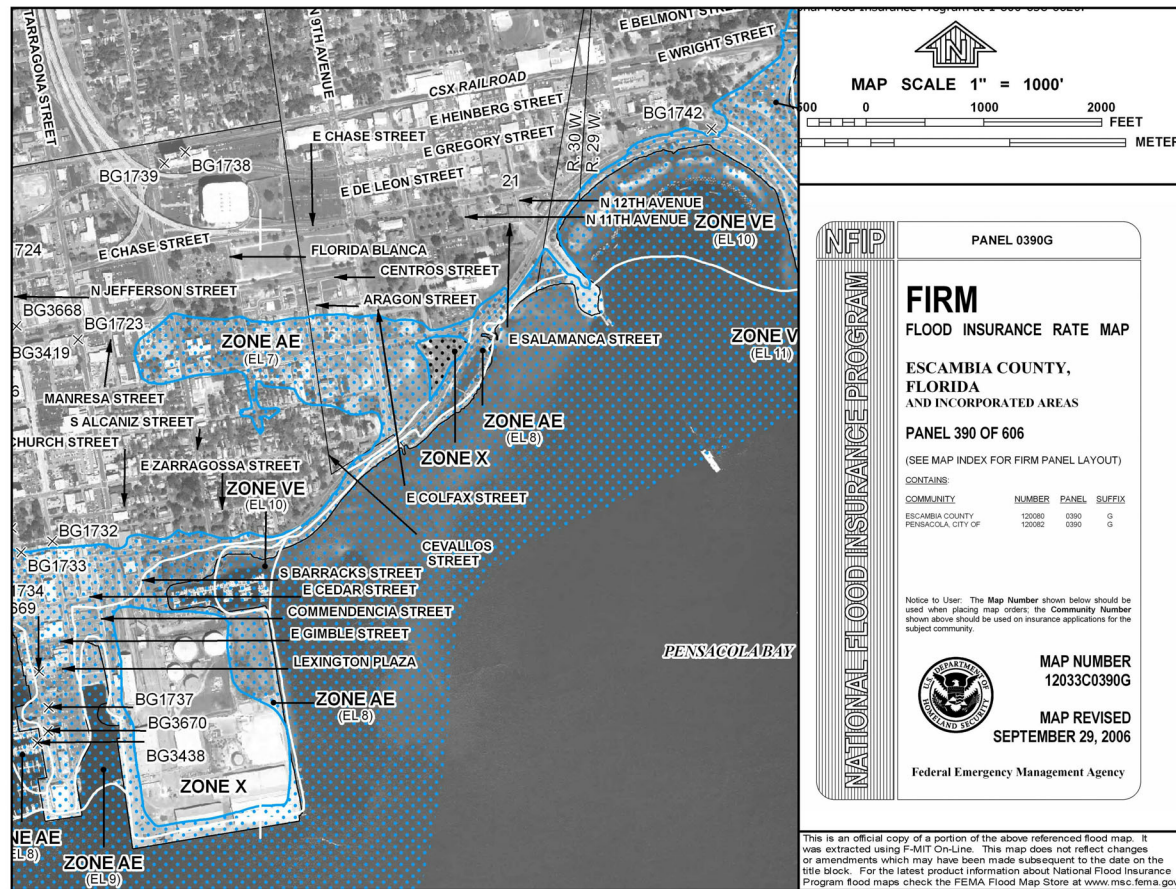
Pensacola, FL 32502



VICINITY MAP



SITE MAP



FEMA FLOOD MAP

## BUILDING DATA

**APPLICABLE CODES:**  
2017 FLORIDA BUILDING CODE, RESIDENTIAL  
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

**CONSTRUCTION TYPE:**  
TYPE VB: UNPROTECTED, UNSPRINKLERED

**OCCUPANCY CLASSIFICATION:**  
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

**ZONED:** GRD-1

**FLOOD ZONE:** X

**PHYSICAL PROPERTIES:**

FIRST FLOOR CONDITIONED:	1145 SF
SECOND FLOOR CONDITIONED:	1007 SF
THIRD FLOOR CONDITIONED:	1007 SF
TOTAL CONDITIONED:	3159 SF
FIRST FLOOR GARAGE/COVERED:	727 SF
SECOND FLOOR BALCONIES:	372 SF
THIRD FLOOR BALCONIES:	180 SF
ROOF TERRACE:	255 SF
TOTAL UNCONDITIONED:	1534 SF
BUILDING HEIGHT:	48'-7"
NO. OF STORIES:	3

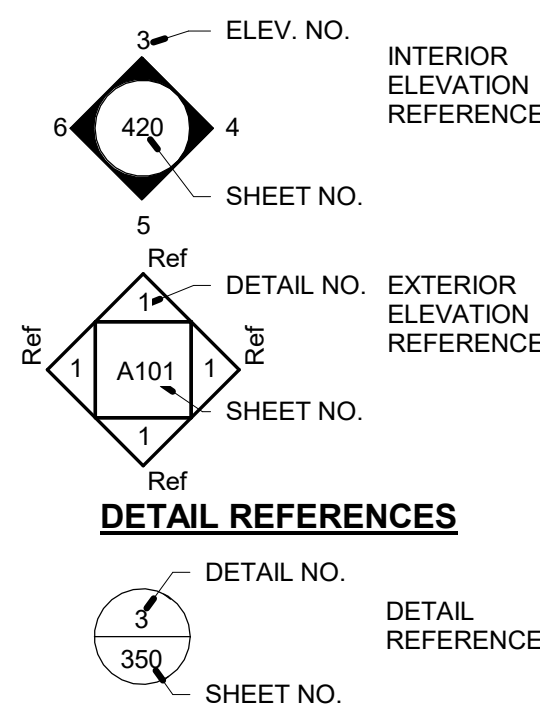
## INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A101	FIRST AND SECOND FLOOR PLANS	
A102	THIRD FLOOR AND ROOF PLANS	
A201	EXTERIOR ELEVATIONS	
A701	3D EXTERIOR VIEWS	

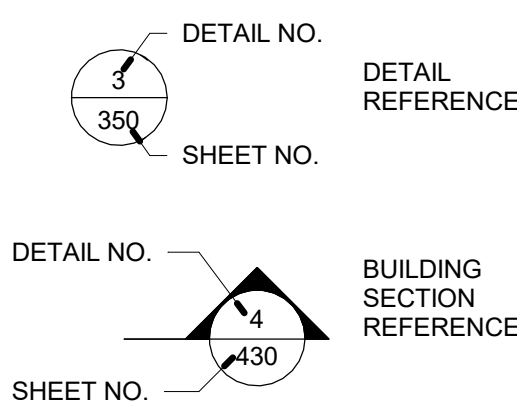
## GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYS IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

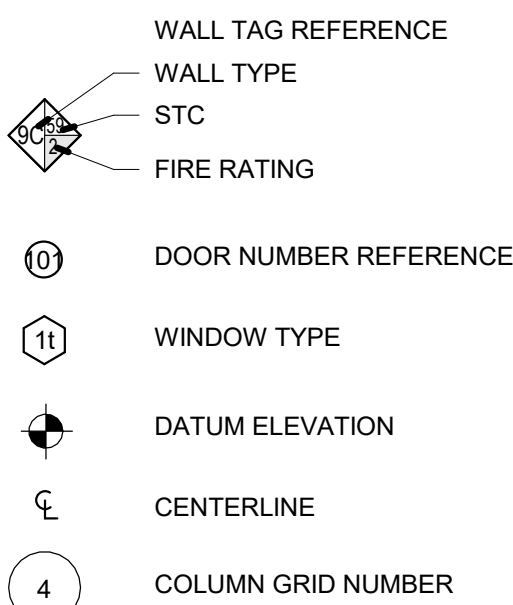
### ELEVATION REFERENCES



### DETAIL REFERENCES



### ANNOTATION REFERENCES



Room name ROOM TAG

(11'-8") CEILING HEIGHT - ABOVE FIN. FLOOR

### REVISION NUMBER REFERENCE

1. REVISION NO.



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsol.com  
AR 0016385

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CERTIFICATION

NOT FOR  
CONSTRUCTION

Alexander Residence

29 N. 9th Ave.  
Pensacola, FL 32502

DRAWN BY: HH/MH CHECKED BY: JSS

ISSUE DATE: 04/30/20

REVISIONS: No. Desc. Date

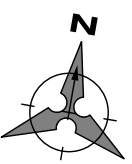
SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO:  
Project Number

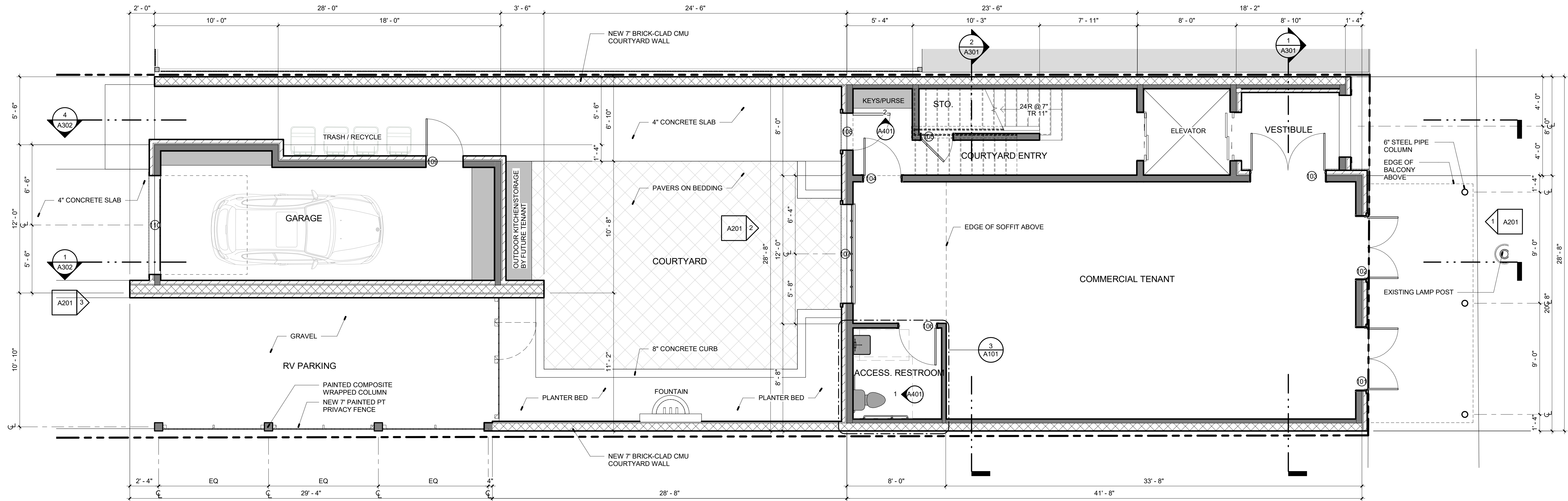


1

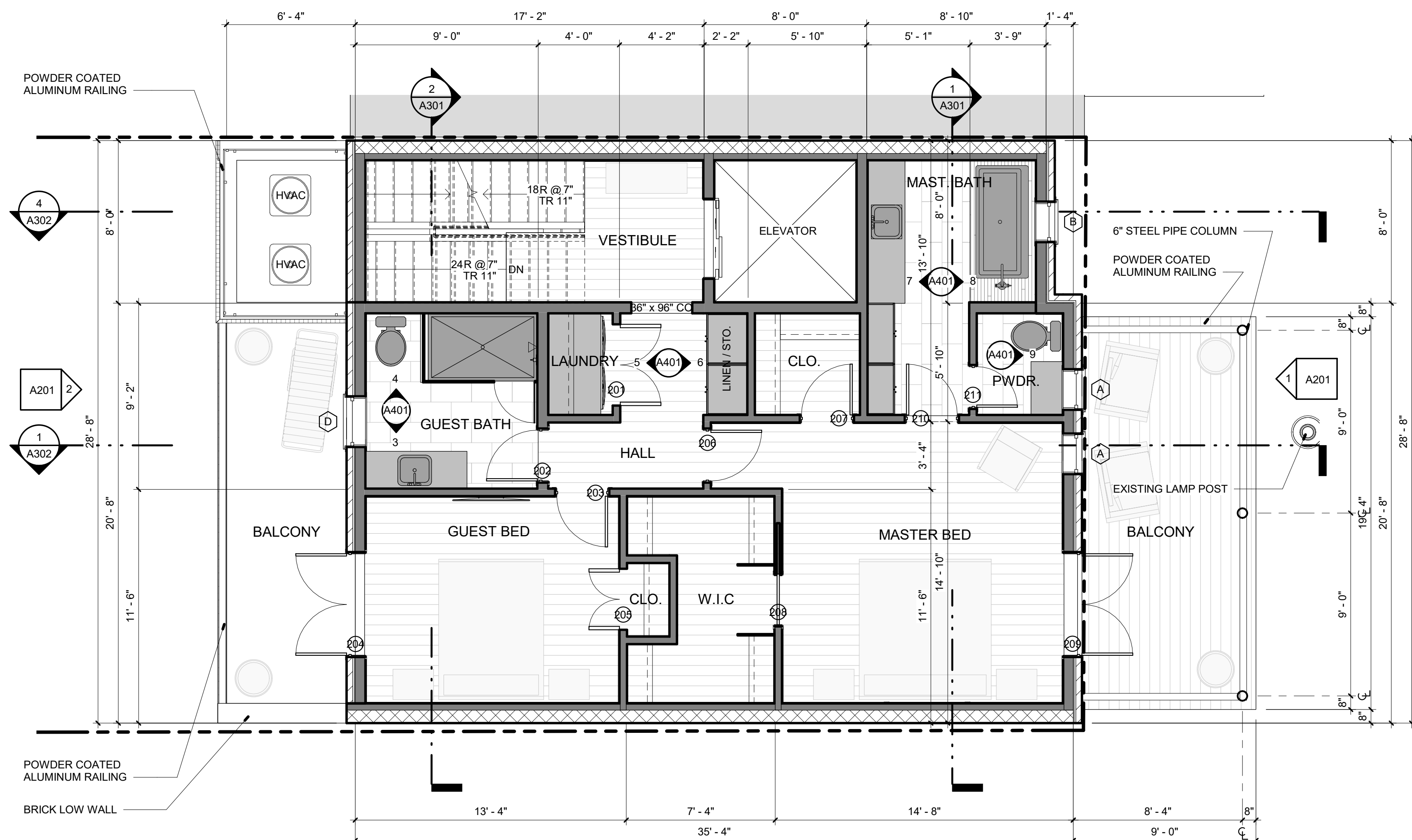
ARCHITECTURAL SITE PLAN

1/8" = 1'-0"





**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
1/4" = 1'-0"



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Pensacola, FL 32502  
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www.dalsal.com  
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**NOT FOR CONSTRUCTION**

# Alexander Residence

29 N. 9th Ave.  
Pensacola, FL 32502

DRAWN BY: MH  
CHECKED BY: JSS

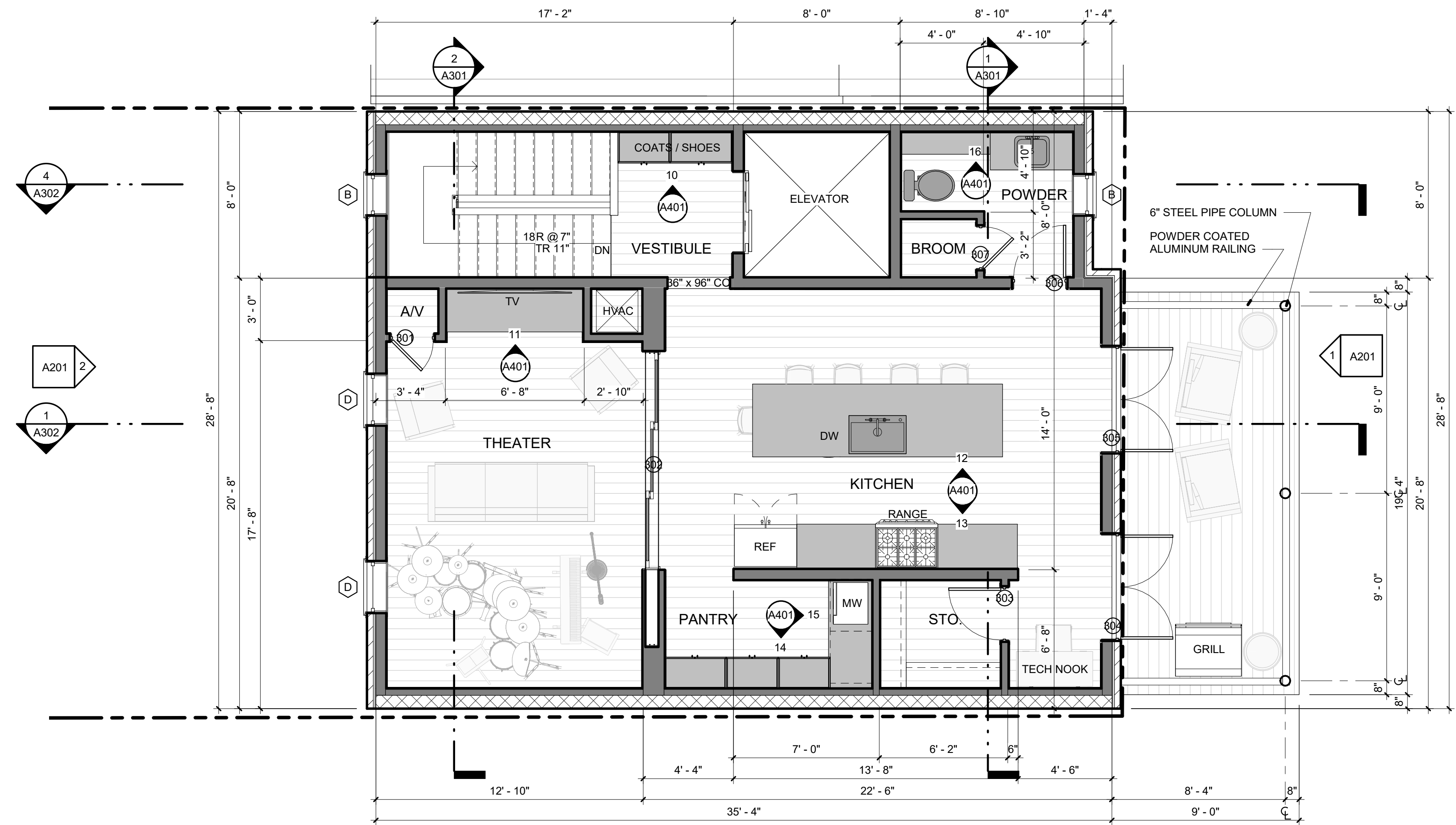
ISSUE DATE:  
04/30/20

REVISIONS  
No. Des. Date

SHEET TITLE:  
**FIRST AND SECOND FLOOR PLANS**

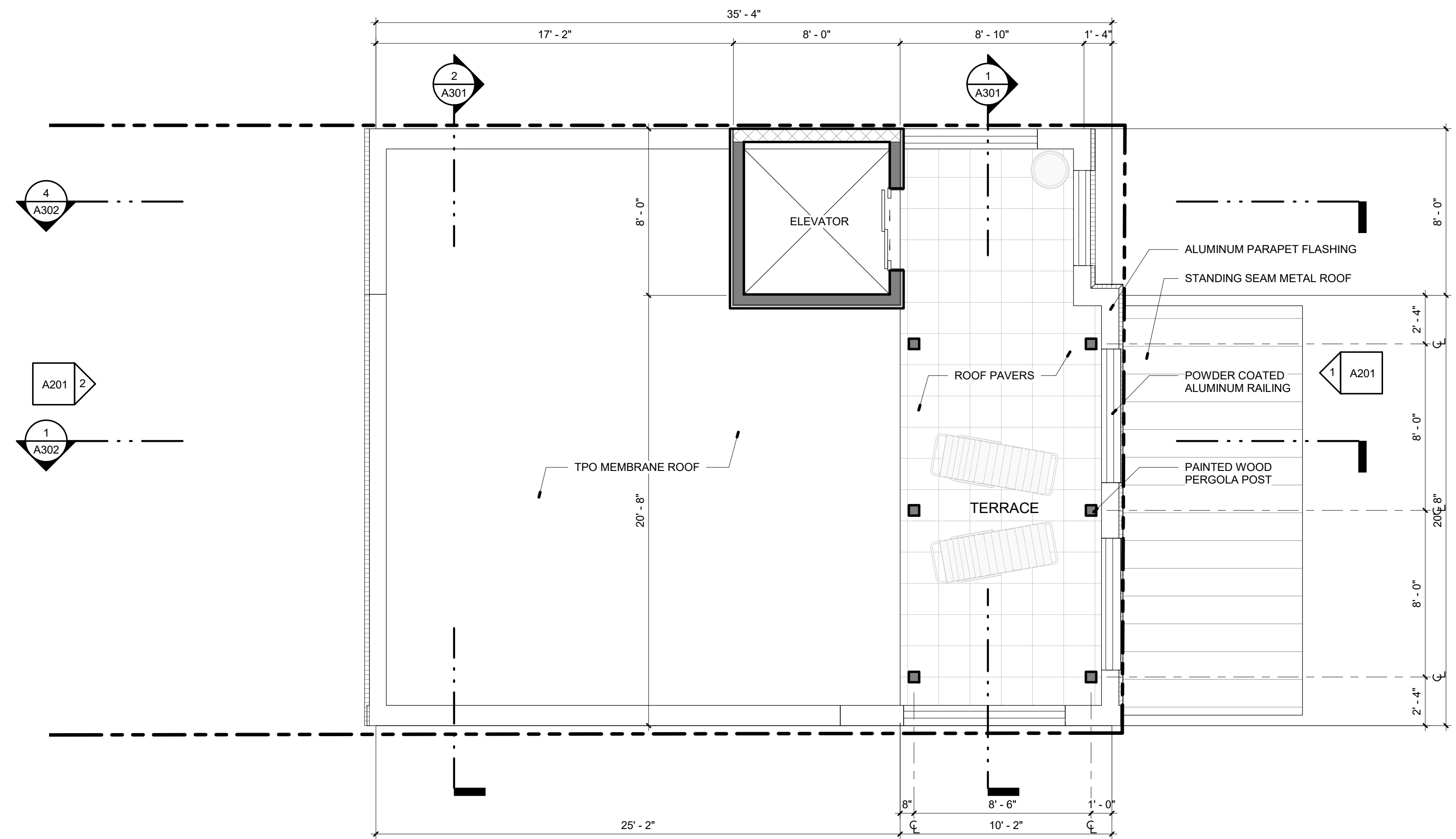
SHEET NO:  
**A101**

PROJECT NO:  
Project Number



**1 THIRD FLOOR PLAN**

1/4" = 1'-0"



**2 ROOF TERRACE FLOOR PLAN**

1/4" = 1'-0"



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architecture  
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# Alexander Residence

29 N. 9th Ave.  
Pensacola, FL 32502

DRAWN BY: MH  
CHECKED BY: JSS

ISSUE DATE:  
04/30/20

REVISIONS  
No. Des. Date

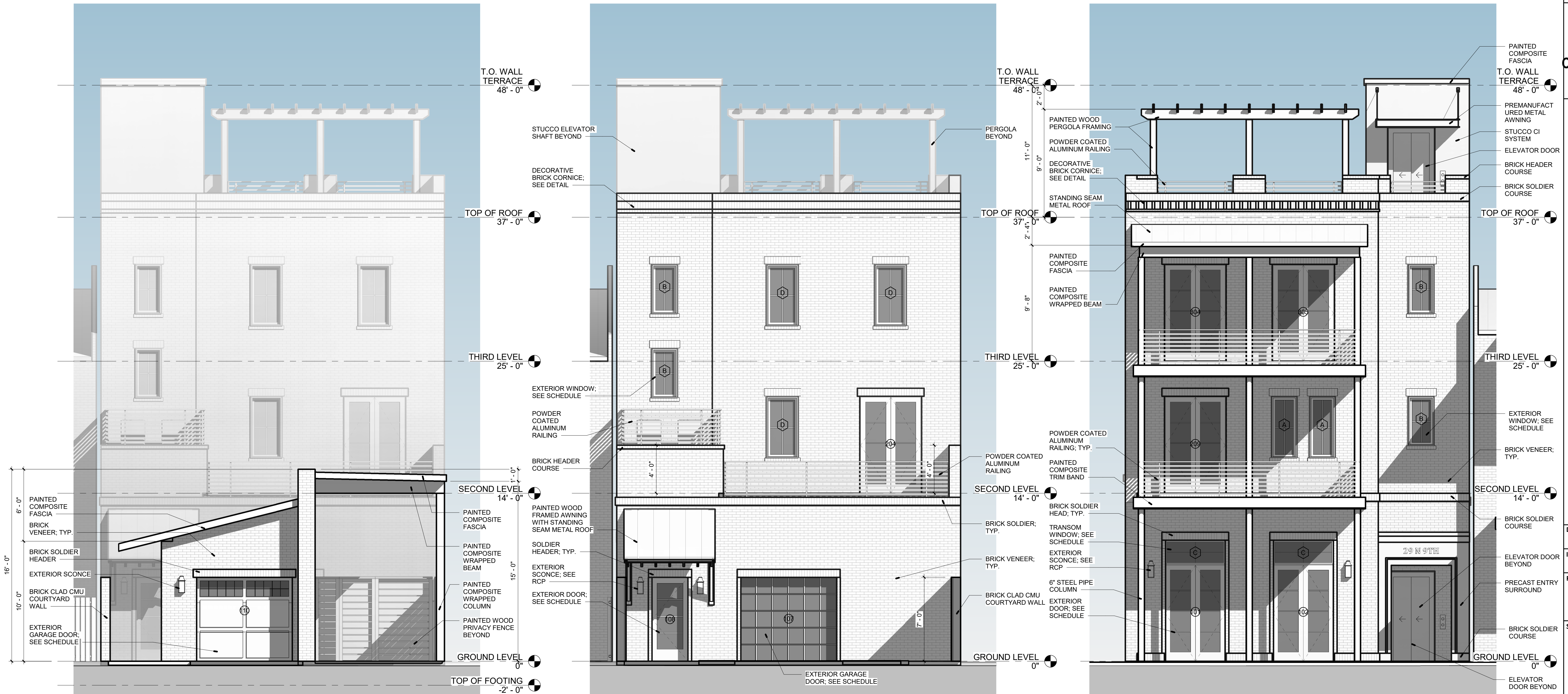
SHEET TITLE:  
**THIRD FLOOR AND ROOF PLANS**

SHEET NO:

**A102**

PROJECT NO:  
Project Number





**dalrymple | sallis**  
architecture

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# Alexander Residence

29 N. 9th Ave.  
Pensacola, FL 32502

DRAWN BY: MH  
CHECKED BY: JSS

ISSUE DATE: 04/30/20

REVISIONS No. Des. Date

SHEET TITLE:

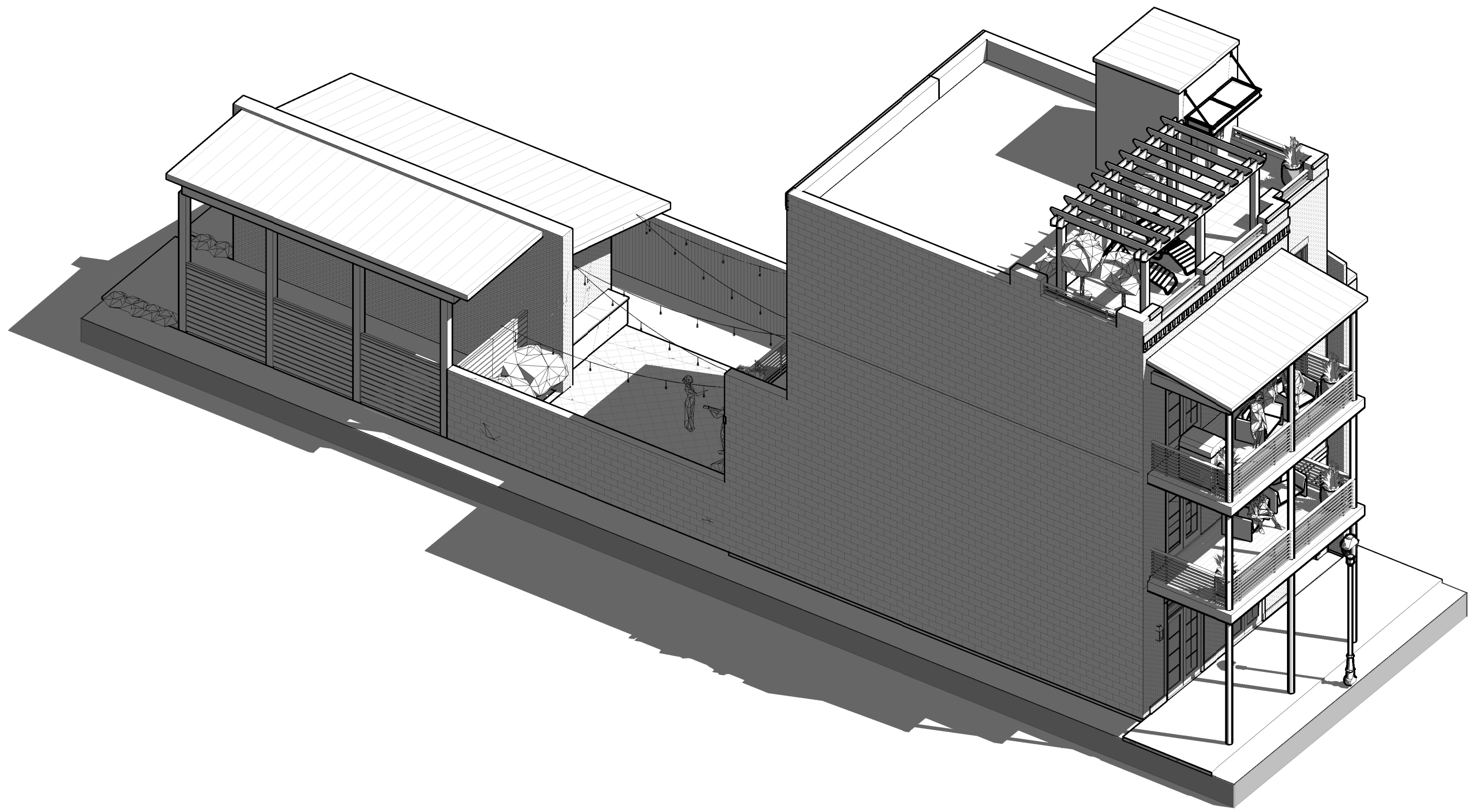
**EXTERIOR ELEVATIONS**

SHEET NO:

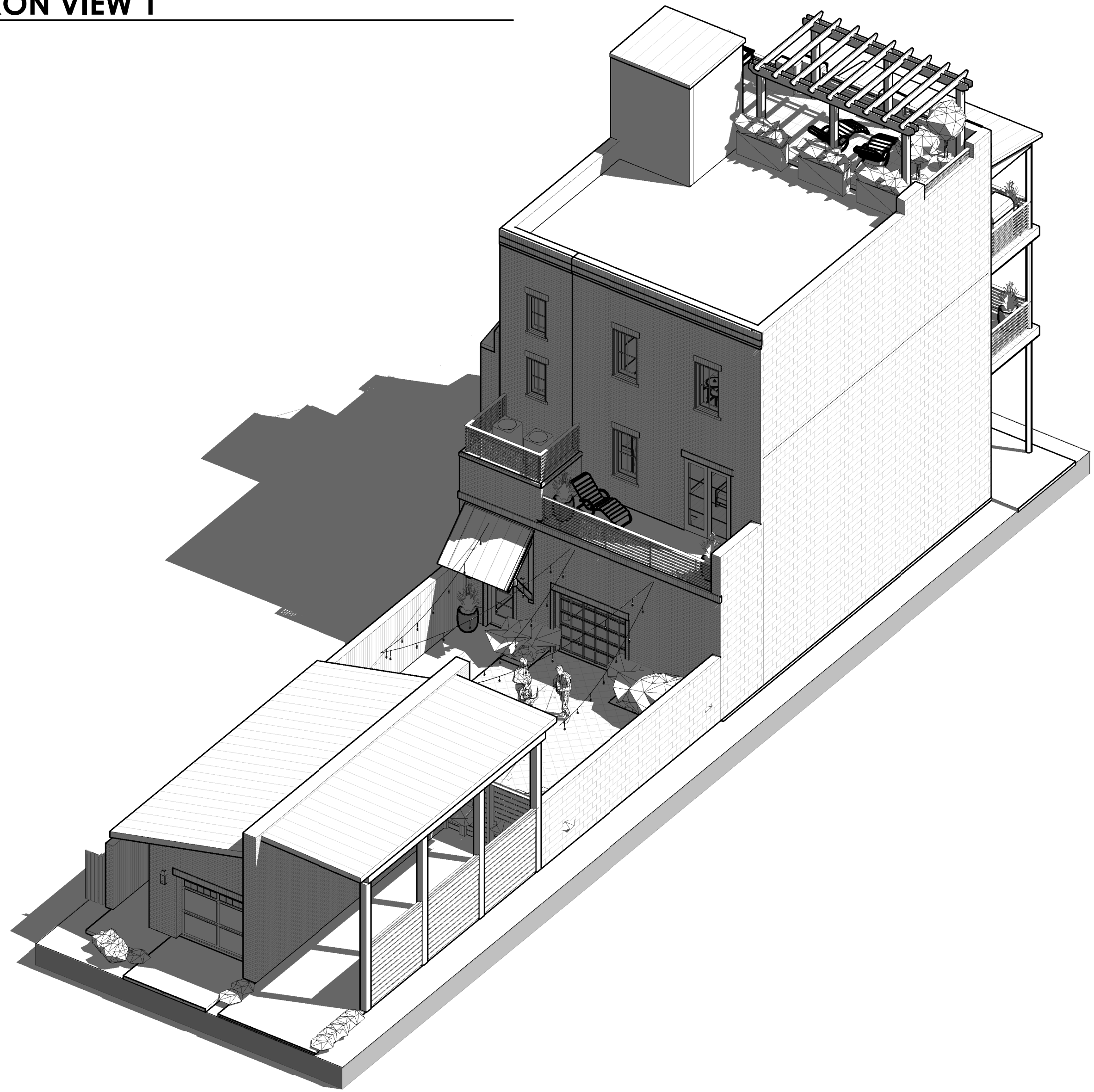
**A201**

PROJECT NO:  
Project Number





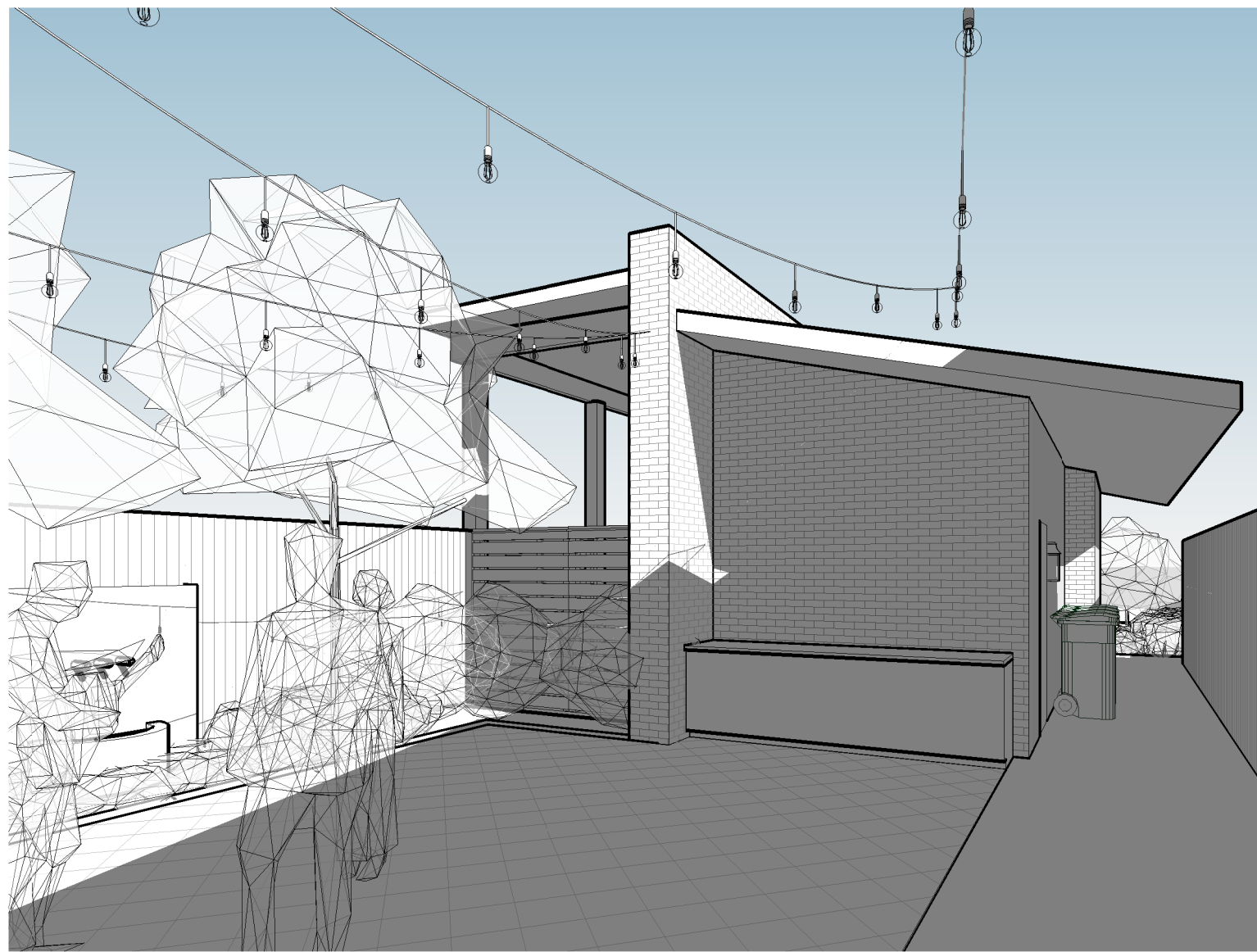
5 AXON VIEW 1



6 AXON VIEW 2



2 VIEW FROM REAR



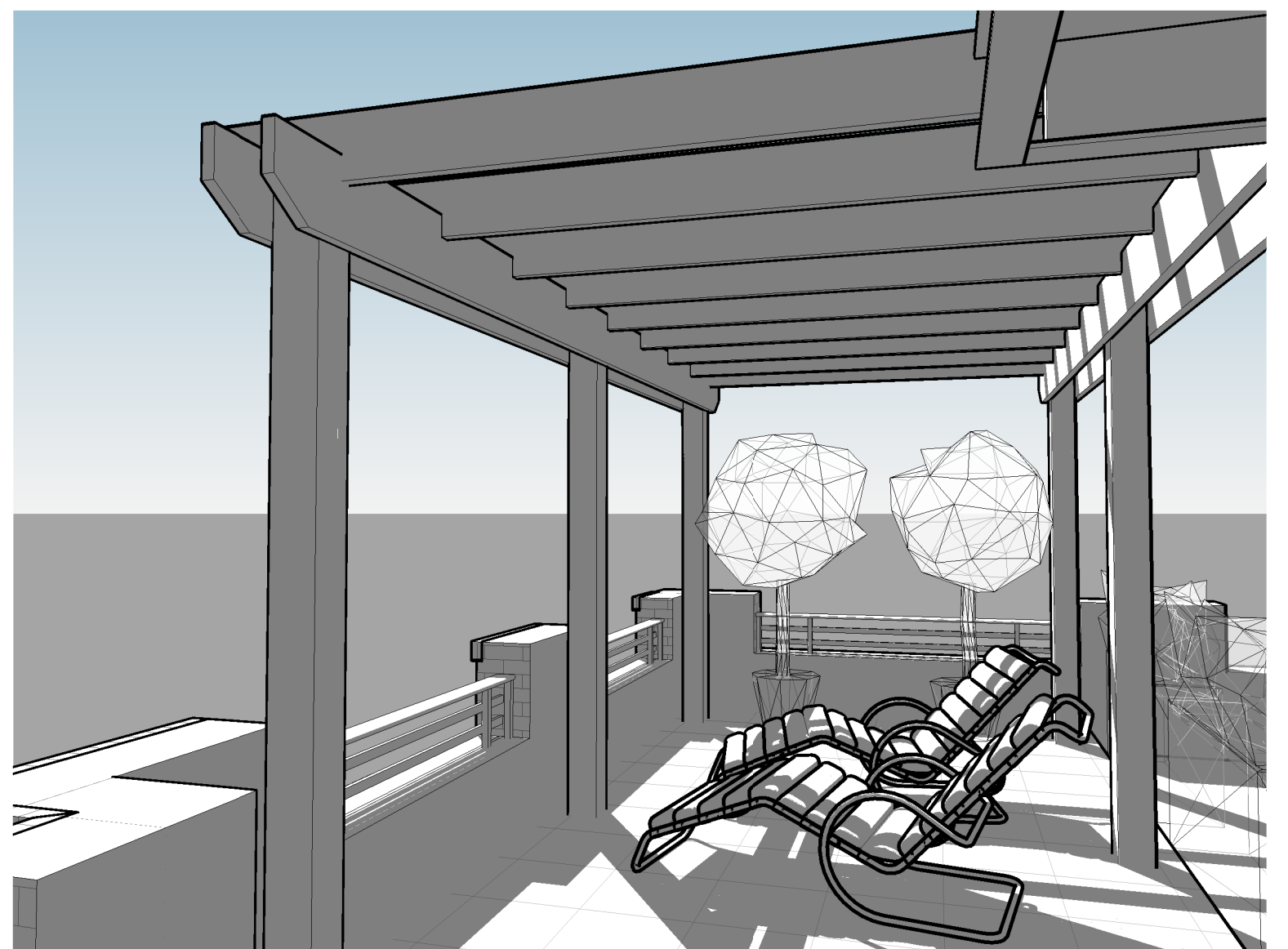
3 VIEW OF COURTYARD 1



1 VIEW OF FRONT



4 VIEW OF COURTYARD 2



7 VIEW OF ROOF TERRACE

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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architecture  
503 E. Government St.  
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CERTIFICATION

NOT FOR CONSTRUCTION

# Alexander Residence

29 N. 9th Ave.  
Pensacola, FL 32502

DRAWN BY: MH  
CHECKED BY: JSS

ISSUE DATE: 04/30/20

REVISIONS  
No. Des. Date

SHEET TITLE:

3D EXTERIOR VIEWS

SHEET NO:

**A701**

PROJECT NO:  
Project Number



Department:	Comments:
FIRE	No objections.
PW/E	No objections.
Insp Svcs	No objections.
ESP	No objections.
ECUA	No objections.
GPW	No objections.
ATT	No objections.

## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Thursday, May 28, 2020 7:26 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Good Morning,

I do not oppose to the aesthetics of the mixed use project.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Wednesday, May 20, 2020 12:07 PM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris

## Cynthia Cannon

---

**From:** Derrik Owens  
**Sent:** Wednesday, May 20, 2020 1:42 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

No issues with the request....thx

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Wednesday, May 20, 2020 12:07 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Good Afternoon All,

Please see the attached application before the Planning Board for a single family residence at 29 N. 9<sup>th</sup> Avenue located in the Aragon Subdivision. This property is located in the Gateway Redevelopment District and requires Planning Board approval for aesthetic review.

If you could submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

### Cynthia Cannon, AICP

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)



FLORIDA'S FIRST & FUTURE

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## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Tuesday, May 26, 2020 8:07 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Pensacola Energy has no comments.

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Wednesday, May 20, 2020 12:07 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Subject:** 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Good Afternoon All,

Please see the attached application before the Planning Board for a single family residence at 29 N. 9<sup>th</sup> Avenue located in the Aragon Subdivision. This property is located in the Gateway Redevelopment District and requires Planning Board approval for aesthetic review.

If you could submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,



## Cynthia Cannon

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Wednesday, May 20, 2020 2:11 PM  
**To:** Cynthia Cannon  
**Cc:** Peter Kummer  
**Subject:** [EXTERNAL] RE: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Good afternoon Cynthia,

The ECUA has no comment on the aesthetic review of the building. Please have the property owner contact ECUA Customer Service to schedule water/sewer connections as necessary.

Thanks,

**Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |**

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>

**Sent:** Wednesday, May 20, 2020 12:07 PM

**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

**Subject:** 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

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Good Afternoon All,

Please see the attached application before the Planning Board for a single family residence at 29 N. 9<sup>th</sup> Avenue located in the Aragon Subdivision. This property is located in the Gateway Redevelopment District and requires Planning Board approval for aesthetic review.

If you could submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

**Cynthia Cannon, AICP**  
*Assistant Planning Director*

## Cynthia Cannon

---

**From:** SAUERS, BRAD <bs5403@att.com>  
**Sent:** Wednesday, May 20, 2020 2:42 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] FW: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District  
**Attachments:** GRB Packet\_Alexander Residence\_Combined.pdf

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

AT&T has no relevant comment or objection.

Brad Sauers  
Manager – OSP Plng and Eng  
Technology Operations

AT&T – Bellsouth Telecommunications, LLC  
605 W Garden St, Pensacola, FL 32502  
o 850.436.1495 [bs5403@att.com](mailto:bs5403@att.com)

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**From:** FENNER, KARL L <kf5345@att.com>  
**Sent:** Wednesday, May 20, 2020 1:53 PM  
**To:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: 29 N. 9th Avenue - S/F Home - Gateway Redevelopment District

Karl Fenner  
Area Manager – OSP Plng and Eng  
Access Construction & Engineering, AL/NWFL OSPC/E + SER PDT/SOC

AT&T – BellSouth Telecommunications, LLC  
605 W Garden St, Pensacola, FL 32502  
m 850-393-2318 | o 850.436.1485 | [kf5345@att.com](mailto:kf5345@att.com)

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**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Wednesday, May 20, 2020 12:07 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00290

Planning Board

6/9/2020

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**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

Request for Vacation of Right-of-Way - 2900 E. Lee Street between Perry Avenue and Pickens Avenue

### **BACKGROUND:**

The Planning Department received a request from Ms. Cynthia Bradford for a vacation of Right-of-Way for a portion of a 20' alley bound on the west by Perry Avenue and on the east by Pickens Avenue. This vacation would not include the portion of the alley immediately abutting Lots 17 to 20 of Block 61 because that resident chose not to sign a petition authorizing the vacation.

The purpose is to allow the applicant to come into compliance with the R1-AAA rear yard setback requirement. Additionally, this vacation of ROW would allow the applicant to pursue a lot subdivision if desired in the future.

This request has been routed through the various City departments and utility providers and their comments are attached for your review.

## VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00

Rehearing/Rescheduling Planning Board: \$250.00

Rehearing/Rescheduling City Council: \$500.00

### Applicant Information:

Name: Cynthia A. Bradford

Address: 2900 E. Lee St., Pensacola, FL 32503

Phone: (850) 287-3716

Fax: N/A

Email: BradfordCin@cox.net

### Property Information:

Owner Name: Cynthia A. Bradford

Location/Address: 2900 E. Lee St., Pensacola, FL 32503

Legal Description: Please attach a full legal description (from deed or survey)

### Purpose of vacation of city right of way/comments:

The footprint of my existing home is not in compliance with current zoning R1-AAA setback requirements at the rear of my property. The additional 10 ft. (which is already fenced into my existing yard), would bring my property into compliance and allow me freedom to pursue dividing and building a new home without need to submit future variance requests. /// See additional comments and reasons for request in supporting documentation to application.

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this vacation request and that no refund of these fees will be made. I have reviewed a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

[Signature]  
Signature of Applicant

5/19/2020  
Date

(Owner of Property or Official Representative of Owner)

### FOR OFFICE USE ONLY

District: \_\_\_\_\_

Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_

Date Postcards mailed: \_\_\_\_\_

Planning Board Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

Council Date: \_\_\_\_\_

Council Action: \_\_\_\_\_

#### Sec. 12-12-4. Vacation of Streets, alleys

This section is established to provide for the vacation of streets, alleys or other public rights-of-way by official action of the city council.

(A) *Application.* An application for vacation of streets, alleys or other public right-of-way shall be filed with the community development department and shall include the reason for vacation and a legal description of the property to be vacated. Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated. If all property owners do not sign the petition requesting such alley vacation, city staff shall determine the portion of the alley to be vacated.

- (1) An application for vacation of streets, alleys or other public right-of-way must be submitted to the community development department at least twenty-one (21) days prior to the regularly scheduled meeting of the planning board.
- (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
- (3) No application shall be considered complete until all of the following have been submitted:
  - (a) The application shall be submitted on a form provided by the board secretary.
  - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
    1. Accurate site plan drawn to scale;
    2. A legal description of the property proposed to be vacated;
    3. Proof of ownership of the adjacent property, including a copy of the deed and a title opinion, title insurance policy, or other form of proof acceptable to the city attorney;
    4. Reason for vacation request;
    5. Petition form signed by all property owners abutting the portion of the right-of-way or alley to be vacated.
  - (c) The applicant shall be required to pay an application fee according to the current schedule of fees established by the city council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition of the application.
  - (d) Any party may appear in person, by agent, or by attorney.
  - (e) Any application may be withdrawn prior to action of the planning board or city council at the discretion of the applicant initiating the request upon written notice to the board secretary.

(B) *Planning board review and recommendation.* The community development department will distribute copies of the request to vacate to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the city planning department. The planning board shall review the vacation request and make a recommendation to the city council at a regularly scheduled planning board meeting.

- (1) Public notice for vacation of streets, alleys.
  - (a) A sign shall be prominently posted on the property to which the application pertains: at least seven (7) days prior to the scheduled board meeting.
  - (b) The community development department shall notify property owners within a three hundred (300) radius, as identified by the current Escambia County tax roll maps, of the property proposed for vacation with a public notice by post card at least five (5) days prior to the board meeting. The public notice shall state the date, time and place of the board meeting.

(C) *City council review and action.* The planning board recommendation shall be forwarded to the city council for review and action.

- (1) *Notice and hearing.* The city council shall set a date for a public hearing to be conducted during a regularly scheduled city council meeting. Planning staff shall post a sign specifying the date and time of the public hearing at least seven (7) days prior to the hearing. A public notice shall be published in a local newspaper of general distribution stating the time, place and purpose of the hearing at least ten (10) days prior to the public hearing. The community development department shall notify property owners by certified mail, as identified by the current Escambia County tax roll, at least fifteen (15) days prior to the city council public hearing
  - (a) In case of an alley vacation request all adjacent owners shall be notified.
  - (b) In the case of a street vacation request, all property owners within three hundred feet (300') of the request shall be notified.
- (2) *Action.* The city council shall approve, approve with modifications, or deny the vacation request at the council public hearing. If the request is approved by the council, an ordinance will be drawn and read two (2) times following the public hearing, at which time the vacation becomes effective.

(D) *Easements retained.* If the city council determines that any portion of a public street or right-of-way is used or in the reasonably foreseeable future will be needed for public utilities, the street may be vacated only upon the condition that appropriate easements be reserved for such public utilities.

(E) *Zoning of vacated property.* Whenever any street, alley or other public right-of-way is vacated, the district use and area regulations governing the property abutting upon each side of such street, alley or public right-of-way shall be automatically extended to the center of such vacation and all area included within the vacation shall thereafter be subject to all appropriate regulations of the extended use districts.

(F) *Ownership of property.* Whenever any street, alley or public right-of-way is vacated, ownership of said property conferred by such action shall extend from the right-of-way line to the center of said property, unless otherwise specified.



**Supporting documentation to accompany Vacation of Alley or Street Right of Way Application submitted by Cynthia Bradford (2900 E. Lee St., Pensacola, FL 32503), pursuant to Code of Ordinances, Title XII – Land Development Code Chapter 12-12, Section 12-12-4 Vacation of Streets, alleys (A) Application (3)(b)(1-5)**

**1. Accurate site plan drawn to scale**

See attachment: Boundary Survey for block 61



Boundary  
Survey.pdf

**2. A legal description of the property proposed to be vacated**

A portion of 20 foot alley laying in Block sixty-one (61), EAST PENSACOLA, a subdivision of a portion of Section five (5), Township two (2) South, Range twenty-nine (29) West, in the City of Pensacola, as shown according to the revised map of East Pensacola drawn by J.E. Kauser in January 1893, and recorded in Deed Book 77, Page(s) 520 of the Public Records of Escambia County, Florida.

Portion proposed for vacation is 20 foot alley bound on the west by Perry Avenue and on the east by Pickens Avenue, minus portion of alley immediately abutting LOTS 17 TO 20 BLOCK 61 OR 583/992 P 599/25 EAST PENSACOLA PLAT DB 77 P 520 CA 4.

See attachment: Block 61 Map (requested portion of alley highlighted in yellow)



Block 61 map.pdf

**3. Proof of ownership of the adjacent property, including a copy of the deed and a title opinion, title insurance policy, or other form of proof acceptable to the city attorney**

See attachments:

- a. Bradford Warranty Deed (2900 E. Lee St. / parcel # 052S295905001061)



Bradford Warranty  
Deed.pdf

- b. Dibella QC Deed (2904 E. Lee St. / parcel #052S295905007061)



Dibella QC Deed.pdf

- c. Bardsley Warranty Deeds #1 & #2 (2906 E. Lee St. / parcel #052S295905013061)



Bardsley Warranty  
Deed #1.pdf



Bardsley Warranty  
Deed #2.pdf

- d. Young Warranty Deed (2905 E. Blount St. / parcel #052S295905021061)



Young Warranty  
Deed.pdf

- e. Brakefield Warranty Deed (2903 E. Blount St. / parcel #052S295905027061)



Brakefield Warrant  
Deed.pdf

- f. Hudson Warranty Deed & Dubois death certificate filing (1098 Bayou Blvd. / parcel #052S295905024061)



Hudson Warranty  
Deed.pdf



Dubois death cert  
screen.pdf

#### 4. Reason for vacation request

The footprint of my existing home is not in compliance with current zoning R1-AAA setback requirements at the rear of my property. The additional 10 feet (which is already fenced into my existing yard), would bring my property into compliance and allow me freedom to pursue dividing and building a new home without need to submit future variance requests. There is a 25+ year old chain length fence running down the middle the length of said alley, along with overgrowth, large trees and personal property of residents. All existing homeowners are homesteaded and currently utilize their portions of the alley, therefore vacating it would allow for legal ownership rights, as well as responsibilities for maintaining the land. The two owners with vacant lots are both preparing to build their homesteaded homes, and vacating would allow for better home site planning.

See attached application for Vacation of Alley Application (Bradford)



Vacation of Alley  
Application (Bradford)

**5. Petition form signed by all property owners abutting the portion of the right-of-way or alley to be vacated.**

See attachments

- a. Dibella Petition (2904 E. Lee St. / parcel #052S295905007061)



Dibella petition.pdf

- b. Bardsley Petition (2906 E. Lee St. / parcel #052S295905013061)



Bardsley petition.pdf

- c. Young Petition (2905 E. Blount St. / parcel #052S295905021061)



Young petition.pdf

- d. Brakefield Petition (2903 E. Blount St. / parcel #052S295905027061)



Brakefield  
petition.pdf

- e. Hudson Petition (1098 Bayou Blvd. / parcel #052S295905024061)



Hudson petition.pdf





## PETITION TO VACATE ALLEY ABUTTING PROPERTY

As the legal owner of the below listed property, I am providing this petition letter to accompany Cynthia A. Bradford's application to the City of Pensacola for Vacation of Alley or Street Right of Way. This petition is pursuant to Sec 12-12-4 Vacation of Streets, Alleys (A) ...*Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated.* My property abuts the City of Pensacola Alley bound on the west by Perry Avenue and on the east by Pickens Avenue (EAST PENSACOLA BLK 61 PLAT DB 77 P 520). My signature below constitutes agreement to said request to vacate the alley.

**Address:** 2904 E. Lee. St. Pensacola, FL 32503

**Legal Description:** LTS 7 TO 12 AND W 16 FT 8 IN OF LT 13 BLK 61 EAST PENSACOLA PLAT DB 77 P 520 OR 1528 P 518 OR 3873 P 699 CA 4

**Owner/Co-Owner/Spouse (Print):** Janis Aline DiBella

Janis Aline DiBella  
Signature

May 18-20  
Date

**Owner/Co-Owner/Spouse (Print):** Johnny Darrell DiBella

Johnny Darrell DiBella  
Signature

May 18-20  
Date



## PETITION TO VACATE ALLEY ABUTTING PROPERTY

As the legal owner of the below listed property, I am providing this petition letter to accompany Cynthia A. Bradford's application to the City of Pensacola for Vacation of Alley or Street Right of Way. This petition is pursuant to Sec 12-12-4 Vacation of Streets, Alleys (A) ...*Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated.* My property abuts the City of Pensacola Alley bound on the west by Perry Avenue and on the east by Pickens Avenue (EAST PENSACOLA BLK 61 PLAT DB 77 P 520). My signature below constitutes agreement to said request to vacate the alley.

**Address:** 2906 E LEE ST, PENSACOLA, FL 32503

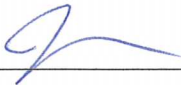
**Legal Description:** E 8 FT 4 IN OF LT 13 AND ALL LTS 14 15 16 BLK 61 EAST PENSACOLA PLAT DB 77 P 520 OR 5811 P 1248 OR 5811 P 1246 CA 4

**Owner/Co-Owner/Spouse (Print):** LUCAS BARDSLEY

  
\_\_\_\_\_  
**Signature**

5/15/20  
\_\_\_\_\_  
**Date**

**Owner/Co-Owner/Spouse (Print):** BERYL BARDSLEY

  
\_\_\_\_\_  
**Signature**

5.15.20  
\_\_\_\_\_  
**Date**

## PETITION TO VACATE ALLEY ABUTTING PROPERTY

As the legal owner of the below listed property, I am providing this petition letter to accompany Cynthia A. Bradford's application to the City of Pensacola for Vacation of Alley or Street Right of Way. This petition is pursuant to Sec 12-12-4 Vacation of Streets, Alleys (A) ...*Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated.* My property abuts the City of Pensacola Alley bound on the west by Perry Avenue and on the east by Pickens Avenue (EAST PENSACOLA BLK 61 PLAT DB 77 P 520). My signature below constitutes agreement to said request to vacate the alley.

**Address:** 2905 E. BLOUNT ST., PENSACOLA, FL 32503

**Legal Description:** LTS 21 22 23 BLK 61 EAST PENSACOLA PLAT DB 77 P 520 OR 4641 P 1518 CA 4

**Owner/Co-Owner/Spouse (Print):** Kurt D. Young

**Signature** Kurt D. Young

**Date** 5/18/2020

**Owner/Co-Owner/Spouse (Print):** \_\_\_\_\_

**Signature** \_\_\_\_\_

**Date** \_\_\_\_\_

## PETITION TO VACATE ALLEY ABUTTING PROPERTY

As the legal owner of the below listed property, I am providing this petition letter to accompany Cynthia A. Bradford's application to the City of Pensacola for Vacation of Alley or Street Right of Way. This petition is pursuant to Sec 12-12-4 Vacation of Streets, Alleys (A) ...*Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated.* My property abuts the City of Pensacola Alley bound on the west by Perry Avenue and on the east by Pickens Avenue (EAST PENSACOLA BLK 61 PLAT DB 77 P 520). My signature below constitutes agreement to said request to vacate the alley.

**Address:** 1098 Bayou Blvd., Pensacola, FL 32503

**Legal Description:** LTS 27 28 29 30 & 31 EAST PENSACOLA BLK 61 PLAT DB 77 P 520  
OR 8081 P 1821 LESS OR 3896 P 112 RD R/W CA 4

**Owner/Co-Owner/Spouse (Print):** BART G. HUDSON

Bart G. Hudson  
**Signature**

5/18/2020  
**Date**

**Owner/Co-Owner/Spouse (Print):** \_\_\_\_\_

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Date**

## PETITION TO VACATE ALLEY ABUTTING PROPERTY

As the legal owner of the below listed property, I am providing this petition letter to accompany Cynthia A. Bradford's application to the City of Pensacola for Vacation of Alley or Street Right of Way. This petition is pursuant to Sec 12-12-4 Vacation of Streets, Alleys (A) ...*Application for an alley vacation shall be in petition form signed by all property owners abutting the portion of the alley to be vacated.* My property abuts the City of Pensacola Alley bound on the west by Perry Avenue and on the east by Pickens Avenue (EAST PENSACOLA BLK 61 PLAT DB 77 P 520). My signature below constitutes agreement to said request to vacate the alley.

Address: 2903 E. Blount St., Pensacola FL 32503

Legal Description: LTS 24 25 26 EAST PENSACOLA BLK 61 PLAT DB 77 P 520 OR 8280 P 873 LESS OR 3896 P 112 RD R W CA 4

Owner/Co-Owner/Spouse (Print): Jon Brakefield

Jon Brakefield

Signature

5/17/2020

Date

Owner/Co-Owner/Spouse (Print): Lori Brakefield

Lori Brakefield

Signature

5/17/2020

Date

Recorded in Public Records 5/14/2018 4:18 PM OR Book 7899 Page 345,  
Instrument #2018036836, Pam Childers Clerk of the Circuit Court Escambia  
County, FL Recording \$18.50 Deed Stamps \$1,771.00

Prepared by and Return to:  
Charlyne Kilpatrick, an employee of  
First International Title, Inc.  
4300 Bayou Blvd., Suite 7  
Pensacola, FL 32503

File No.: 122455-58

## WARRANTY DEED

This indenture made on May 14, 2018, by **Michael B. Clark, an unmarried man**, whose address is: P.O. Box 75123, Cincinnati, OH 45275 hereinafter called the "grantor", to **Cynthia Bradford, an unmarried woman**, whose address is: 2900 East Lee Street, Pensacola, FL 32503 hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Escambia County, Florida**, to-wit:

Lots 1, 2, 3, 4, 5 and 6, Block 61, EAST PENSACOLA, a subdivision of a portion of Section 5, Township 2 South, Range 29 West, in the City of Pensacola, as shown on revised map of East Pensacola drawn by J. E. Kauser in January 1893 and recorded in Deed Book 77, Page(s) 520 of the Public Records of Escambia County, Florida.

Parcel Identification Number: 052S295905001061

**Subject to** all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

**To Have and to Hold**, the same in fee simple forever.

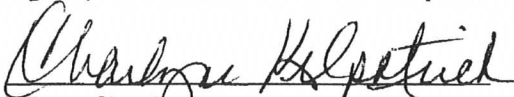
**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2017.

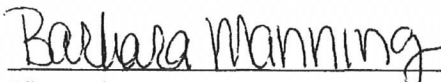
BK: 7899 PG: 346 Last Page

**In Witness Whereof**, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

  
\_\_\_\_\_  
Michael B. Clark

**Signed, sealed and delivered in our presence:**

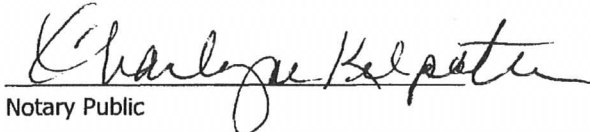
  
\_\_\_\_\_  
Witness Signature  
Print Name: Charlyne Kilpatrick

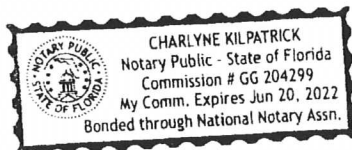
  
\_\_\_\_\_  
Witness Signature  
Print Name: Barbara Manning

State of FLORIDA

County of Escambia

**The Foregoing Instrument Was Acknowledged** before me on the 8<sup>th</sup> day of May 2018, by **Michael B. Clark** who is/are personally known to me or who has/have produced the following as identification: Driver's license.

  
\_\_\_\_\_  
Notary Public





OR Bk3873 Pg0699  
INSTRUMENT 00253633

Prepared by Johnny Dibella  
2121 W. Jackson  
Pensacola, Fl. 32505

D S PD \$0.70  
Mort \$0.00 ASJM \$0.00  
NOVEMBER 20, 1995  
Ernie Lee Magaha,  
Clerk of the Circuit Court  
BY: *[Signature]* D.C.

Form A298

**QUITCLAIM DEED**

THIS QUITCLAIM DEED, Executed this 2nd day of Nov., 19 95

first party, to Aline L. Joseph

whose post office address is 2904 East Lee St. Pensacola Fl. 32503

to second party: Janis Aline Dibella

whose post office address is 1304 Dexter Pensacola Fl. 32507

WITNESSETH, That the said first party, for good consideration and for the sum of Ten Dollars Dollars (\$ 10.00 ) paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of Escambia, State of Florida to wit:

Lot Seven (7) to Twelve (12), Both inclusive, and the West Sixteen (16) Feet Eight (8) inches of Lot Thirteen (13), in Block Sixty-one (61). East Pensacola, according to map of J.E. Kauser Published in 1893

Instrument 00253633  
Filed and recorded in the  
Official Records  
NOVEMBER 20, 1995  
at 04:25 P.M.  
ERNIE LEE MAGAHA,  
CLERK OF THE CIRCUIT COURT  
Escambia County,  
Florida

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

*[Signature: Robert A. Gatz]*  
*[Signature: Sandra P. Henderson]*

FLA. FD J210-013-12-943  
*[Signature: Aline L. Joseph]*  
Aline L. Joseph

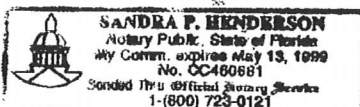
State of Florida  
County of Escambia

On \_\_\_\_\_ before me,

appeared personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *[Signature: Sandra P. Henderson]*



0 53926 20040 5

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Run-ATHP

(Revised 3/93)

Recorded in Public Records 12/30/2005 at 03:50 PM OR Book 5811 Page 1248,  
Instrument #2005462148, Ernie Lee Magaha Clerk of the Circuit Court Escambia  
County, FL Recording \$18.50 Deed Stamps \$507.50

NOV 5  
307.50  
18.50

Prepared by and return to:  
WILLIAM E. FARRINGTON, II  
Wilson, Haffrell, Farrington & Ford, P.A.  
307 South Palafox Street  
Pensacola, Florida 32502  
WHSB&F# 1-40647

Parcel I.D. Number: 052s29-5905-013-061

## WARRANTY DEED

**KNOW ALL MEN BY THESE PRESENTS**, That **Barbara Benson, an unmarried woman**, Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do/does hereby grant, bargain, sell, convey and warrant unto **Lucas A.**

**Bardsley and Beryl J. Bardsley, husband and wife**, whose address is 2906 E. Lee Street, Pensacola, FL 32506; Grantees, Grantee's heirs, executors, administrators and assigns, forever, the following described property, situated in the County of Escambia, State of Florida, to-wit:

**The East 8 feet 4 inches of Lot numbered 13 and all of Lots numbered 14,15 and 16, in Block numbered 61 in East Pensacola, as shown on map of East Pensacola drawn by J.E. Kauser in January 1893 and Recorded at Page 520 of Deed Book 77, of the Public Records of Escambia County, Florida.**

The above described property is not the Constitutional Homestead of the Grantor, she resides in Lufkin, Texas.

and the Grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever. Subject to taxes for current year and to valid easements and restrictions of record affecting the above property, if any, which are not hereby reimposed. Subject also to oil, gas and mineral reservations of record.

**IN WITNESS WHEREOF**, I have hereunto set my hand and seal this 28th Day of December, 2005.

Signed, Sealed and Delivered in the presence of:

Sign: [Signature]  
Print: LISA A. DURANT  
Sign: [Signature]  
Print: Melissa LaFreniere

[Signature]  
Barbara Benson by John Robbins, Attorney in Fact

STATE OF FLORIDA  
COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 28th Day of December, 2005, by John Robbins as Attorney in Fact for **Barbara Benson, an unmarried woman**, who is/are personally known to me or who produced \_\_\_\_\_ as identification and did not take an oath.

**LISA A. DURANT**  
Notary Public - State of FL  
Comm. Exp. 12/10/08  
Comm. No. DD 372043

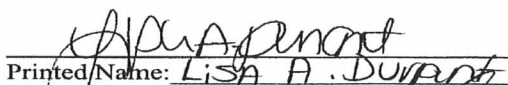
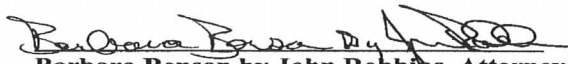
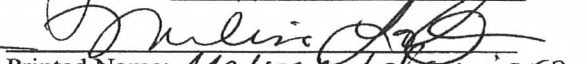
Sign: [Signature]  
Print: LISA A. DURANT  
NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_  
My Commission Number: \_\_\_\_\_

**RESIDENTIAL SALES ABUTTING ROADWAY  
MAINTENANCE DISCLOSURE**

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances, Chapter 1-29.2, Article V, requires that this disclosure be attached, along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. NOTE: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the county of the veracity of any disclosure statement.

**NAME OF ROADWAY: E. LEE STREET****LEGAL ADDRESS OF:** 2906 E. Lee Street,  
Pensacola, FL 32503The County ( **X** ) has accepted ( ) has not accepted the abutting roadway for maintenance.

This form completed by:

WILSON, HARRELL, SMITH, BOLES &  
FARRINGTON, P.A.  
307 South Palafox Street  
Pensacola, Florida 32501**AS TO SELLER(S):****WITNESSES TO SELLER(S):**  
Helen Forman  
Printed Name: Lisa A. Durant  
Barbara Benson by John Robbins, Attorney  
in Fact  
Printed Name: Melissa Lefebvre**AS TO BUYER(S):****WITNESSES TO BUYER(S):**  
Lucas A. Bardsley  
Printed Name: W. Farrington  
Beryl J. Bardsley  
Printed Name: Lisa A. Durant

This form approved by the  
Escambia County Board  
of County Commissioners  
Effective: 4/15/95

Recorded in Public Records 12/30/2005 at 03:50 PM OR Book 5811 Page 1246,  
Instrument #2005462147, Ernie Lee Magaha Clerk of the Circuit Court Escambia  
County, FL Recording \$18.50 Deed Stamps \$507.50

18.50  
507.50  
Prepared by and return to:  
WILLIAM E. FARRINGTON, II  
Wilson, Harrell, Farrington & Ford, P.A.  
307 South Palafox Street  
Pensacola, Florida 32502  
WHSB&F# 1-40647

Parcel I.D. Number: 052s29-5905-013-061

## WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That **Helen Forman**, Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do/does hereby grant, bargain, sell, convey and warrant unto **Lucas A. Bardsley and Beryl J. Bardsley, husband and wife**, whose address is 2906 E. Lee Street, Pensacola, FL 32506; Grantees, Grantee's heirs, executors, administrators and assigns, forever, the following described property, situated in the County of Escambia, State of Florida, to-wit:

**The East 8 feet 4 inches of Lot numbered 13 and all of Lots numbered 14,15 and 16, in Block numbered 61 in East Pensacola, as shown on map of East Pensacola drawn by J.E. Kauser in January 1893 and Recorded at Page 520 of Deed Book 77, of the Public Records of Escambia County, Florida.**

The above described property is not the Constitutional Homestead of the Grantor, she resides in Lufkin, Texas.

and the Grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever. Subject to taxes for current year and to valid easements and restrictions of record affecting the above property, if any, which are not hereby reimposed. Subject also to oil, gas and mineral reservations of record.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 28th Day of December, 2005.

Signed, Sealed and Delivered in the presence of:

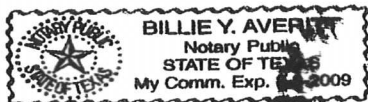
Sign: Shari Lanham  
Print: Shari Lanham

Sign: Mary W. Albersin  
Print: MARY W. ALBERSIN

Helen Forman  
Helen Forman

STATE OF TEXAS  
COUNTY OF Angellina

The foregoing instrument was acknowledged before me this 28th Day of December, 2005, by **Helen Forman**, who is/are personally known to me or who produced (personally known to notary) as identification and did not take an oath.



Sign: Billie Y. Averitt  
Print: BILLIE Y. AVERITT  
NOTARY PUBLIC  
My Commission Expires: 12/31/09  
My Commission Number: 00436358-4

800 7151467

**RESIDENTIAL SALES ABUTTING ROADWAY  
MAINTENANCE DISCLOSURE**

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances, Chapter 1-29.2, Article V, requires that this disclosure be attached, along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. NOTE: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the county of the veracity of any disclosure statement.

**NAME OF ROADWAY:** E. LEE STREET

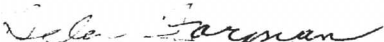
**LEGAL ADDRESS OF:** 2906 E. Lee Street,  
Pensacola, FL 32503

The County ( ☒ ) has accepted ( ☐ ) has not accepted the abutting roadway for maintenance.


This form completed by:

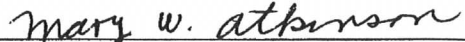
WILSON, HARRELL, SMITH, BOLES &  
FARRINGTON, P.A.  
307 South Palafox Street  
Pensacola, Florida 32501

**AS TO SELLER(S):**

  
\_\_\_\_\_  
**Helen Forman**

**WITNESSES TO SELLER(S):**

  
\_\_\_\_\_  
Printed Name: Shari Lanham

  
\_\_\_\_\_  
Printed Name: MARY W. ATKINSON

**AS TO BUYER(S):**

\_\_\_\_\_  
**Lucas A. Bardsley**

\_\_\_\_\_  
**Beryl J. Bardsley**

**WITNESSES TO BUYER(S):**

\_\_\_\_\_  
Printed Name: \_\_\_\_\_

\_\_\_\_\_  
Printed Name: \_\_\_\_\_

This form approved by the  
Escambia County Board  
of County Commissioners  
Effective: 4/15/95

# This Warranty Deed

Made this 14th day of December A.D. 2000  
by Owen J. Melody and Julia T. Cadenhead,  
Trustees of the Melody-Cadenhead  
Revocable Trust dated August 23, 1999

hereinafter called the grantor, to  
Kurt D. Young, unmarried

whose post office address is:  
2905 East Blount Street  
Pensacola, Florida 32503  
Grantees' [REDACTED]

hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$ 10.00  
and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Escambia  
County, Florida, viz:

Lots 21, 22 and 23, Block 61, East Pensacola, a Subdivision of a  
portion of Section 5, Township 2 South, Range 29 West, Escambia  
County, Florida, according to the revised map of J. E. Kauser in  
January 1893, as recorded in Deed Book 77 at page 520, of the  
Public Records of said County.

SUBJECT TO covenants, restrictions, easements of record and taxes for  
the current year.

Parcel Identification Number: 05-28-29-5905-021-061

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.  
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple;  
that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants  
the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is  
free of all encumbrances except taxes accruing subsequent to December 31, 2000

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above  
written.

Signed, sealed and delivered in our presence:

[Signature]  
Name: I. B. ROSARO

[Signature]  
Name: Joanne Gunn

Name: \_\_\_\_\_

Name: \_\_\_\_\_

[Signature]  
Name & Address: Owen J. Melody, Trustee LS

[Signature]  
Name & Address: Julia T. Cadenhead, Trustee LS

Name & Address: \_\_\_\_\_ LS

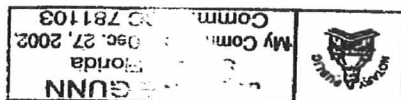
Name & Address: \_\_\_\_\_ LS

State of Florida  
County of Escambia

3142 Runnymede Road  
Pensacola, FL 32504

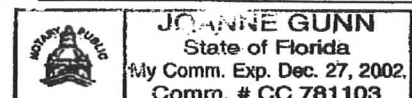
The foregoing instrument was acknowledged before me this 14th day of December, 2000, by  
Owen J. Melody and Julia T. Cadenhead, Trustees of the  
Melody-Cadenhead Revocable Trust dated August 23, 1999

who is personally known to me or who has produced a current driver's license as identification.



[Signature]  
Notary Public  
Print Name:  
My Commission Expires:

THIS INSTRUMENT PREPARED BY:  
Peggy S. Owens, an employee of  
Lawyers Title Agency of North Florida, Inc.  
2100 Creighton Road  
Pensacola, Florida 32504  
File No: 3A-61515





Recorded in Public Records 4/15/2020 11:34 AM OR Book 8280 Page 873,  
Instrument #2020031171, Pam Childers Clerk of the Circuit Court Escambia  
County, FL Recording \$27.00 Deed Stamps \$1,225.00

Prepared by and return to:  
Richard Hill Turner, III

Whibbs Stone & Barnett, P.A.  
801 W. Romana Street Unit C  
Pensacola, FL 32502  
850-434-5395  
File Number: 20-288137  
Will Call No.:

[Space Above This Line For Recording Data]

## Warranty Deed

**This Warranty Deed** made this 10th day of April, 2020 between **Bart Grover Hudson**, a single man whose post office address is 712 Bay Blvd, Pensacola, FL 32503, grantor, and **Jon F Brakefield and Lori D Brakefield, husband and wife** whose post office address is 325 Man O War Circle, Cantonment, FL 32533, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Escambia County, Florida to-wit:

Lots twenty-four (24), twenty-five (25), twenty-six (26), all in Block sixty-one, (61), East Pensacola, a subdivision of a portion of Section five (5), township two(2) South, Range Twenty-nine (29) West, in Escambia County, Florida, according to the revised map of East Pensacola drawn by J. E. Kauser in January 1893, and recorded in Deed Book 77, Page 520, of the records of said County.

**Parcel Identification Number: 052S295905027061**

**Subject** to covenants, conditions, restrictions, reservations, limitations, easements and agreements of record, if any; taxes and assessment for the year 2020 and subsequent years; and all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any,

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

BK: 8280 PG: 874

RD  
Witness Name: Richard Turner  
Terry Duffy  
Witness Name: TERRY DUFFY

Bart Grover Hudson (Seal)  
Bart Grover Hudson

State of Florida  
County of Escambia

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 10th day of April, 2020 by Bart Grover Hudson, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]

RD  
Notary Public

Printed Name: Richard Turner

My Commission Expires: \_\_\_\_\_



BK: 8280 PG: 875 Last Page

## RESIDENTIAL SALES ABUTTING ROADWAY MAINTENANCE DISCLOSURE

**ATTENTION:** Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinance Chapter 1-29.2, Article V requires this disclosure be attached along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. Note: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the County of the veracity of any disclosure statement.

Name of Roadway: 2903 E. Blount Street, Pensacola, FL 32503  
Legal Address of Property: 2903 E. Blount Street, Pensacola, FL 32503

The County ( ) has accepted (X) has not accepted the abutting roadway for maintenance.

This form completed by: Whibbs Stone Barnett, P.A.  
801 W. Romana St., Unit C  
Pensacola, FL 32502

### AS TO SELLER(S):

Witness Name: Richard Turner

Witness Name: TERRI DUFFY

Bart Grover Hudson (Seal)  
Bart Grover Hudson

### AS TO BUYER(S):

Witness Name: Richard Turner

Witness Name: TERRI DUFFY

Jon F. Brakefield (Seal)  
Jon F. Brakefield

Witness Name: Richard Turner

Witness Name: TERRI DUFFY

Lori D. Brakefield (Seal)  
Lori D. Brakefield

Recorded in Public Records 4/22/2019 1:46 PM OR Book 8081 Page 1821,  
Instrument #2019034548, Pam Childers Clerk of the Circuit Court Escambia  
County, FL Recording \$18.50 Deed Stamps \$1,400.00

Prepared by:

William E. Farrington, II  
Wilson, Harrell, Farrington, Ford, et.al., P.A.  
307 South Palafox Street  
Pensacola, Florida 32502

File Number: 1-53777

### General Warranty Deed

Made this April 22, 2019 A.D., By **Robert L. Hubbard and Kathy K. Hubbard, husband and wife**, whose post office address is: 1401 East Gadsden Street, Pensacola, Florida 32501, hereinafter called the grantor, to **Bart Grover Hudson and Dean Carlton Dubois, a married couple**, whose post office address is: 5810 Ipswich Road, Bethesda, Maryland 20814, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Escambia County, Florida, viz:

**See Attached EXHIBIT "A"**

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Parcel ID Number: **052S29-5905-024-061**

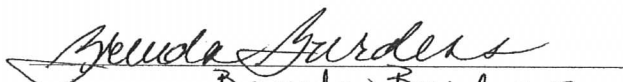
**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.


**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2018.


**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered in our presence:*

  
Witness Printed Name Brenda Burdess

 (Seal)  
Robert L. Hubbard

  
Witness Printed Name Tonja Brown

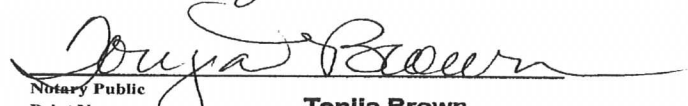
 (Seal)  
Kathy K. Hubbard

State of Florida  
County of Escambia

The foregoing instrument was acknowledged before me this 22nd day of April, 2019, by Robert L. Hubbard and Kathy K. Hubbard, husband and wife, who is/are personally known to me or who has produced driver license as identification.



TONJIA BROWN  
Commission # GG 302994  
Expires April 13, 2023  
Bonded Thru Budget Notary Services

  
Notary Public  
Print Name: Tonja Brown  
My Commission Expires: \_\_\_\_\_

BK: 8081 PG: 1822 Last Page

**Exhibit "A"**

Lots 27, 28, 29, 30, and 31, Block 61, East Pensacola Heights, a subdivision of a portion of Section five (5), Township two (2) South, Range twenty-nine (29) West, in Escambia County, Florida, as shown according to the revised map of East Pensacola drawn by J. E. Kauser in January, 1893, and recorded in Deed Book 77, Page 520 of the records of said county.

**LESS AND EXCEPT**

A parcel of land situate, lying and being in Section 5, Township 2 South, Range 29 West, Escambia County, Florida, being described as follows: Commence at a 5/8 inch iron rod marking the Northwest corner of Lot 27, Block 61 of the Revised map of East Pensacola as recorded in Deed Book 77, Page 520 of the Public Records of Escambia County, Florida, and being the point of intersection of the existing Southerly right of way line (60 foot right of way) of Blount Street with the existing easterly right of way line (right of way varies) of Perry Avenue; thence South 48 degrees 11 minutes 38 seconds West 74.13 feet along said existing easterly right of way line to the POINT OF BEGINNING; thence continue South 48 degrees 11 minutes 38 seconds West 25.82 feet along said existing easterly right of way line; thence South 02 degrees 50 minutes 13 seconds West 70.00 feet along said existing easterly right of way line; thence departing said existing easterly right of way line, run South 87 degrees 10 minutes 44 seconds East 1.22 feet to the beginning of a non-tangent curve, concave easterly, having a radius of 388.26 feet; thence from a tangent bearing of North 07 degrees 12 minutes 25 seconds East, run northeasterly 89.99 feet along said curve, through a central angle of 13 degrees 16 minutes 49 seconds to end of curve, and POINT OF BEGINNING.

File Number: 1-53777

Department:	Comments:
FIRE	No objections.
PW/E	No objections.
Insp Svcs	No objections.
ESP	No gas facilities are in the ROW. No objections.
ECUA	No facilities are in the ROW. No objections.
GPW	The only pole in the alleyway is located on the property it serves. No objections.
ATT	No objections.



## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Thursday, May 28, 2020 7:35 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

Good Morning,

I do not oppose to the Vacation of Alley request at 2900 E. Lee Street.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



*Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.*

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Thursday, May 21, 2020 2:22 PM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly(GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris

## Cynthia Cannon

---

**From:** Derrik Owens  
**Sent:** Wednesday, May 20, 2020 1:43 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

No issue with the request...thx

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Wednesday, May 20, 2020 12:38 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 2900 E. Lee St. Vacation of Alley

Good Afternoon All,

Please see the attached application before the Planning Board for a Vacation of Right of Way request at 2900 E. Lee Street. If you could submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

### Cynthia Cannon, AICP

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)



FLORIDA'S FIRST & FUTURE

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## Cynthia Cannon

---

**From:** Jonathan Bilby  
**Sent:** Thursday, May 21, 2020 4:37 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

No issues with me.

**From:** Cynthia Cannon  
**Sent:** Thursday, May 21, 2020 2:22 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
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*Assistant Planning Director*  
Visit us at <http://cityofpensacola.com>  
222 W Main St.  
Pensacola, FL 32502  
Office: 850.435-1670  
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**Sent:** Tuesday, May 26, 2020 8:46 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

Pensacola Energy has no gas facilities within the alleyway between Lee and Blount Street behind the property at 2900 E. Lee St.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

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**Subject:** 2900 E. Lee St. Vacation of Alley

Good Afternoon All,

## Cynthia Cannon

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**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Wednesday, May 27, 2020 8:01 AM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 2900 E. Lee St. Vacation of Alley

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Good morning Cynthia,

ECUA has no comment on the subject right-of-way vacation request. ECUA does not have any facilities in the alleyway and will not require an easement to be retained.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

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**Sent:** Thursday, May 21, 2020 2:22 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 2900 E. Lee St. Vacation of Alley

**\*\*WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders \*\***

Good Afternoon All,

I'm resending the attached Vacation of ROW application for 2900 E. Lee St because all of the attachments didn't transfer properly in my previous email. This is a request to the Planning Board for a Vacation of Right of Way at 2900 E. Lee Street.

If you could please submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

**Cynthia Cannon, AICP**  
*Assistant Planning Director*  
Visit us at <http://cityofpensacola.com>



## Cynthia Cannon

---

**From:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Sent:** Tuesday, May 26, 2020 9:41 AM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 2900 E. Lee St. Vacation of Alley

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Below is from our Engineering Dept.:

As long as I am interpreting the vacation correctly in that each property owner along the alleyway will gain 10' of the strip along their property frontage. This would allow the only pole in the alleyway to then be located on the property of the house it serves. See the picture below for clarification.

If this is the case then we would not need an easement for this strip.

If you need anything further, please let me know.

Thank you,



**Gulf Power®**

*Kellie G. Simmons*

Sr. Corporate Real Estate Representative

Office – (850) 444-6870

Cell - (850) 549-1134

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>

**Sent:** Thursday, May 21, 2020 2:22 PM

**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

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## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Thursday, May 28, 2020 7:35 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

Good Morning,

I do not oppose to the Vacation of Alley request at 2900 E. Lee Street.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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## Cynthia Cannon

---

**From:** Derrik Owens  
**Sent:** Wednesday, May 20, 2020 1:43 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 2900 E. Lee St. Vacation of Alley

No issue with the request...thx

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Wednesday, May 20, 2020 12:38 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
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Thank you,

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*Assistant Planning Director*

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222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

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Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

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Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Thursday, May 21, 2020 2:22 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 2900 E. Lee St. Vacation of Alley

**\*\*WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders \*\***

Good Afternoon All,

I'm resending the attached Vacation of ROW application for 2900 E. Lee St because all of the attachments didn't transfer properly in my previous email. This is a request to the Planning Board for a Vacation of Right of Way at 2900 E. Lee Street.

If you could please submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

**Cynthia Cannon, AICP**  
*Assistant Planning Director*  
Visit us at <http://cityofpensacola.com>

## Cynthia Cannon

---

**From:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Sent:** Tuesday, May 26, 2020 9:41 AM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 2900 E. Lee St. Vacation of Alley

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Below is from our Engineering Dept.:

As long as I am interpreting the vacation correctly in that each property owner along the alleyway will gain 10' of the strip along their property frontage. This would allow the only pole in the alleyway to then be located on the property of the house it serves. See the picture below for clarification.

If this is the case then we would not need an easement for this strip.

If you need anything further, please let me know.

Thank you,



**Gulf Power®**

*Kellie G. Simmons*

Sr. Corporate Real Estate Representative

Office – (850) 444-6870

Cell - (850) 549-1134

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>

**Sent:** Thursday, May 21, 2020 2:22 PM

**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

**Subject:** 2900 E. Lee St. Vacation of Alley

Caution - External Email ([ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com))

[Report This Email](#) [Tips](#)

89



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00292

Planning Board

6/9/2020

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**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

Request for License to Use Right-of-Way - 2110 E. Lakeview Avenue

**BACKGROUND:**

Ryan and Lindsey Norenberg are requesting approval for a License to Use for a 4' black aluminum fence across the front of their home at 2110 E. Lakeview Avenue and the side yard along Magnolia Avenue. The fence will be located no closer than 10' off of the edge/curb of Lakeview Avenue.

This request has been routed through the various City departments and utility providers and those comments are attached for your review.





<input checked="" type="checkbox"/> Residential License To Use Application Fee: \$500.00 Rehearing/Rescheduling Fee: \$100.00 Annual Fee: N/A Insurance Coverage: \$300,000.00	<input type="checkbox"/> Commercial License To Use Application Fee: (Minor) \$500.00 (Major) \$1,000.00 Rehearing/Rescheduling Fee: \$100.00 Annual Fee: (Minor) \$500.00 (Major) \$1,000.00 Insurance Coverage: \$1,000,000.00	<input type="checkbox"/> Pensacola Neighborhood Challenge Grant Application Fee: N/A
--	---	---

Applicant:	Ryan Norenberg	
Applicant's Address:	2110 E. Lakeview Ave.	
Email:	rnorenberg77@gmail.com	Phone: (850) 291-0821

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature:  Date: 5/7/2020

\*\* If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information \*\*

Property Owner: Ryan and Lindsey Norenberg Phone: (850) 291-0821

Location Address: 2110 E. Lakeview Ave.

Parcel ID # 0 0 \_ 0 S \_ 0 0 \_ 9 0 4 0 \_ 0 3 0 \_ 0 4 1

Purpose of Use of City Right-Of-Way: For my children's safety I intend to fence in my property and I would like to install a 4' black aluminum fence across the front of my home on Lakeview Ave beyond my property line due to the extent of the right of way between home and street. Requesting to erect fence no closer than 10' off of the edge/curb of Lakeview Ave.

Please attach a map indicating the actual dimensions of the requested license.

<u>For Office Use Only</u>		
District: _____		Zoning: _____
Date Received: _____	Case Number: _____	Annual Fee: _____
Planning Board date: _____	Recommendation: _____	Amount of Insurance Coverage: _____
City Council date: _____	Council Action: _____	_____

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**

## ***License To Use City Right-Of-Way***

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
- (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
  - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
  - (3) No application shall be considered complete until all of the following has been submitted:
    - (a) The application shall be submitted on a form provided by the Board Secretary.
    - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
      1. Accurate site plan drawn to scale;
      2. Reason for license to use request.
  - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
  - (5) Any party may appear in person, by agent, or by attorney.
  - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
- (1) Public Notice for license to use right-of-way.
    - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
- (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
  - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

**Corporation:**

Full legal name of the Corporation: \_\_\_\_\_

Official Corporate Address: \_\_\_\_\_

President or Vice-President: \_\_\_\_\_

Name & Title – \_\_\_\_\_

Corporate Secretary: Name – \_\_\_\_\_

**Limited Liability Company (LLC):**

Full legal name of company: \_\_\_\_\_

Official Address: \_\_\_\_\_

Managing Member or member: \_\_\_\_\_

Name & Title – \_\_\_\_\_

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**



MAGNOLIA AVENUE  
(50' RIGHT-OF-WAY)

P-95.00' F-94.96'

WEST R/W LINE

90°03'43"

52.2'

63.0'

62.9'

6' WOOD FENCE

27.0'

P-125.00' F-124.66'

LOT 29  
RESIDENCE

1.7'

0.9'

2.7'

2.8'

7.2'

0.1'

LOT 36  
RESIDENCE

5' WOOD AND WIRE FENCE

0.9'

1.6'

LOT 35

LOT 34  
RESIDENCE

P-95.00' F-95.22'

14.5'

0.0'

0.3'

1.1'

0.4'

22.7'

2.7'

NORTH R/W LINE

P-125.00' F-124.97'

LAKEVIEW AVENUE  
(100' RIGHT-OF-WAY)

Gate

10'

LOT 32

LOT 31  
BLOCK 41  
ONE STORY  
VINYL SIDING  
RESIDENCE

LOT 30

TWO STORY  
BLOCK GARAGE

27.5'

60.3'

47.1'

18.4'

11.0'

12.5'

17.3'

2.0'

16.0'

7.0'

23.0'

24.0'

4.2'

4.0'

0.0'

14.0'

11.0'

18.4'

14.2'

27.8'

3.0' 4.8'

27.8'

14.2'

11.0'

18.4'

14.2'

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3.0' 4.8'

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18.4'

14.2'

27.8'

3.0' 4.8'

27.8'

14.2'

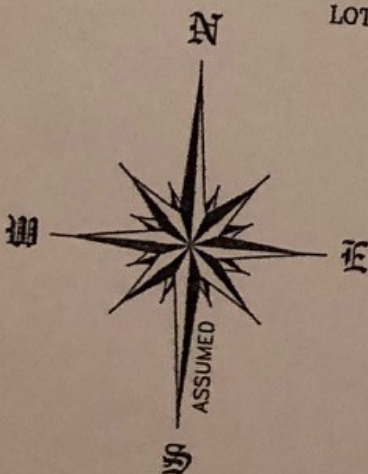
11.0'

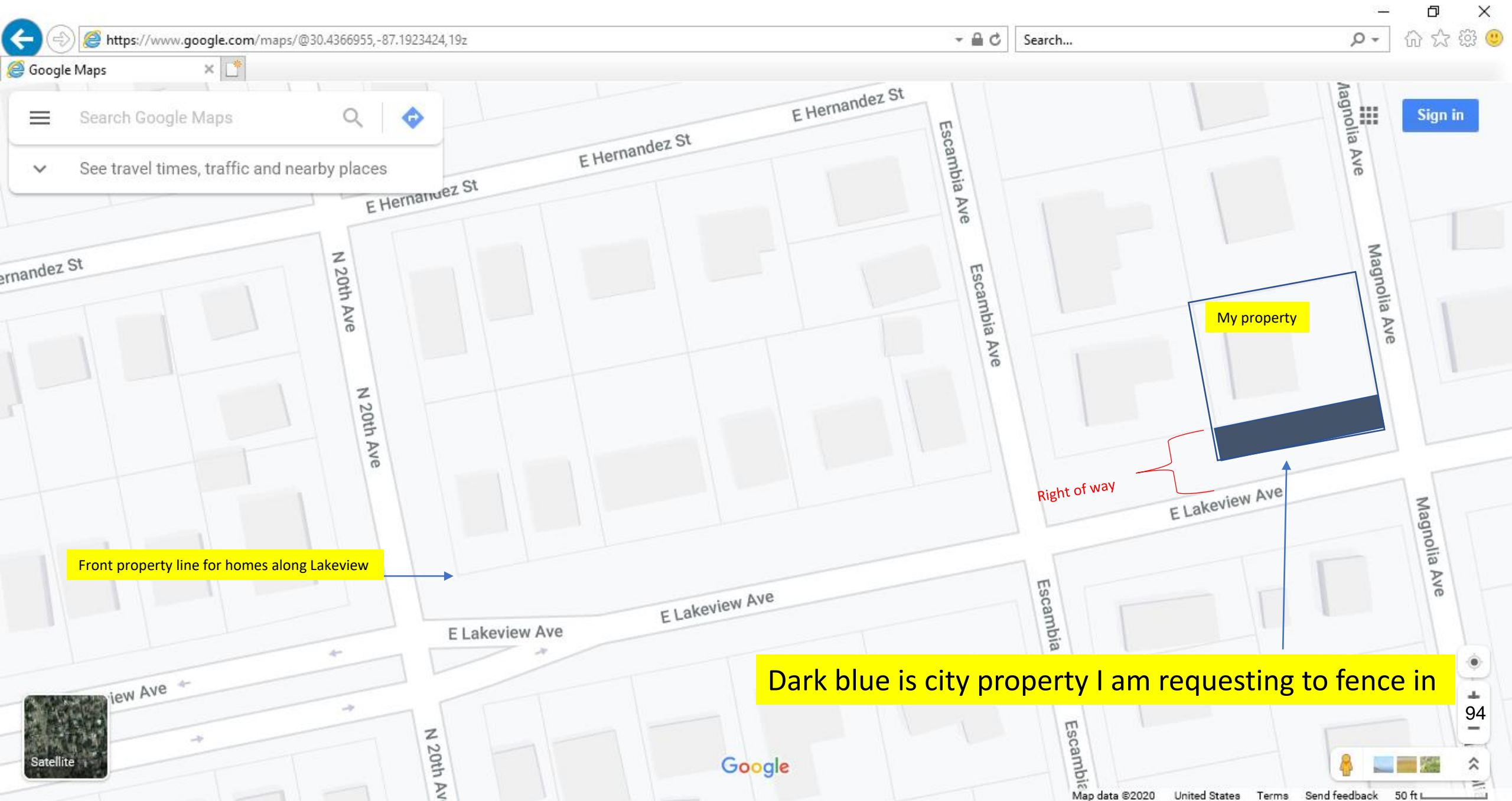
18.4'

14.2'

27.8'

3.0' 4.8'







Example of type of fencing



Department:	Comments:
FIRE	No objections.
PW/E	The City surveyor noted that a fence deep into the ROW may be a potential sight safety issue for drivers attempting to turn right from Magnolia Ave. onto Lakeview Ave.
InspSvcs	No comments.
ESP	Gas service to the property crosses perpendicular to the proposed fence and would need to be located and protected using the Florida 811 one-call system. A natural gas main is located at the west R/W line of Magnolia. The gas main along Lakeview is in the south R/W and therefore would not be affected by the proposed fence.
ECUA	No objection to the proposed fence; however, ECUA will need the applicant to relocate the water meter outside of the fence at their expense and provide clear access at all times for ECUA staff to operate and maintain the meter.
GPW	No comments.
ATT	There are no buried facilities on record in that location. No objections.

## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Thursday, May 28, 2020 7:28 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 2110 E. Lakeview Ave - LTU Application

Good Morning,

I do not oppose to the LTU request to install 4' fencing.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Wednesday, May 20, 2020 12:24 PM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris

## Cynthia Cannon

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**From:** Leslie Odom  
**Sent:** Thursday, May 28, 2020 9:15 AM  
**To:** Cynthia Cannon; Derrik Owens; Brad Hinote; Jonathan Bilby  
**Subject:** RE: 2110 E. Lakeview Ave - LTU Application

The addition of a metal fence deep into the right-of-way may be a potential sight safety issue with drivers attempting to turn right from Magnolia Ave onto Lakeview Ave. No other survey comments at this time.

Les Odom  
[Lodom@cityofpensacola.com](mailto:Lodom@cityofpensacola.com)  
City Surveyor  
Public Works & Facilities  
City of Pensacola  
850-436-5531



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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Thursday, May 28, 2020 8:52 AM  
**To:** Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>  
**Subject:** FW: 2110 E. Lakeview Ave - LTU Application

Good Morning,

The deadline for comments on Planning Board applications was yesterday and I've yet to receive comments from your departments on the attached. I can take no reply to mean no comment if necessary. Please remember that these applications proceed to City Council after they've been reviewed by Planning Board.

I work within a tight series of deadlines (which I don't create) when I process these applications and it becomes counterproductive for me to chase down comments from all of the reviewing agencies. Your assistance in processing these applications is greatly appreciated.

Thank you,



## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Tuesday, May 26, 2020 8:29 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 2110 E. Lakeview Ave - LTU Application

Cynthia,  
Gas service to the property at 2110 E. Lakeview crosses perpendicular to the proposed fence and would need to be located and protected using the Florida 811 One-call system. Also Pensacola Energy has natural gas main at the west R/W line of Magnolia. Our gas main along Lakeview is in the south R/W and therefore would not be affected by the proposed fence.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Wednesday, May 20, 2020 12:24 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Subject:** 2110 E. Lakeview Ave - LTU Application

Good Afternoon All,

## Cynthia Cannon

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Wednesday, May 27, 2020 1:25 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 2110 E. Lakeview Ave - LTU Application

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Cynthia,

The water meter that serves the subject is property is located in the right-of-way area that is being requested to be fenced-in. That being said, ECUA has no objection to the applicant installing the fence in the right-of-way as outlined in the petition, however, ECUA will need to require that the applicant relocate the water meter outside of the fence at their expense and provide clear access at all times for ECUA Regional staff to operate and maintain the meter. Please have the applicant contact ECUA Customer Service at 850-476-0480 to coordinate the meter relocation, should the fence be constructed.

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Wednesday, May 20, 2020 12:24 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 2110 E. Lakeview Ave - LTU Application

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Good Afternoon All,

Please see the attached application before the Planning Board for a License-to-Use request at 2110 E. Lakeview Avenue. The applicant is proposing to install a 4' aluminum fence along City right of way.

If you could submit your comments by Wednesday May 27, 2020 it would be greatly appreciated.

Thank you,

## Cynthia Cannon

---

**From:** SAUERS, BRAD <bs5403@att.com>  
**Sent:** Wednesday, May 20, 2020 2:43 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] FW: 2110 E. Lakeview Ave - LTU Application  
**Attachments:** LTU\_2110 E. Lakeview Ave\_Combined.pdf

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

AT&T does not buried facilities on record in that location and therefore we do not object.

Brad Sauers  
Manager – OSP Plng and Eng  
Technology Operations

AT&T – Bellsouth Telecommunications, LLC  
605 W Garden St, Pensacola, FL 32502  
o 850.436.1495 [bs5403@att.com](mailto:bs5403@att.com)

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**From:** FENNER, KARL L <kf5345@att.com>  
**Sent:** Wednesday, May 20, 2020 1:46 PM  
**To:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: 2110 E. Lakeview Ave - LTU Application

Karl Fenner  
Area Manager – OSP Plng and Eng  
Access Construction & Engineering, AL/NWFL OSPC/E + SER PDT/SOC

AT&T – BellSouth Telecommunications, LLC  
605 W Garden St, Pensacola, FL 32502  
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**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Wednesday, May 20, 2020 12:24 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00293

Planning Board

6/9/2020

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### **FOR DISCUSSION**

**TO:** Planning Board Members

**FROM:** Cynthia Cannon, AICP, Assistant Planning Director

**DATE:** 6/2/2020

**SUBJECT:**

Discussion on Proposed Amendments to the Tree Ordinance

**BACKGROUND:**

Continue discussion on the public engagement process regarding proposed amendments to the tree ordinance.