



# City of Pensacola

## Architectural Review Board

### Agenda - Final

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Thursday, March 19, 2020, 2:00 PM

Hagler-Mason Conference Room,  
2nd Floor

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#### Call to Order / Quorum

#### Approval of Minutes

1. [20-00154](#) FEBRUARY 20, 2020 ARCHITECTURAL REVIEW BOARD MEETING MINUTES

*Attachments:* [ARB Meeting Minutes February 20, 2020](#)

#### Open Forum

#### New Business

2. [20-00147](#) 18 AND 20 E. GARDEN STREET  
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A  
CONTRIBUTING STRUCTURE  
  
*Attachments:* [Florida Master Site File](#)  
[Images](#)  
[Application Packet](#)
3. [20-00148](#) 415 N. ALCANIZ STREET  
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1  
NON-CONTRIBUTING STRUCTURE  
  
*Attachments:* [Florida Master Site File](#)  
[Images](#)  
[Application Packet](#)
4. [20-00151](#) 804 E. WRIGHT STREET  
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-2  
NEW CONSTRUCTION  
  
*Attachments:* [Images](#)  
[Application Packet](#)

5.     [20-00152](#)     400 BLK CEVALLOS STREET  
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / WOOD COTTAGES  
NEW CONSTRUCTION

*Attachments:*     [Images](#)  
                          [September 2017 Conceptual Materials](#)  
                          [Application Packet](#)

6.     [20-00153](#)     5 E. GARDEN STREET  
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A  
CONTRIBUTING STRUCTURE

*Attachments:*     [Images](#)  
                          [Application Packet](#)

7.     [20-00156](#)     211 W. CERVANTES STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PC-1  
DEMOLITION OF A CONTRIBUTING STRUCTURE

*Attachments:*     [Florida Master Site File](#)  
                          [Images](#)  
                          [Application](#)

8.     [20-00180](#)     15 W. STRONG STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PC-1  
NEW CONSTRUCTION

*Attachments:*     [Images](#)  
                          [September 2017 Materials](#)  
                          [Application Packet](#)

## Adjournment

*If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.*





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00154

Architectural Review Board

3/19/2020

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

February 20, 2020 Architectural Review Board Meeting Minutes



## **MINUTES OF THE ARCHITECTURAL REVIEW BOARD**

**February 20, 2020**

**MEMBERS PRESENT:** Chairperson Quina, Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter, Board Member Villegas

**MEMBERS ABSENT:** Vice Chairperson Crawford

**STAFF PRESENT:** Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Assistant City Attorney Lindsay, Intern Mendillo, Digital Media Coordinator Siedah Rosa, Network Engineer Chris Johnston

**OTHERS PRESENT:** Steve Fluegge, Kurt Krueger, Randy Hamilton, Jared & Paula Willets, Dio Perera, Angelica Tilton, Rimmer Covington, Jr., David Butler, Rita Kohli, Dennis Kohli, J. Veal, Steven & Elizabeth Steck, Mitchell Hubbell, Hannah Hubbell

### **CALL TO ORDER / QUORUM PRESENT**

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 1:59 p.m. with a quorum present and explained the Board procedures to the audience.

### **APPROVAL OF MINUTES**

**Board Member Mead made a motion to approve the January 16, 2020 minutes, seconded by Board Member Villegas, and it carried unanimously.**

**OPEN FORUM** - None

### **NEW BUSINESS**

**Item 1**

**607 N. Spring Street**

**NHPD**

**Contributing Structure**

**PR-2**

**Action taken: Approved.**

Patrick and Sarah O'Neill are requesting approval to install Aeratis Heritage flooring on both levels of the front porch and to replace twelve windows located on the rear and sides of a contributing structure. Repairs to the porch with in-kind materials were approved through a Board for Board application in January. Comments from North Hill were

provided.

Mr. Hamilton presented to the Board, and Chairperson Quina noted that North Hill liked the tongue and groove Aeratis in the Battleship Gray color. It was determined the windows would all match, and they were not replacing the front windows. **Board Member Mead made a motion to approve, seconded by Board Member Villegas, and the motion carried unanimously.**

<b>Item 2</b>	<b>202 Cevallos Street</b>	<b>PHD</b>
<b>Contributing Structure</b>		<b>HR-2 / Wood Cottages</b>

**Action taken: Approved with abbreviated review.**

Kurt Krueger is requesting approval to replace window shutters on a contributing structure. The existing wood shutters will be replaced with storm-rated colonial-style aluminum shutters.

Mr. Krueger presented to the Board. Mr. Pristera advised the aluminum shutters would look similar to the original historical shutter and would provide protection to the structure without bringing in another system. Chairperson Quina clarified it allowed the resident to protect and save the historic wood windows. Mr. Pristera preferred the louvered over the panel design, and Mr. Krueger felt the louvered design upgraded the appearance. Board Member Salter addressed the bracket elements holding the shutters in position, and Mr. Krueger advised they would be replaced with something more secure. Board Member Salter noticed the property down the street where the moulding around the trim had been cut out for the brackets. He was concerned about the way they would be mounted since they were now mounted to the face of the trim board. Mr. Krueger stated he could not approach this specifically, but advised the moulding would not be damaged. Chairperson Quina explained that sometimes they need spacers where they pull away from the trim, but the blocking might also appear odd. Board Member Salter wanted to make sure where and how the hinges were mounted would not be disruptive to the architecture, and suggested the specific mounting of the hinge be a part of the motion and possibly submitted in an abbreviated review. Board Member Villegas asked about the windows with no space for the double shutters, and Mr. Krueger stated some were bi-fold and would be similar to the existing.

**Board Member Salter made a motion to approve with a mounting detail of the hinge to be submitted in an abbreviated review, seconded by Board Member Mead. With no audience speakers, the motion carried unanimously.**

<b>Item 3</b>	<b>122 W. Lloyd Street</b>	<b>NHPD</b>
<b>Contributing Structure</b>		<b>PR-1AAA</b>

**Action taken: Approved with abbreviated review.**

Mary Bozeman is seeking approval to add 34 solar panels to the roof of a contributing structure. All 34 panels are proposed to be added to the south side of the roof which faces Lloyd Street. Per Florida Statute Sec. 163.04(2), "a property owner may not be denied permission to install solar collectors [...] by any entity." However, "such entity may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45° east or west of due south provided that such determination does not impair the effective operation of the solar collectors."

Ms. Bozeman presented to the Board and stated the panels worked better if installed on the south side facing Lloyd Street. She also felt installing the solar panels would not diminish the structure's attractiveness. Chairperson Quina stated the Board had approved at least two installations of solar panels in North Hill, one on a secondary facade and one on a non-contributing structure. He pointed out they could be added to a home but also taken away; the goal was not to allow them to detract from the architectural character of the house. Board Member Mead suggested it was preferable on a two-story house since it would be more visible on a one-story structure. He was concerned that the layout of the panels would leave gaps on the leading edge of the roof which would draw more attention because of that discontinuity; the lower roof was to be covered with the exception of the corners. Board Member Salter agreed that the front edge would be a distraction and suggested reducing the six panels across the front (A2.12.-A2.17) so the pattern would be more consistent across the front edge. Ms. Bozeman indicated they could ask that the panels be made as unobtrusive as possible. Board Member Villegas believes in harnessing energy but was concerned about setting a precedent moving forward if a house was not two-story, and the panels were more visible. Mr. Pristera felt it should be reviewed on a case-by-case basis, and he looked at the roof material as not character defining. Mr. Partington pointed out the picture of the house from the street view was not an accurate representation, and the home was actually closer to the street with the roof not as visible. Board Member Fogarty offered another option for the bottom row of panels. Chairperson Quina explained the Board wanted to be careful of the placement of the panels, making sure that the visual effect was reduced as much as possible. **Board Member Mead made a motion to approve with an adjustment of the configuration and number of panels to give a consistent line across the front edge of the roof, and that the configuration be submitted as an abbreviated review consistent with those requirements. The motion was seconded by Board Member Fogarty and carried unanimously.**

#### Item 4

903 N. Spring Street

NHPD

#### Contributing Structure

PR-2

#### **Action taken: Approved with abbreviated review.**

Dio Perera, Walcott Adams Verneuille Architects, is requesting approval for a detached carriage house. The proposed two-car garage with second-story living space has been designed to complement the primary residence.

Mr. Perera presented to the Board. Chairperson Quina pointed out the North Hill comments addressing the west elevation facing the neighbor. Mr. Perera explained they would be 5' from the property line, and there were no restrictions for fire rating. Board Member Mead agreed with the comment on the long roof line being a concern. Chairperson Quina explained he would not apply a dormer for no reason but suggested maybe another window to the garage; he pointed out there might be 30 houses in North Hill with similar design. He indicated it did pick up the architecture of the house. Mr. Perera explained they wanted to utilize the existing curb cuts. Board Member Mead was concerned that the scale of the structure was different from the scale of the house, riding up too high into the body of the house, diminishing the window/bay feature on the east elevation. The profile of the bay and where the roofline meets it was reading out of proportion, and he suggested it be lower in slope. Mr. Perera stated the roof over the garage was 7:12 with the main house porch

being 9:12. Board Member Mead suggested it might be less significant if the bay was larger. He suggested dropping the skirt roof over the carriage doors to 5:12. **With no audience speakers, Board Member Mead made a motion to approve with the change of the slope on the skirt roof over the carriage doors to 5:12 for submission to an abbreviated review for comparison to what was presented and leave it to the discretion of the reviewer for the actual slope. The motion was seconded by Board Member Villegas and carried unanimously.**

**Item 5**

**220 W. Gadsden Street**

**NHPD**

**New Construction**

**PR-2**

**Action taken: Conceptual Approved with comments.**

Jim Veal is requesting *CONCEPTUAL* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. The southwest parcel received final approval for a single family residence in July 2019.

Mr. Veal presented to the Board and stated the owners desired to build on the east side of the property, and the other two parcels were for sale. Chairperson Quina asked about the eave height, and Mr. Veal indicated it was commensurate with the 10' ceilings. He explained the owner's goals were the same for wind mitigation. He also stated the fireplace would be wood and noted other wood chimneys such as 315 W. Jackson. He advised the product submission showed composite materials, and they intended to follow through with those.

Board Member Mead was concerned with the roof and fireplace placement since this had more of a cottage style, and he felt this was the wrong roof for that; the placement of the fireplace and displacement of the front entrance door, and the placement of the fireplace and chimney created a problem. Mr. Veal stated with respect to the design of the home, the fireplaces were in the most desirable locations. He pointed out every house in the neighborhood brings a unique feature where they all blend together. Board Member Mead suggested the chimney and fireplace would look better if pushed to the corner of the house rather than on the front porch and would give a better roof line.

Board Member Villegas thought the chimney stood out because they were not getting the feel of the lap siding in the renderings, and she felt it looked odd. Mr. Veal stated in order to build the chimney in brick presented several structural challenges, and economically it would be a real hit to the budget, but they would be open to exploring a plastered look. Board Member Villegas offered it would be a cheaper solution and appreciated that a masonry chimney could cost \$20,000, but it addressed what's around it. Mr. Pristera asked if this was an actual wood burning fireplace, and Mr. Veal advised it was. Mr. Pristera asked if they explored a different type of flue, and Mr. Veal stated that nobody made a vent less wood burning fireplace.

Board Member Salter asked if they had thought to bring the brick skirting up to the level of the column base, continuing it around which would make the column base more consistent; Mr. Veal advised the skirt would be taller at the rear by approximately 4' above grade. Board Member Villegas asked why the porches were not connected, and Mr. Veal stated they were connected, and there was a security feature to prevent someone from entering the side porch. Board Member Fogarty asked about the rear windows, and Mr. Veal advised their intent was to have a window on the north wall; there had also been an effort

to not impact the trees. **Board Member Mead made a motion for conceptual approval with the following changes as options: 1) Breaking the symmetry of a very symmetrical aspect with a slightly asymmetrical chimney was jarring and suggested moving it to the side wall and move the entrance way commensurate with the front door to the next bay, then the two asymmetries offset each other which gives a more pleasing composition for the overall front of the house; 2) Roofline needs to be broken up with some feature or brought lower; 3) The addition of some sort of fenestration at the back wall of the garage. Board Member Salter seconded the motion, and with no audience speakers, it carried unanimously.**

**Item 6  
Variance**

**314 S. Alcaniz Street**

**PHD  
HC-1 / Wood Cottages**

**Action taken: Denied**

Scott Holland is seeking a Variance to increase the minimum rear yard setback from twenty (20) feet to twelve (12) feet, six (6) inches to accommodate a new two-story single family residence. This item is in consideration with Item 7.

Mr. Holland presented to the Board and advised the existing building is 10' from the rear property line, and after removing the residence, he proposed to pull it back 12.5'. He advised there were no objections to the variance, but the neighbor at the rear wanted to ensure the shortcut to the Dharma Blue would remain. Board Member Mead was concerned that this was a 40% variance and was not sure the other elements of the hardship could be met. Assistant City Attorney Lindsay asked if he had looked at the information provided, and he confirmed he did but was uncertain that this would preclude them from building on this lot. He noted there were buildings being constructed on small lots and was not sure how this presented a hardship. Chairperson Quina pointed out he was only asking for the same consideration as the neighbors on both sides, and he was staying further away from the setback than the neighbors had; it also was not creating a special circumstance. Staff advised the requested variance would not increase the non-conformity of what was already existing; the structure to the north was a contributing structure. It was also clarified that when a structure was torn down, it was replaced with a structure which was up to present day Code and not non-conforming, however it could be repaired or extended, and a variance would not be needed. It was also noted the variance would save two heritage trees.

Mr. Fluegge explained that variances caused him heartburn and where does it stop with variances getting larger and setbacks getting smaller; he and his neighbors were concerned with the larger projects, and granting variances was a slippery slope. He emphasized the downtown area was a prized jewel and needed care and protection at all costs.

Board Member Mead was amenable to the property owner's desire but needed the criteria to be met on evidence presented. This was new construction and not preserving a historical structure or preserving some item of uniqueness which is the function of the Board. Chairperson Quina offered that the applicant was indicating without the setback, the site was unbuildable in the remaining footprint for a marketable house. **With other Board members agreeing, Board Member Villegas made a motion to deny because of a lack of hardship, seconded by Board Member Mead, and it carried unanimously.**



Chairperson Quina informed the applicant that he could approach the Council on this matter.

<b>Item 7</b>	<b>314 S. Alcaniz Street</b>	<b>PHD</b>
<b>New Construction</b>		<b>HC-1 / Wood Cottages</b>
<b>Action taken: Withdrawn.</b>		
Scott Holland is seeking <i>CONCEPTUAL</i> approval for a new two-story single family residence.		

<b>Item 8</b>	<b>820 N. Baylen Street</b>	<b>NHPD</b>
<b>Variance</b>		<b>PR-2</b>
<b>Action taken: Approved.</b>		

Paula and Jared Willets are seeking two Variances: to decrease the maximum required rear yard setback from 25' to 2' and to decrease the maximum required south side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters. The intention of the requested Variances is to allow the applicants to demolish an existing and dilapidated non-contributing garage and to rebuild within its footprint. This item is under consideration with Item 9.

Mr. and Ms. Willets presented to the Board. Ms. Willets stated the existing garage was collapsing, and they wanted to rebuild within the same footprint. She pointed out with the existing wood rot, the framing no longer touches, and the roof is collapsing on the inside. Staff explained because this was a multi-family development, rear yard coverage was not taken into account, and the rear yard setback must go from 25' to 2'. Board Member Mead noted the duplex and garage predated the zoning. Chairperson Quina advised the North Hill comments were in favor of the variance. Board Member Mead asked if the Board was considering the variance on the main structure. Senior Planner Statler pointed out it was not an accessory structure at this point because you cannot have an accessory dwelling unit unless you are a single-family detached dwelling; their property actually allows multi-family dwelling units, so it would be a third dwelling unit, and the 25' rear setback would apply.

Board Member Salter stated if the proposed garage did not have the living area above it, it would still be classified as an accessory structure, and staff agreed, and the 3' setback would apply. Board Member Salter explained by adding the dwelling unit, it was possible that they were creating a hardship. Board Member Mead pointed out multi-family was allowed in this district, and the question was the placement of the additional dwelling unit; there was an existing structure, and they were adding a dwelling unit to it. Also, the applicant stated it was used as a dwelling in the 40s which gave it a background. All they were being allowed to do was reconfigure and reconstruct what was a failing structure to something consistent with the remainder of the property and diminishing the non-conforming with regard to its closeness to the rear property lines. Staff clarified it would have to be fire rated if built where it is shown, and that had been discussed with the applicants.

**Board Member Mead made a motion to approve the variance to the extent that it will not enlarge the proximity to the existing property lines from the existing structure, and on the grounds that there is evidence before the Board that it has been used in some capacity as a dwelling structure and is zoned for multi-family and therefore the 25' should not really apply because it is an existing non-conformity predating the Code and as long as we don't enlarge the non- conformity in regard to its proximity to the**

**property lines, merely reconfiguring it for dwelling purposes, and its other accessory uses do not in any way enlarge the non-conformity, and the variance is otherwise appropriate for the obviously failing structure which constitutes a hardship. Board Member Fogarty seconded the motion, and it carried unanimously.**

**Item 9**

**820 N. Baylen Street**

**NHPD**

**Demo / New Construction**

**PR-2**

**Action taken: Conceptual Approval with comments.**

Paula and Jared Willets are requesting approval to demolish an existing non-contributing garage and *CONCEPTUAL* approval for a new detached garage with second story living quarters.

Ms. Willets presented to the Board and provided plans for the detached garage. Chairperson Quina asked about the stair location, and Ms. Willets stated a door would lead to the stairway which would be out of the elements. Mr. Willets indicated they had repointed one side of the house so far, and some of the brick was replaced, but it closely matched the existing. Board Member Salter noted the house had so many changes in profiles with step-outs and step-ins, and they had the opportunity to do this on the garage as well. Board Member Mead agreed the strong symmetry on the house facing Baylen was important, but thought the 4 gang windows were too much and suggested breaking them up into 2 gangs. He also suggested since they divided the garage doors, placing the stairs up the center of the carriage doors. Chairperson Quina suggested they continue the brick to create a freestanding pier so there is a little bit of a porch that would be covered. **Board Member Campbell-Hatler made a motion for conceptual approval, seconded by Board Member Mead noting the comments of the Board, and it carried unanimously.**

**Item 10**

**200 BLK S. 9<sup>th</sup> Avenue**

**PHD**

**New Construction**

**HC-1 / Brick Structures**

**Action taken: Approved with abbreviated reviews.**

Elizabeth and Stephen Steck are seeking *final* approval for a new single family residence. This project received conceptual approval in October 2019. The revised plans still depict a three-level house with a garage, foyer, and storage area on the first floor, primary living space on the second, and a master suite and bedrooms on the third. The exterior, however, has undergone a redesign which reflect the applicants' preferred style and the input from the Board.

Ms. Steck presented to the Board and advised they now have a pergola on the top floor, faux carriage type doors on the front elevation and larger windows; the house is now longer and not as deep so there is more footage on 9<sup>th</sup> Avenue. The carriage types were carried to the sides, and hardie board was used for the rear since there was a concern with the increased structure to be placed on the building because of the open porch and the floor below. The railing would match the railing on the rear porch – an aluminum bronze color. The stairs would be made of a composite recycled material.

Board Member Mead asked about the lighting, and it was provided. He also suggested board and batten rather than hardie board. He felt the rhythm and fenestration were good and asked about the gutter system. Mr. Steck stated they would leave that to the contractor. Ms. Steck explained the A/C unit would be located on the south side outside the elevator and had



to be 8' up. Chairperson Quina suggested using brackets with the same railing as the porch, and Board Member Mead suggested a batten element to conceal. Ms. Steck stated that ECUA was agreeable to the brick columns along the front fence, but they wanted the additional fencing to be traditional privacy fencing since they required access to the easement area. **Board Member Mead made a motion to approve with the following details submitted in an abbreviated review: 1) Stair and baluster materials and design; 2) placement and treatment of the A/C equipment and supports; 3) detail of the non-masonry covering to change that from lap siding to possibly board and batten; 4) gutter details. Board Member Campbell-Hatler seconded the motion, and it carried unanimously.**

**Item 11** **36 E. Garden Street** **PHBD**  
**Contributing Structure** **C-2A**

**Action taken: Approved with abbreviated review.**

Philip Partington is requesting *CONCEPTUAL* approval for exterior modifications to a contributing structure. The proposed plans show "Reynolds Music House" converted into a new restaurant with covered outdoor seating and green wall systems.

Mr. Partington presented to the Board and stated his family had a 100-year historical connection to this structure. He explained they had made a slight adjustment to the elevation to stay with the pre-1950s elevation. **He also asked that the project have final approval and furnished materials to the Board for consideration.** With the approval of staff, Chairperson Quina advised it would be allowed; Senior Planner Statler advised it would be up to the Board on whether or not they received sufficient information. Mr. Partington stated the restaurant owners currently own Iron, and this would be a 150 seat sister restaurant (Cast), and the menu was farm to table. This project would be in partnership with the East Garden District development. Jefferson Street was projected to have a road diet, and they were proposing a 10' covered canopy all along Jefferson Street. The existing canopy on Garden would be re-clad to look more historic. He also explained they were removing the entire east wall. The windows and doors would be a storefront system. The canopy would be cast aluminum and the building would be stucco in a white color. The green wall would be southern facing and basically hide the alley; it is also set back from the face. A planter would be flush with the wall and within the property line.

Board Member Campbell-Hatler stated the project would do a lot for that corner. Board Member Salter asked about the canopy system, and it was determined it would drain through the columns.

**Board Member Mead made a motion to approve with an abbreviated review on the plan detail for the window widening, the plan elevation for the south elevation the same as the rendering, and the green wall planters both on the wrap on the rear and the front. The motion was seconded by Board Member Campbell-Hatler, and with no audience speakers, carried unanimously.**

**Item 12** **18 / 20 E. Garden Street** **PHBD**  
**Contributing Structure** **C-2A**

**Action taken: 18 E. Garden denied-20 E. Garden approved.**

Scott Sallis is requesting approval to renovate the storefronts of two retail spaces. Mr. Sallis

presented to the Board and stated this project was also a part of the East Garden District. They are under contract to do the shell work for future tenants, and because of that, he expected the colors to change. He explained they wanted to raise the storefronts where they could have rain protection and new lighting. Board Member Salter asked if there were other options for the front door, and Mr. Sallis stated the garage door was an option they put out there because the developer loved it since it was done on other downtown projects. Board Member Salter noted that Perfect Plain was more extensive in their remodeling, but there were plenty of other options available with possibly a collapsible door, and Mr. Sallis was agreeable to consider other options.

Board Member Mead addressed the parapet walls being removed and asked if they were original. Mr. Sallis explained they did not question that because their main goal was to incite great retail with ground to ceiling glass. Board Member Campbell-Hatler asked about the window glazing, and Mr. Sallis advised they would use clear glazing. Board Member Villegas appreciated the garage door but thought it took away the beauty of what was already existing there. Mr. Sallis indicated the collapsible door might be a good compromise. Chairperson Quina explained the Board wanted to be consistent in their opinions and not set a precedent with approving in one location and not in another; garage doors were agreeable because they were open during business hours. Board Member Mead suggested they could open up the space while using the parapet walls as a barrier. Board Member Campbell-Hatler suggested differentiation in how deep the window is to the front of the façade; with everyone moving completely to the front, they needed to pay attention to stepping the façade back to create a rhythm; Mr. Sallis advised this placement was due to the manufacturers' wanting water proofing.

Board Member Mead made a motion to approve on 20 E. Garden as submitted. On 18 E. Garden he wanted to preserve the sill walls for the windows even if the whole area was opened up with garage doors immediately behind them which would preserve that element of the façade. Mr. Sallis was agreeable since that would allow them to move forward with the project; he would return for the signage element and colors, and the tenant might have a different idea for the storefront. **Since the application was determined to be for final approval, the Board could consider the submittals as one or separately. Board Member Mead then moved to deny on 18 E. Garden for resubmittal to preserve the sill walls with the approach to the fenestration entry and was amenable to the opening, and to approve 20 E. Garden as submitted. Board Member Salter seconded the motion.** Mr. Sallis and Mr. Pristera stated they would look further into the history of the walls. **The motion then carried unanimously.**

### Item 13

121 S. Palafox Place

PHBD

### Contributing Structure

HR-2 / Wood Cottages

### Action taken: Approved.

Scott Sallis is seeking approval to remove and modify the front and rear facades. Modifications to the southern rear portion of the building were approved in December 2019. Although the December motion only included details on the southern rear space, a conceptual design of the full building was provided to the Board at that time.

Mr. Sallis presented to the Board and advised his client asked them to move forward with the next phase. They propose to build a new façade and a second floor on the front and rear.

He explained the structural column grid for the building was literally in the middle of the existing corridor; they needed to retain this corridor to access the future B&B unit, future stairwells and elevations going to a new second floor which would consist primarily of residential units. There would also be a rooftop restaurant and beer garden. They were using details to respect the Spanish heritage as well as new products for the outdoors which reflect a Spanish tile. The residential units would have a balcony, and the sleeping units were laid out similar to a boutique hotel.

Board Member Mead questioned the garden canopy which would be cantilevered. Mr. Sallis explained contemporary solutions with Spanish heritage were limited for exterior lighting. If they choose to have alcoves, they must be lit up to minimize the transient traffic. They proposed to return with the lighting choices. Chairperson Quina offered it was a great improvement, and Board Member Salter stated the bold elements were done nicely. **With no audience speakers, Board Member Mead made a motion to approve, seconded by Board Member Villegas, and it carried unanimously.**

**Item 14**

**100 BLK S. Spring Street**

**GCD**

**Contributing Structure**

**C-2**

**Action taken: Approved.**

Rimmer Covington is requesting final approval for a 14-unit townhome development with rooftop terraces. This item received conceptual approval at the February 2018 ARB meeting and final approval at the March 2018 meeting. Since then, there have been several design modifications which require ARB approval to proceed with construction permitting.

Mr. Covington and Mr. Butler presented to the Board. Mr. Butler advised the window packages they had been working from were expensive, and they did some value engineering and changed the design. There were also some additional supports to the outside balconies, and other levels of finishes had changed. They proposed to use Windsor windows which were aluminum clad wood. The colors had not changed. **With no audience speakers, Board Member Salter made a motion to approve, seconded by Board Member Fogarty, and it carried unanimously.**

**Item 15**

**1217 E. Mallory Street 1/2**

**R-1AA**

**Demolition**

**New City Tract**

**Action taken: 60-day delay for further information.**

Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to their architecture and/or its association with persons significant to local, regional or national history.

Chairman Quina recused himself from the discussion since this was his client.

It was determined the Church Diocese of Pensacola had owned this building for 60 years, but it had been unoccupied for one year. They were unable to occupy the structure for the parish and wanted to install 20 new parking spaces. Currently, their parishioners park across 12<sup>th</sup> Avenue, and two years ago, an elderly handicapped member was struck by an automobile, and they need parking on the same side of the street as the church. The church now uses the school parking lot facilities. It was clarified that the structure also contained asbestos in almost all of the interior, with the highest amount being in the flooring and window sealant.

Mr. Pristera advised on the Florida Master Site File, AV Clubbs developed the two blocks and sold to Mr. Workman who was a principle educator and lived in the house. He wanted to make sure the house tied to Mr. Workman was actually this house and needed to determine if it was 1217 or 1217 1/2. It was determined there were lots of small rooms with no large room, and it would need significant work to be used by any group. Mr. Pristera explained when he and staff visited the home, it looked to be in usable condition. However, the front was confusing with the window and door placement, but the curved porch was unique. The house has character and is in good shape with some names attached to it, and he felt the community should have a chance to salvage parts or pieces of it or see if someone was interested in moving in. He asked for the timeline, and the church was having a groundbreaking ceremony this weekend (Feb. 29-30), but they would be able to move forward with some projects without affecting the house. Historic Preservation Planner Harding explained that an accessory structure could be permitted for demolition with no problem.

Board Member Mead noted the structure was over 50 years old, was tied to historic personages, had no need to be demolished other than it was impeding another use, namely parking, and that was a horrific reason to tear down a historically significant and architecturally interesting structure for that purpose. Staff explained the ordinance did not prohibit the demolition of the structure but had a possibility of applying a demolition delay of 60 days; once the 61<sup>st</sup> day is met if the Board determines to apply that delay, a demolition permit could be issued. **Board Member Villegas made a motion to apply the 60-day delay until further information could be gathered to determine the true value to the community.** If it was to be torn down, the community would be able to come and retrieve or in some way save pieces of said structure. **Board Member Salter seconded the motion.** It was determined the church had a couple of people who were interested in having a window or a column since they were remodeling their East Hill home, and that was the only interest that had been given on this structure. Board Member Mead explained there was also an opportunity to relocate the home and encouraged the applicant to reach out to other resources for salvaging. **With no speakers from the audience, the motion carried 5 to 1 with Chairperson Quina recusing himself.**

Mr. Pristera reminded the Board of a tour sponsored by AIA at 3:00 pm on Friday for the residence at 423 E. Government.

**ADJOURNMENT** – With no further business, the meeting adjourned at 5:04 p.m.

Respectfully Submitted,



Historic Preservation Planner Harding  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00147

Architectural Review Board

3/19/2020

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

Item 1 - 18 and 20 E. Garden Street  
Palafox Historic Business District / Zone C-2A  
Contributing Structure

### **BACKGROUND:**

Scott Sallis is requesting approval to renovate the storefronts of two retail spaces. This project came before the Board at the February 2020 meeting where modifications to 20 E. Garden Street was approved as presented. A request for modifications to 18 E. Garden Street was, however, denied due to consideration of the sill walls. Historic photographs of the storefront has been provided in this packet. For 18 E. Garden Street, the scope of work will include the installation of a metal garage door, storefront, sconce lighting and a metal canopy.

Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*

FLORIDA MASTER SITE FILE  
Site Inventory Form

FDAHRM 802 = =  
1009 = =

Site Name \_\_\_\_\_ Site No. Es 1088  
Address of Site: 18 E. Garden St., Pensacola, FL 32501 830 = = Survey Date 8210 820 = =  
Instruction for locating N. Side E. Garden St. between N. Palafox St. and 905 = =  
Jefferson St. extension  
Location: Old city tract Arpent lts. Port. 54 813 = =  
subdivision name block no. lot no. 868 = =  
County: Escambia 808 = =  
Owner of Site: Name: McGraw, Artice L.  
Address: 26 E. Garden Street  
Pensacola, FL 32501 902 = =  
Type of Ownership Private 848 = = Recording Date \_\_\_\_\_ 832 = =  
Recorder:  
Name & Title: Marcille, Ruth  
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =  
Check One Check One or More 838 = =  
☐ Excellent 863 = = ☒ Altered 858 = = Present Use Commercial 850 = =  
☒ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning C +1910 844 = =  
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =  
☐ Deteriorated 863 = = ☐ Restored ( ) (Date: ) 858 = = Period 20th Century 845 = =  
☐ Moved ( ) (Date: ) 858 = =

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More  
☐ Zoning ( ) 878 = = ☐ Transportation ( ) 878 = =  
☐ Development ( ) 878 = = ☐ Fill ( ) 878 = =  
☐ Deterioration ( ) 878 = = ☐ Dredge ( ) 878 = =  
☐ Borrowing ( ) 878 = =  
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture, Commerce 910 = =

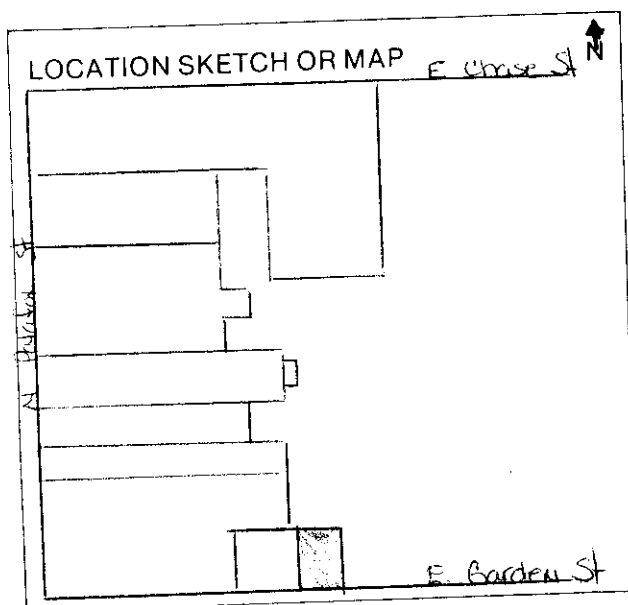
Significance:

This modest masonry vernacular structure dates to about 1910 when J.M. Muldon acquired this valuable real estate. It was originally occupied by a tailor and an ice cream company.

SEE SITE FILE STAFF FOR  
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =  
 BUILDER Unknown 874 = =  
 STYLE AND/OR PERIOD Masonry vernacular 964 = =  
 PLAN TYPE Rectangular 966 = =  
 EXTERIOR FABRIC(S) Stucco: smooth # brick: running # stucco: textured 854 = =  
 STRUCTURAL SYSTEM(S) Masonry: brick 856 = =  
 PORCHES 942 = =  
 FOUNDATION: Continuous: stucco & brick 942 = =  
 ROOF TYPE: Flat: built up with parapet - gable 942 = =  
 SECONDARY ROOF STRUCTURE(S): (Marquee) flat: metal 942 = =  
 CHIMNEY LOCATION: 942 = =  
 WINDOW TYPE: Fixed 882 = =  
 CHIMNEY: 882 = =  
 ROOF SURFACING: Built up 882 = =  
 ORNAMENT EXTERIOR: Tile: (indented) 950 = =  
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 1 954 = =  
 NO. OF DORMERS 0  
 Map Reference (incl. scale & date) USGS 7.5 min. Pensacola 1970 809 = =  
 Latitude and Longitude: 800 = =  
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section	
2S	30W	46	812 = =

UTM Coordinates:

Zone Easting Northing 890 = =

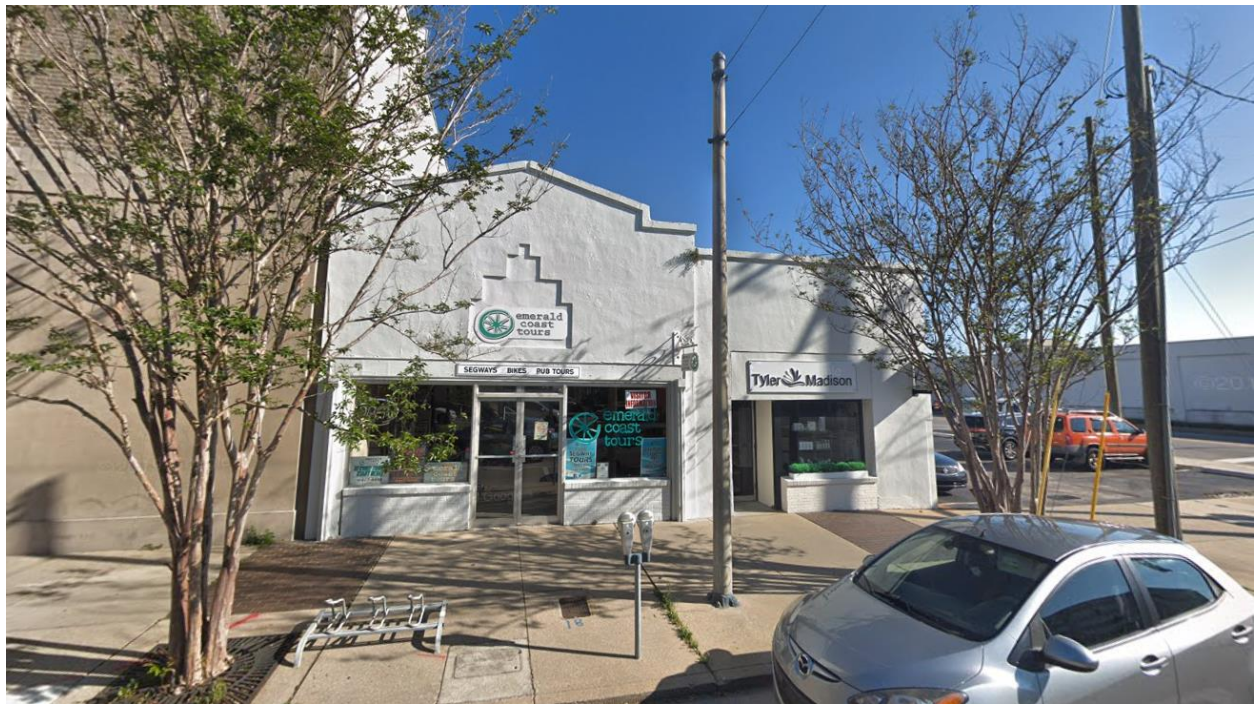
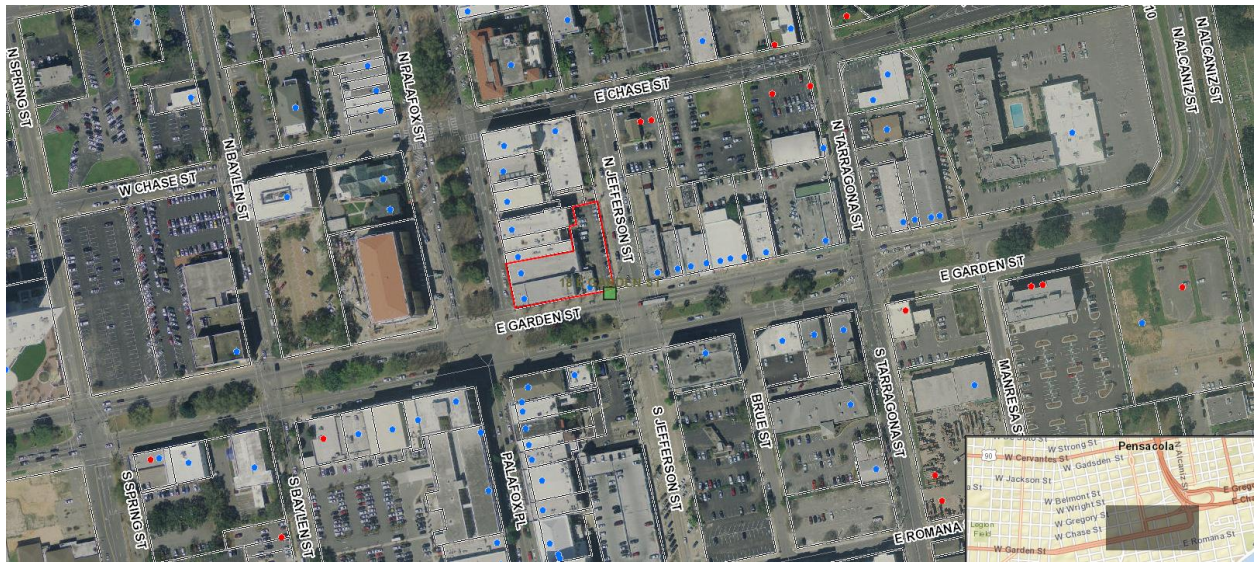
Photographic Records Numbers HPPB P. 83.7 Frame 33 860 = =

Contact Print





18 and 20 E. Garden Street



**Architectural Review Board Application  
Full Board Review**

Application Date: **02-27-2020**

**Project Address:** 18 & 20 E. GARDEN ST.

**Applicant:** Dalrymple Sallis Architecture

**Applicant's Address:** 503 E. Government Street, Pensacola, Florida 32502

**Email:** scott@dalsal.com **Phone:** 850-470-6399

**Property Owner:** Chad Henderson

(If different from Applicant)

**District:** PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

DSA is representing the Owner with this re-application for storefront renovation to 18&20 E

Garden Street. We present historic photos showcasing a wide variety of retail storefront designs

over the years at this address, all of which warrant an appropriate retail storefront to the ground.

The Palafox Business district showcases multiple presidents of glass sectional doors for retail

storefront. We seek the same.

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Date

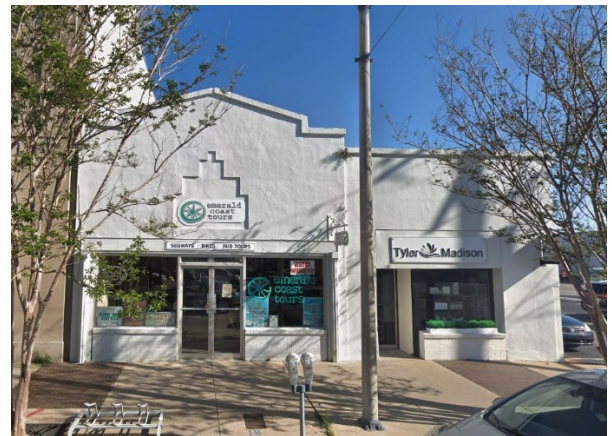


**Date:** Thursday, January 30, 2020

**Project:** 18 & 20 East Garden Shell  
18-20 E. GARDEN ST.  
Pensacola, FL 32502

**Recipient:** Architectural Review Board – City of Pensacola

## Existing Site Conditions





**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502

V 850.470.6399  
F 850.470.6397  
[www.dalsal.com](http://www.dalsal.com)

## Historic Photographs







## Exterior Color Schedule – 18 E. Garden

**Date:** Thursday, January 30, 2020

**Project:** 18 E. Garden St. Shell  
18 E. Garden St.  
Pensacola, FL 32502

**Recipient:** Architectural Review Board – City of Pensacola

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
GLASS GARAGE DOOR	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL CANOPY	TBD	POWDER COATED STEEL CAOPY DARK BRONZE
SCONCES	EATON LIGHTING	SATIN DARK BRONZE
DESCRIPTIVE SIGN	TBD	FUTURE SUBMITAL BY TENANT
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT

## Exterior Color Schedule – 20 E. Garden

**Date:** Thursday, January 30, 2020

**Project:** 20 E. Garden St. Shell  
20 E. Garden St.  
Pensacola, FL 32502

**Recipient:** Architectural Review Board – City of Pensacola

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
STOREFRONT WINDOWS	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL AWNING	TBD	POWDER COATED STEEL AWNING DARK BRONZE
SCONCES	HINKLEY	OIL RUBBED BRONZE
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT

## **18 E. GARDEN: PAINT COLORS**

SW 0059  
**Frostwork**  
Interior / Exterior

SW 6700  
**Daybreak**  
Interior  
Locator Number: 269-C5

MAIN COLOR

RECESSED PORTION OF FACADE

## **20 E. GARDEN: PAINT COLORS**

SW 7078  
**Minute Mauve**  
Interior / Exterior  
Locator Number: 227-C1

MAIN COLOR



## **18 E. GARDEN: COLOR – MATERIALS**

### **POWDER COATED METAL CANOPY**



DARK BRONZE

### **METAL CANOPY – HANGER SUPPORTED**



DARK BRONZE  
17'-0" long x 3'-6" wide

## **GARAGE STOREFRONT AND ENTRANCE DOOR**



DARK BRONZE ALUMINUM FRAME  
GARAGE DOOR: 10'-0" x 8'-0"  
ENTRANCE DOOR: 3'-0" x 8'-0"

## **SCONCE**



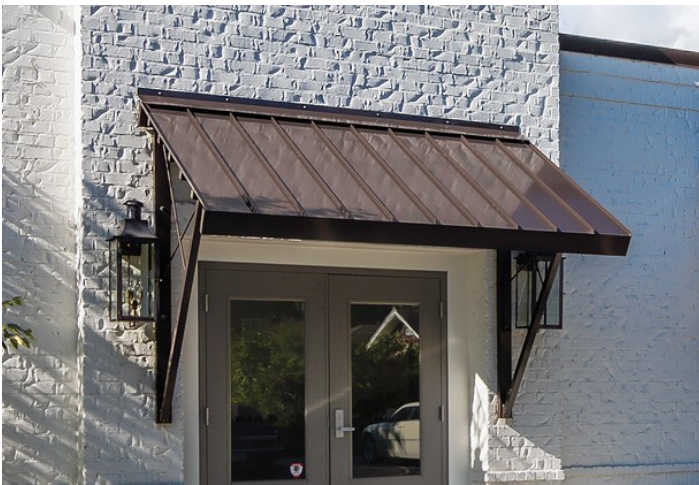
Eaton 674-WP Series  
Shaper 31 inch Satin Dark Bronze Aluminum frame with a Matte White Acrylic Diffuser

## **20 E. GARDEN: COLOR – MATERIALS**

### **METAL AWNING**



OIL RUBBED BRONZE



OIL RUBBED BRONZE  
11'0" long x 4'-6" wide

## STORFRONT SYSTEM AND ENTRANCE DOOR



OIL RUBBED BRONZE ALUMINUM FRAME

## SCONCES



Hinkley 2324OZ-LED  
Manhattan LED 15 inch Oil Rubbed Bronze Outdoor Wall Mount



## RENDERINGS





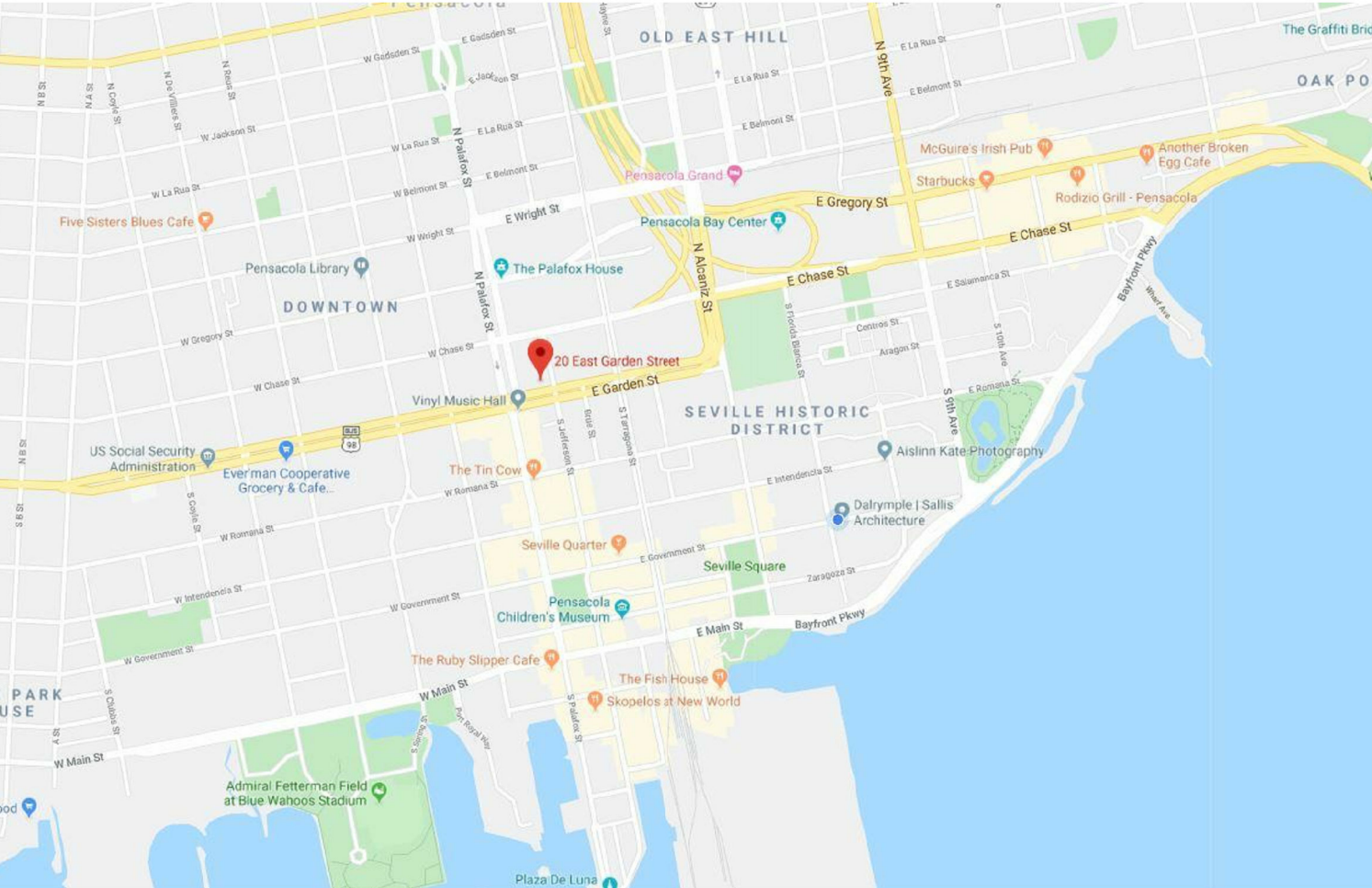




# 18 | 20 East Garden Shell

AN EXTERIOR SHELL RENOVATION FOR 18 AND 20 EAST GARDEN

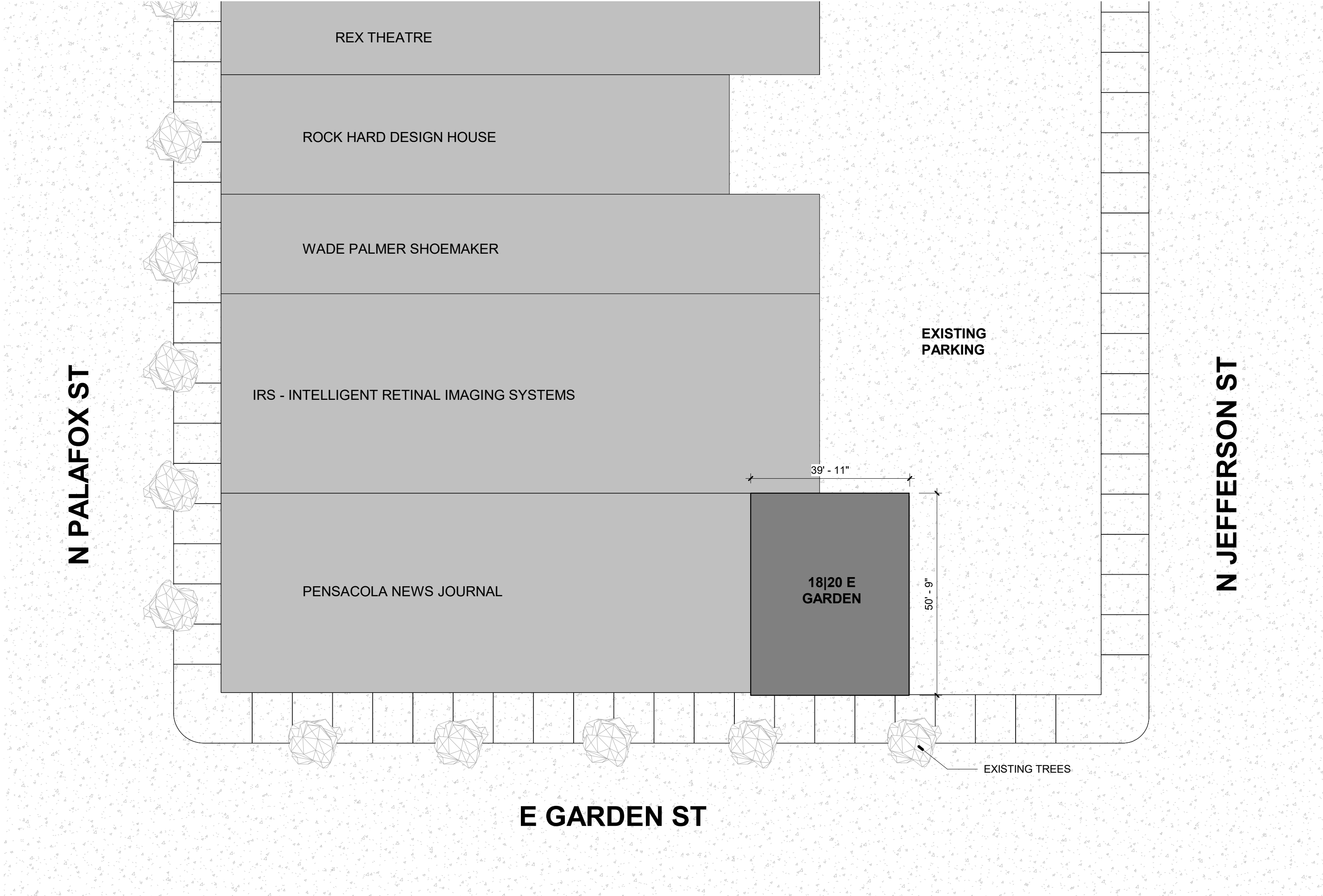
18 & 20 East Garden St, Pensacola, FL



VICINITY MAP



SITE MAP



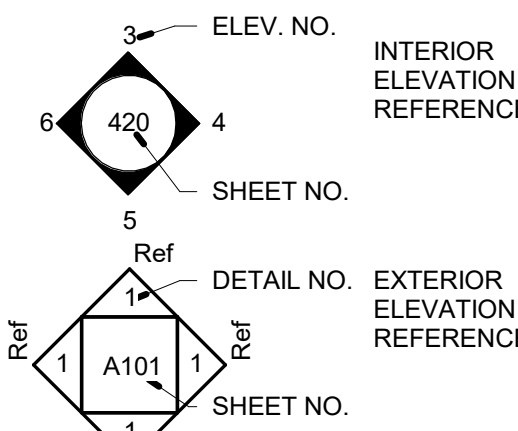
2 KEY PLAN  
1" = 20'-0"

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A101	DEMO AND NEW WORK PLANS	
A201	EXTERIOR ELEVATIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

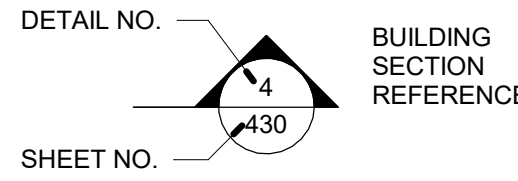
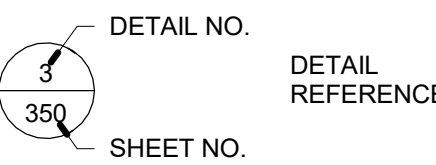
## GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEVED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

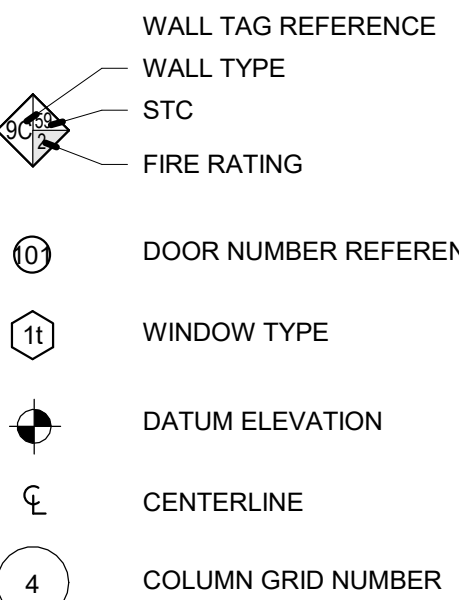
### ELEVATION REFERENCES



### DETAIL REFERENCES



### ANNOTATION REFERENCES



Room name ROOM TAG

(11'-8") CEILING HEIGHT - ABOVE FIN. FLOOR

### REVISION NUMBER REFERENCE



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

18 | 20 East Garden Shell  
18 & 20 East Garden St, Pensacola, FL

DRAWN BY: HH  
CHECKED BY: JSS

ISSUE DATE:  
01/30/2020

REVISIONS:  
No. Desc. Date

SHEET TITLE:

TITLE SHEET

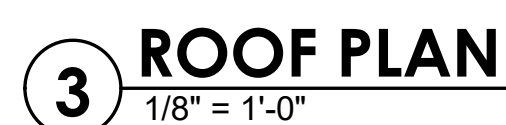
SHEET NO:

G001

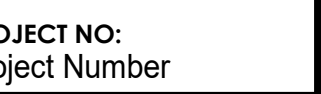
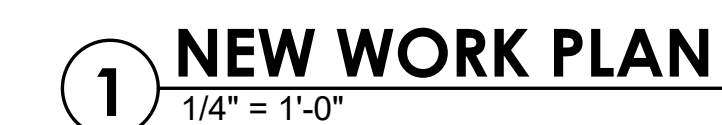
PROJECT NO:  
Project Number



1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
4. REMOVE EXISTING STOREFRONT SYSTEMS FROM BUILDING 18 AND 20
5. REMOVE EXISTING FRONT ENTRANCE DOORS FROM BUILDING 18 AND 20
6. REMOVE LOW BRICK WALLS FROM BUILDING 18 AND 20
7. REMOVE EAST DOOR FROM BUILDING 20 AND AWNING ABOVE DOOR



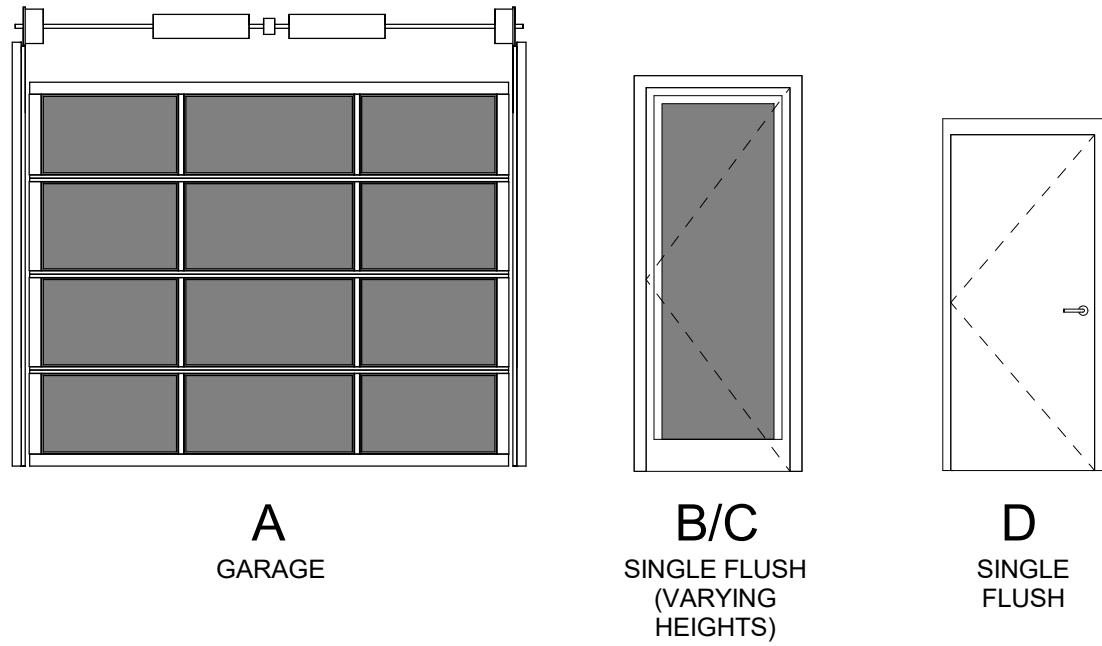
1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
5. INSTALL NEW DOORS AND ALUMINUM STOREFRONT AS INDICATED ON PLAN





DOOR SCHEDULE							
MARK #	DOOR						NOTES
	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	HARDWARE	
First Floor							
01	10' - 0"	8' - 0"	A	METAL	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
02	3' - 0"	8' - 0"	B	STOREFRONT	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
03	3' - 0"	7' - 0"	C	STOREFRONT	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
04	3' - 0"	7' - 0"	D	HMD	ALUM.	PRIVACY	INCLUDED IN SHELL WORK
05	3' - 0"	7' - 0"	D	HMD	ALUM.	PRIVACY	INCLUDED IN SHELL WORK

DOOR TYPES

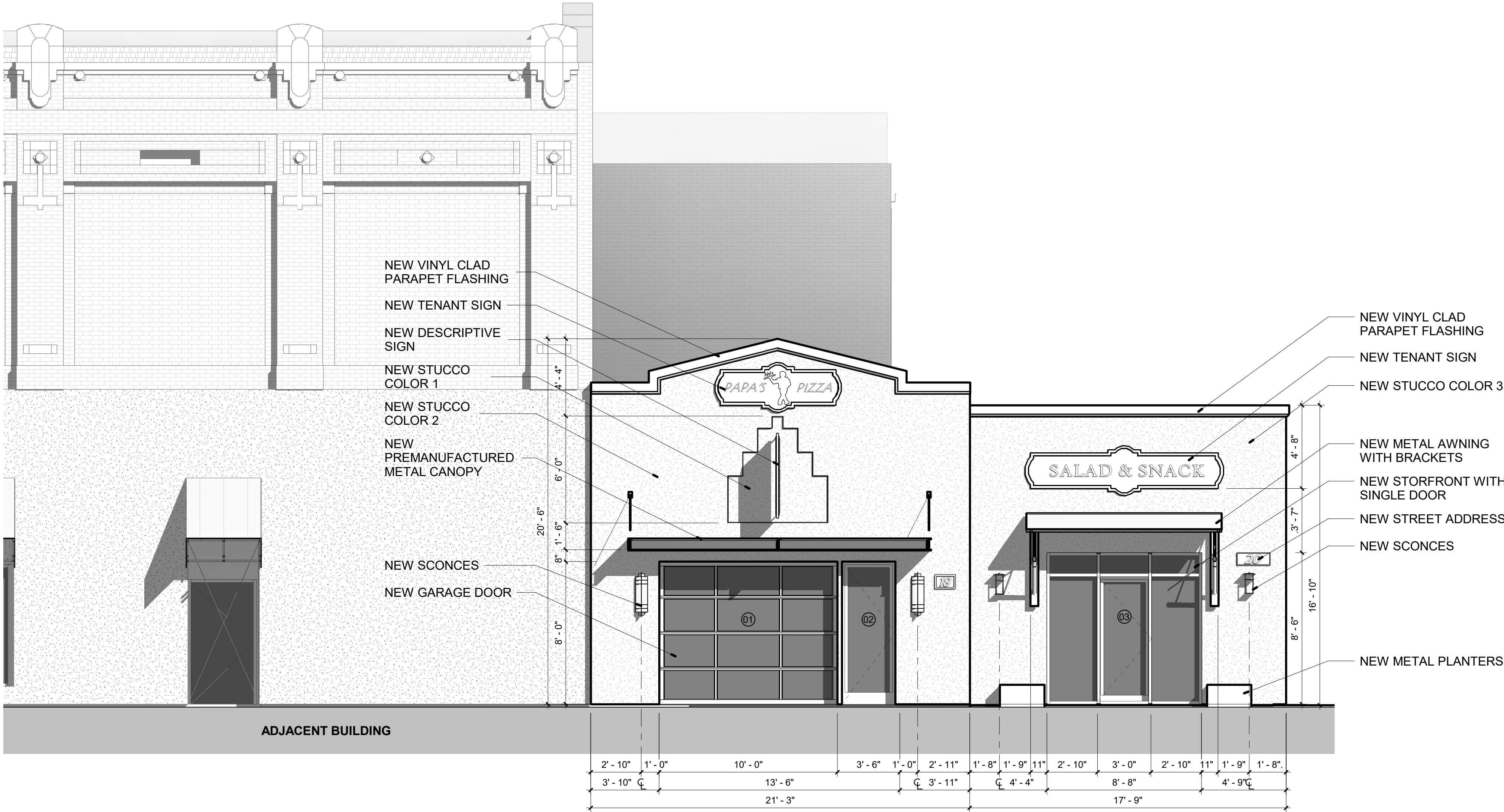


DOOR NOTES

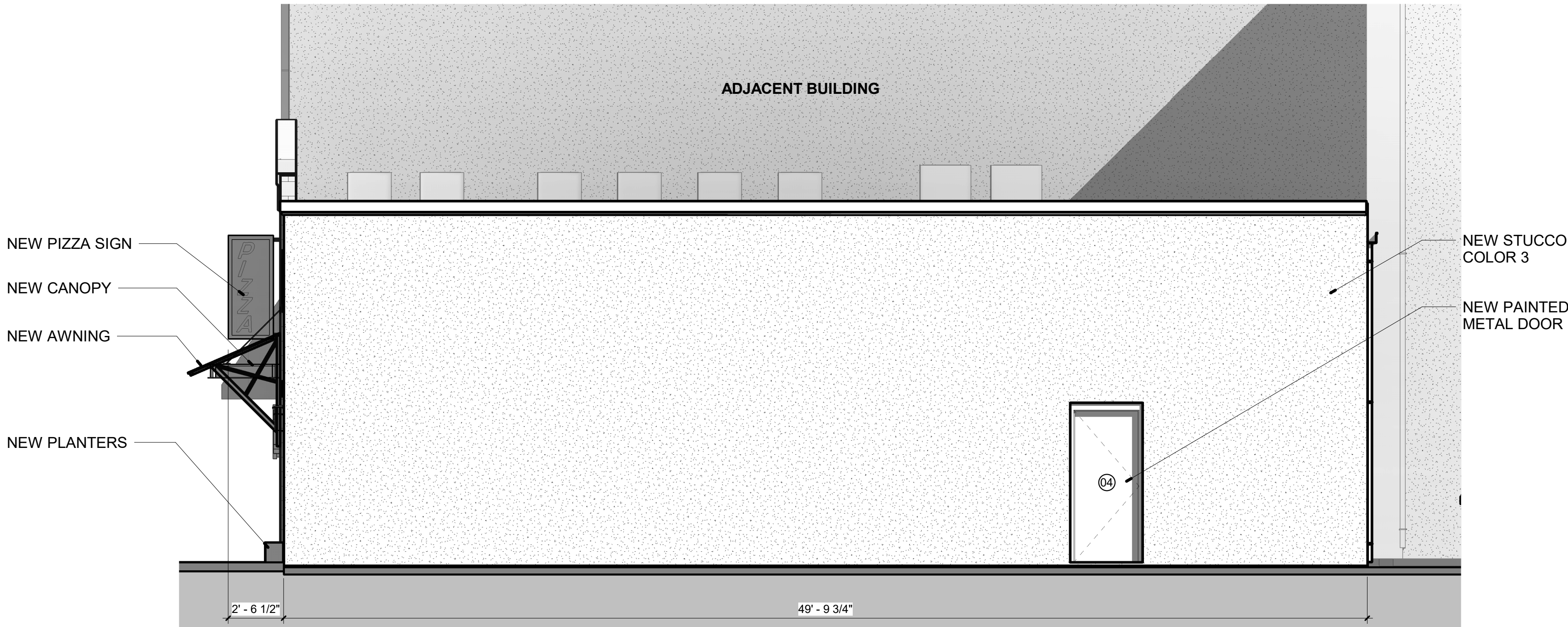
- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- PROVIDE LEVER STYLE HARDWARE, TYP.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

STOREFRONT NOTES:

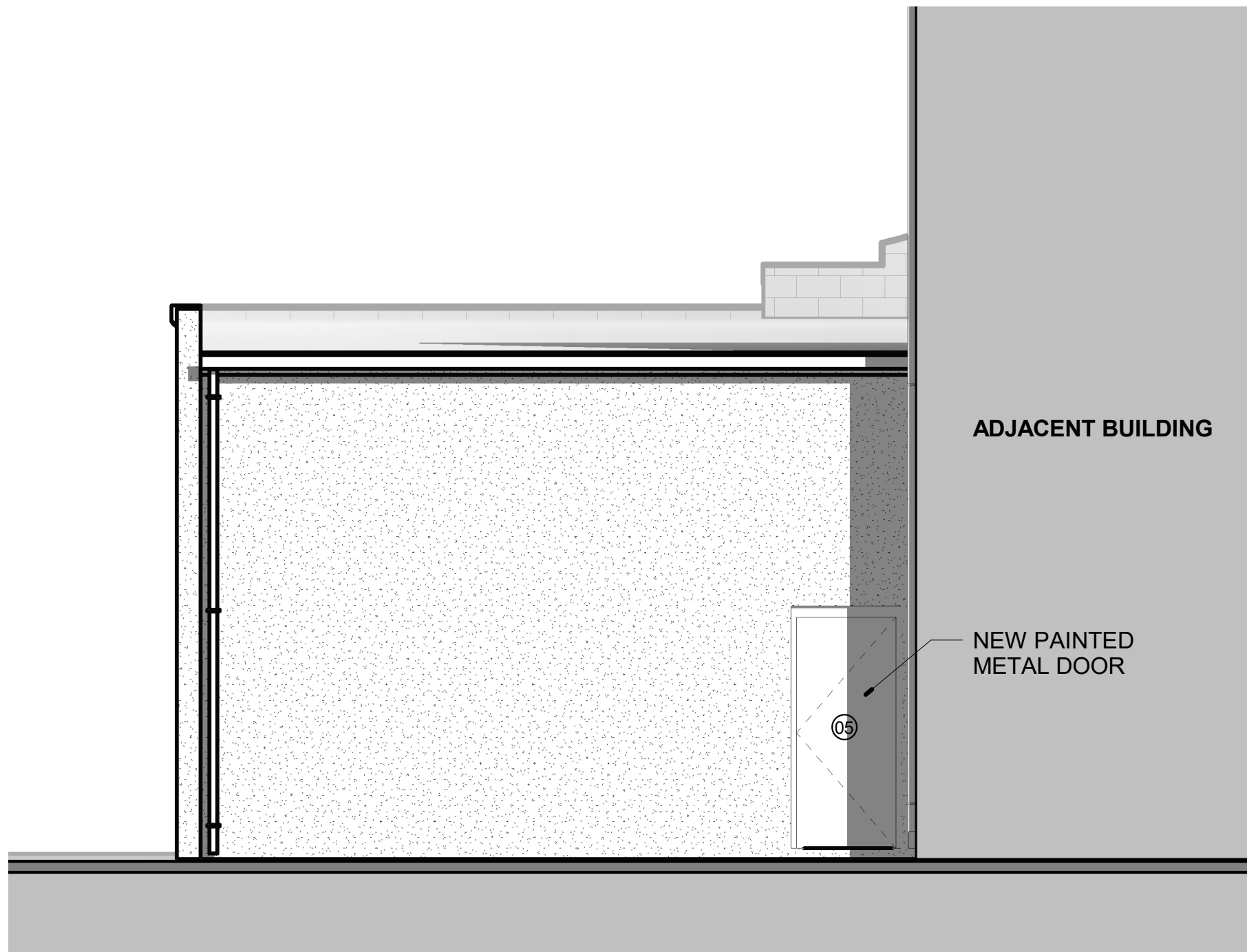
- CONTRACTOR TO FIELD VERIFY OPENING MEASUREMENTS PRIOR TO ORDERING.
- ALUMINUM STOREFRONT SYSTEM AND GLAZING MUST PASS BASIC PROTECTION REQUIREMENTS IN ASTM E1996 FOR WIND ZONE 3.
- EXTERIOR STOREFRONT SYSTEMS SHALL INCLUDE THERMAL BREAK.
- MULLION FINISH TO BE HIGH-PERFORMANCE ORGANIC, TWO COAT FLUOROPOLYMER SYSTEM, COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- ACCEPTABLE MANUFACTURERS: KAWNEER, CORAL INDUSTRIES, OLDCASTLE, OR ARCHITECT-APPROVED EQUAL.
- PROVIDE GLAZING ASSEMBLY WITH LOW-E COATED #2 SURFACE, AIR-FILLED GLAZING, AND SOLAR HEAT GAIN COEFFICIENT OF 0.25 MAXIMUM AND A MINIMUM VISIBLE LIGHT TRANSMITTANCE OF 45%.



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

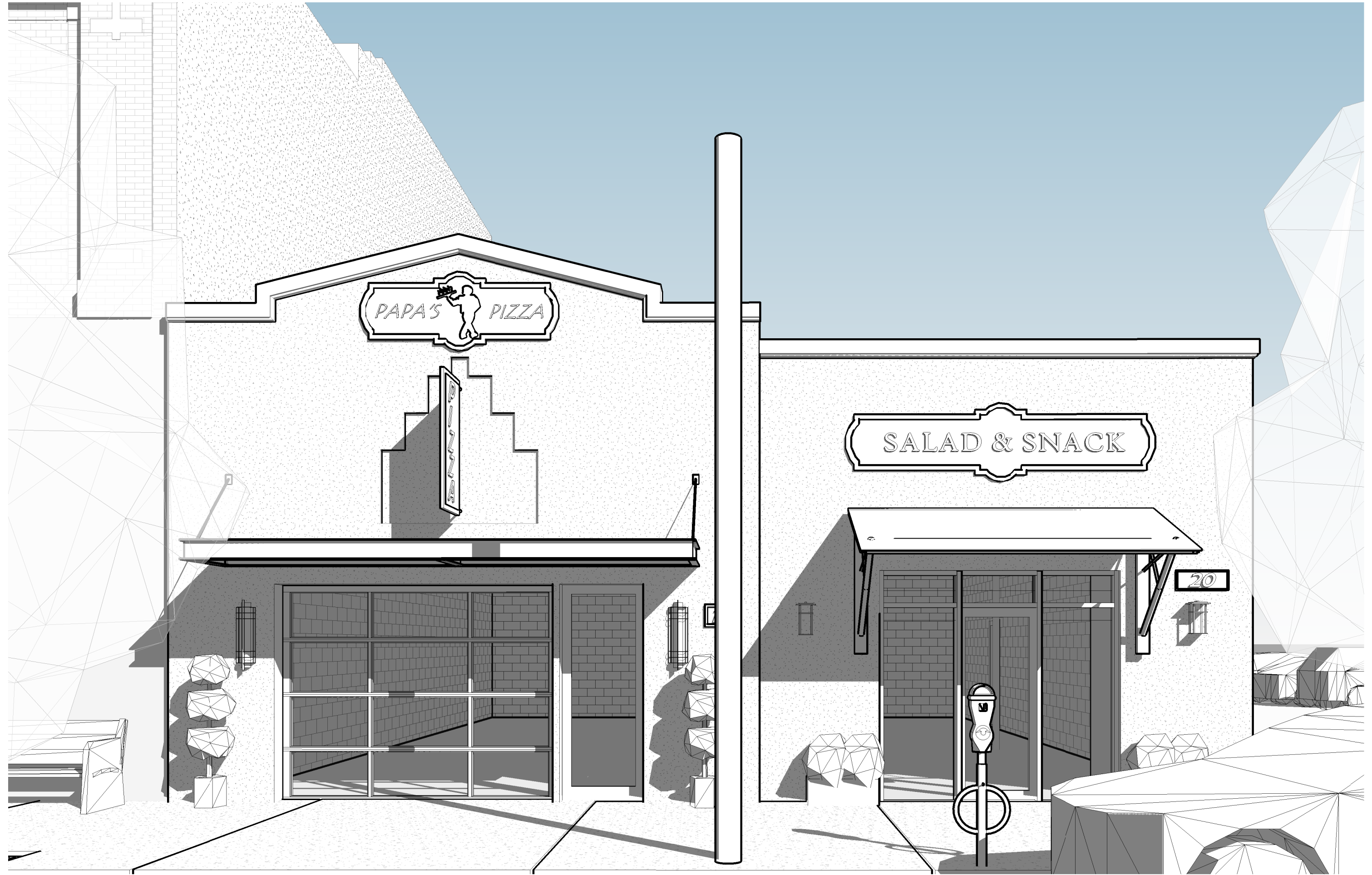


3 NORTH ELEVATION  
1/4" = 1'-0"





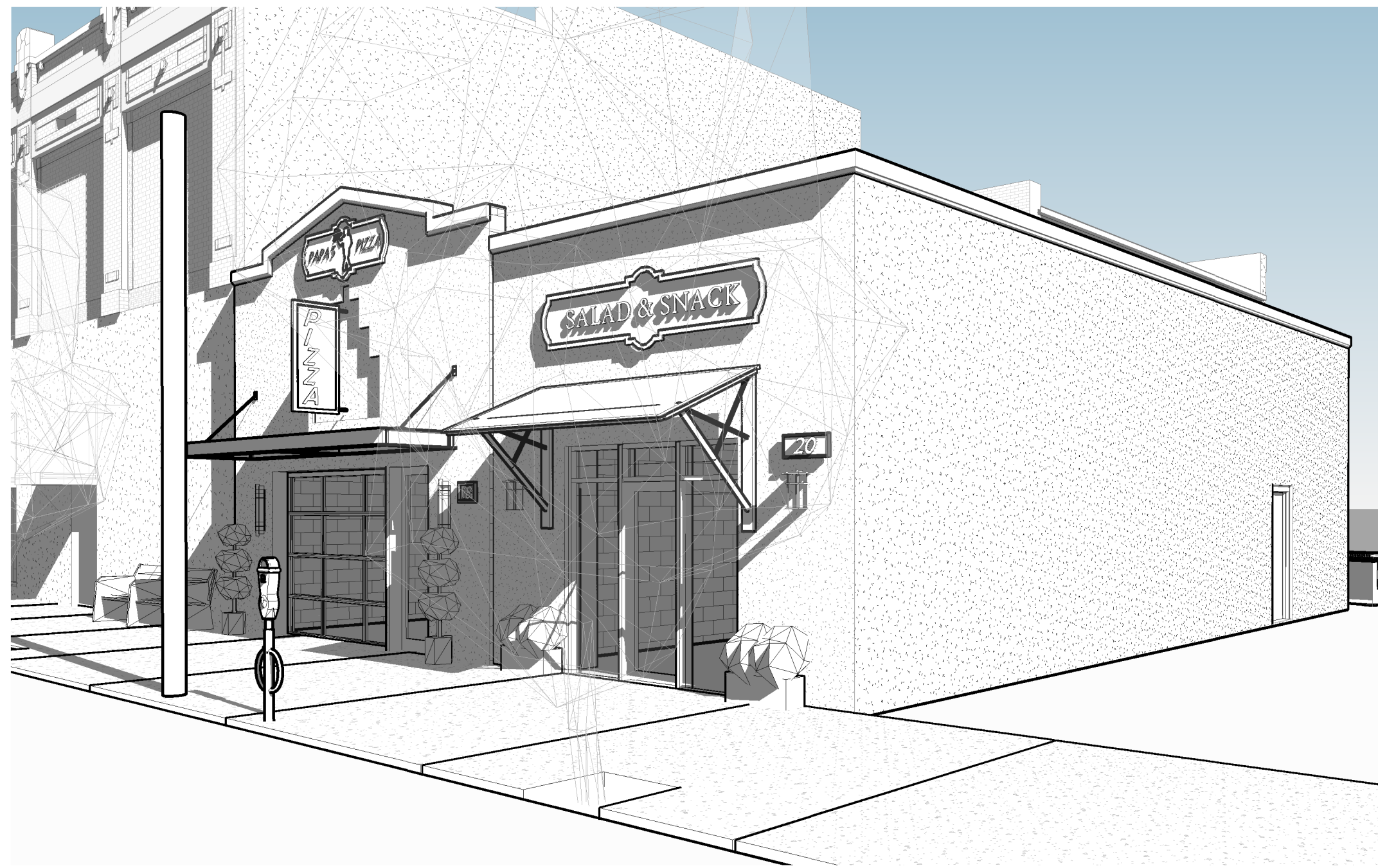
4 3D View 1



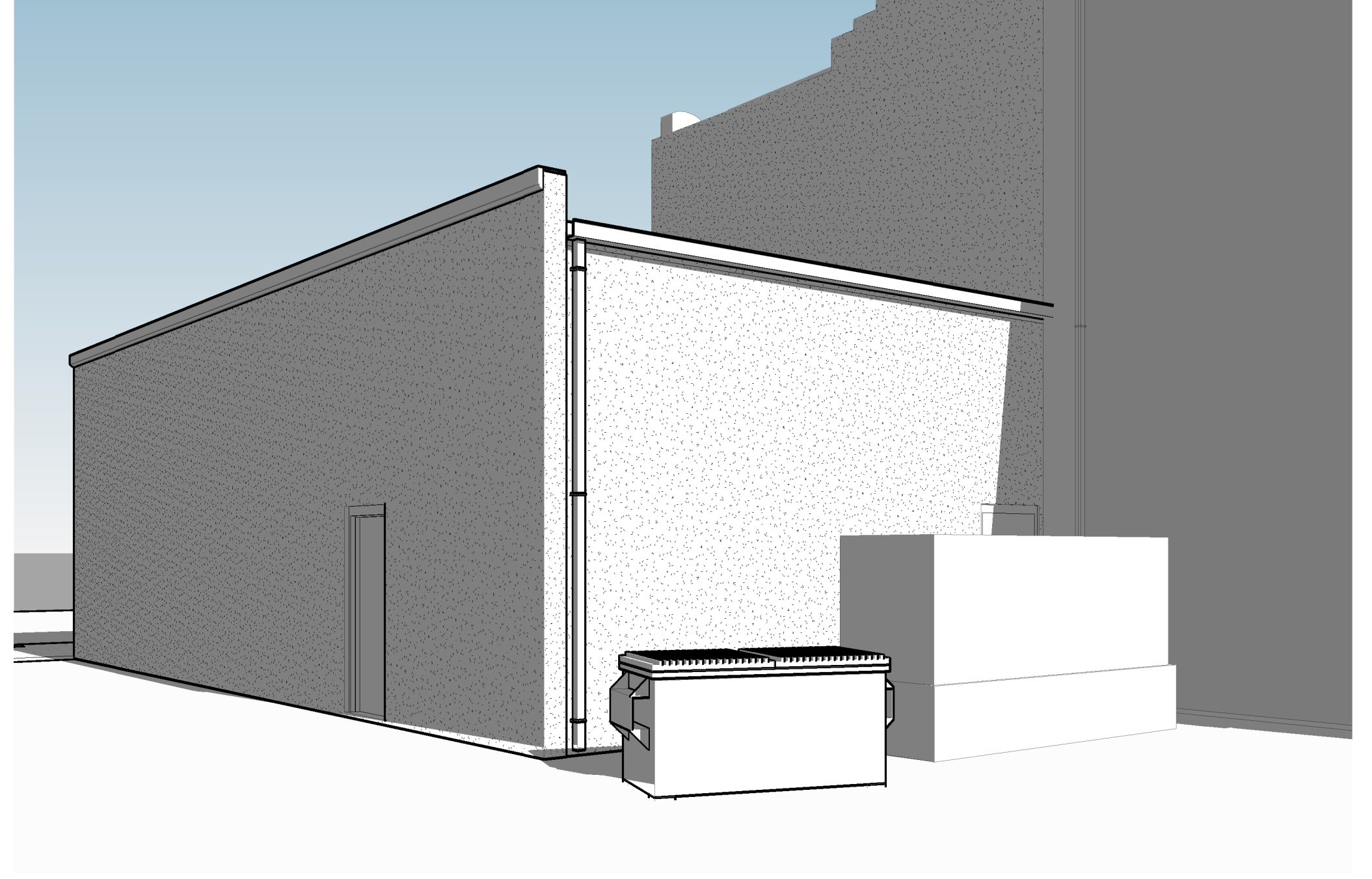
1 EXTERIOR 1



5 3D View 2



2 EXTERIOR 2



3 EXTERIOR 3

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



**dalrymple | sallis**  
architecture

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**18 | 20 East Garden Shell**

18 & 20 East Garden St, Pensacola, FL

DRAWN BY: HH CHECKED BY: JSS

ISSUE DATE: 01/30/2020

REVISIONS No. Des. Date

SHEET TITLE:  
**3D EXTERIOR  
PERSPECTIVE  
VIEWS**

SHEET NO:

**A701**

PROJECT NO:  
Project Number





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 20-00148

Architectural Review Board

3/19/2020

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

Item 2 - 415 N. Alcaniz Street  
Old East Hill Preservation District / Zone OEHC-1  
Non-Contributing Structure

### **BACKGROUND:**

Scott Sallis is requesting *CONCEPTUAL* approval to renovate the 1928 Mount Olive Christian Church. The conceptual plans depict residential suites, a new restaurant and bar with outdoor dining, and an event space.

Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-10(C)(6) *OEHPD, Regulations for any development in OEHPD*

Sec. 12-2-10(C)(8) *OEHPD, Renovation, alterations and additions to non-contributing structures within OEHPD*

# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site 8 ES 02016

☒ original  
☐ update

Version 1.1: 3/89

Recorder # \_\_\_\_\_

SITE NAME Metropolitan Community Church of Pensacola, Inc.HISTORIC CONTEXTS Depression/New DealNAT. REGISTER CATEGORY DistrictOTHER NAMES OR MSF NOS NoneCOUNTY EscambiaOWNERSHIP TYPE Religious organizationPROJECT NAME West-East Hill Survey: S&RDHR NO **3226**

LOCATION (Attach copy of USGS map, sketch-map of immediate area)

ADDRESS 415 N. Alcaniz St.CITY PensacolaVICINITY OF / ROUTE TO West-East Hill neighborhood, NE corner ofN. Alcaniz St. between E. LaRue St. and E. Belmont St.SUBDIVISION East King TractBLOCK NO 21LOT NO 15PLAT OR OTHER MAP County Appraiser's Atlas Sheet # 68TOWNSHIP 2SRANGE 30WSECTION 191/41/4-1/4IRREGULAR SEC? ☒ y ☐ n LAND GRANT \_\_\_\_\_USGS 7.5' MAP Pensacola 1970 PR 1987

UTM: ZONE \_\_\_\_\_

EASTING \_\_\_\_\_

NORTHING \_\_\_\_\_

COORDINATES: LATITUDE \_\_\_\_\_ D \_\_\_\_\_ M \_\_\_\_\_ S LONGITUDE \_\_\_\_\_ D \_\_\_\_\_ M \_\_\_\_\_ S

## HISTORY

ARCHITECT: F \_\_\_\_\_

M \_\_\_\_\_

L Unknown

BUILDER: F \_\_\_\_\_

M \_\_\_\_\_

L UnknownCONST DATE 1933 CIRCA c

RESTORATION DATE(S): \_\_\_\_\_

MODIFICATION DATE(S): \_\_\_\_\_

MOVE: DATE \_\_\_\_\_ ORIG LOCATION \_\_\_\_\_

ORIGINAL USE(S) religiousPRESENT USES(S) religious

## DESCRIPTION

STYLE masonry vernacularPLAN: EXTERIOR rectangle

INTERIOR \_\_\_\_\_

NO.: STORIES \_\_\_\_\_

OUTBLDGS 2

PORCHES \_\_\_\_\_

DORMERS \_\_\_\_\_

STRUCTURAL SYSTEM(S) unspecifiedEXTERIOR FABRIC(S) brick, concreteFOUNDATION: TYPE slabMATLS brickINFILL unspecifiedPORCHES 1 front apron roof masonry columnsROOF: TYPE gable

SURFACING \_\_\_\_\_

composition

SECONDARY STRUCS. \_\_\_\_\_

CHIMNEY: NO \_\_\_\_\_

MTLS \_\_\_\_\_

LOCNS \_\_\_\_\_

WINDOWS fixed 2/2EXTERIOR ORNAMENT stuccoCONDITION fairSURROUNDINGS residential

NARRATIVE (general, interior, landscape, context; 3 lines only)

partial stained glass lights

## ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? ☐ y ☒ n (IF Y, ATTACH)

ARTIFACTS OR OTHER REMAINS \_\_\_\_\_

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local Community development  
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf  
SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf  
SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

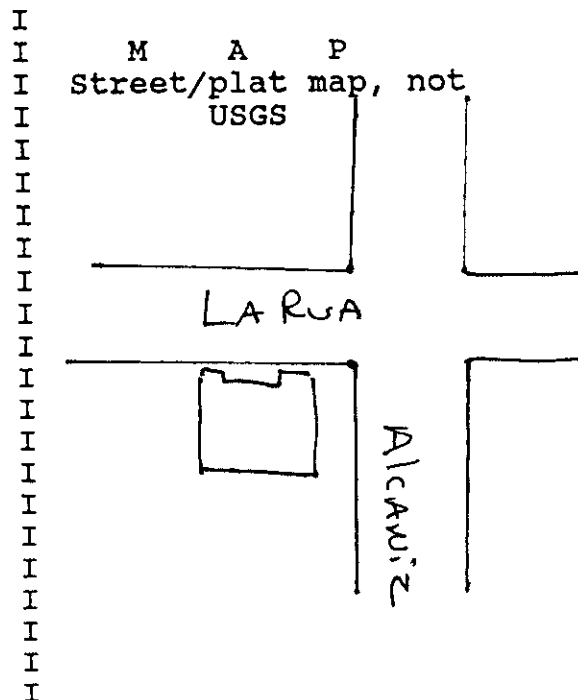
\* \* \*DHR USE ONLY\* \* \* \* \* DHR USE ONLY \* \*  
\*  
\* DATE LISTED ON NR  
\* KEEPER DETERMINATION OF ELIG.(DATE): -YES -NO  
\* SHPO EVALUATION OF ELIGIBILITY(DATE): -YES -NO  
\* LOCAL DETERMINATION OF ELIG.(DATE): -YES -NO  
\* OFFICE  
\*  
\* \* \*DHR USE ONLY\* \* \* \* \* DHR USE ONLY \* \*

RECORDER INFORMATION: NAME F Richard M T. L Brosnahan  
DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Bd.

PHOTOGRAPHS (Attach a labeled print bigger than contact size)  
LOCATION OF NEGATIVES Historic Pensacola Preservation Bd.  
NEGATIVE NUMBERS 91N114WEH (frames 13-14)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



PENSACOLA, FLA.  
30087-DA-TF-024  
#70  
Revised 1987  
DMA 3544 NW-Series

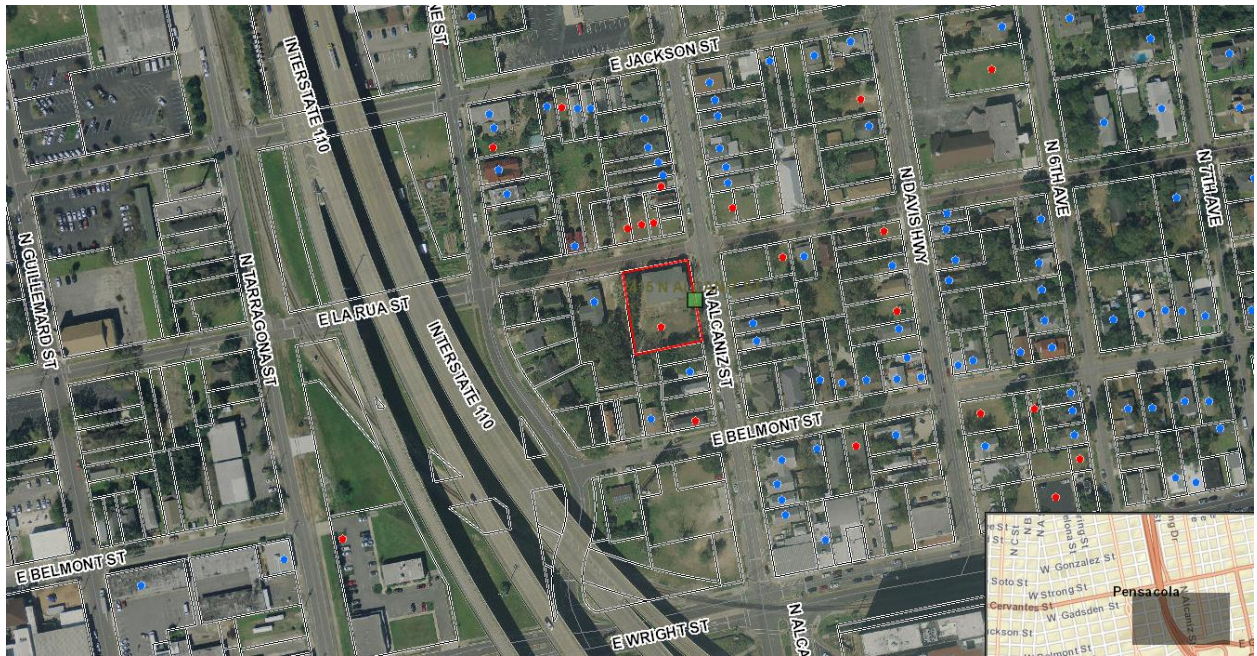
5

+





415 N. Alcaniz Street





City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

**Architectural Review Board Application  
Full Board Review**

Application Date: 02-27-2020

**Project Address:** 415 N Alcaniz  
**Applicant:** Dalrymple | Sallis Architecture  
**Applicant's Address:** 503 E Government St  
**Email:** scott@dalsal.com **Phone:** 850-470-6399  
**Property Owner:** Stahlman Investments FL, LLC

**District:** ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD  
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee  
☒ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**DSA is representing the Owner who seeks Conceptual Approval for their efforts to renovate  
this 1928 Christian Church to accommodate new residential suites as a Boarding House, as well  
as establish a new restaurant and bar with outdoor dining and event space.**

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

J. Scott Sallis

Applicant Signature

02-27-2019

Date

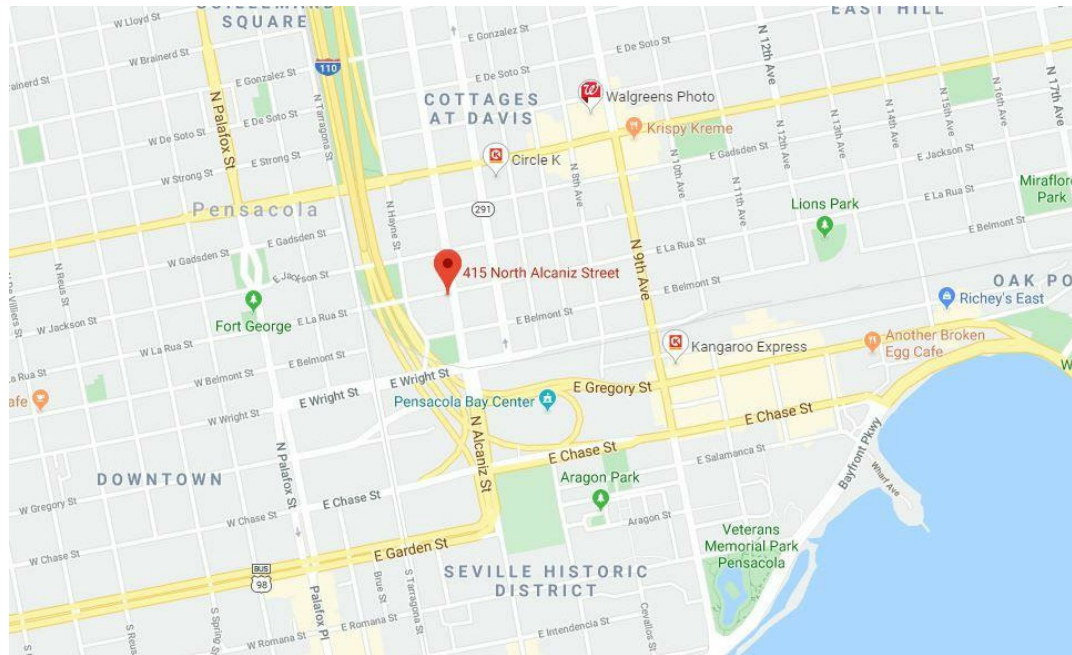
**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521



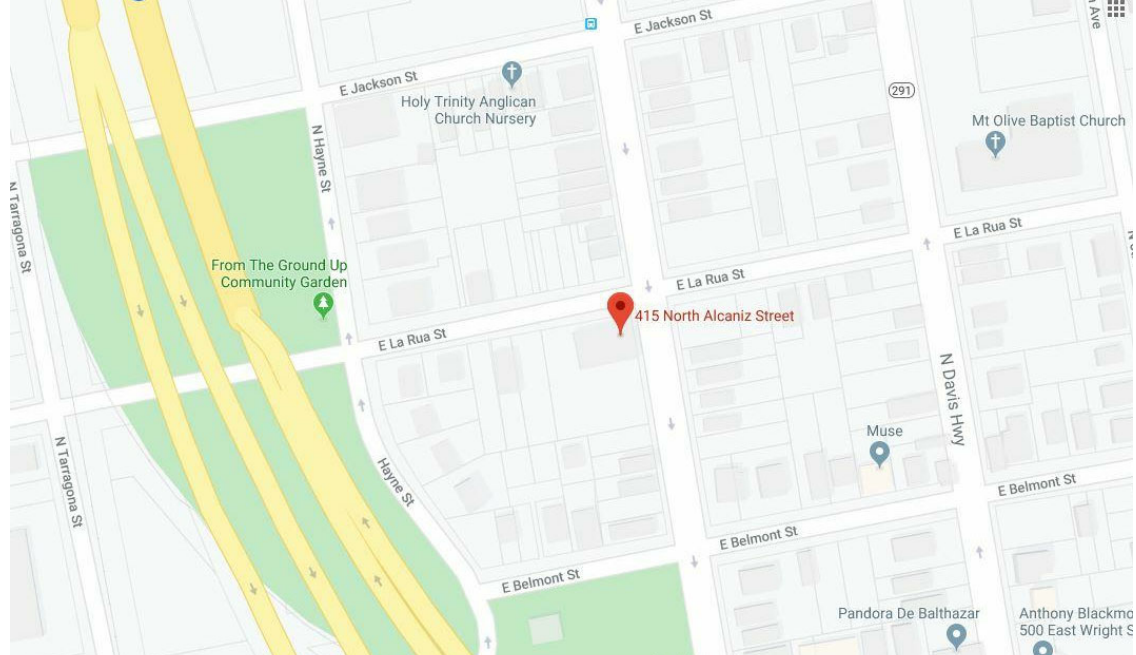
# 415 N. ALCANIZ ST.

ALCANIZ LODGING HOUSE

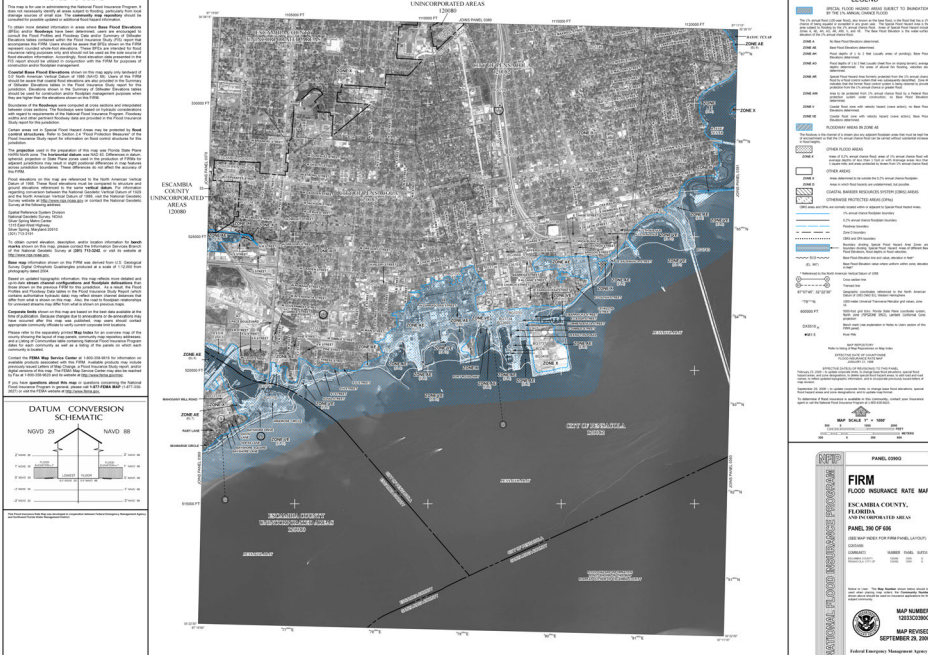
## 415 N. ALCANIZ ST.



VICINITY MAP



SITE MAP



FEMA FLOOD MAP



### BUILDING DATA

APPLICABLE CODES:  
2017 FLORIDA BUILDING CODE  
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:  
TYPE IIIB: UNPROTECTED, SPRINKLED

OCCUPANCY CLASSIFICATION:  
ASSEMBLY A2 - RESTAURANT  
RESIDENTIAL R1- BOARDING HOUSE

ZONED: OEHC-1

FLOOD ZONE: ZONE X

PHYSICAL PROPERTIES:  
GROUND FLOOR CONDITIONED  
FIRST FLOOR CONDITIONED:  
SECOND FLOOR CONDITIONED:  
TOTAL CONDITIONED:  
3,616SF  
3,618 SF  
3,616 SF  
10,848 SF

BUILDING HEIGHT:  
NO. OF STORIES:  
44'-6"  
3

### PROJECT TEAM:

ARCHITECT OF RECORD:  
J. SCOTT SALLIS, AIA scott@dalsal.com  
DALRYMPLE | SALLIS ARCHITECTURE  
503 E. GOVERNMENT ST.  
PENSACOLA, FL 32502  
(850) 470-6399

### OCCUPANCY COUNT:

PER FBC TABLE 1004.1.2:

MIN. PLUMBING FIXTURES REQ'D:				
OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SVC. SINK
-	1 PER Y (M)	1 PER	1 PER	-
TOTAL REQ'D:	1 PER X (F)	-	-	-
	Y(M)/X(F)			

REQUIRED FIXTURES CALCULATED USING TABLE 403.1 OF THE 2017 FBC, PLUMBING.

### GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A100	NEW WORK -GROUND FLOOR PLAN	
A101	NEW WORK FIRST FLOOR PLAN	
A102	NEW WORK SECOND FLOOR PLAN	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A302	BUILDING SECTIONS	

ELEVATION REFERENCES		ANNOTATION REFERENCES	
	ELEV. NO.		WALL TAG REFERENCE
	INTERIOR ELEVATION REFERENCE		WALL TYPE
	SHEET NO.		STC
	DETAIL NO.		FIRE RATING
	EXTERIOR ELEVATION REFERENCE		DOOR NUMBER REFERENCE
	SHEET NO.		WINDOW TYPE
	DETAIL REFERENCE		DATUM ELEVATION
	BUILDING SECTION REFERENCE		CENTERLINE
	DETAIL NO.		COLUMN GRID NUMBER
	SHEET NO.	Room name ROOM TAG	
	DETAIL NO.	101	
	SHEET NO.	11'-8" F	
CEILING HEIGHT - ABOVE FIN. FLOOR			
REVISION NUMBER REFERENCE			
	REVISION NO.		

**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsol.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

DESIGN DEVELOPMENT

415 N. ALCANIZ ST.

415 N. ALCANIZ ST.

DRAWN BY:	CHECKED BY:
SRJ	JSS

ISSUE DATE:  
02/25/20

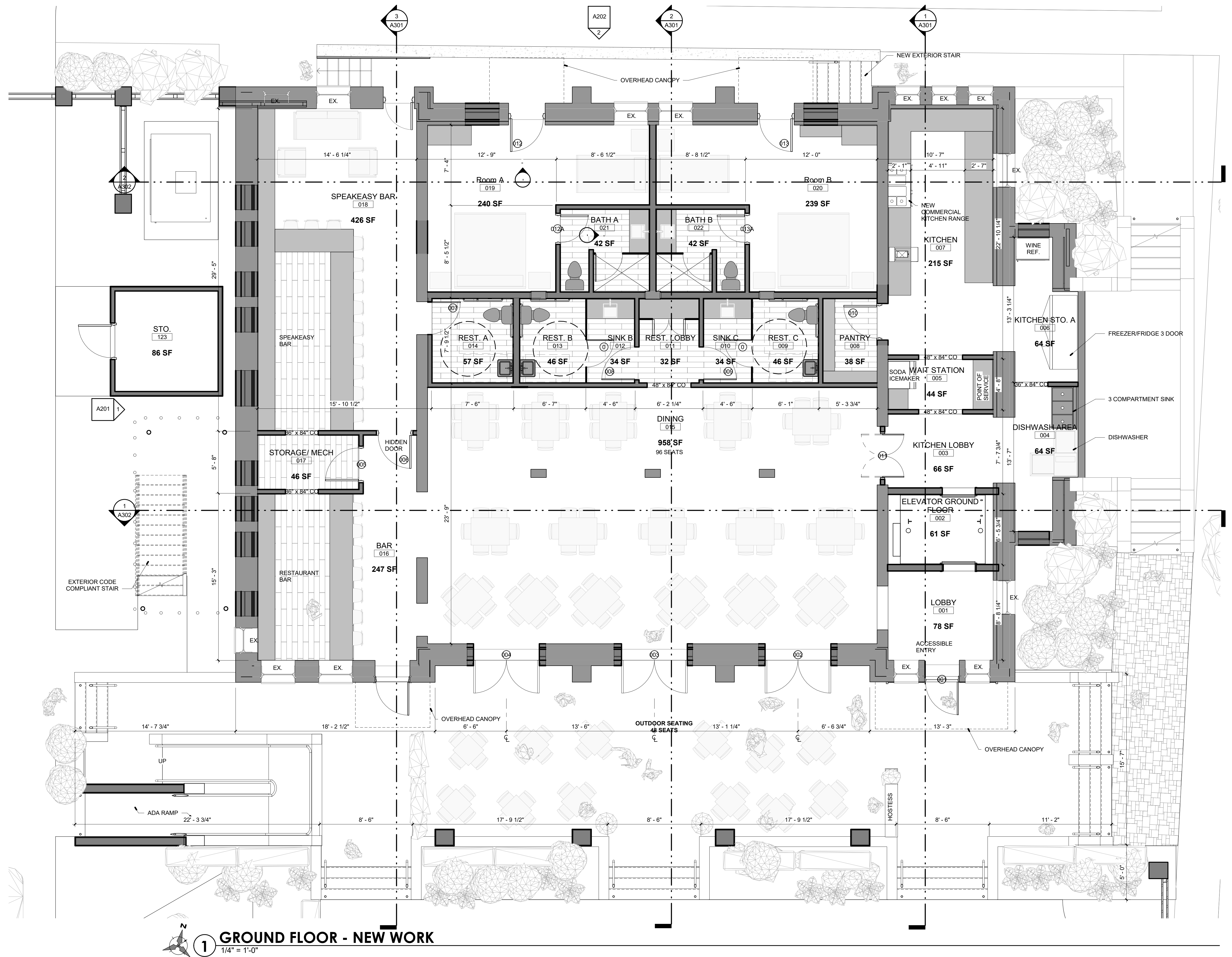
REVISIONS:	No.	Desc.	Date
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SHEET TITLE:  
**TITLE SHEET**

SHEET NO:  
**G001**

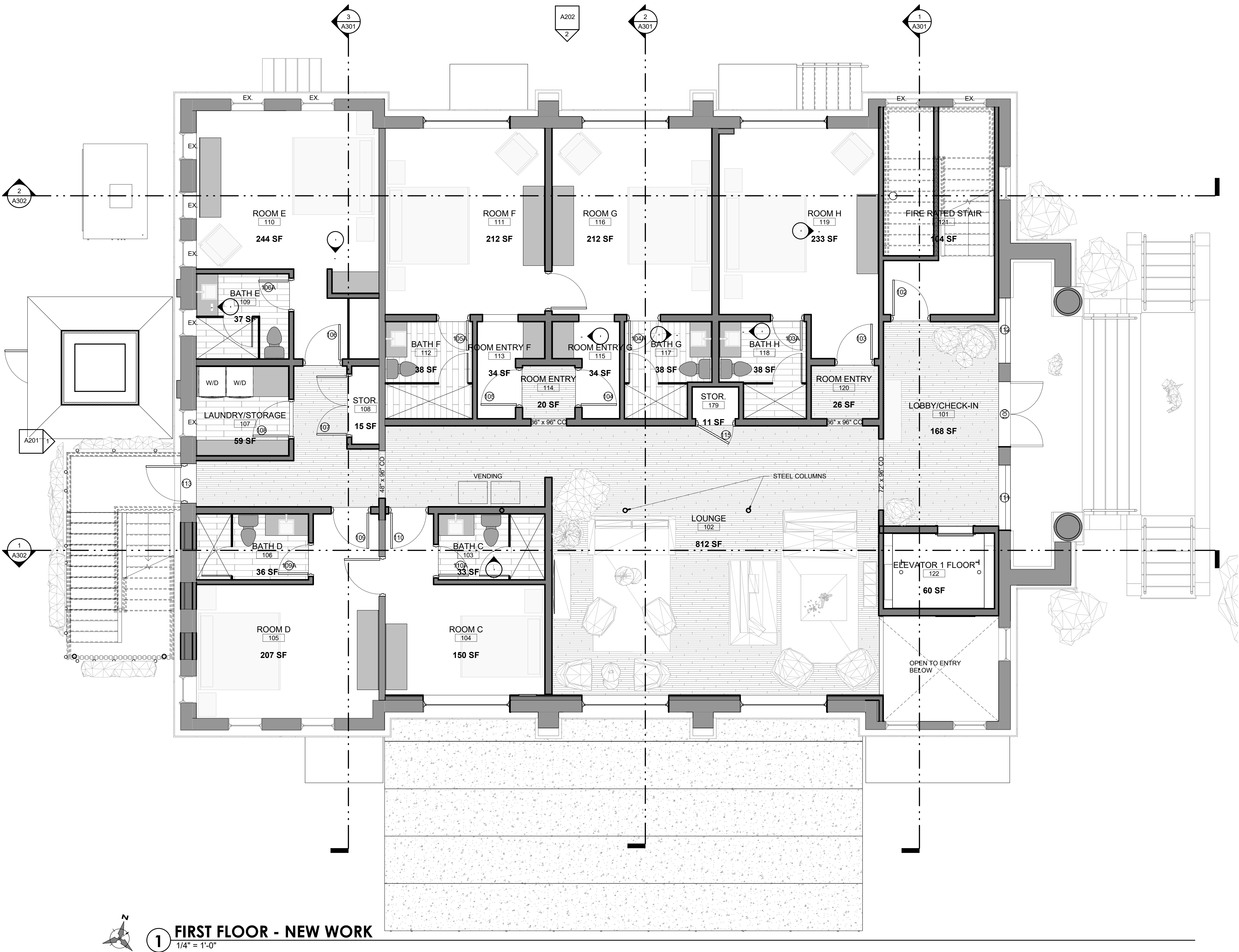
PROJECT NO:  
19050





NEW WORK NOTES

- 1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
- 2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
- 3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
- 4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
- 5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
- 6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.



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architecture

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CERTIFICATION

DESIGN  
DEVELOPMENT

**415 N. ALCANIZ ST.**  
415 N. ALCANIZ ST.

DRAWN BY: SRJ  
CHECKED BY: JSS

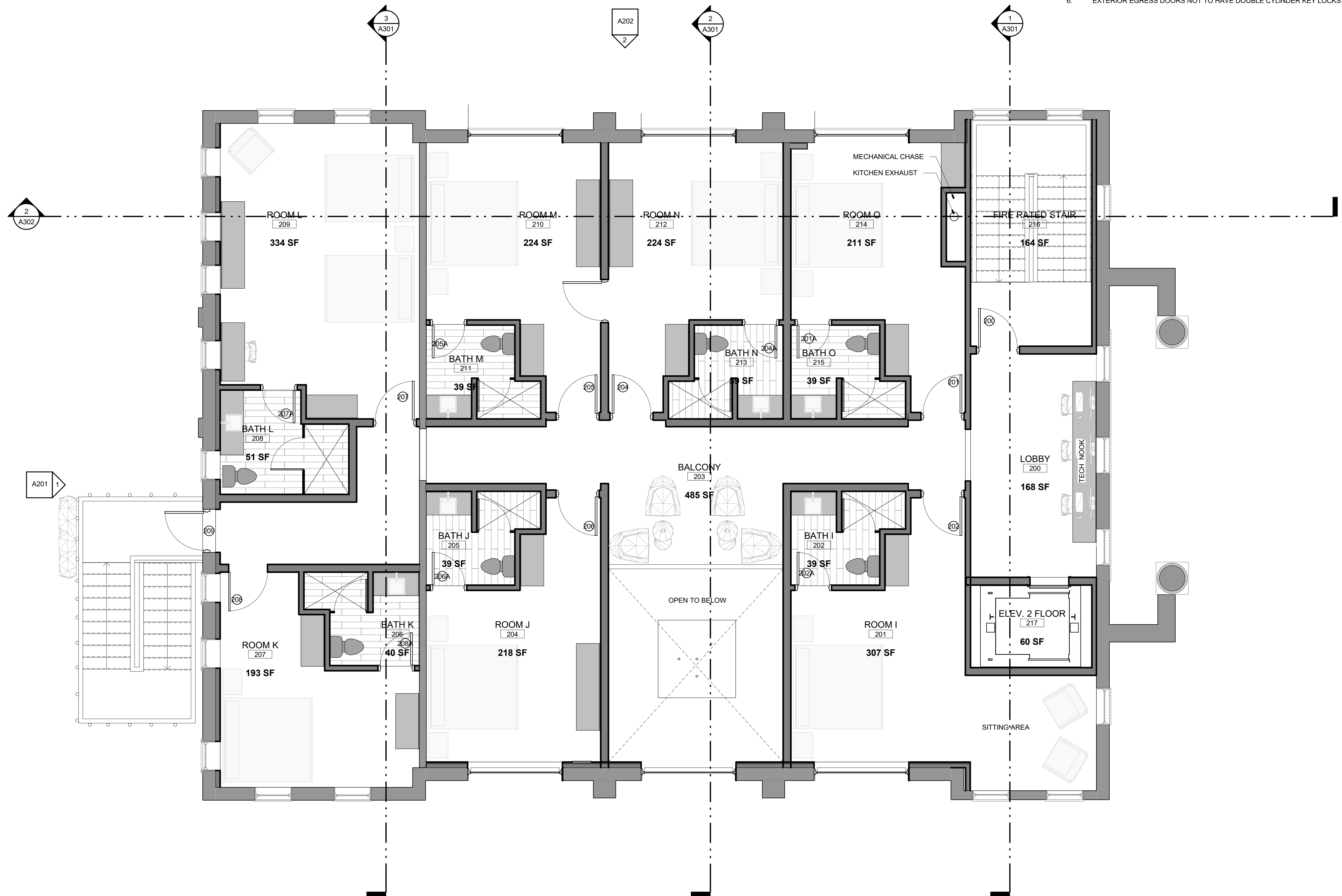
ISSUE DATE:  
02/25/20

REVISIONS  
No. Des. Date

SHEET TITLE:  
**NEW WORK  
FIRST FLOOR  
PLAN**

SHEET NO:  
**A101**  
PROJECT NO:  
19050





NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
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**dalrymple | sallis**  
architecture

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Pensacola, FL 32502  
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CERTIFICATION

DESIGN  
DEVELOPMENT

415 N. ALCANIZ ST.  
415 N. ALCANIZ ST.

DRAWN BY: SRJ  
CHECKED BY: JSS

ISSUE DATE:  
02/25/20

REVISIONS  
No. Des. Date

SHEET TITLE:  
NEW WORK  
SECOND  
FLOOR PLAN


SHEET NO:  
**A102**  
PROJECT NO:  
19050



1 WEST ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



**dalrymple | sallis**  
architecture

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CERTIFICATION

DESIGN  
DEVELOPMENT

415 N. ALCANIZ ST.  
415 N. ALCANIZ ST.

DRAWN BY:	CHECKED BY:
SRJ	JSS

ISSUE DATE:  
02/25/20

REVISIONS	No.	Des.	Date

SHEET TITLE:

EXTERIOR  
ELEVATIONS

SHEET NO:

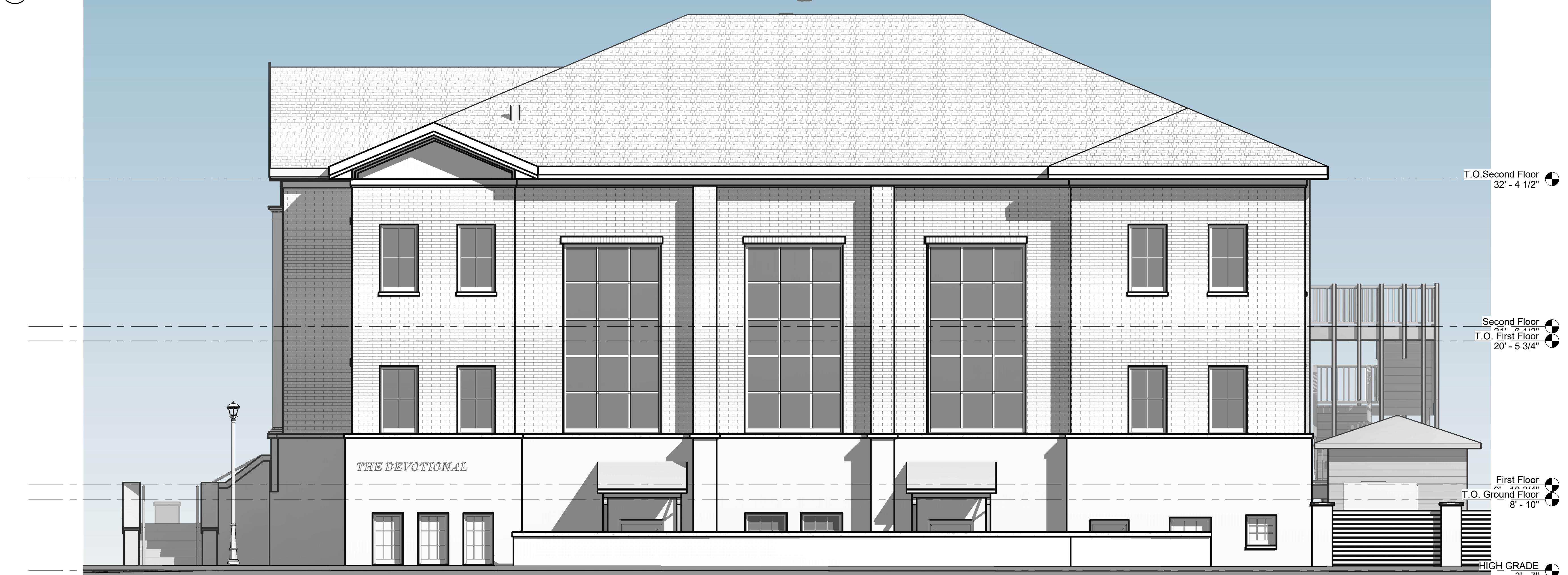
A201

PROJECT NO:  
19050






1 SOUTH ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



**dalrymple | sallis**  
architecture

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AR 0016385

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CERTIFICATION

DESIGN DEVELOPMENT

**415 N. ALCANIZ ST.**  
415 N. ALCANIZ ST.

DRAWN BY:	CHECKED BY:
SRJ	JSS

ISSUE DATE:  
02/25/20

REVISIONS	Des.	Date
No.		

SHEET TITLE:

**EXTERIOR ELEVATIONS**

SHEET NO:

**A202**

PROJECT NO:  
19050





VIEW OF FRONT ELEVATION





VIEW OF FRONT ELEVATION



VIEW OF FRONT ELEVATION



VIEW OF GATHERING SPACE



VIEW OF SIDE ELEVATION





VIEW OF REAR EMERGENCY EXIT



VIEW OF REAR ELEVATION



ENTRY TO LODGING HOUSE AND GROUND UNITS



VIEW OF COVERED SEATING AREA





EVENT SPACE

SPEAKEASY

AERIAL VIEW OF FRONT ELEVATION

415 N. ALCANIZ  
RENDERINGS 02-27-2020





AERIAL VIEW OF COVERED SEATING  
AREA AND EVENT SPACE



AERIAL OF SITE



415 N. ALCANIZ  
RENDERINGS 02-27-2020





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 20-00151

Architectural Review Board

3/19/2020

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

Item 3 - 804 E. Wright Street  
Old East Hill Preservation District / Zone OEHC-2  
New Construction

### **RECOMMENDATION:**

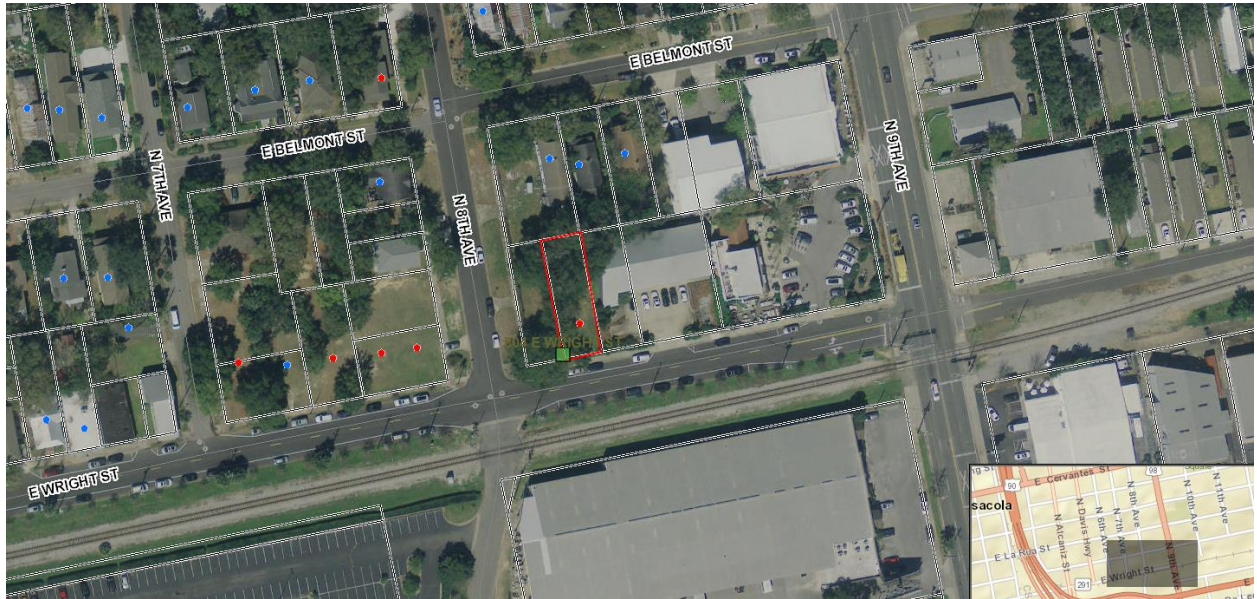
George Williams is seeking final approval for a new single story retail building. The new space will be an addition to the DUH commercial campus and has been designed to match the existing building to the east. The building will have matching board and batten siding, a 5V-crimp metal roof, aluminum storefront and doors, and a paint palette to match. The landscaping will be minimal with matching white oleander and sod as well as simple concrete walkways between the buildings and to the sidewalk.

Please find attached all relevant documentation for your review.

### **BACKGROUND:**

Sec. 12-2-10(C)(6) *OEHPD, Regulations for any development in OEHPD*  
Sec. 12-2-10(C)(9) *OEHPD, Regulations for new construction in OEHPD*

804 E. Wright Street





**Architectural Review Board Application  
Full Board Review**

City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*



Application Date: 2/25/20

**Project Address:** 804 E. WRIGHT STREET

**Applicant:** George Williams (GMC) for Quinn Stinson

**Applicant's Address:** 720 Bayfront Parkway Pensacola, FL 32502

**Email:** george.williams@gmcnetwork.com **Phone:** 850-462-3038

**Property Owner:** Chandler Quinn Properties LLC.

**District:** ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:


- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

New Single Story 2,209 Sf. Retail Sales Building. The building is located on parcel "D", East of  
and contiguous with existing DUH "Campus." The exterior of the new retail sales building will be  
matched to the existing Barn Building (Matches Existing Building #3). Metal Roof, Board and  
Batten Siding, and Clear Anodized Aluminum Storefront materials will be matched and applied to  
the new structure.

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

  
Applicant Signature (AGENT)

FEB 26, 2020  
Date

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521

## Myles Sampson

---

**From:** Myles Sampson  
**Sent:** Friday, February 28, 2020 2:56 PM  
**To:** Gregg Harding  
**Cc:** Leslie Statler; George Williams  
**Subject:** RE: [EXTERNAL]RE: [EXTERNAL] ARB March Electronic Submission

Good Afternoon Mr. Harding

Here are the answers to your questions:

This is for final submission.

-On the plan, we have indicated the building setbacks from the exterior face of wall on all the sides of the building.

-The proposed swale will be sodded. Upon further discussions with our Civil Engineer, we utilize two small side-yard swales allowing the front lawn to be landscaped with planting and crushed stone to match and blend with the existing campus.

-The awning is a continuation of the roof structure complete with 5v galvanized metal roof. The support columns/posts will be tube steel with wood trim painted.

-The new walkway is to be a concrete walk.

-The new board and batten wood siding is to be painted to match the existing board and batten siding.

Myles Sampson

Intern Architect, Architecture

T: 850.432.0706 ext. 857

E: [myles.sampson@gmcnetwork.com](mailto:myles.sampson@gmcnetwork.com)

720 Bayfront Parkway

Suite 200

Pensacola, FL 32502

[Building Communities](#)

**GMC**

---

**From:** Gregg Harding <GHarding@cityofpensacola.com>  
**Sent:** Thursday, February 27, 2020 9:02 AM  
**To:** Myles Sampson <myles.sampson@gmcnetwork.com>  
**Cc:** Leslie Statler <LStatler@cityofpensacola.com>  
**Subject:** [EXTERNAL]RE: [EXTERNAL] ARB March Electronic Submission

Good morning Myles,

Thank you for the ARB submittal. This looks fantastic. I have a couple of questions / needs for clarification to help this item move as smoothly as possible.

These are:

- Is this for final submission or conceptual (I assume final)?
- On your site plan (page A2), can you please indicate the distance between the property lines and the exterior walls of the building. In this zone, only 5' side yard setbacks are required (as labeled in your



proposed land and parking data). While I am sure that you meet this, we will still need to see these numbers to confirm exactly where the building will be.

- ARB will expect a landscape plan. I see somewhat of a landscape plan for this property on page A2 although no listed plant species. On page A0, it looks like there's a proposed swale? Will this be landscaped?
- Will there be any lighting? Any signage? If not, then no worries.
- Can you provide details on the awning? Will this be a continuation of the roof or will this be a separate, added structure. Will the brackets / supports be wood or metal?
- I assume that the new building will be painted to match the existing. Can you confirm this for me. Also, are you able to provide paint samples for the body, trim, and any accents with your packet?
- The walkway to the proposed building – will it be concrete pavers?

That's it for now. Please feel free to contact me with any questions. Also, attached is a Full Board Review application just in case. When everything is addressed, please provide us with fourteen (14) hardcopies and payment for a commercial project. Thank you!

Best,

**Gregg Harding, RPA**

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

Cell: 850.336.9407

[gharding@cityofpensacola.com](mailto:gharding@cityofpensacola.com)



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

---

**From:** Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>

**Sent:** Thursday, February 27, 2020 7:53 AM

**To:** 'Myles Sampson' <[myles.sampson@gmcnetwork.com](mailto:myles.sampson@gmcnetwork.com)>

**Cc:** Gregg Harding <[GHarding@cityofpensacola.com](mailto:GHarding@cityofpensacola.com)>

**Subject:** FW: [EXTERNAL] ARB March Electronic Submission

Thanks Myles!

*Leslie*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1673

[lstatler@cityofpensacola.com](mailto:lstatler@cityofpensacola.com)



**From:** Myles Sampson [<mailto:myles.sampson@gmcnetwork.com>]

**Sent:** Wednesday, February 26, 2020 5:36 PM

**To:** Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>

**Subject:** [EXTERNAL] ARB March Electronic Submission

**THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT**

Good Afternoon Ms. Statler,

See the attached file for our submission for March's ARB Meeting: Duh Building 6 at 804 E Wright Street 32501.

Thank You,

Myles Sampson

Intern Architect, Architecture

T: 850.432.0706

E: [myles.sampson@gmcnetwork.com](mailto:myles.sampson@gmcnetwork.com)

720 Bayfront Parkway

Suite 200

Pensacola, FL 32502

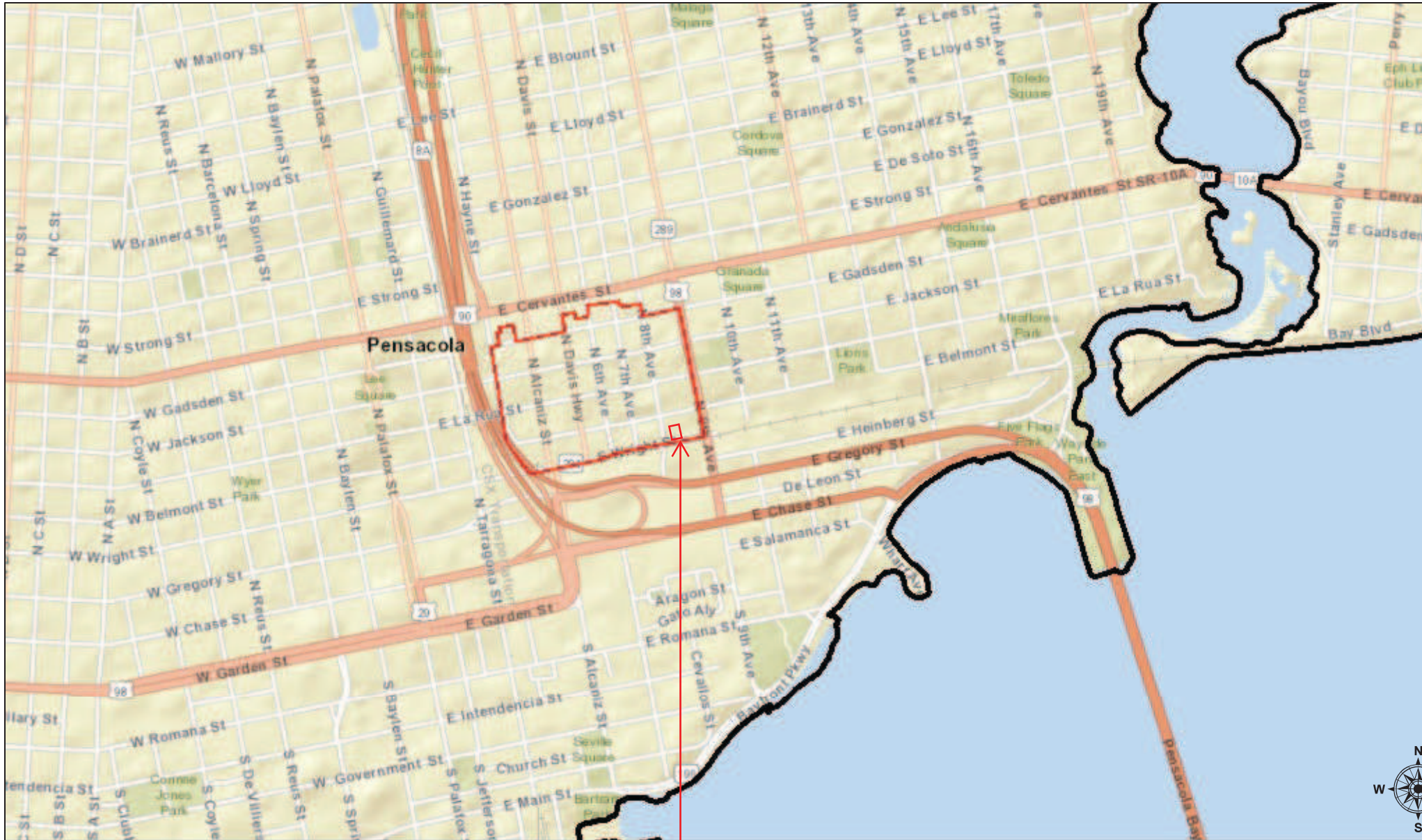
[Building Communities](#)

**GMC**

duh  
for garden & home



# VICINITY MAP

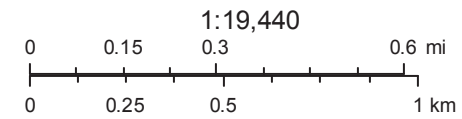


February 24, 2020

**GMC**



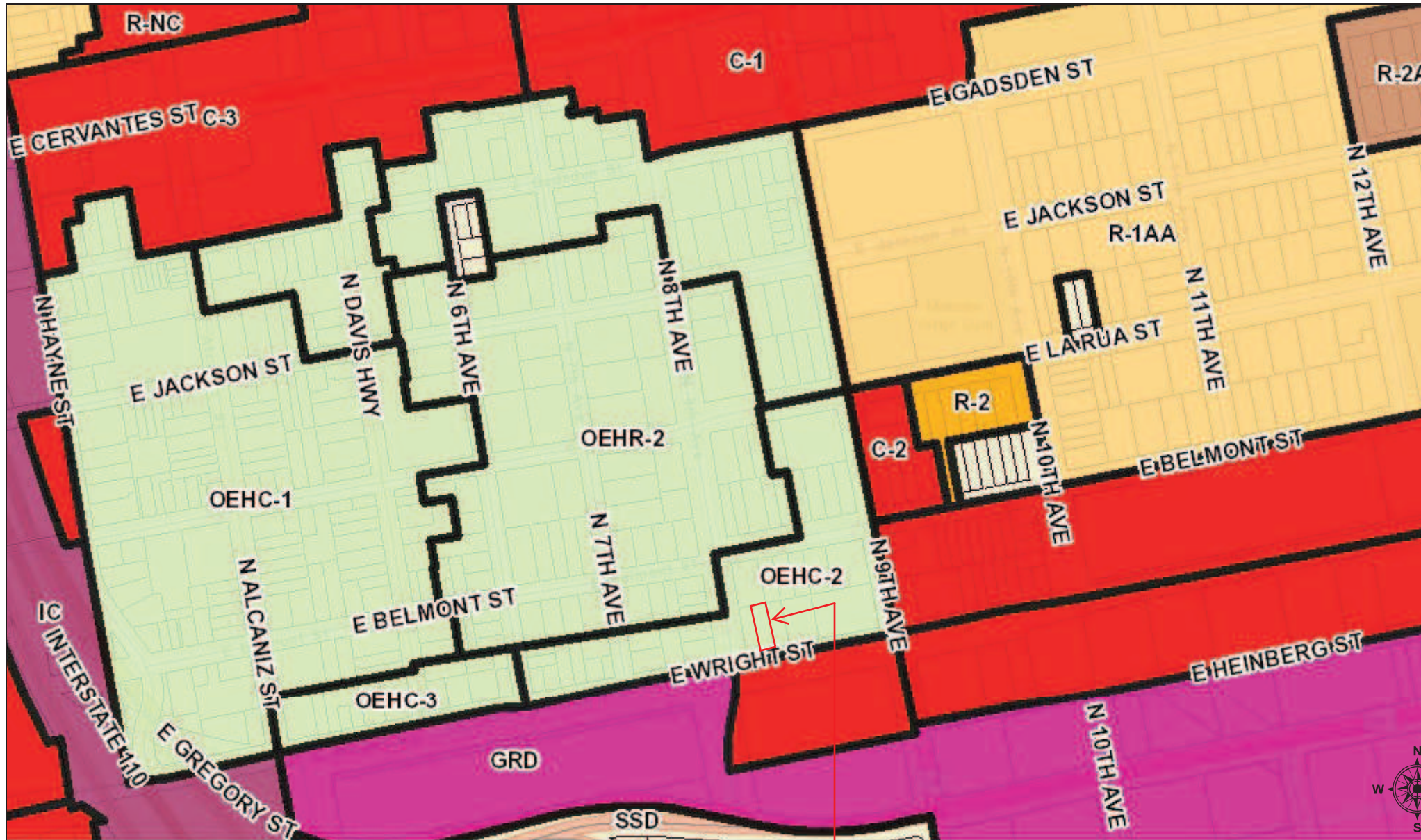
PARCEL D



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCA, Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGI, OpenStreetMap contributors, and the GIS User Community

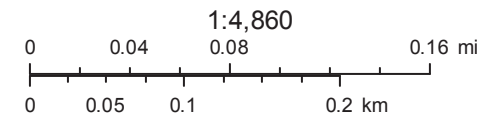


# ZONING MAP



February 24, 2020

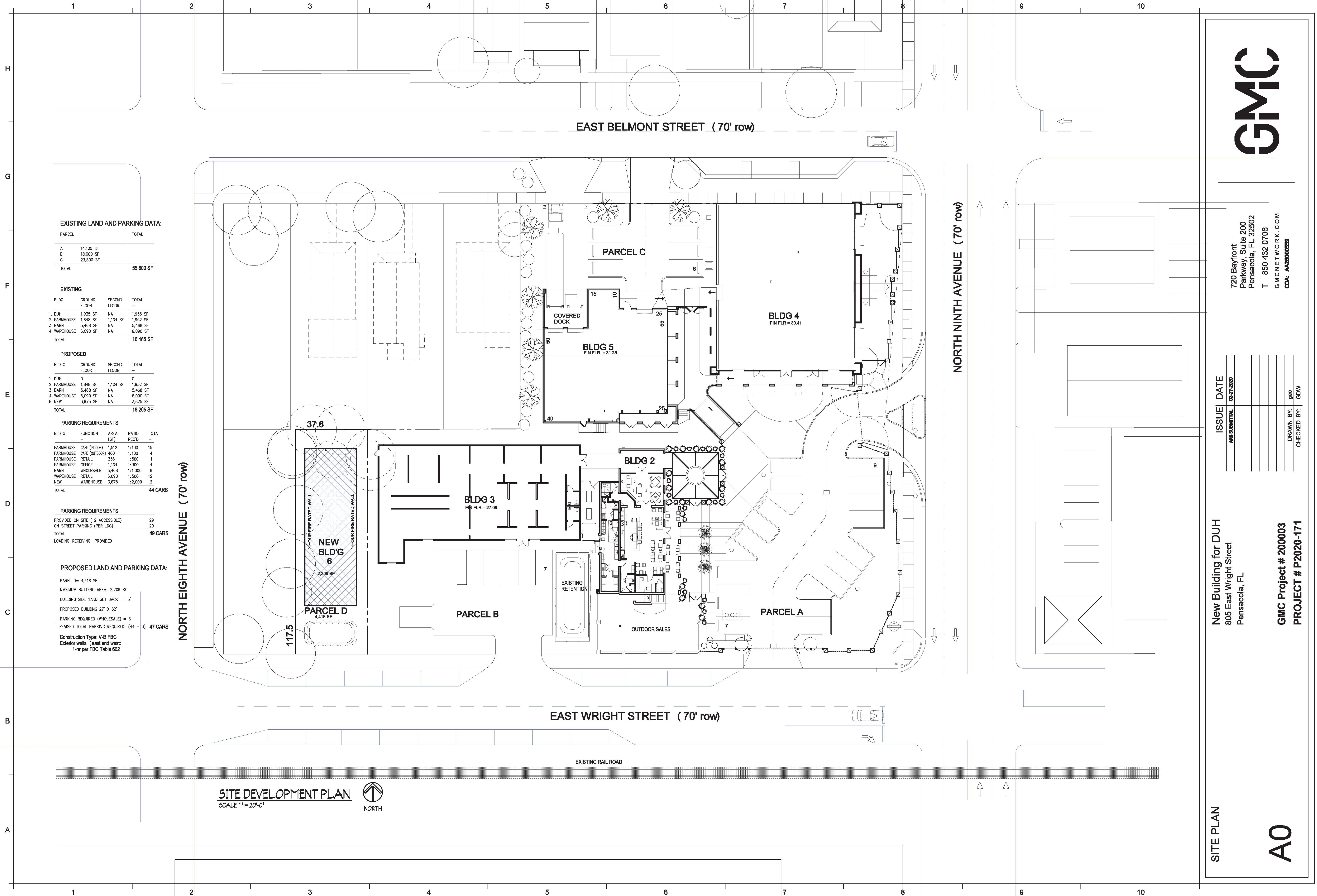
PARCEL D



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCA, Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGI, OpenStreetMap contributors, and the GIS User Community







GMC

720 Bayfront  
Parkway, Suite 200  
Pensacola, FL 32502  
T 850 432 0706  
GMCNETWORK.COM  
COA: A2600559

ISSUE DATE

02-27-2020

New Building for DUH  
805 East Wright Street  
Pensacola, FL

GMC Project # 200003  
PROJECT # P2020-171

SITE PLAN

A0





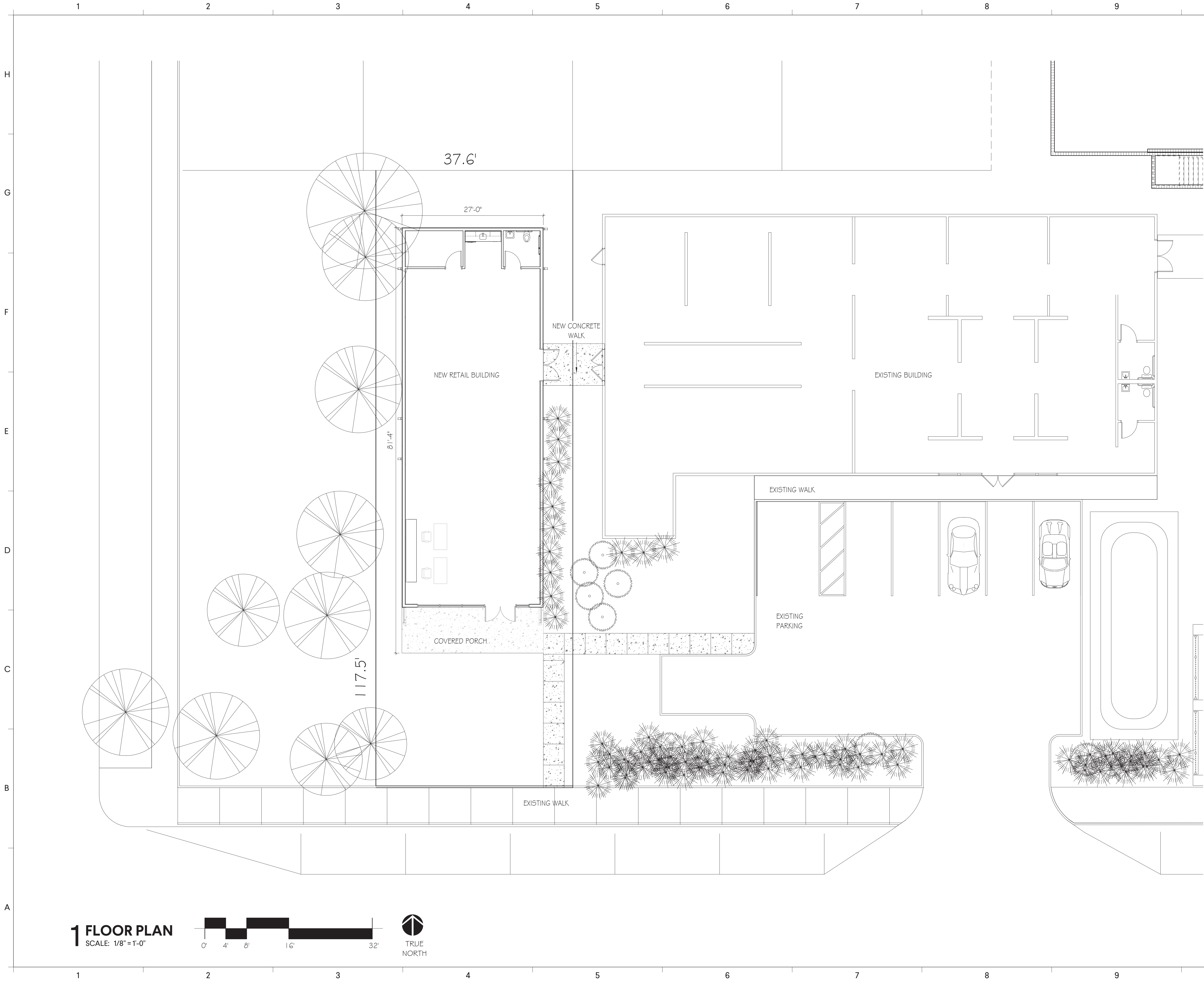












**1 FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**FLOOR PLAN**

**DUH, BUILDING 6**  
804 EAST WRIGHT STREET  
PENSACOLA FL, 32501

**A2**

**GMC # APEN200003**

ISSUE	DATE
[PROJECT STATUS]	[ISSUE DATE]

DRAWN BY:	Author
CHECKED BY:	Checker

720 BayFront Parkway, Suite 200  
Pensacola, FL 32502  
T 850.432.0706  
F 850.433.0508  
GMCNETWORK.COM  
COA: AA26000557

















## EXISTING SITE

GMC



STOREFRONT AT BUILDING 3



WRIGHT STREET – VIEW TO WEST



PARCEL D VIEW FROM EXISTING PARKING



## EXISTING SITE



PARCEL D: VIEW FROM WRIGHT STREET



REAR OF PARCEL D



WRIGHT STREET – DUH EXISTING BUILDING 3 & PARCEL D



## EXTERIOR MATERIALS



WINDOWS/DOORS: CLEAR ANODIZED ALUMINUM  
STOREFRONT SYSTEM (TO MATCH EXISTING)

MANUFACTURER: KAWNEER



METAL ROOF: 5V- PANEL (TO MATCH EXISTING)

MANUFACTURER: BAKER METAL WORKS & SUPPLY



WOOD SIDING: 24" BOARD AND BATTEN  
(TO MATCH EXISTING)

MANUFACTURER: GEORGIA PACIFIC PLYWOOD





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 20-00152

Architectural Review Board

3/19/2020

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

Item 4 - 400 BLK Cevallos Street  
Pensacola Historic District / Zone HC-1 / Wood Cottages  
New Construction

### **BACKGROUND:**

Brian Spencer is requesting final approval for a new multi-family residential building. This project received conceptual approval in September 2017. While the scale of building has changed, the configuration of the setbacks and design concept remain consistent with those approved in 2017. The final plans show a three level building with parking on the ground floor and residential suites on the second and third. Exterior materials include a standing seam metal roof, fiber cement siding, white-painted brick and wood railings, beams and columns. Doors and windows will be Marvin fiberglass and will match the profiles of those drawn on the elevations. Garage doors and sconce lighting will also be located on the south elevation.

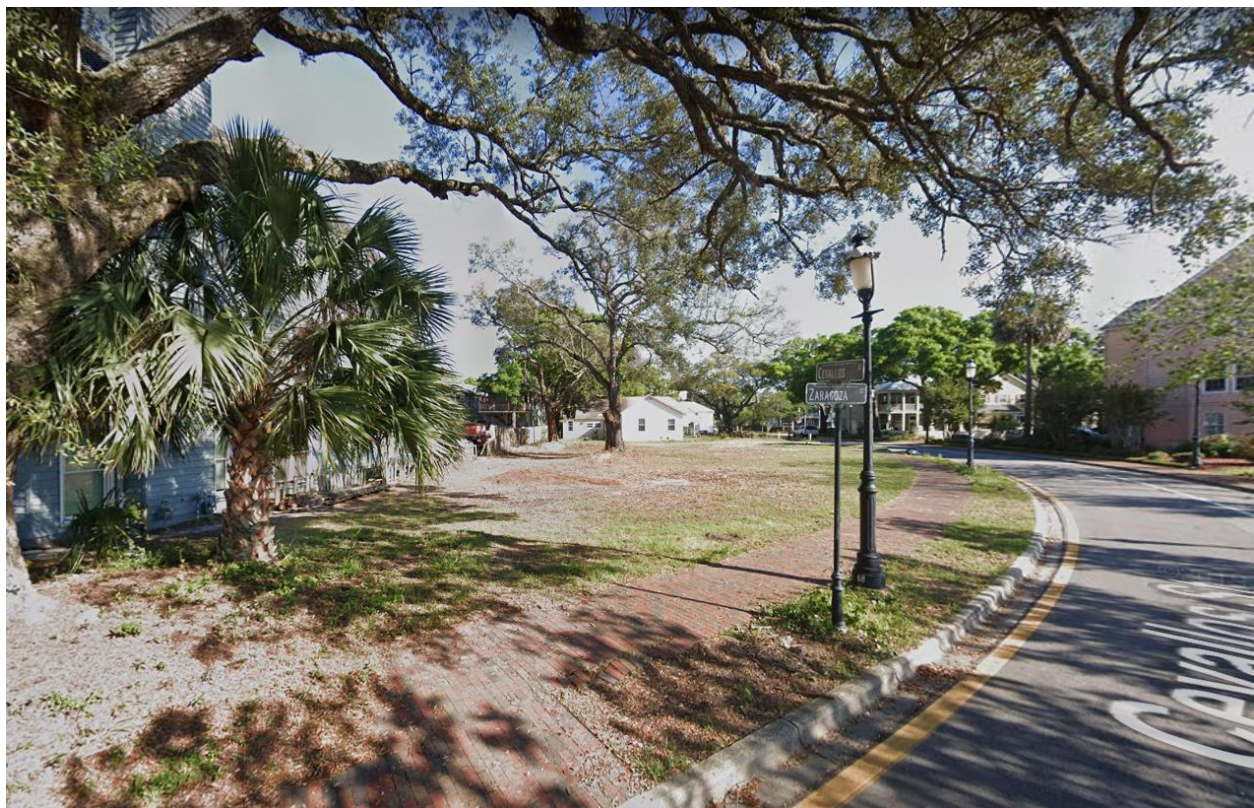
Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-10(A)(5) *PHD, Regulations and guidelines for any development within the historic district*  
Sec. 12-2-10(A)(8) *PHD, New construction in the historic district*  
Figure 12-2.1 *PHD, Wood Cottages District - Streetscape Type 2*



400 BLK Cevallos Street







PLANNING SERVICES

THE UPSIDE of FLORIDA

***Architectural Review Board***

**MEMORANDUM**

**TO:** Architectural Review Board Members

**FROM:**   
Brandi Deese, Assistant Planning Services Administrator

**DATE:** September 8, 2017

**SUBJECT:** New Business – Item 9  
400 BLK Cevallos St  
PHD / HC-1 / Wood Cottages  
New Construction

**BACKGROUND**

Brian Spencer, smp architecture, is seeking conceptual approval for two-residence flat condo. The proposed development features two residential flats, one of which will have an in-law suite on the ground floor. The exterior is proposed to be finished with board and batten siding and Hardie lap siding with a metal roof system. Clad wood windows, composite shutters, louvered railings on the east elevation, and open wood railings on the south elevation complete the design. The project is most representative of the Streetscape Type II design standards.

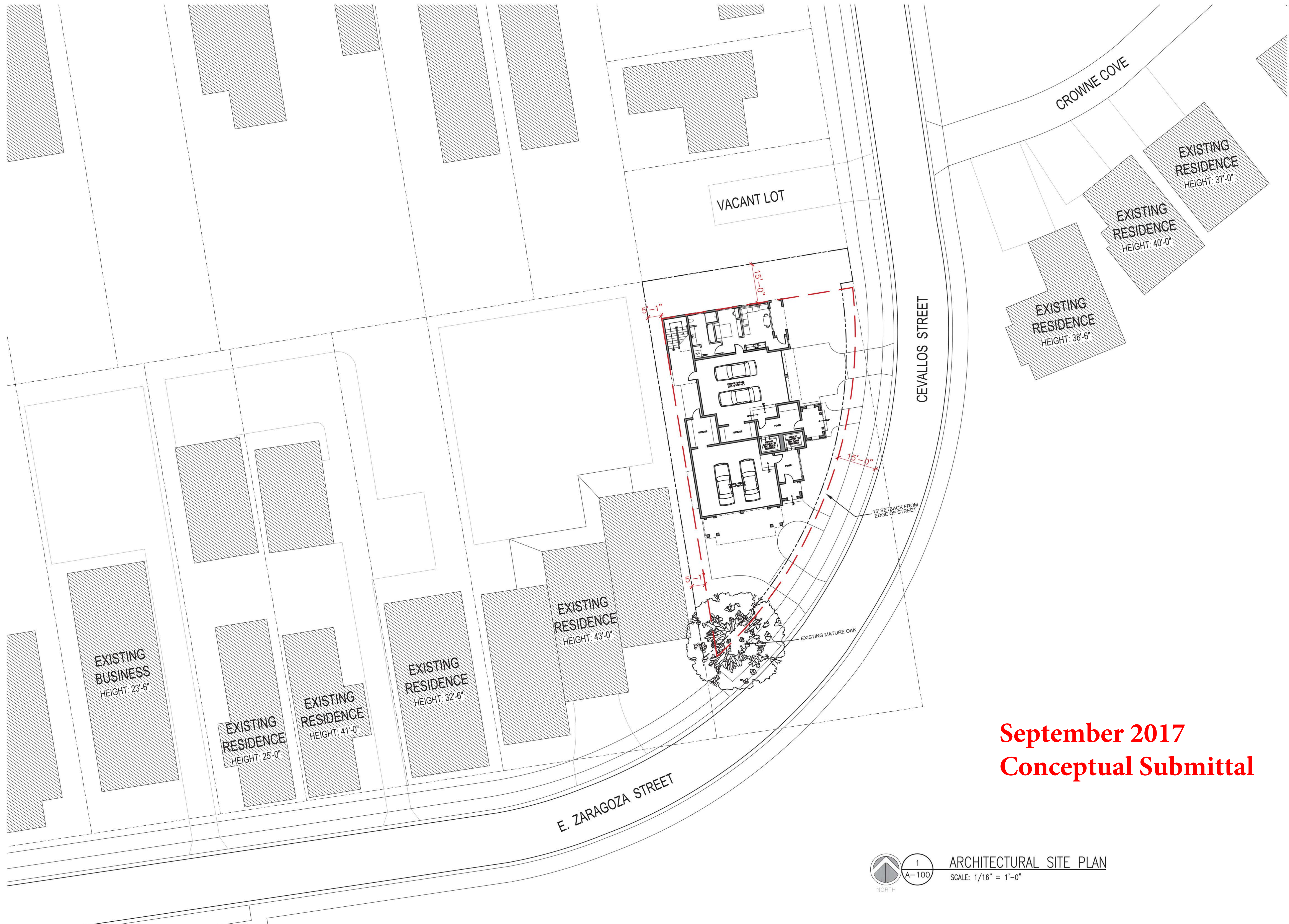
A Variance to increase the maximum building height to 42.5 feet is under consideration in *Item 8*.

Please find attached all relevant documentation for your review.

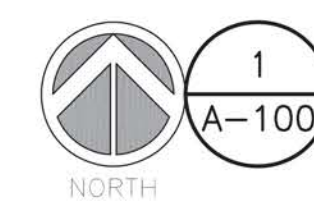
EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / [www.cityofpensacola.com](http://www.cityofpensacola.com)





**September 2017**  
**Conceptual Submittal**



ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"

**smp.**  
SMP Architecture, P.A.  
40 S. PALAFOX STREET • SUITE 202  
PENSACOLA, FLORIDA 32502 • P 850.432.7772  
www.smp-arch.com • AAC001828

Listen. Interpret. Translate.  
CERTIFICATION :

400 Cevallos  
Block

400 Cevallos  
Pensacola, Florida

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OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :  
  
SITE PLAN

SHEET NO. :  
  
**A-100**

©2017 SMP ARCHITECTURE



42'-6"  
TOP OF ROOF

34'-6"  
TRUSS BEARING

23'-0"  
FINISHED FLOOR

11'-6"  
FINISHED FLOOR

1'-0"  
FINISHED GRADE



METAL ROOF SYSTEM

CLAD WOOD WINDOW

CLAD ENTRY DOORS

BOARD AND BATTEN SIDING

HARDIE LAP SIDING

WOOD RAILINGS

HARDIE TRIM OVER WOOD  
COLUMNS

CLAD ENTRY DOORS

BRICK ENTRY

September 2017  
Conceptual Submittal

1  
A-201

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

42'-6"  
TOP OF ROOF

34'-6"  
TRUSS BEARING

23'-0"  
FINISHED FLOOR

11'-6"  
FINISHED FLOOR

1'-0"  
FINISHED GRADE



METAL ROOF SYSTEM

CLAD WOOD WINDOW

BOARD AND BATTEN SIDING

COMPOSITE SHUTTERS

HARDIE LAP SIDING

WOODEN LOUVER RAILINGS

HARDIE TRIM OVER WOOD  
COLUMNS

CLAD ENTRY DOORS

BRICK ENTRY

2  
A-201

EAST ELEVATION

SCALE: 1/4" = 1'-0"

smp.

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PENSACOLA, FLORIDA 32502 • P 850.432.7772  
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REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

EXTERIOR  
ELEVATIONS

SHEET NO. :

A-201

©2017 SMP ARCHITECTURE



42'-6"  
TOP OF ROOF

34'-6"  
TRUSS BEARING

23'-0"  
FINISHED FLOOR

11'-6"  
FINISHED FLOOR

1'-0"  
FINISHED GRADE



METAL ROOF SYSTEM

CLAD WOOD WINDOW

HARDIE HORIZONTAL SIDING

COMPOSITE SHUTTERS

September 2017  
Conceptual Submittal

1  
A-202

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

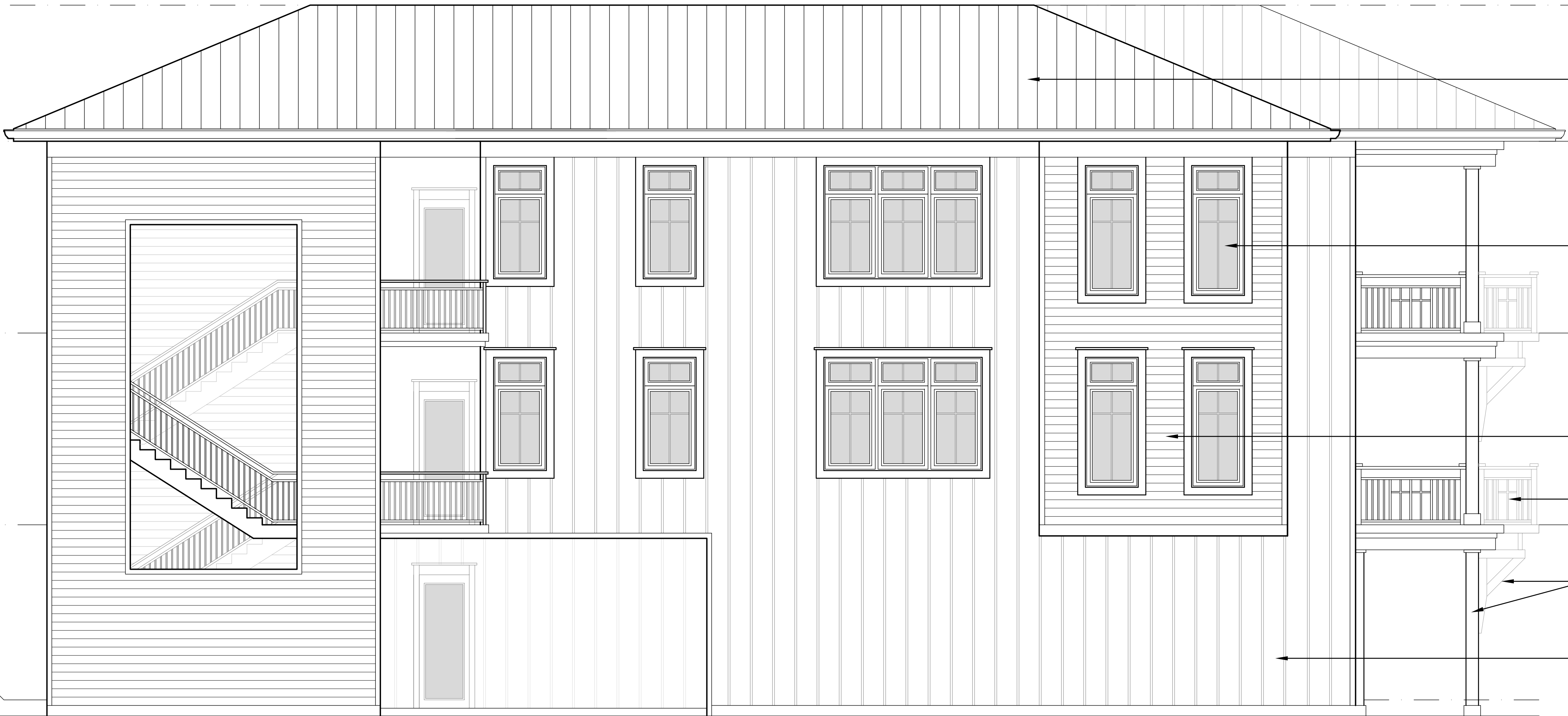
42'-6"  
TOP OF ROOF

34'-6"  
TRUSS BEARING

23'-0"  
FINISHED FLOOR

11'-6"  
FINISHED FLOOR

1'-0"  
FINISHED GRADE



METAL ROOF SYSTEM

CLAD WOOD WINDOW

HARDIE LAP SIDING

WOOD RAILINGS

WOOD COLUMN & BRACKET  
SUPPORTS

BOARD AND BATTEN SIDING

2  
A-202

WEST ELEVATION

SCALE: 1/4" = 1'-0"

smp.

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PENSACOLA, FLORIDA 32502 • P 850.432.7772  
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REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

EXTERIOR  
ELEVATIONS

SHEET NO. :

A-202

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Architectural Review Board Application  
Full Board Review

City of  
**Pensacola**  
America's First Settlement  
And Most Historic City



Application Date: 2/27/20

Project Address: 400 BLOCK CEVALLOS

Applicant: BRIAN SPENCER

Applicant's Address: 3 E. ZARAGOZA, PENSACOLA

Email: brian@smp-arch.com Phone: 850-712-2612

Property Owner: \_\_\_\_\_

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee  
☒ Commercial/Other Residential – \$250.00 hearing fee

\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

MULTI-FAMILY NEW CONSTRUCTION,  
2 LEVELS RESIDENTIAL OCCUPANCY  
ABOVE PARKING

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]  
Applicant Signature

2/27/20  
Date

Planning Services  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521





40 S Alcaniz Street (HC-1)

## Examples of Existing Three Story Structures



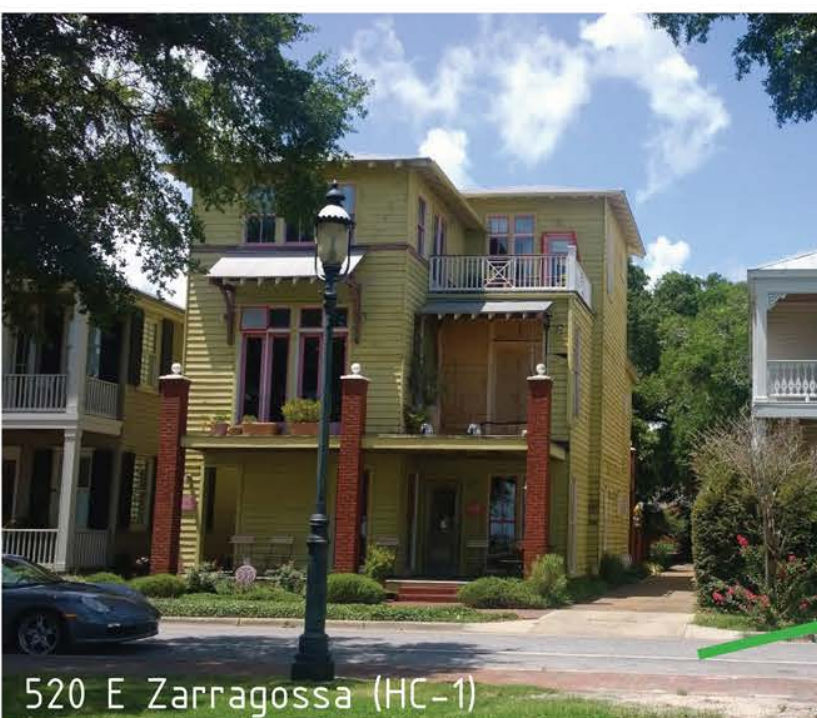
612 & 624 E Romana (GRD-1)



534 E Zarragossa (HC-1)



Site Location:  
Vacant Lot, HC-1



520 E Zarragossa (HC-1)



601 Crown Cove (SSD)



Project Site







^ View of Site (South)



^ View of Site (West)



^ Adjacent Property (East)



^ View of Site (North)













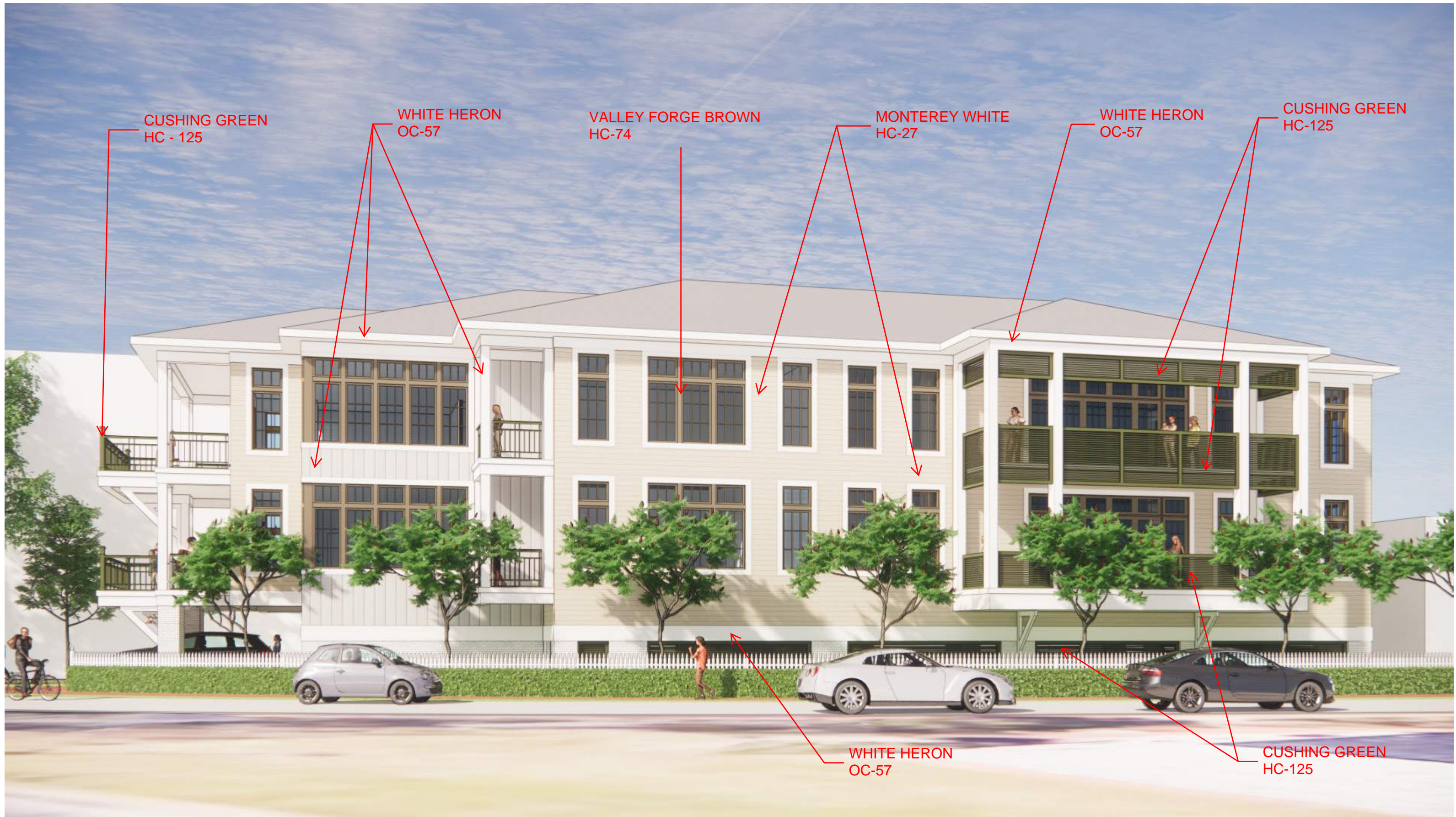






















400 CEVALLOS STREET  
PENSACOLA, FL



CONCEPTUAL DESIGN - 02/27/2020

## OWNER TEAM

## DESIGN TEAM

OWNER \_\_\_\_\_ OWNER \_\_\_\_\_

**ARCHITECT**                      **STRUCTURAL ENGINEER**                      **ELECTRICAL ENGINEERING**                      **CIVIL ENGINEER**                      **MECHANICAL ENGINEERING**

**SMP Architecture**

40 Palafox Place, Suite 202  
Pensacola, FL 32502

**LANDSCAPE ARCHITECT**

## OWNER'S CONSULTANTS


CONSTRUCTION MANAGER \_\_\_\_\_ SURVEYOR \_\_\_\_\_

**SURVEYOR**  
**REBOL-BATTLE & ASSOCIATES**  
2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503

[illegible]

**400 CEVALLOS**  
400 CEVALLOS STREET  
PENSACOLA, FL

<h2 style="margin: 0;">COVER SHEET</h2>										
Seal	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;">           Project No. PROJECT NUMBER         </td> <td style="width: 50%; padding: 5px;">           Drawing No.         </td> </tr> <tr> <td style="height: 40px;"></td> <td rowspan="4" style="text-align: center; vertical-align: middle; font-size: 48px; font-weight: bold;">A-000</td> </tr> <tr> <td style="height: 40px;"></td> </tr> <tr> <td style="height: 40px;"></td> </tr> <tr> <td style="padding: 5px;">           Date 02/27/2020         </td> </tr> <tr> <td style="padding: 5px;">           Scale AS NOTED         </td> <td></td> </tr> </table>	Project No. PROJECT NUMBER	Drawing No.		A-000			Date 02/27/2020	Scale AS NOTED	
Project No. PROJECT NUMBER	Drawing No.									
	A-000									
Date 02/27/2020										
Scale AS NOTED										

The logo for smp. architecture, featuring the lowercase letters 'smp.' in a large, bold, sans-serif font, with the word 'architecture' in a smaller, lowercase sans-serif font directly beneath it.

**SMP Architecture, P.A.**  
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850 432 7772 [smp-arch.com](http://smp-arch.com) AAC001828

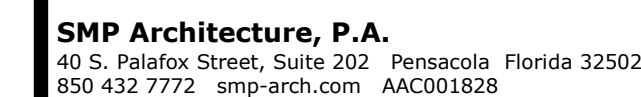
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DRAWING INDEX				
SHEET NO.	DRAWING NAME	SHEET ISSUE DATE	RELEASED FOR CONSTRUCTION DATE	CURRENT REVISION DATE
ARCHITECTURAL				
A-000	COVER SHEET	02/27/2020		
A-004	ISOMETRIC SITE PLAN	02/27/2020		
A-005	RENDERINGS	02/27/2020		
A-101	FLOOR PLANS	02/27/2020		
A-301	BUILDING ELEVATIONS	02/27/2020		

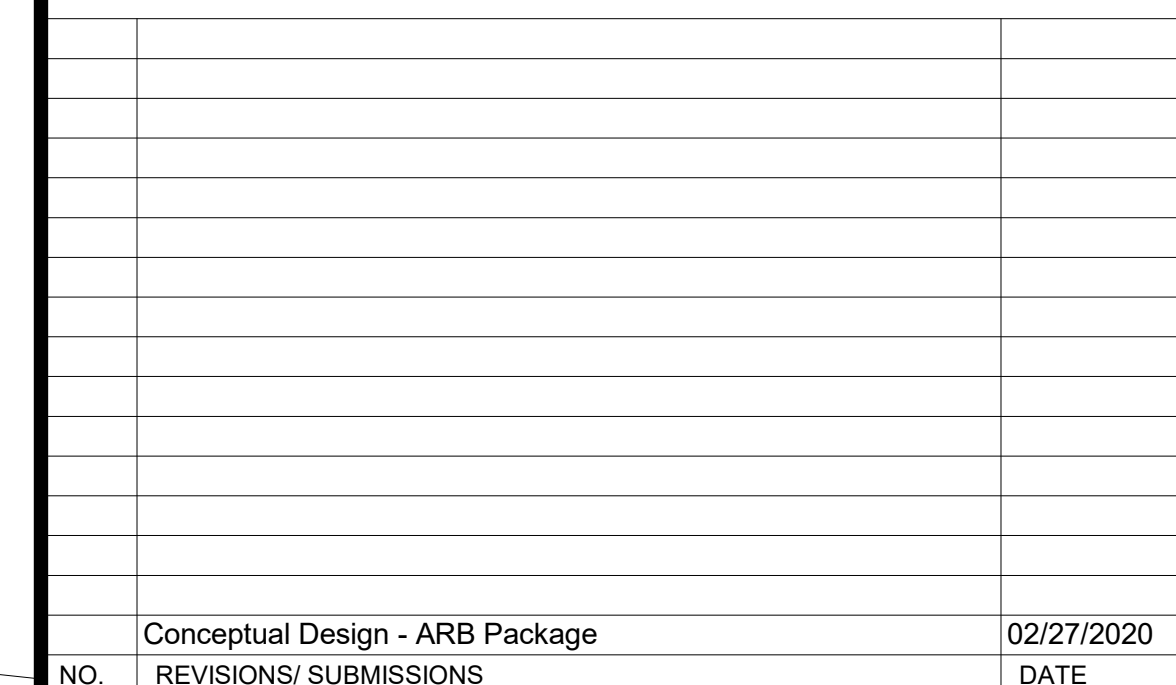




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400 CEVALLOS STREET  
PENSACOLA, FL

Drawing Title

ISOMETRIC SITE PLAN

Seal

Project No.
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PROJECT NUMBER
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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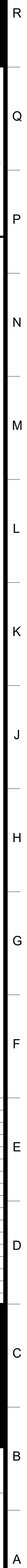

Date  
02/27/202

Scale

A-004

NOT RELEASED FOR CONSTRUCTION





© SMP Architecture, P.A.

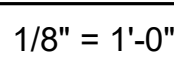
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Seal	Project No.	Drawing No.	
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	Date	A-005	
	02/27/2020		
	Scale		
	AS NOTED		

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A-101

2/28/2020 4:03:09 PM  
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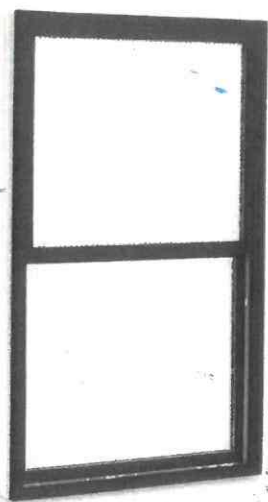
*Building the Future. Restoring the Past.*



**MARVIN**   
Windows and Doors  
Made for you.

Marvin Commercial Solutions.





**WINDOW CLASSICS**  
605 N. County Hwy. 393, Suite A8  
Santa Rosa Beach, FL 32459  
850-622-4067

 **Integrity**  
from **MARVIN**  
Windows and Doors  
Built to perform.

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# ULTREx<sup>®</sup>

## PULTRUDED FIBERGLASS

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— ◆ —

# QUITE POSSIBLY THE PERFECT BUILDING MATERIAL

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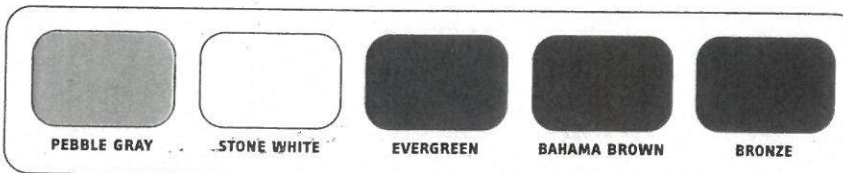


## Standard Product Options

### Clad Colors

Marvin's tough extruded aluminum cladding is subjected to a heating and extruding process that helps it resist impact and abrasion. Our rigorous pretreatment process of cleansers, rinses and a chromic acid surface preparation ensures our fluoropolymer finish adheres smoothly and permanently for superior resistance to chipping, flaking, fading and chalking. All Marvin clad products feature a high-performance finish that exceeds AAMA 2605-02 commercial grade certifications. Custom colors available.

#### STANDARD CLAD COLORS

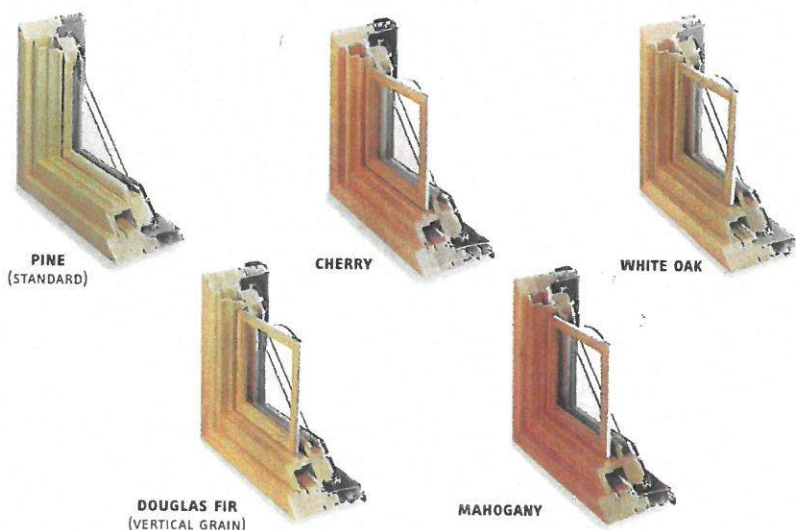


#### SELECT CLAD COLORS



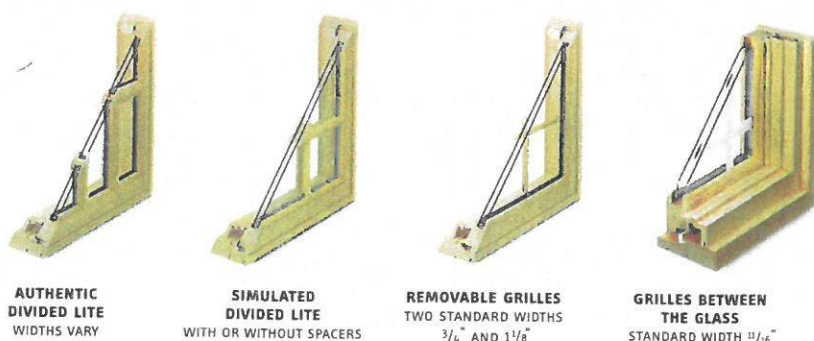
### Wood Species

Marvin clear wood interiors are suitable for staining or painting and follow Architectural Woodworking Institute (AWI) guidelines for a Grade I finished appearance. Frequent inspections before and after the milling process, and a generous use of wood, contribute to our top-quality products.

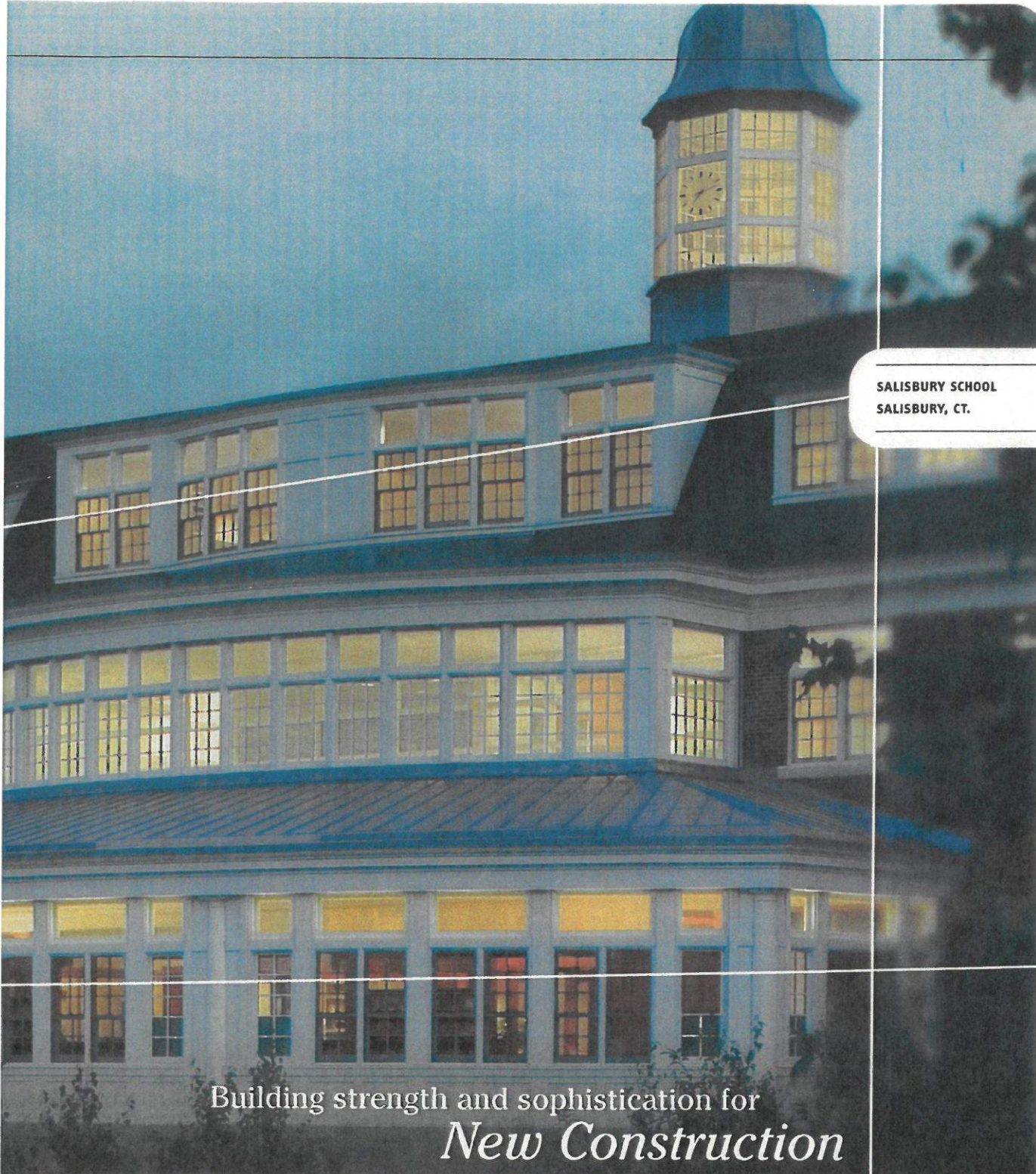


### Divided Lites

Divided lites provide endless visual possibilities. Create curved, geometric or abstract patterns and more. Choose from a variety of standard patterns or create a custom design.







**SALISBURY SCHOOL**  
**SALISBURY, CT.**

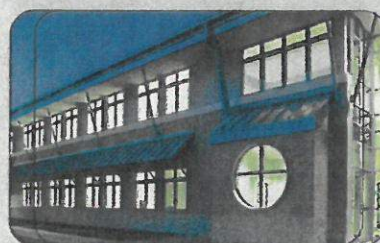
Building strength and sophistication for  
*New Construction*



**TRAPPS GATEWAY CENTER / GARDINER, NY**  
Energy efficiency, the strength to withstand 80 mph winds and low maintenance made Marvin windows the obvious choice for this "wall of glass" overlooking the scenic hills of the Shawangunk Mountains.



**ROCK ISLAND LOFTS / MINNEAPOLIS, MN**  
Urban sensibilities and state-of-the-art construction meet in this brand-new 7-story loft complex. Marvin created windows with warehouse flair and proportion, helping the project blend with riverfront renovation.

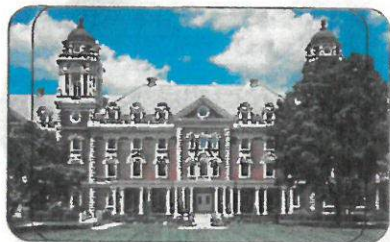


**MADISON CO. HIGHWAY DEPT. / ALTON, IL**  
This stand-out public works building features round Marvin windows and an inspired use of one of our Select clad colors—Cascade Blue, with a durable finish that exceeds AAMA 2605-02 commercial specifications.



**JERSEY COUNTY COURTHOUSE  
JERSEYVILLE, IL.**

Perfecting the past with  
*Historic Renovation*



**THE OSBOURN / WESTCHESTER, NY**

Historic accuracy, durability and ease of use for residents were crucial in the renovation of this neo-Georgian style senior home. With standard and custom products and historically accurate trim, Marvin filled every need.



**BROADMOOR HOTEL / COLORADO SPRINGS, CO**

Thanks to the custom sizing of our Clad Ultimate Double Hung, Commercial Door and countless complementary windows, Marvin played a key role in returning this 1891 landmark to 5-star opulence.



**MAGNA INTL, INC. / AURORA, ONTARIO**

This structure required exceptional products. We crowned pairs of Casemaster windows with Awnings and added green-tinted glass, emphasizing generous window proportions with Evergreen clad frames and Pebble Gray sash.





Integrity

**BEND THIS**  
**ULTREX®**  
**BRONZE**



# American Tradition™ series

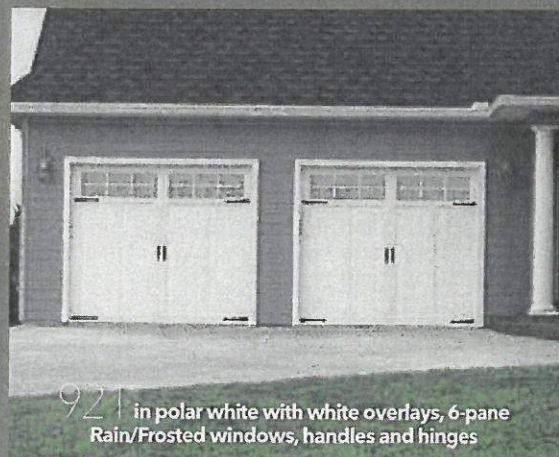
American Tradition Series™ / 2" thick / R-13.45



930 in carbon black with arch 3-pane dark gray/dark gray windows

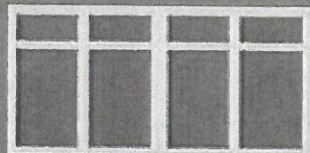


931 in mahogany



921 in polar white with white overlays, 6-pane Rain/Frosted windows, handles and hinges

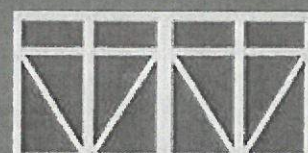
## Double Door Designs



920 Plain (930 Arch)



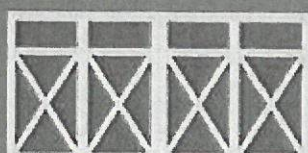
922 Plain (932 Arch)



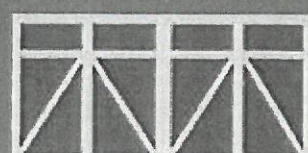
941 Plain (951 Arch)



921 Plain (931 Arch)



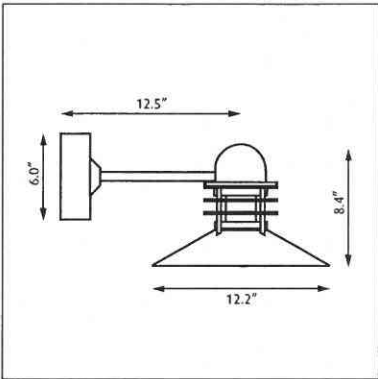
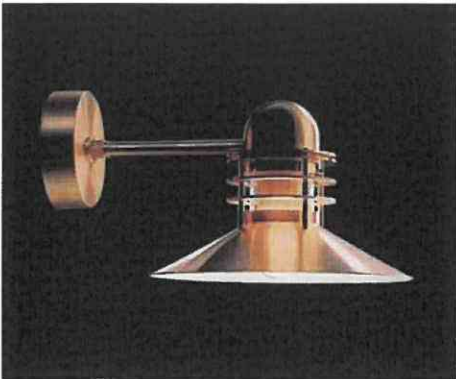
940 Plain (950 Arch)




942 Plain (952 Arch)



Design Alfred Homann




38301-11

Light source	Voltage	Weight	Electric shock protection	Ingress protection
<b>1/15W LED/A-19/ medium</b> 	<b>120V</b>	<b>11 Lbs</b>	<b>Cl. I, grounded</b>	<b>IP 44, Wet location</b>

**Recommended cleaning substances:**  
Wipe off dust with a dry, soft cloth. Remove greasy spots etc. with a soft cloth dampened in lukewarm water (<122° F/ 50° C) with a mild detergent.  
Never use detergents containing abrasives and solvents.

Warning: Scouring powder and similar substances will scratch surfaces.

All installation is subject to local code and jurisdiction.

 Louis Poulsen A/S disclaims any liability if a half mirror light bulb is used. This type of light source reflects the heat and may damage/melt parts of the fixture.





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00153

Architectural Review Board

3/19/2020

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

Item 5 - 5 E. Garden Street  
Palafox Historic Business District / Zone C-2A  
Contributing Structure

**BACKGROUND:**

Carter Quina, Quina Grundhoefer Architects, is requesting approval to install nine new aluminum windows in existing masonry openings. The new windows will be placed on the third story of the north and west sides of the building.

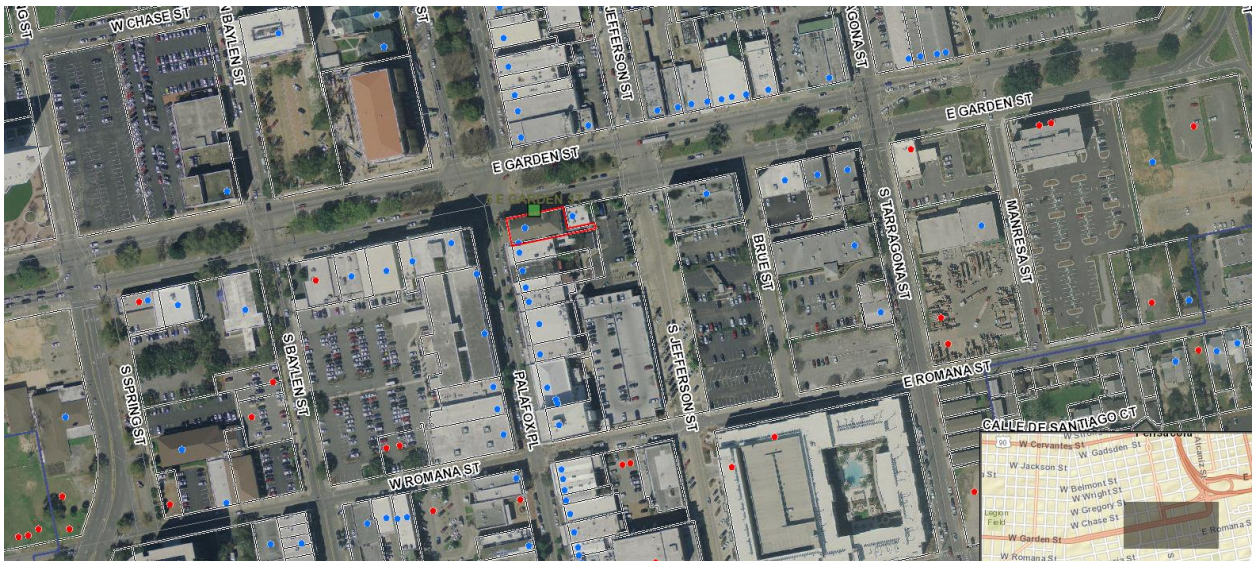
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS:**

Sec. 12-2-21(F)(4)(c) *PHBD, Board review standards, Building fronts, rears, and sides, Windows*



## 5 E. Garden Street





FOR OFFICE USE ONLY

Meeting Date \_\_\_\_\_

Agenda No. \_\_\_\_\_

Approved by: \_\_\_\_\_

APPLICATION TO: ARCHITECTURAL REVIEW BOARD  
CITY OF PENSACOLA  
P.O. BOX 12910  
PENSACOLA, FL 32521-0053

DATE OF APPLICATION: February 24, 2020

ADDRESS OF PROJECT: 5 East Garden Street Pensacola, FL 32502

Application is hereby made for project as described herein:

Approval for third floor window replacement to masonry filled openings. Nine windows to be replaced in this phase of work.


ATTACH REQUIRED ADDITIONAL INFORMATION

"The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services."

NAME & MAILING ADDRESS OF PETITIONER:

Carter Quina  
SIGNATURE OF OWNER'S REP  
400 West Romana Street

Pensacola, FL 32502

  
850.433.5575  
TELEPHONE NUMBER  
November 28, 2019  
DATE

TELEPHONE # 850.433.5575

DATE APPLICATION RECEIVED: \_\_\_\_\_ RECEIPT NO. \_\_\_\_\_



INSTALL NEW GALV METAL  
FLASHING AROUND DORMER

EXISTING INFILL  
WINDOWS TO  
REMAIN

NEW DIMENSIONAL ASPHALT  
SHINGLE TO MATCH EXISTING  
ON PEEL AND STICK UNDERLAYMENT  
ON REPAIRED WOOD DECK

INSTALL NEW GALV METAL  
FLASHING AROUND DORMER

1  
A3  
SOUTH ELEVATION

NEW DIMENSIONAL ASPHALT  
SHINGLE TO MATCH EXISTING  
ON PEEL AND STICK UNDERLAYMENT  
ON REPAIRED WOOD DECK

EXISTING INFILL  
WINDOWS TO  
REMAIN

INSTALL NEW WINDOWS  
IN EXISTING MASONRY  
OPENINGS

INSTALL NEW WINDOWS  
IN EXISTING MASONRY  
OPENINGS-FUTURE PHASE

2  
A3  
NORTH ELEVATION

1/8" = 1'-0"

Quina Grundhoefer

ARCHITECTS

400 West Romana Street  
Pensacola, Florida 32501  
850 433-5575 Fax 433-5366

INSTALL NEW WINDOWS  
IN EXISTING MASONRY  
OPENINGS

FUTURE PHASE-  
INSTALL NEW WINDOWS  
ON SECOND FLOOR  
LEVEL

3  
A3  
WEST ELEVATION

EXISTING MASONRY

MAINTAIN EXISTING  
WOOD FRAME-  
REPAIR, CAULK &  
PAINT

INSTALL NEW  
"EFCO" SERIES  
6711 FIXED THERMAL  
HUNG REPLICA  
WINDOW

OPTION B:  
INSTALL NEW PARRETT  
WOOD CLAD HISTORIC  
REPLICA FIXED IMPACT  
INSULATED GLASS WINDOW

REPAIR PLASTER &  
PAINT

MAINTAIN EXISTING  
WOOD SILL &  
CASING

4  
A2  
WINDOW DETAIL

3/4" = 1'-0"

Project  
**Masonic Lodge  
Renovations**

5 East Garden Street  
Pensacola, Florida

Date:  
02-18-2020  
Project No.  
0805-D

Sheet No.

**A2**



S FARGO



vinyl  
music hall

JEFF TATE MAR 15  
LOCAL SHOWCASE MAR 13  
RAILROAD EARTH FEB 28  
LOCAL SHOWCASE MAR 7

JOURNEY TRIBUTE FEB 29  
LIQUID STRANGER FEB 23

ALLEN STONE FEB 21  
BUS RETRO PARTY FEB 20







"Turn of the  
Century"





### DESIGN

- Fits openings up to 5' x 10'
- Available in various radius shapes including eyebrow, elliptical, half circle, and custom angles
- Available in variations of standard double hung rectangular window on the interior with arched exterior casing
- Matches other Next Generation product profiles
- Arched window unit can include transom
- Balance system provides block and tackle balance or hybrid spiral balance based on weight
- Note:** CW performance class option provides class five spiral balances on all sizes
- Custodial locking hardware available
- Wood jambs minimize visibility of jamb carrier system

### PERFORMANCE

- First-rate energy efficiency meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates and weather needs
- Sash balance systems enable smooth operation even at the largest sizes
- Aluminum inter-lock eliminates drafts and improves the window's overall structural integrity
- Traditional sill 14 degree bevel provides optimal water management while maintaining a classic look
- Superior weather performance with top in class ratings including LC-PG50 on most sizes and IZ3 certified coastal options

PRODUCT	AIR TEST TOPSF	WATER TESTED TOPSF	STRUCTURAL TESTED TOPSF	CERTIFICATION RATING	OVERALL WIDTH	OVERALL HEIGHT
Clad Ultimate Double Hung Round Top Next Generation	157	7.5	75	LC-PG50	45 1/4	87 1/2
Clad Ultimate Double Hung Round Top Next Generation	157	7.5	75	LC-PG50	49 1/4	107 1/2
Clad Ultimate Double Hung Round Top Next Generation	157	7.5	75	LC-PG50	49 1/4	107 1/2
Clad Ultimate Double Hung Round Top Next Generation	157	5.43	52.5	LC-PG35	59 1/4	119 1/2
Clad Ultimate Double Hung Round Top Next Generation	157	5.43	52.5	LC-PG35	59 1/4	119 1/2
Clad Ultimate Single Hung Round Top Next Generation	157	7.5	75	CW-PG50	49 1/4	107 1/2
Clad Ultimate Double Hung Round Top Next Generation	157	7.5	75	CW-PG50	49 1/4	107 1/2
Clad Ultimate Double Hung Round Top Picture Next Generation	157	7.5	75	CW-PG50	74 1/2	103 1/2
Clad Ultimate Double Hung Round Top Picture / Transom Next Generation	157	7.5	75	CW-PG50	74 1/4	103 1/2

### ROUND TOP RADIUS SHAPES



EYEBROW RADIUS  
OPERATING  
DOUBLE HUNG

HALF CIRCLE  
TRANSOM

EYEBROW  
TRANSOM

HALF CIRCLE RADIUS  
OPERATING  
DOUBLE HUNG

HALF EYEBROW  
OPERATING  
SINGLE HUNG





## Series 6711 Fixed Thermal 3 7/8" Architectural Grade Fixed Hung Replica Window

### CONFIGURATIONS

#### Fixed Hung Replica

Series 6711 retains an AAMA Architectural Grade rating to meet the most demanding specifications. The 6711 window system is a historical replica window and an attractive product for a wide range of applications. Multiple glazing options provide flexibility to meet specific design requirements. A thermal barrier in the frame improves thermal performance, enhancing energy saving potential. Offered with a complete line of sub frames, mullions and architectural sills, the 6711 window provides the complete solution for your fenestration needs.

#### Features

Thermally broken frames

Accessory line of subframes, mullions, and architectural sills

Anodized or painted finishes available

Accommodates glazing units of 1/4" and 1" in depth

#### Benefits

Enhanced thermal performance

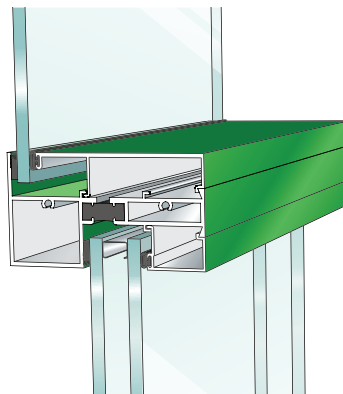
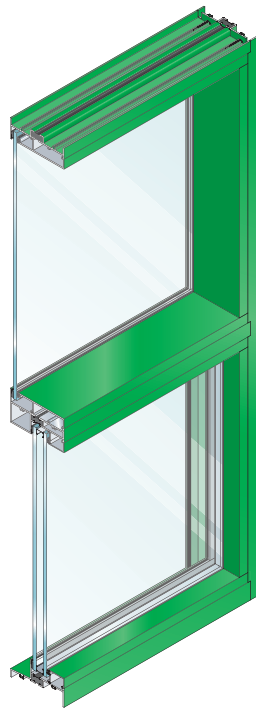
Allows custom designs with standard product

Multiple options to answer economic and aesthetic concerns

Allows use of common glass thicknesses



# Series 6711 Fixed Thermal 3 7/8" Architectural Grade Fixed Hung Replica Window



HORIZONTAL  
TRUE MUNTIN

## PERFORMANCE DATA

### S-6711 HUNG REPLICA ARCHITECTURAL GRADE

AAMA RATING (NAFS-02)	AW-PG90
AIR INFILTRATION	<.10 CFM/SF @ 6.24 PSF
WATER	NO LEAKAGE @ 15.0 PSF
STRUCTURAL	±135.0 PSF
CRF-FRAME (1503.1)	.61
CRF-GLASS (1503.1)	.58

Note: All performance value data is based on laboratory testing per AAMA 101/I.S.2/A440 for Air/Water/Structural, ASTM E90 and or E413 for Acoustical, AAMA 507 and or NFRC 100/200/500 for UFactors and AAMA 1503 for Condensation Resistance Factor (CRF). Printed values are subject to change pending the frequency of recertification testing. Field results will vary depending on size, the field test method, the addition of sub-frames, panning, mullions, accessories and installation into the surrounding condition.

\*Note: Based on NFRC 100. Job specific performance ratings may vary due to differences in glass and glass spacer selection. If NFRC certified ratings are required, EFCO recommends requesting a CMA Bid Report at the bid stage from EFCO's Product Technical Support Group to ensure performance will meet project specifications

6711 THERMAL U-FACTORS*	
CENTER OF GLASS U-FACTOR	CONFIGURATION AND SIZE
	FIXED 47" X 59"
0.48	0.63
0.34	0.53
0.30	0.48
0.24	0.45
0.20	0.42

S-6711 GLAZING CHART	POLYCARBONATE			GLASS OR PANEL															
	1/8"	3/16"	1/4"	1/8"	.156"	3/16"	.200"	1/4"	1/4"	1/2"	5/8"	3/4"	7/8"	1"	1-1/8"	1-1/4"	1-1/2"	1-3/4"	2"
MONOLITHIC & INSULATED GLASS								A						A					

\* Obscure glass thickness  
\*\* Laminated glass thickness

A - Available glazing option  
I - Internal blinds can be  
used with this type of dual  
glazing  
Blank - N/A



# Series 6711 Fixed Thermal 3 7/8" Architectural Grade Fixed Hung Replica Window

## Frame Construction

The frames have a depth of 3 7/8" and are constructed of 6063-T6 aluminum alloy. Nominal material wall thickness for the frame is .078". Corners are of screw spline construction and sealed. See Illustration 1.

## Thermal Barrier

All frames and vents are thermally improved using the latest technology in two part, high density polyurethane. See Illustration 2.

## Glazing

Windows are inside glazed with an extruded aluminum snap-in glazing bead. Glazings of 1/4" and 1" can be utilized.

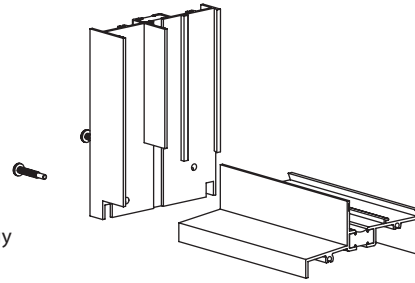


Illustration 1

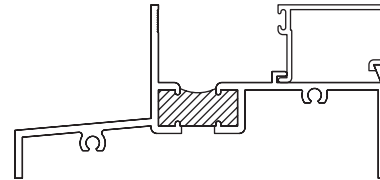


Illustration 2





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00156

Architectural Review Board

3/19/2020

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/11/2020

**SUBJECT:**

New Business - Item 6  
211 W. Cervantes Street  
North Hill Preservation District / Zone PC-1  
Demolition of a Contributing Structure

### **BACKGROUND:**

Bryan Creed will be requesting approval to demolish a contributing structure at the April 2020 meeting. The following discussion is meant to introduce the Board to the proposed project. No action on this item will be taken at this meeting

Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-10(B)(9) *NHPD, Demolition of structures within the NHPD*  
Sec. 12-2-10(A)(9) *Demolition of contributing structures specifically Sec. 12-2-10(A)(9)(b) Unusual and compelling circumstances and demolition of a contributing structure*



FLORIDA MASTER SITE FILE  
Site Inventory Form

FDAHRM 802 = =  
1009 = =

Site Name Guttman, J. B. Rental 830 = = Site No. 251659  
Address of Site: 211 W. Cervantes, St., Pensacola, FL 32501 820 = =  
Instruction for locating on S side of Cervantes St between N Spring St 905 = =  
and N Barcelona St 813 = =  
Location: Belmont Tract 30 12 port 11, 13 868 = =  
County: Escambia 808 = =  
Owner of Site: Name: Church, Brownsville Assembly of God, Inc.  
Address: 3100 W. DeSoto St.  
Pensacola, FL 32501 902 = =  
Type of Ownership Institution 848 = = Recording Date 832 = =  
Recorder:  
Name & Title: Gantzhorn, Alan; Guede, Susan  
Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence 818 = =  
838 = =  
Check One Check One or More  
☒ Excellent 863 = = ☒ Altered 858 = =  
☐ Good 863 = = ☐ Unaltered 858 = =  
☐ Fair 863 = = ☒ Original Site 858 = =  
☐ Deteriorated 863 = = ☐ Restored ( ) (Date: ) 858 = =  
☐ Moved ( ) (Date: ) 858 = =  
Present Use Residence 850 = =  
Dates: Beginning c+1900 844 = =  
Culture/Phase American 840 = =  
Period 20th century 845 = =  
NR Classification Category: District 916 = =

Threats to Site:

Check One or More  
☐ Zoning ( ) 878 = = ☐ Transportation ( ) 878 = =  
☐ Development ( ) 878 = = ☐ Fill ( ) 878 = =  
☐ Deterioration ( ) 878 = = ☐ Dredge ( ) 878 = =  
☐ Borrowing ( ) 878 = =  
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture, History 910 = =

Significance:

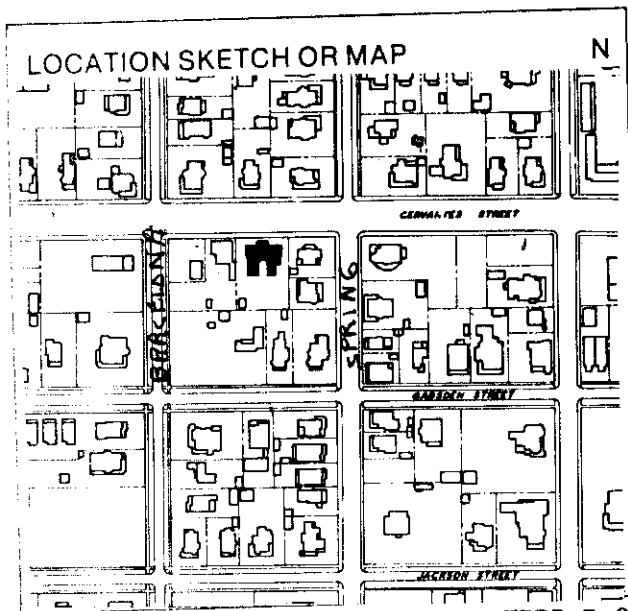
J. B. Guttman purchased this house in 1908. The family owned the house until 1933. It was used as a rental. It was later converted into a boarding house.

SEE SITE FILE STAFF FOR  
ORIGINAL PHOTO(S) OR MAP(S)

911 = =



ARCHITECT Unknown 872 = =  
 BUILDER Unknown 874 = =  
 STYLE AND/OR PERIOD frame vernacular 964 = =  
 PLAN TYPE U 966 = =  
 EXTERIOR FABRIC(S) wood; novelty siding 854 = =  
 STRUCTURAL SYSTEM(S) wood frame 856 = =  
 PORCHES N/ 1 story hipped porch w/ brick piers; 1 bay; access from N#  
E/ 2 tiered verandah w/ brick piers to 2nd story, wood posts 942 = =  
 FOUNDATION: pier; brick; brick continuous 942 = =  
 ROOF TYPE: gable on hip 942 = =  
 SECONDARY ROOF STRUCTURE(S): cross gables 942 = =  
 CHIMNEY LOCATION: exterior NE corner; S lat slope 942 = =  
 WINDOW TYPE: DHS; 2/2; wood 942 = =  
 CHIMNEY: brick 882 = =  
 ROOF SURFACING: composition shingle; butt 882 = =  
 ORNAMENT EXTERIOR: 882 = =  
 NO. OF CHIMNEYS 2 952 = = NO. OF STORIES 2½ 950 = =  
 NO. OF DORMERS 0 954 = =  
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970  
North Hill, Gordon Richmond, 1974 809 = =  
 Latitude and Longitude: , " , " 800 = =  
 Site Size (Approx. Acreage of Property): LT1 833 = =



Township	Range	Section
2S	30W	19

812 = =

UTM Coordinates:

890 = =

Zone Easting Northing

Photographic Records Numbers HRPB P.80.10 Fr 8 860 = =  
NH 13-29A

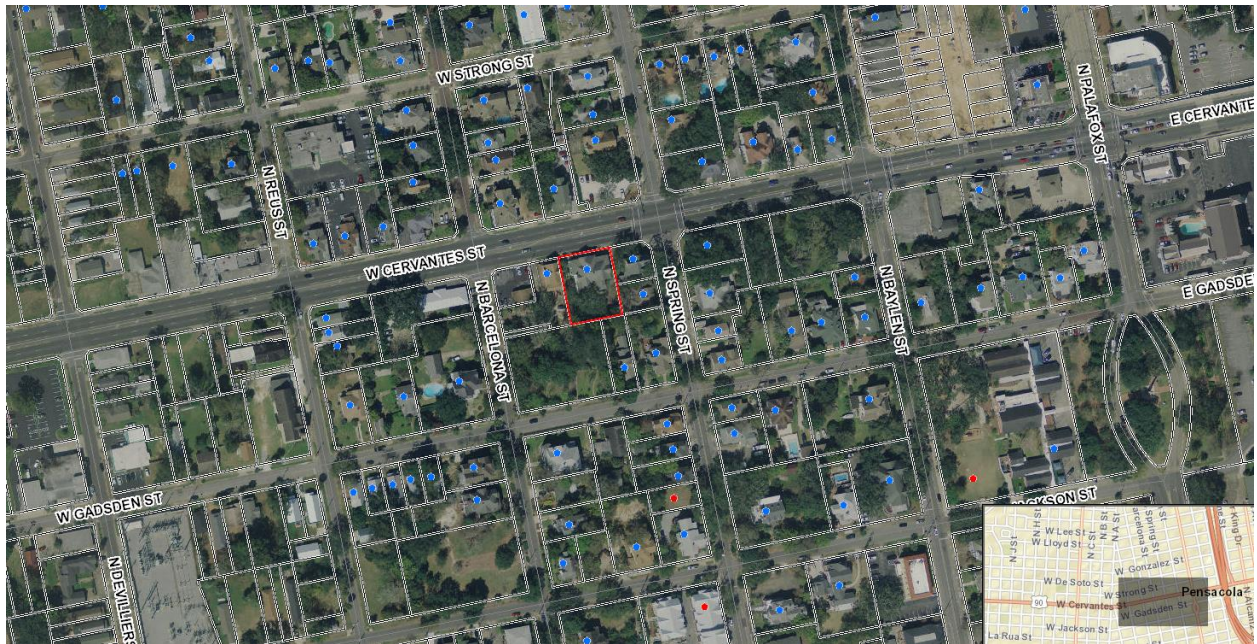
Contact Print







211 W. Cervantes Street







**Architectural Review Board Application  
Full Board Review**

Application Date: 3/11/2020

**Project Address:** 211 W. Cervantes Street

**Applicant:** Bryan Creed

**Applicant's Address:** \_\_\_\_\_

**Email:** fixingupflorida@gmail.com

**Phone:** 850-217-6935

**Property Owner:** Bryan Creed

(If different from Applicant)

**District:**

PHD ☐

NHPD ☒

OEHPD ☐

PHBD ☐

GCD ☐

Application is hereby made for the project as described herein:

☐

Residential Homestead – \$50.00 hearing fee

☒

Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**Present 211 W. Cervantes project to ARB for discussion.**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

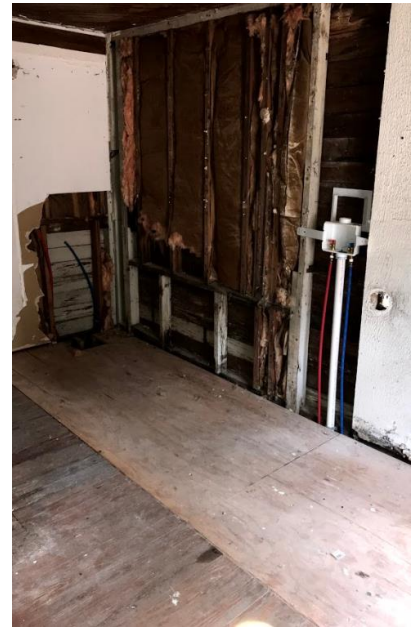
Signature on file.

Applicant Signature

Date



211 W. Cervantes Street







# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00180

Architectural Review Board

3/19/2020

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 3/17/2020

**SUBJECT:**

Item 7 - 15 W. Strong Street  
North Hill Preservation District / Zone PC-1  
New Construction

### **BACKGROUND:**

Jim Bozeman is requesting approval for changes to three new single-family residences. This project initially came before the Board in September 2017 and was approved with comments. At that time, a Variance to reduce the required rear yard setback was also approved. Because of design changes, the current plans were referred to the Board during the required Planning and Zoning Review. Although there have been changes to the elevations, nearly all of the materials have remained consistent from the previously approved project. These include Hardie shiplap siding, carriage-style garage doors, PGT vinyl windows, and asphalt dimensional shingles. The previously approved paint palette has also remained which alternates between gray hues within the Sherwin Williams collection.

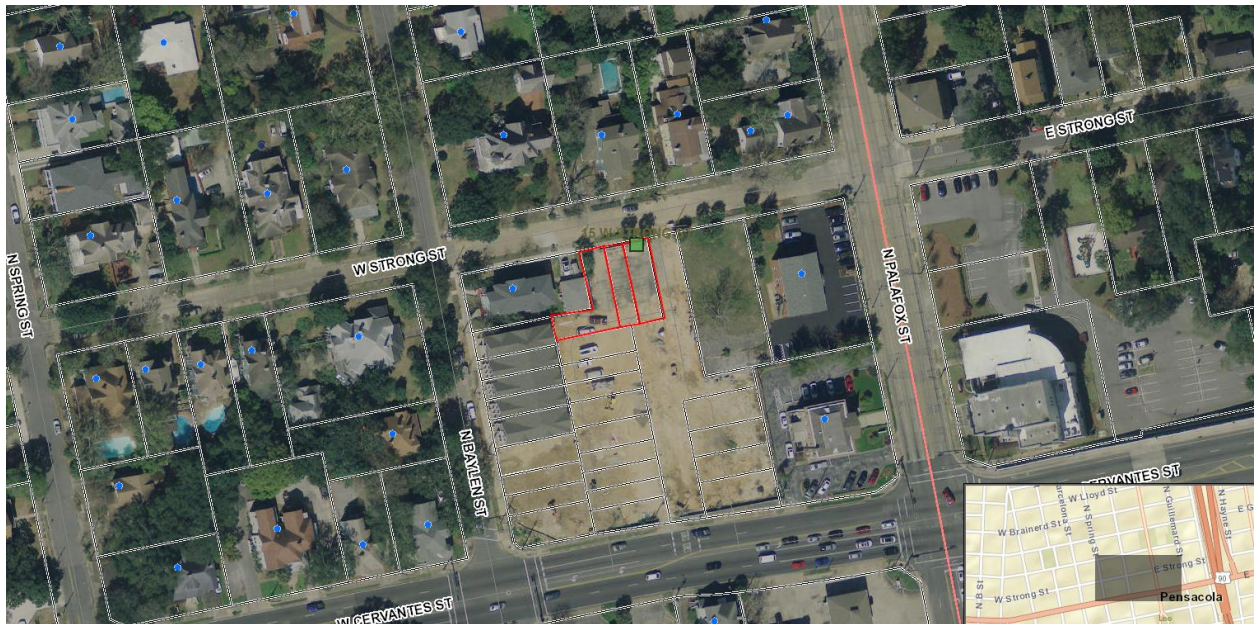
Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction and additions to existing structures*



## 15 W. Strong Street







PLANNING SERVICES

THE UPSIDE of FLORIDA

## September 2017 Agenda

### *Architectural Review Board*

#### MEMORANDUM

**TO:** Architectural Review Board Members

**FROM:**  Brandi Deese, Assistant Planning Services Administrator

**DATE:** September 8, 2017

**SUBJECT:** New Business – Item 7  
15 W. Stong St  
NHPD / PC-1  
New Construction

#### BACKGROUND

Charles Kunze, Artisan's Architecture, is seeking final approval for a 25-unit residential townhouse development. The conceptual plan was approved by the Board at their July 2017 meeting. The comments provided during that meeting have been addressed. The proposed exterior will feature Hardie shiplap siding with the "Select Cedarmill" finish. Exterior colors will alternate between grey hues within the Sherwin Williams palette. Carriage style garage doors will be utilized within the development. PGT vinyl windows with simulated divided lites are proposed. Porch details include rails with turned pickets, Hardie board column wraps, KDA wood floor deck, and brick pavers on the lower level. Asphalt dimensional shingles are the proposed roofing material; colors chosen from "Weatherford Wood" or "Thunderstorm Grey".

A Variance to eliminate the required rear yard is under consideration in *Item 6*. Once approved by this Board, the applicant will proceed with the platting process to develop the townhouse project.

Please find attached all relevant documentation for your review.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / [www.cityofpensacola.com](http://www.cityofpensacola.com)



SEPT. 7, 2017

Covington Place  
15 West Strong Street  
Pensacola, FL 32501

## September 2017 Agenda

### EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Primary Exterior Finishes:</b>	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
<b>Foundation Walls or Piers:</b> Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
<b>Windows:</b>	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
<b>Window Trim:</b>	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
<b>Entry Door and Hardware:</b>	<b>Front &amp; Balcony Door:</b> Neuma-Flush Glazed-Fiberglass-Stained Finish <b>Rear Door:</b> Fiberglass Therma-Tru
<b>Doors and Hardware:</b>	Brushed Nichol Finish
<b>Door Trim:</b>	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
<b>Garage Doors:</b>	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze



# September 2017 Agenda

## EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Porch Balustrade:</b>	Prefinished Powder Coated Aluminum rails and pickets & well as Balconies Over Garage and at End Units. Color – Antique Black.
<b>Porch Columns:</b>	Hardie Trim Smooth Trim 5\4" or Preformed round with Caps & Base. Color-SW2829 "Classical White."
<b>Porch Decking:</b>	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2829 "Classical White."
<b>Ornament:</b>	Smooth Hardie Color-2829 "Classical White."
<b>Fascia's:</b> White."	Smooth Hardie-Painted Satin SW2829 "Classical
<b>Soffits:</b> White."	Smooth Hardie 5/4" Color-SW2829 "Classical
<b>Gutters &amp; Downspouts:</b>	Prefinished OG Color-Bronze if Required.
<b>Roofing:</b>	Atlas Dimensional Shingles either Weatherford Wood.
<b>Other Rooftop Elements:</b>	Nail over ridge vent to match roofing.
<b>Exterior Lighting:</b>	Copper Finish – Gas & Electric Lighting.
<b>Walkways:</b>	Concrete or Brick Pavers.



## EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
Driveways:	Asphalt.
Fencing:	6' Wood Privacy on non-Street Sides.
Garden Walls:	Block – Painted SW2844 “Roycroft Mint Gray.”
Gates:	Black Wrought Iron
Landscaping:	See Landscaping Plan A1.1
Signage:	To be determined – Proposed to be located wrought iron gates.
Miscellaneous:	N/A

## **September 2017 Agenda**



# September 2017 Agenda

## COVINGTON PLACE EXTERIOR COLOR SAMPLES

### Siding Colors

**SW2849**



Westchester Grey

**SW2819**



Downing Slate

**SW2821**



Downing Stone

**SW2844**



Roycroft Mint Gray

### Trim & Accent Color

**SW2829**



Classical White

### Garden Wall Color

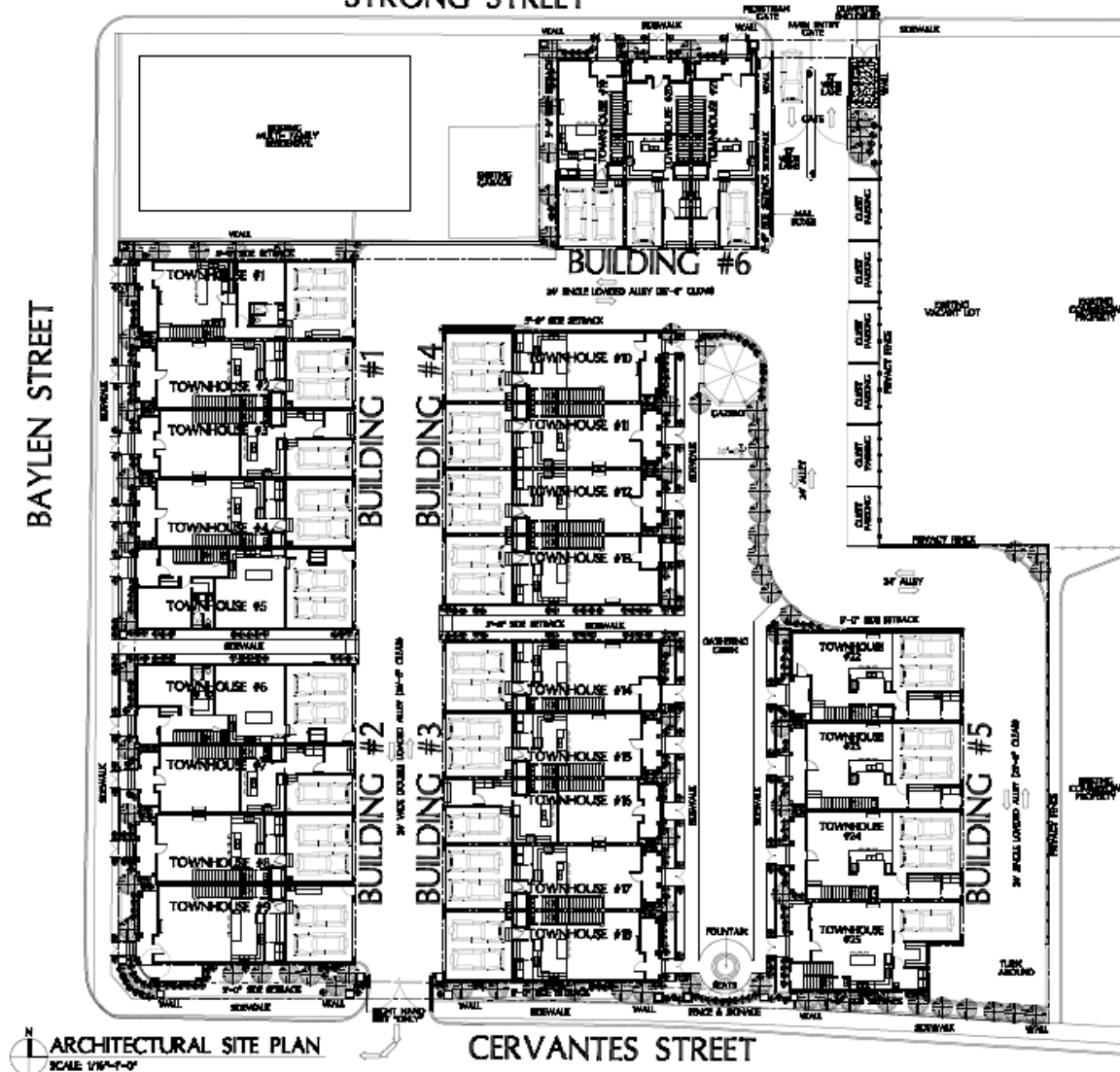
**SW2844**



Roycroft Mint Gray

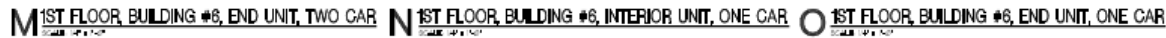


**BAYLEN STREET**



## A1.1





## A2.6









### A4.1



**Item 6**

**15 W. Strong St**

**NHPD**

**Variance**

**PC-1**

**Action taken: Approved**

Charles Kunze, Artisan's Architecture, is requesting a Variance to reduce the required rear yard setback from 15 feet to 0.0 feet to accommodate a 25-unit residential townhouse development with internalized access. The townhouse development features rear-loaded garages which are accessed by an interior private road between 24 feet and 25.5 feet in width. The proposed Variance eliminates the required rear yard, placing each building directly adjacent to the private road. The conceptual plan was approved by the Board at their July 2017 meeting. The final approval is under consideration in *Item 7*. Mr. Kunze stated the variance would not affect any other properties, and they had met with City officials before asking for the variance. Chairman Quina noted that North Hill had no objections. Ms. Deese clarified that the variance was specific to the site plan.

**Mr. Jones made a motion to approve seconded by Mr. Crawford.** Ms. Deese stated a sign was posted, notices sent to properties within 500' and a legal ad was placed in the newspaper. No calls were received for support or opposition. **The motion then carried unanimously.**

**Item 7**

**15 W. Strong St**

**NHPD**

**New Construction**

**PC-1**

**Action taken: Approved with comments.**

Charles Kunze, Artisan's Architecture, is seeking final approval for a residential townhouse development. He stated the width of the driveways had been addressed. In meeting with the City, one of the issues was turnarounds at both driveways. They have talked with Rebol-Battle to ask FDOT for an exit at the end of Cervantes which would allow for better flow on the property. They will ask for a second exit, however, they are not sure FDOT will allow this. They spoke with the Fire Marshal regarding turnarounds and they were satisfied with this layout for fire safety. Regarding the facades, they have taken some units forward and made a small porch to the side, varying the front wall on other units to give undulation. Color selections and brick samples were provided. Primarily, they will be two-story units from 1700 to 2400 sq. ft. in the \$400,000 - \$500,000 range. He advised the base of the buildings would be brick; the wall at the sidewalk would be concrete or concrete block, however, they would consider making the wall brick on Baylen Street. It was then determined the wall was brick on Baylen, with block walls on the north side and Cervantes. He further explained the project would most likely be built in phases, beginning with Building 5 then 3 or 6, working their way toward Baylen to handle the runoff in multiple layers.

Mr. Townes addressed the Cervantes elevation. Mr. Kunze advised he tried to make the gables more inviting. Wrought iron gates will be built on the Cervantes side at the driveway exit and entrance to the green, which will have some type of fountain. Mr. Townes was concerned with Buildings 9 and 18 being flat and unadorned. He suggested anything to differentiate the building line on the Cervantes Street side, possibly pulling it in and making it smaller. Mr. Mead asked if they were considering block panels with brick piers or pilasters for the wall gates. He advised at least two gables on the larger buildings along Cervantes would help. Mr. Kunze was agreeable to those suggestions. Mr. Jones agreed that Cervantes would be very visually prominent to the community.

Mr. Kunze indicated they were reducing the impervious area from 95% to 82%. Ms. Deese also explained the applicants were exempt from stormwater requirements. Chairman Quina clarified that the wall on both street faces was a concern, along with the south elevation on Cervantes. **Ms. Campbell made a motion to approve as submitted with an abbreviated review for the fence detail, considering brick, and the Cervantes elevation. The motion died for lack of a second.** Mr. Jones explained the Board did not want to delay the project.



Mr. Liberis addressed the Board stating the closing date is next Friday (September 29), and it was contingent on the approval of the ARB; when he filed for an extension, it was denied, and requested the Board consider the motion Ms. Campbell offered. He stated they would always return to the Board for final approval. He explained he had a loan in place for acquisition, demolition and construction. Ms. Campbell retracted her motion. Ms. Deese clarified the applicant would not be able to pull permits until final approval was granted.

**Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. The motion then carried unanimously.**

**Item 8**

**400 BLK Cevallos St**

**PHD**

**Variance**

**HC-1 / Wood Cottages**

**Action taken: Approved**

Brian Spencer, smp architecture, is requesting a Variance to increase the maximum height for a two-residence flat condo from 35 feet to 42.5 feet. The proposed residential development will be three habitable floors with garages and an in-law suite on the ground floor and the upper two floors consisting of residential flats. The Variance will accommodate the additional level of living space. It was determined that three letters of support were provided to the Board.

Mr. Spencer stated the site abuts the Crown Cove SSD development. His desire was to bring more residential occupancy into the downtown area. He explained each of the future residents of this development have separate garages and entrances, with no shared foyers or entrances, and a Cevallos and Zarragossa address. He advised he was consolidating the living space and reducing the driveway connections, and it meets Streetscape II guidelines. Chairman Quina clarified if the applicant was asking for a flat roof, the variance would not be required. Mr. Spencer stated he was working to preserve the heritage oak tree on Zarragossa, and by pushing the structure back, the root system would not be in harm's way. He pointed out the adjacent structure has the same height. Chairman Quina explained the variance allowed the sloped roof, giving the structure more of the character of the district. Mr. Mead stated by having it pushed back further on the lot, it recedes and would not dominate the streetscape. Mr. Jones noted it would not block the view from any neighbors. Chairman Quina noted there were four garage doors facing the front, but this project has disguised that feature. Mr. Spencer pointed to the site plan with one set of garage doors facing Zarragossa and the other facing Cevallos, and he had made sure to minimize the visual impact.

Mr. Elebash lives adjacent to the proposed development on the second floor of the east side and closest to the structure. He liked that it was a small footprint, the parking was contained, and his view would be unobstructed. The height variance was not an issue. He also stated other residents are supporting the development which fits the neighborhood.

Mr. McGhee who lives at Crown Cove, was delighted something was being constructed on this lot, but was concerned about the existing trees, specifically one live oak which appeared to be removed for the structure. Ms. Deese explained that Mr. Weeks would be responsible for enforcing the Code, and this was not a part of the ARB purview.





City of  
**Pensacola**  
America's First Settlement  
And Most Historic City

**Architectural Review Board Application**  
**Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST.

**Applicant:** JAMES C. BOZEMAN TODAY HOMES FOR CHARLES LIBERIS

**Applicant's Address:** 101 SOUTH ALCAÑIZ PENSACOLA, FL 32504

**Email:** TDY HOMES @ BELLSOUTH.NET **Phone:** 850-432-3522

**Property Owner:** CHARLES LIBERIS  
(If different from Applicant)

**District:** PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee  
☐ Commercial/Other Residential – \$250.00 hearing fee

\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

**Project specifics/description:**

WE ARE SEEKING APPROVAL OF CHANGES TO COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST. PENSACOLA, FL.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

James C. Bozeman  
Applicant Signature

3-16-2020  
Date

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521





Jim Bozeman &lt;tdyhomesnwfl@gmail.com&gt;

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**Covington Place Architectural Drawings**2 messages

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**Charles Kunze** <chuck@artisansarchitecture.com>

Tue, Oct 8, 2019 at 4:04 PM

To: "tdyhomes@bellsouth.net" <tdyhomes@bellsouth.net>, Charles Liberis <cliberis@liberislaw.com>, Linda Liberis <lindabliberis@gmail.com>, Charles Kunze <chuck@artisansarchitecture.com>

Cc: Charles Kunze <chuck@artisansarchitecture.com>

Jim Bozeman,

I have been asked by Charles Liberis to give you approval to modify my drawings for the Covington Place Project located on Cervantes Avenue, N. Baylen Street, & W. Strong Street.

I do release The Covington Place Project to you with permission to modify the drawings as Charles Liberis directs. I will still retain the right to use Covington Place in my advertising, resumes, website and any other formats I desire, and to reference it as an Artisan's Architecture LLC design and partially built project.

I will not be responsible or liable for the project, permitting, errors or omissions, or any part of the drawings once they have been changed in any way from the current record set I have on file at my office as of today: 10-8-2019.

You may want to review any comments made to us by the ARB and North Hill to insure understanding of what was approved by those entities.

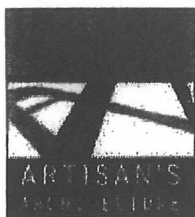
My title block, firm information and any electronic seals or signatures must be removed for all documents which are revised or modified after today: 10-8-2019.

I would expect that the good name and reputation of Artisan's Architecture LLC or Charles E. Kunze Jr. would not be demeaned or slandered in the future in reference to this change of the responsible design party, my understanding is that this is only being done for expedience of scheduling on the part of Charles Liberis.

Thank You,

**CHARLES E. KUNZE JR.**

AIA, NCARB,  
PRESIDENT/OWNER OF  
ARTISAN'S ARCHITECTURE LLC





August 31, 2017

Covington Place  
15 West Strong Street  
Pensacola, FL 32501

### EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Primary Exterior Finishes:</b>	Hardie, Shiplap Siding with 7" Color - SW2849 (Westchester Gray), SW2819 (Downing Slate), & SW2821 (Downing Stone) Unit colors shall alternate these colors
<b>Foundation Walls or Piers:</b>	Pine Hall Brick- "Sedgefield(Q)" #1714 with Grey Grout.
<b>Windows:</b>	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
<b>Window Trim:</b>	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2844 "Roycroft Mist Grey"
<b>Entry Door and Hardware:</b>	<b>Front &amp; Balcony Door:</b> Neuma-Flush Glazed-Fiberglass-Stained Finish <b>Rear Door:</b> Fiberglass Therma-Tru
<b>Doors and Hardware:</b>	Brushed Nichol Finish
<b>Door Trim:</b>	Hardie Smooth Trim Board 5/4" Thick. Color-SW2844 "Roycroft Mist Grey"
<b>Garage Doors:</b>	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze
<b>Porch Balustrade:</b>	Wood Rails with Turned Pickets. Color-SW2844, Powder Coated Aluminum Over Garage & end Balconies
<b>Porch Columns:</b>	Hardie Trim Smooth Trim 5/4" or Preformed round with Caps & Base. Color-SW2844
<b>Porch Decking:</b>	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714 with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2844
<b>Ornament:</b>	Hardie Color-2844
<b>Fascia's:</b>	Smooth Hardie-Painted Satin SW7038 "Tony Taupe"
<b>Soffits:</b>	Smooth Hardie 5/4" Color-SW2844
<b>Gutters &amp; Downspouts:</b>	Prefinished OG Color-Bronze if Required



## **EXTERIOR MATERIALS & COLOR SCHEDULE**

<b>Elements</b>	<b>Description</b>
<b>Roofing:</b>	Atlas Dimensional Shingles either Weatherford Wood or Thunderstorm Grey
<b>Other Rooftop Elements:</b>	Nail over ridge vent to match roofing.
<b>Exterior Lighting:</b>	Copper Finish – Gas & Electric Lighting
<b>Walkways:</b>	Concrete or Brick Pavers
<b>Driveways:</b>	Asphalt
<b>Fencing:</b>	6' Wood Privacy on non-Street Sides
<b>Garden Walls:</b>	Block – Painted SW2832 Colonial Revival
<b>Gates:</b>	Black Wrought Iron
<b>Landscaping:</b>	See Landscaping Plan A I.1
<b>Signage:</b>	To be determined – Proposed to be located wrought iron gates.
<b>Miscellaneous:</b>	N/A



## Submitted Paint Samples

### Front



### Side



### Trim



### Garage





# COVINGTON PLACE

## EXTERIOR COLOR SAMPLES

### Siding Colors

**SW2849**



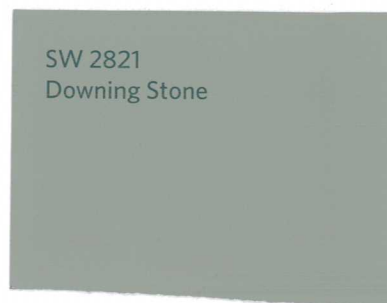
Westchester Gray

**SW2819**



Downing Slate

**SW2821**



Downing Stone

### Trim & Accent Color

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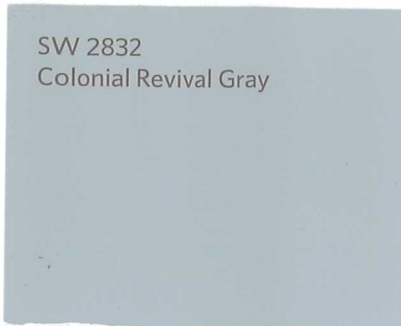
**SW2844**



Roycroft Mint Gray

### Garden Wall Color

**SW2832**



Colonial Revival Gray



# SIDING

SW 2849

Westchester Gray

SW 2844

Roycroft Mist Gray

SW 2819

Downing Slate

SW 2821

Downing Stone

SW 2832

Colonial Revival Gray

← TRIM

UNIT  
COLORS

GARDEN  
WALL

# Covington Place

ROOF

Weathered  
Wood

ROOF

Thunderbox  
Gray



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# EXT SIDING

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HardiePlank® Lap Siding

1 / 4

## SELECT CEDARMILL

Mountain Sage

More ColorPlus® Technology colors are available **near you...**[Request a Sample](#)[Download Product Catalog](#)[Warranty & Install Info](#)

## HARDIEPLANK® LAP SIDING



EXT WINDOWS



CUSTOM WINDOWS • DOORS

Windows  
Doors

ProZone

Product Information  
Resources  
Media Center

PGI WINDOOR

WINGUARD® VINYL

DOUBLE HUNG



# DH5560

Movable bottom sash that slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation
- Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration options

- Provview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)



## CONFIGURATIONS

DOUBLE HUNG WINDOW

## FRAME COLORS

STANDARD FINISHES

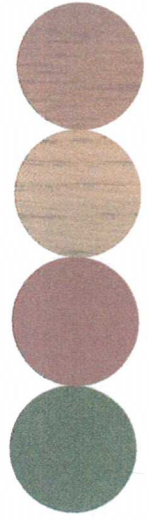
WHITE

PREMIUM FINISHES

BRONZE

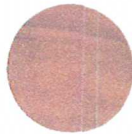


BEIGE BRONZE ANODIZE\* PEBBLE KHAKI\*





HUNTER GREEN\* BRICK RED\* NATURAL OAK DARK OAK



NATURAL CHERRY

Grid swatches are for reference only. Ask your dealer about final color matching.  
\*Available for select styles only. Ask your dealer for more details.

### GRID FEATURES

#### FLAT GRID (GBG)

9/16" wide or 13/16" wide  
Grid between the glass

#### CONTOUR GRID (GBG)

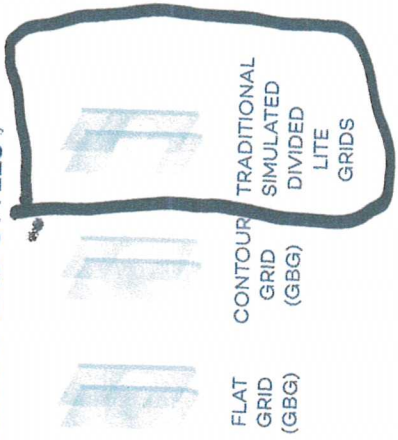
1" wide  
Grid between the glass

#### TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar between the glass

### GRID OPTIONS

#### WINDOW GRID STYLES



FLAT GRID (GBG) CONTOUR GRID (GBG) TRADITIONAL SIMULATED DIVIDED LITE GRIDS



PRODUCT OPTIONS

GLASS OPTIONS

Impact Resistant



THERMAL ENHANCEMENTS

Argon Gas (requires insulating glass)

High Performance Low-E



SCREEN TYPES

1816 Charcoal or Gray



2020 Screen mesh (optional)

PREMIUM GLASS OPTIONS

Tempered Glass

Privacy Glass (Obscure)

GLASS TINTS

EXTERIOR REFLECTION



CLEAR

BRONZE

GRAY

GREEN



AZURE  
BLUE

SOLAR  
COOL  
BRONZE

GRAYLITE  
II

OBSCURE  
(TEXTURED)



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EXT TRIM  
5/4 SMOOTH

**JamesHardie**[COLOR AND DESIGN](#)[WHY HARDIE?](#)[PRODUCTS](#)[START YOUR PROJECT](#)[PRODUCT SUPPORT](#)[PROS](#)[Download Product Catalog](#)[Warranty & Install Info](#)

## HARDIETRIM® BOARDS

Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with HardieTrim® boards.

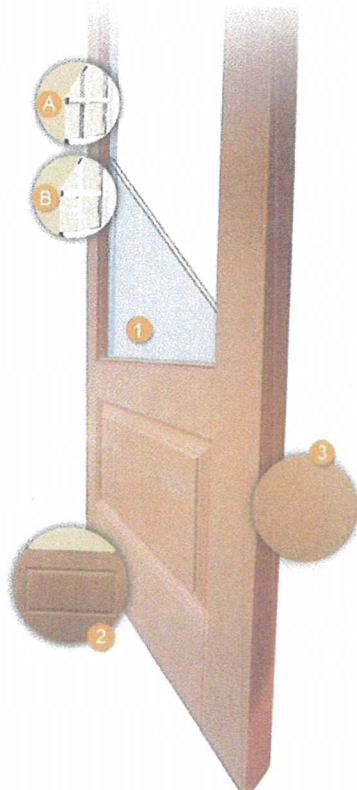


### 3/4 Lite Patio Doors Design Features

Design Features

Design Features

FRONT &  
BALCONY  
DOORS  
W/SIMULATED  
DIVIDED LITE  
WHERE  
APPLICABLE





# NEUMA DOOR





Smooth White Interior and exterior finish is standard on all doors, including the 3/4 lite panel.

**A. Simulated Divided Lites** - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

**B. Grilles Between the Glass** - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

[\[top\]](#)

[Return](#)



Manufactured with 100% recycled glass panels.

[Terms of Use](#)

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# REAL EXTERIOR DOORS

THERMA TRU<sup>®</sup>  
DOORS

WHAT TO  
CONSIDER

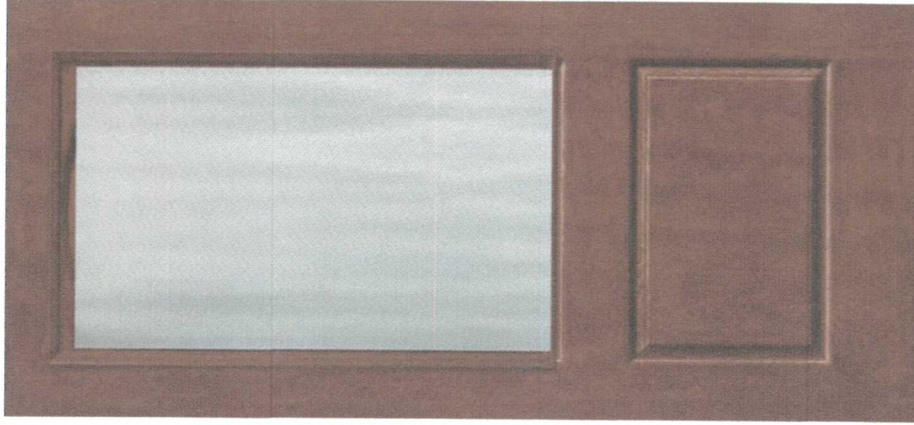
EXPLORE  
DOORS

INSPIRATION  
& DESIGN

WHERE  
TO BUY



Share Print



## Classic-Craft<sup>®</sup> Rustic Collection<sup>™</sup> \$\$\$

2/3 Lite 1 Panel | Style No. CCR20020XJ

1 Available Size

DESIGN YOUR ENTRYWAY

WHERE TO BUY

### FINISH OPTIONS



Cherry



### GLASS OPTIONS



Chinchilla



See how this privacy compares to clear glass

### Don't see the glass design you want?

In addition to thousands of standard glass choices, we offer additional glass options through our Special Quote Program to help you find the right look for virtually any home.

[Learn More](#) >





# TradeMark™ Wind Load

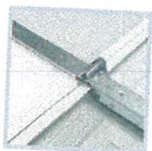
## Classic Look, Unyielding Strength

The combination of durable, 24-gauge steel, defined raised panel styling and authentic woodgrain texture gives your home curb appeal with TradeMark steel garage doors. Add charm with colonial or ranch panels, or for a distinctive look on your home, choose the carriage house option. Optional polystyrene insulation can be added to provide additional comfort and help keep your garage quieter. TradeMark doors are available in both post and strut designs.



### Hardware

Track formed from strong galvanized steel, paired with durable, long-wearing steel rollers ensures smooth, quiet operation.



### Insulation

Optional energy-saving core of polystyrene insulation provides added comfort and helps keep your garage quieter.



### Section Joints

Strong, roll-formed tongue-and-groove meeting rails seal out wind, rain, and snow, keeping your garage dry and secure.



### Raynor Secure

TradeMark doors are available in a wide variety of pressure ratings to meet your local wind codes.

# GARAGE DOORS



## Colors

### Standard



### Optional

Raynor's OptiFinish paint process allows your TradeMark door to be customized with more than 1,800 Sherwin-Williams™ colors.

## Decorative Hardware

The black matte powder coated straps and handles are designed to appear hand-forged, adding a historically-accurate dimensional quality to your door. Choose from handles and straps with Bean or Fleur-de-Lis designs.

### Handles

Fleur-de-Lis  
Handle

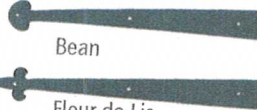


Bean  
Handle

### Straps

Bean

Fleur-de-Lis



## Standard Limited Warranty\*\*

### Door Sections

"For As Long As You Own Your Home" against rust through

### Hardware

3-years to the original purchaser

### Springs

3-years to the original purchaser

\*\* Limited Warranty: Visit [www.raynor.com/products](http://www.raynor.com/products) for complete Limited Warranty details

## Panel Options\*

Heights: 6'6" through 10' in 3" increments†

Widths: 4', 6', 8', 9', 10', 12', 15', 16', 18'

Colonial

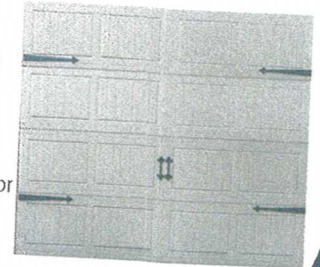
Ranch

### Carriage House

Many other options available. Contact your Raynor dealer for further details.

## Carriage House Option

The Carriage House option offers a classic design that adds character to your home. And, with decorative hardware available in Bean or Fleur-de-lis styles, the Carriage House option is the perfect design touch for any architecturally stylized home.



## Hurricane Reinforcing Systems

TradeMark doors are available in both post and strut designs, giving homeowners flexibility in choosing between an assisted or unassisted door approved for IBC, FBC, TDI, or Miami-Dade installation environments.



Post Design



Strut Design



P.O. Box 448, 1101 East River Rd.  
Dixon, IL 61021-0448  
1-800-4-RAYNOR (472-9667)

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Pictorial Index

### PRODUCT CATEGORIES

[Home](#) > [Products](#) > [Rails](#) > [Rail Product Listings](#) > [Polyurethane Rails](#)

Search

Appliques

AZEK® Brand PVC

Balusters (Spindles)

Baseboards

Beadboard &amp; V-Groove

Blocks, Corner/Base/Etc

Brackets

Caps, Door &amp; Window

Casings, Door &amp; Window

Ceiling Medallions

Columns

Corbels

Corner Guards (Beads)

Cornices

Crown Mouldings

Deck Boards, Etc

Entry &amp; Window Systems

Finials &amp; Drops

Gable Decorations

Gallery Rails

Handrails

Headers

Lamp Posts

Mantels

Mouldings

Jewel Posts

Liches, Wall

Panels/Medallions, Fretwork

Pediciments

Pilasters

Polyurethane Products

Porches - START HERE!

Porch Flooring

Porch Posts

Rails

Roof Spires

Trimming Trim

### Polyurethane Rails # SP-RL (caf)

High Density Polyurethane (the only kind we sell) feels, sounds, installs, and paints just like wood but that's where the similarities end! [Read more about Polyurethane...](#)

Order Below ↓

or order a small [Sample](#)




# PICKETS EXT HANDRAILS

Screen/Storm Doors

Shingles, Cedar

Shutters

Signs

Small Parts

Spandrels

Spindles (and Balusters)

Stair Parts, Interior

Sunburst Fans

Trim Boards

Vents, Louvered

Wainscot Beadboard

YellaWood® Pressure Treated

The Bargain Room!

More . . .

## HELP DESK

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Shipping &amp; Returns

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FAQ

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Our Company

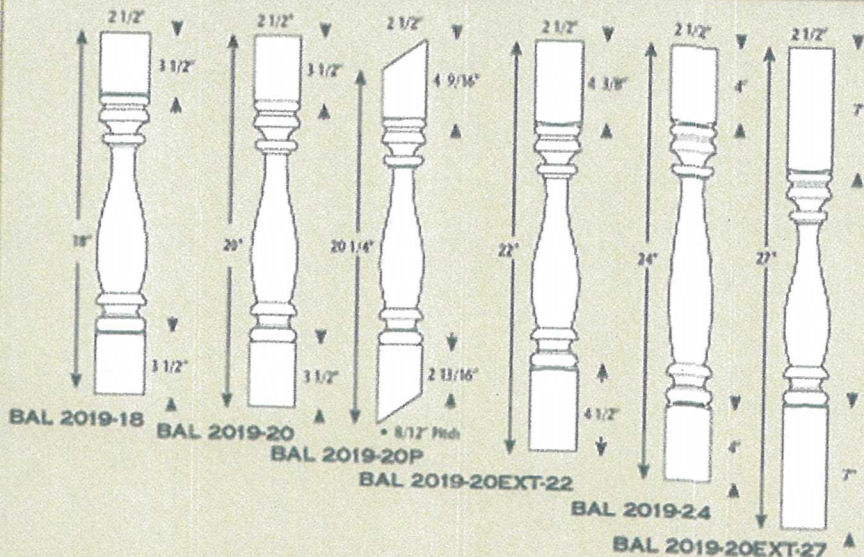
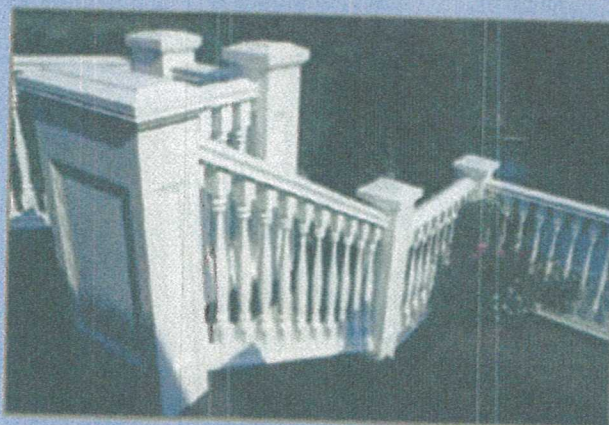
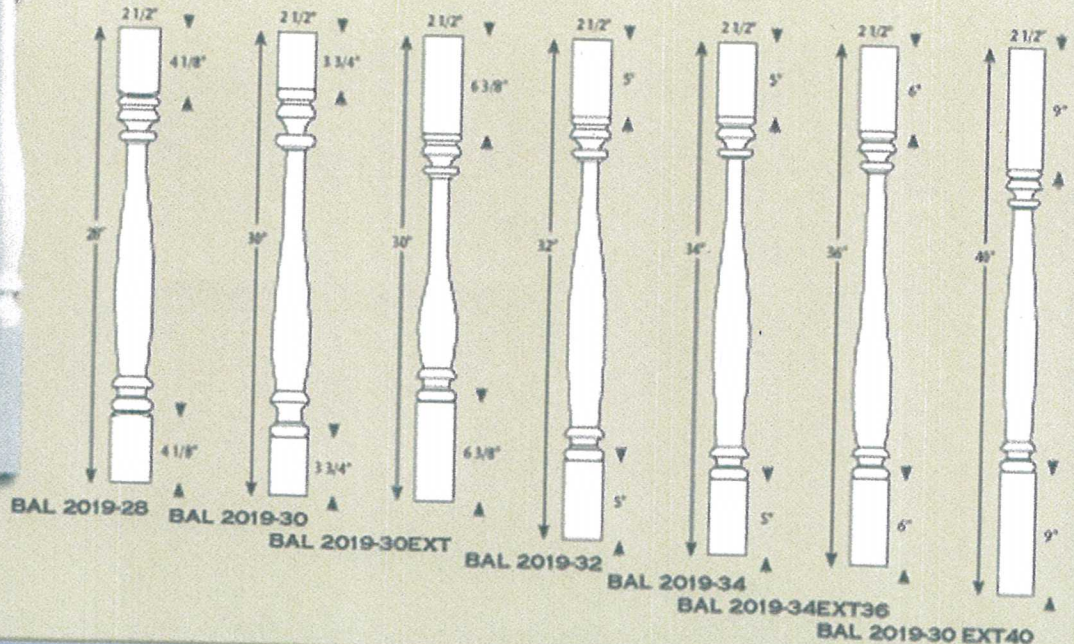


Photo illustrates the use of the following products: BAL 2019, and RAL 2105T & B.

### BAL 2019

• 3/4" "M" Dimension • 2 1/2" Max. Space 4" Ball Rule • 1 1/16" Hole Saw



**Above left:**

Photo illustrates the use of the following products:

**Above right:**

Photo illustrates the use of the following products:











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# EXT SOFFIT VENTED-SMOOTH

8/30/17, 5:23 PM

COLOR AND DESIGN

WHY HARDIE?

PRODUCTS

START YOUR PROJECT

PRODUCT SUPPORT

PROS



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Warranty & Install Info

## HARDIESOFFIT® PANELS

Soffits are key construction elements—they cover the underside of your roof eaves and exterior porch ceilings. We offer them in both smooth and vented profiles to meet aesthetic needs as well as code requirements.



# ROUND EXT COLUMN

## WRAPS



Hand Crafted, Classically Inspired Architectural Columns, Balustrades & Details  
[info@meltonclassics.com](mailto:info@meltonclassics.com) (mailto:info@meltonclassics.com)  
 Questions? 800-963-3060 (tel:8009633060)

### FRP Classic™ Fiberglass Column Covers

#### Overview

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

#### Designs

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/>)

#### Image Gallery

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/photos/>)

#### Specifications

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/>)

Product Selection Assistance (<http://meltonclassics.com/product-selection-assistance/>)

#### Installation

(<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/how-to-install-fiberglass-columns/>)

#### Warranty

(<http://meltonclassics.com/technical-data/architectural-products-warranties/>)

### Architectural Column Products

#### Composite Fiberglass Columns

DuraClassic™  
 (<http://meltonclassics.com/composite-fiberglass-columns/>)

#### Fluted Fiberglass Columns

FiberFlute™  
 (<http://meltonclassics.com/products/architectural-columns/fluted-columns/>)

#### Fiberglass Columns

ClassicGlas™  
 (<http://meltonclassics.com/products/architectural-columns/classicglas/>)

#### Fiberglass Column Covers

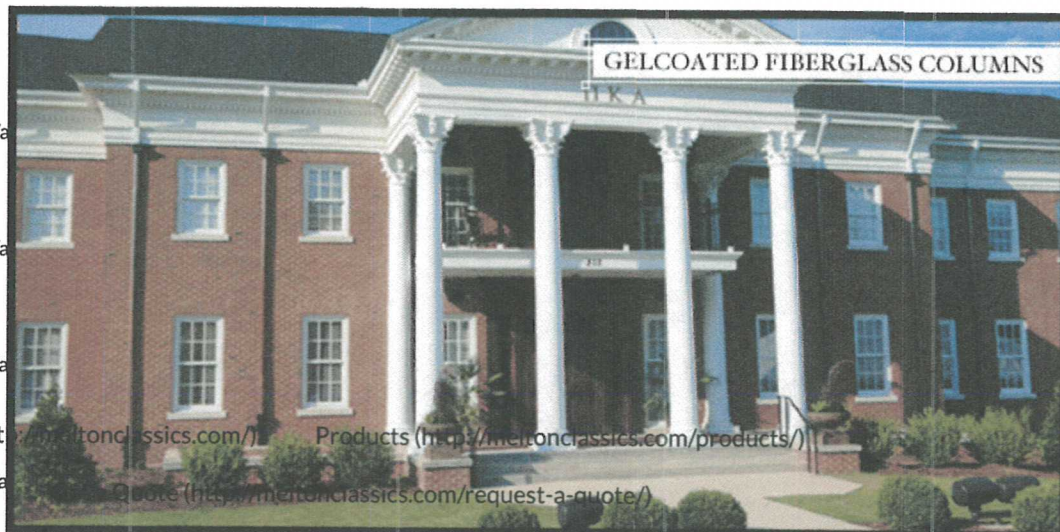
FRP Classic™  
 (<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/>)

#### GFRC Columns (Glass-Fiber Reinforced Concrete)

FiberCrete™  
 (<http://meltonclassics.com/products/architectural-columns/gfrc-columns-covers/>)

#### PVC Column Covers

MeltonCraft™  
 (<http://meltonclassics.com/products/architectural-columns/pvc-porch-columns/>)



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FAQ (<http://meltonclassics.com/faqs/general-faqs/>)

Designs (<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/>)

Contact (<http://meltonclassics.com/contact/>)

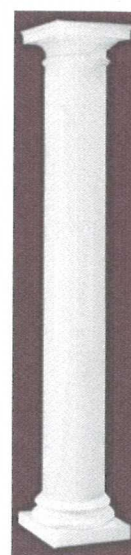
Literature (<http://meltonclassics.com/literature/>)

Plans/Joints (<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/plans-joints/>)

Technical (<http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/>)

## FRP Classic™ Gelcoated Fiberglass Column Designs

Tuscan Round #200FRP	Roman Doric #210FRP	Roman Doric w/Attic #220FRP	Tuscan Straight w/Astragal #200FRP	Roman Doric w/Attic Straight w/Astragal #220FRP	Straight Shaft
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Tuscan Square #200FRP	Roman Ionic #230FRP	Roman Ionic #235FRP	Scamozzi #240FRP	Scamozzi #245FRP	Roman Corinthian #250FRP
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# SQUARE COLUMN WRAPS

## Non-Tapered PVC Column Wraps

[Non-tapered square columns](#) | [Tapered square columns](#) | [Caps & bases](#)

Our Non-tapered Column Wraps come in one complete kit that includes the traditional Box Cap and Base, squaring blocks, adhesive and instruction sheets. All column wraps are made of PVC.

[Download Installation Instruction Sheet](#)

**Lead Time:** Column wraps ship within 5 to 7 days.

**Product Specs:** The Non-tapered Plain Column Wraps are constructed of a .625" thick material, while the Non-tapered Economy Plain Column Wrap is a .375" thickness. Box Caps and Bases come in a .625" standard thickness. Optional [cap and base styles](#) are available.

**Scroll down** this page for items and pricing:



[Plain](#) | [Economy](#) | [Fluted](#) | [Double Fluted](#) | [Raised](#) | [Double Raised](#) | [Recessed](#) | [Double Recessed](#)

### Plain Column Wrap

Product Code	Shaft Width	Shaft Height	List Price	Sale Price
CW6X72P1BX	6"	72"	\$224.96	\$146.22
CW6X96P1BX	6"	96"	\$257.61	\$167.45
CW6X108P1BX	6"	108"	\$277.56	\$180.41
→ CW6X120P1BX	6"	120"	\$293.87	\$191.02
CW8X72P1BX	8"	72"	\$261.41	\$169.92
CW8X96P1BX	8"	96"	\$303.20	\$197.08
CW8X108P1BX	8"	108"	\$329.10	\$213.92
CW8X120P1BX	8"	120"	\$349.98	\$227.49
CW8X144P1BX	8"	144"	\$397.46	\$258.35
CW10X72P1BX	10"	72"	\$295.78	\$192.26
CW10X96P1BX	10"	96"	\$346.69	\$225.35
CW10X108P1BX	10"	108"	\$377.28	\$245.23
→ CW10X120P1BX	10"	120"	\$402.72	\$261.77
CW10X144P1BX	10"	144"	\$459.63	\$298.76
CW12X72P1BX	12"	72"	\$330.12	\$214.58
CW12X96P1BX	12"	96"	\$390.25	\$253.66
CW12X108P1BX	12"	108"	\$425.28	\$276.43
CW12X120P1BX	12"	120"	\$455.29	\$295.94



WholesaleMillwork

**AUGUST SUPER SALE**

Sale ends August 30

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# DOOR & WINDOW EXTERIOR HEAD TRIM

## Window Trim - Transform Your Home

[Door Trim](#) | [Window Trim](#) | [Window Trim Installation Guide](#)

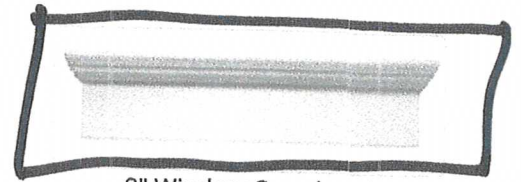
Window trim can transform an ordinary home into an extraordinary home. Many pieces are designed to work together. The options are virtually countless. In addition to our custom capabilities, we carry a full product line of products which are made of high density polyurethane. If you don't see what you are looking for on our site, call us at **1-866-995-6001** or email at [salesinfo@wholesalemillwork.com](mailto:salesinfo@wholesalemillwork.com). We also offer custom sizing of all window trim.



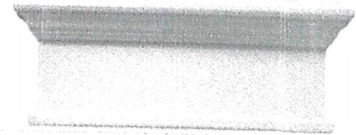
6" Window Crosshead



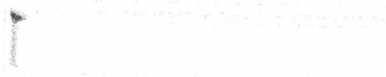
12" Window Crosshead



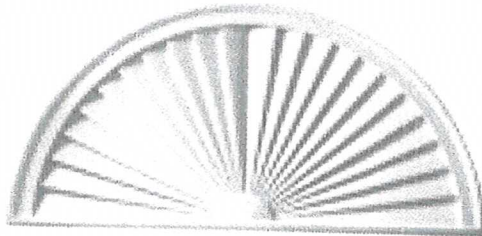
9" Window Crosshead



14" Window Crosshead



Craftsman Crossheads (2 styles)



Half Circle Sunburst



Half Round Spoked Pediment





Jim Bozeman &lt;tdyhomesnwfl@gmail.com&gt;

---

**Landscape**

---

**Charles Liberis** <cliberis@liberislaw.com>

Fri, Mar 13, 2020 at 1:23 PM

To: Today's Homes &lt;tdyhomes@bellsouth.net&gt;

{ DUH! Design

{ Tillman -grounds and maintenance }

Very truly yours,



Charles S. Liberis

Liberis Law Firm

212 W. Intendencia

Pensacola, FL 32502

Office: 850-438-9647

Fax: 850-433-5409

**Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check.**

**\*\*Be aware! Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds.\*\* NOTE: OUR wire instructions will NEVER have a Swift Code.**



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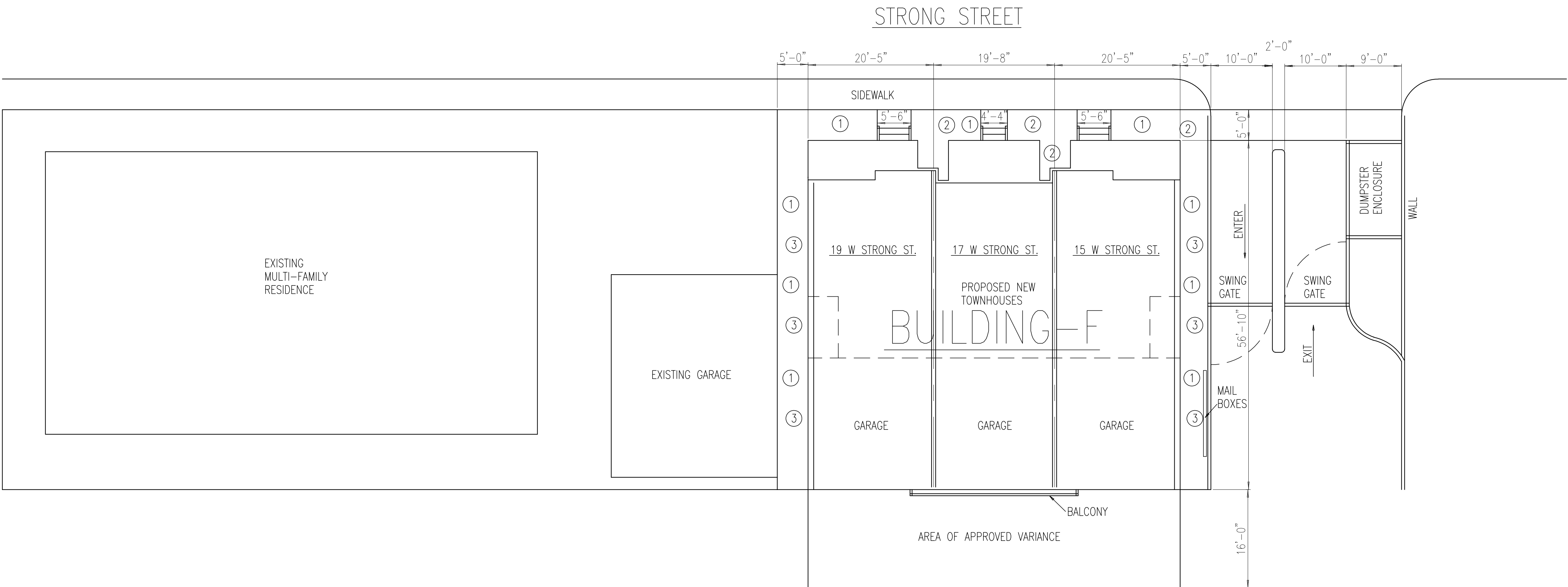
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# COVINGTON PLACE

ESCAMBIA COUNTY, FLORIDA

BAYLEN STREET



## LANDSCAPING

- 1) ST. AUGUSTINE SOD
- 2) CRAPE MYRTLE (WHITE)
- 3) CONFEDERATE JASMINE

NOTE: PROPERTY LINES AND DIMENSIONS TO BE VERIFIED BY REGISTERED LAND SURVEYOR.

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANIZ ST., PENSACOLA, FL 32501  
(850) 432-3510 FAX: 434-2375 EMAIL: tdhomes@bellsouth.net

DRAWN BY: J. GRAY

DATE: JAN. 22 2020

SCALE: 1"=10'-0"

SHEET NUMBER: 1 of 11

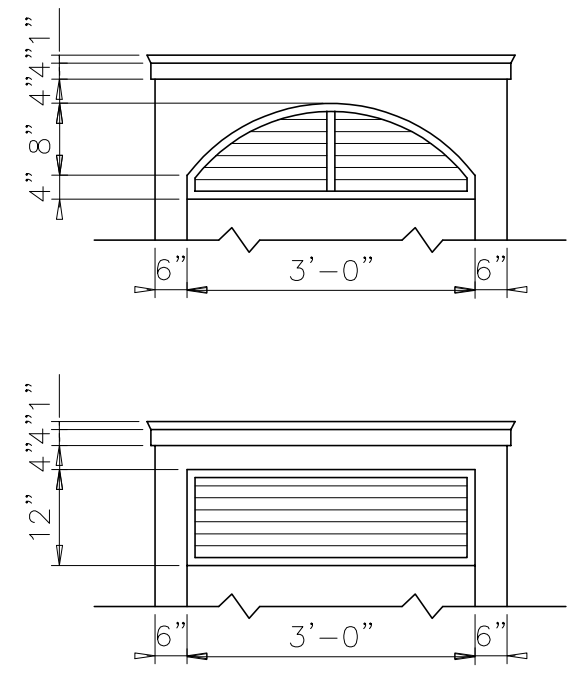
DRAWING NO.:  
B-0320

DESCRIPTION: SITE PLAN

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TODAYS  
49<sup>th</sup> HOMES  
1966 JIM BOZEMAN 2017



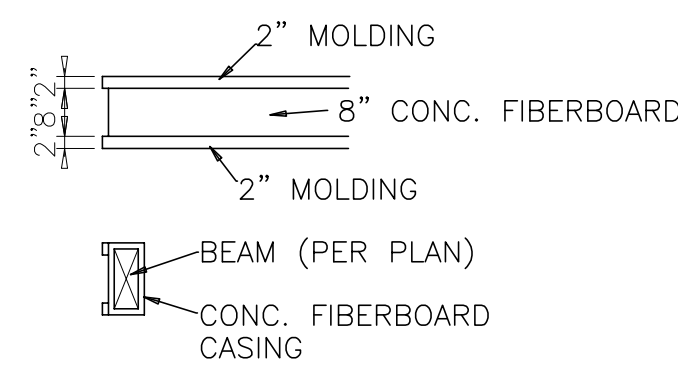


DOOR & WINDOW SURROUNDS  
ELLIPTICAL DESIGN WITH 1" LOUVERS  
CAN BE BUILT WITH 3/4" PLYWOOD OR  
CONCRETE FIBERBOARD CUT OUT  
LOUVER INSERTS.  
OPTION  
DURABRACK PREFAB DETAIL

DOOR & WINDOW LOUVER DETAIL  
N.T.S.



FRONT ELEVATION

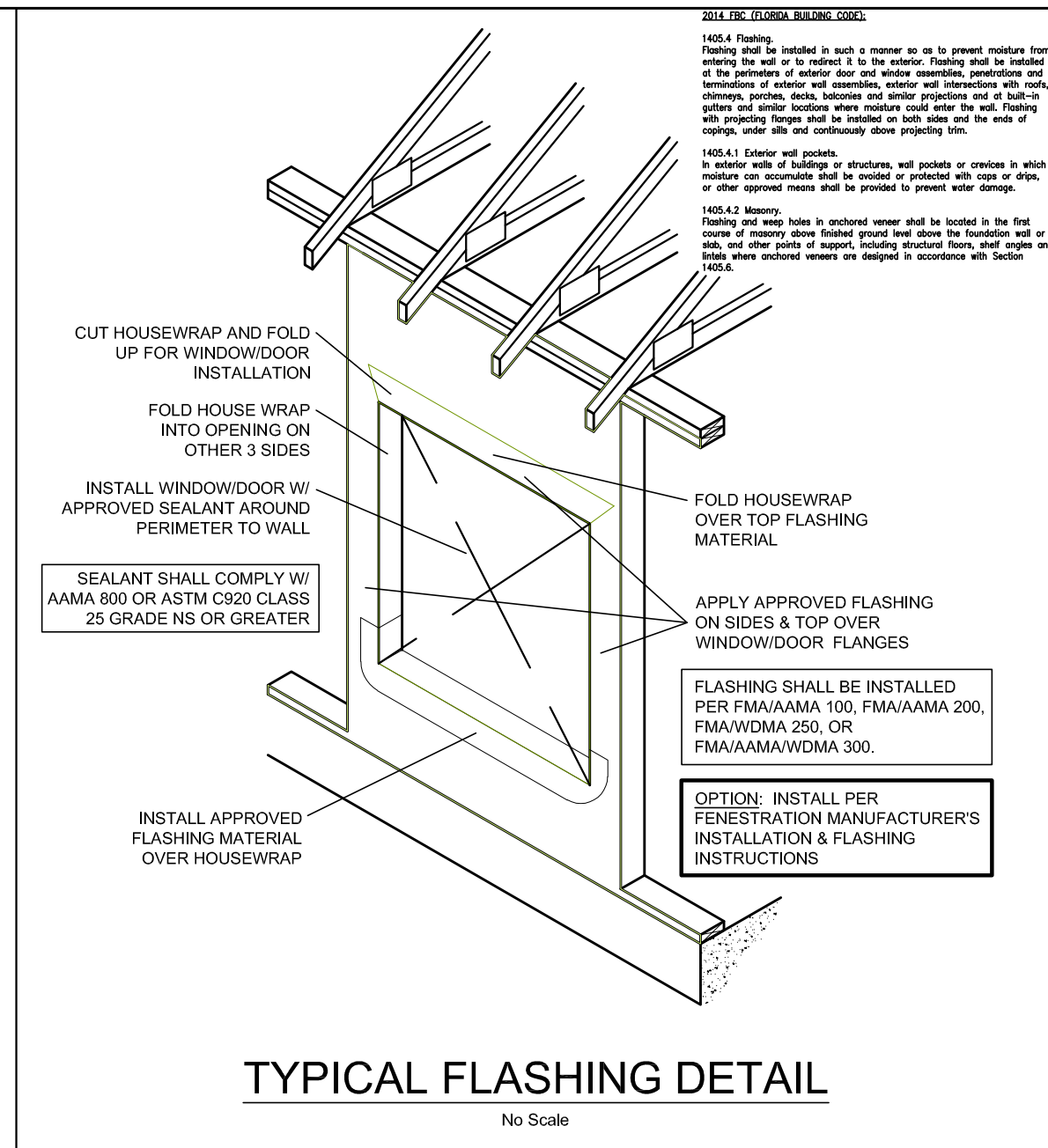


CASED BEAM DETAIL  
3/8"=1'-0"

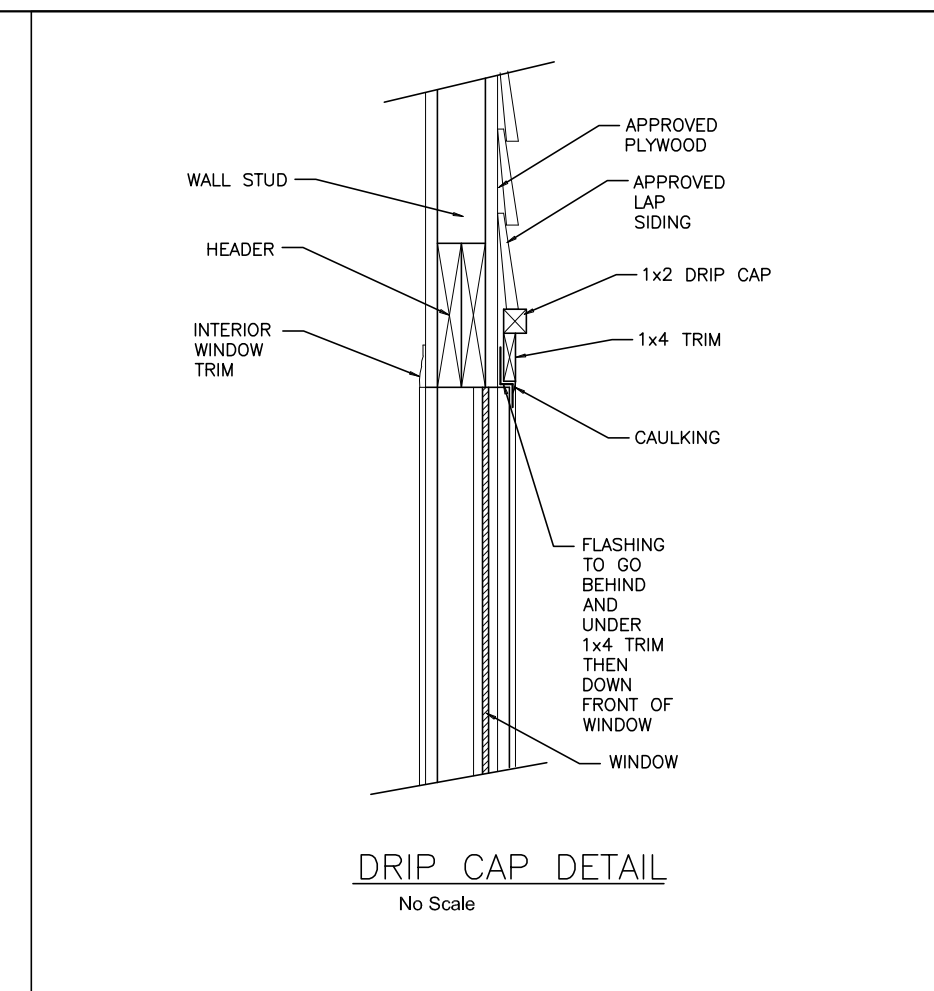
- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- PERFORATED HARDIE SOFFIT SHEATHING.
- P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5/4"x12" HARDIE BOARD TRIM.
- NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAP TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- PRE-FINISHED POWDER COATED ALUM. RAILS & PICKETS, 3'-0" HIGH.
- PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- BRICK VENEER (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT).
- BRICK PAVERS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.



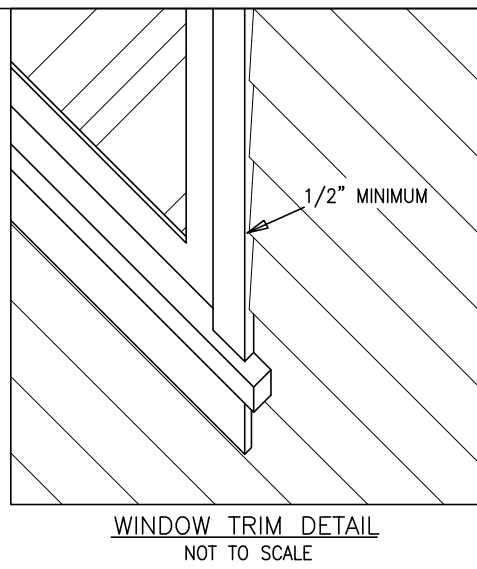
RIGHT ELEVATION



TYPICAL FLASHING DETAIL



DRIP CAP DETAIL



WINDOW TRIM DETAIL  
NOT TO SCALE

DESCRIPTION: ELEVATIONS

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DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO ORIGINAL DESIGNS.

DATE: NOV. 15 2019

DRAWN BY: J. GRAY

SHEET NUMBER:  
2 OF 11

DRAWING NO.:  
B-0320

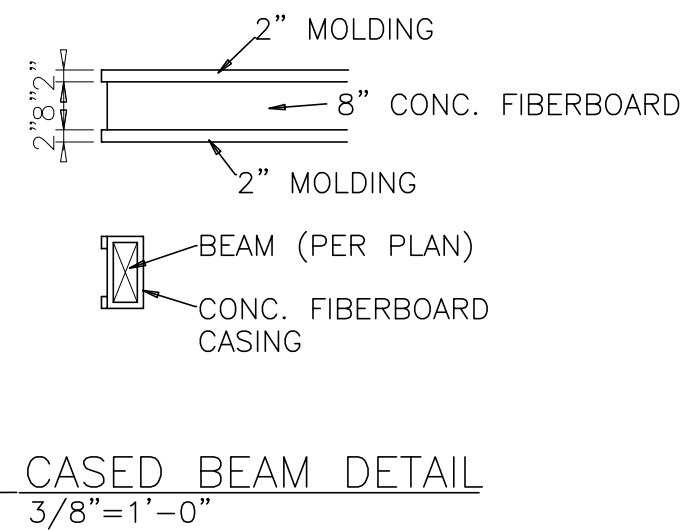
Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANIZ ST., PENSACOLA, FL 32502  
(850)-432-3510 FAX: 434-2375





- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
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DESCRIPTION: ELEVATIONS

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DATE: NOV. 15 2019

DRAWN BY: J. GRAY

DRAWING NO.: B-0320

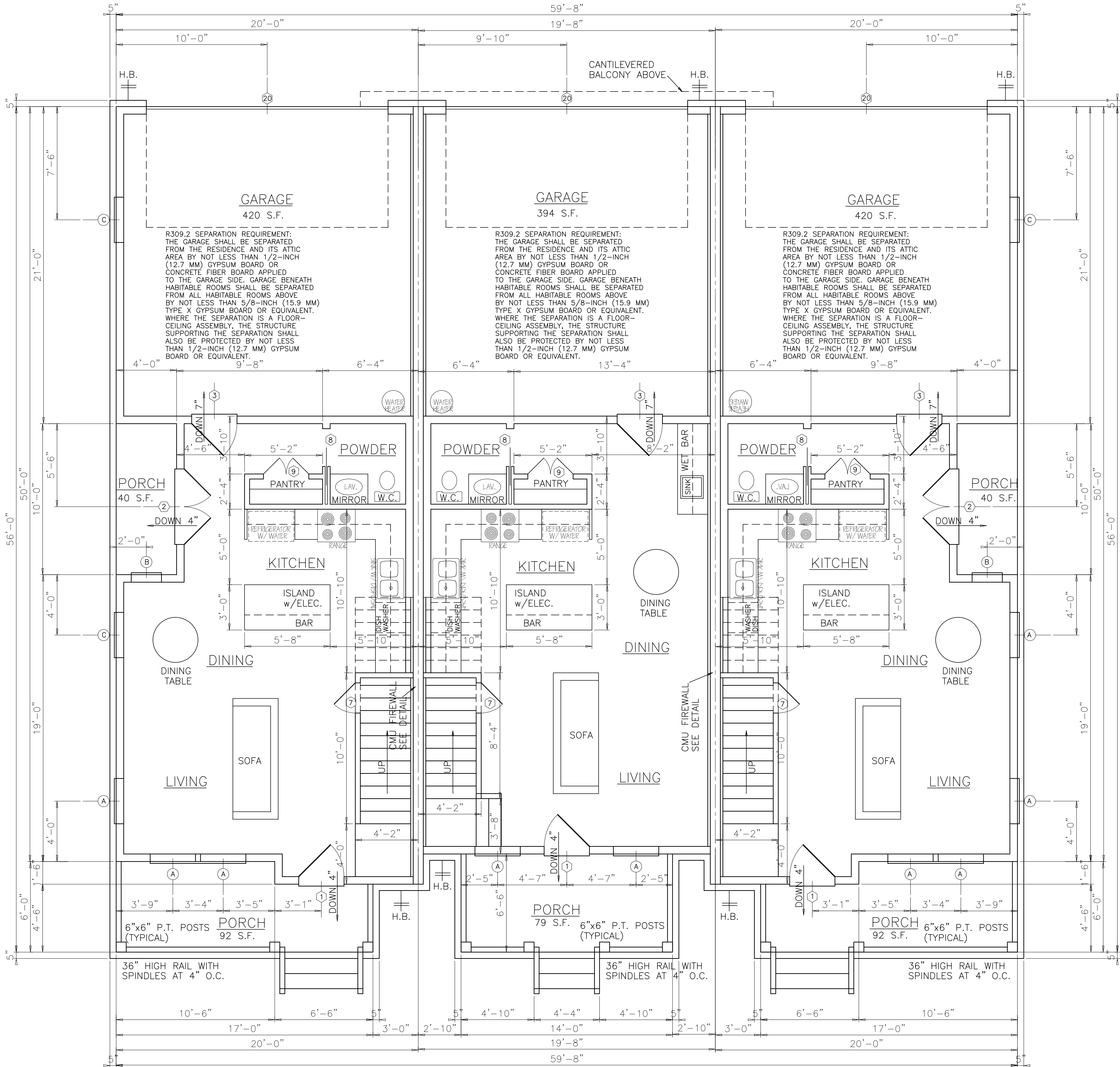
SHEET NUMBER: 3 OF 11

SCALE: 1/4"=1'-0"

TODAY'S HOMES  
51<sup>st</sup>  
1988 JIM BOZEMAN 2019



FINISH ROOM SCHEDULE			DOOR SCHEDULE			WINDOW SCHEDULE		
ROOM	FLOOR	WALLS	CEILING	REMARKS	NO.	SIZE	DESCRIPTION	REMARKS
LIVING		ORANG PEEL PAINT	ORANG PEEL TEXT		1	3'-0"x6'-0"x1 3/4"	INSULATED	INSULATED
DINING					2	(2)-2'-2"x6'-0"x1 3/4"	DOUBLE FRENCH DOOR UNIT	VINYL SINGLE HUNG
KITCHEN					3	3'-0"x6'-0"x1 3/4"	6-PANEL	INSULATED
MASTER SUITE					4	(2)-2'-2"x6'-0"x1 3/4"	DOUBLE FRENCH DOOR UNIT	VINYL SINGLE HUNG
MASTER SUITE 2					5	(2)-3'-0"x6'-0"x1 3/4"	DOUBLE FRENCH DOOR UNIT	INSULATED
BEDROOM 2					6	5'-0"x6'-0"x1 3/4"	DECORATIVE	INSULATED
BEDROOM 3					7	2'-0"x6'-0"x1 3/8"	6-PANEL	
BATH 1					8	2'-0"x6'-0"x1 3/8" ROCKET	6-PANEL	
BATH 2					9	(2)-1'-6"x6'-0"x1 3/8"	6-PANEL	
POWDER					10	2'-0"x6'-0"x1 3/8"	6-PANEL	
GARAGE	CONCRETE				11	2'-0"x6'-0"x1 3/8"	HVAC DOOR	
					12	2'-0"x6'-0"x1 3/8"	6-PANEL	
					13	2'-0"x6'-0"x1 3/8"	6-PANEL	
					14	2'-0"x6'-0"x1 3/8"	6-PANEL	
					15	(2)-2'-2"x6'-0"x1 3/8"	ROLLING BARN DOOR	
					16	5'-0"x6'-0"x1 3/8" B-FOLD	6-PANEL	
					17	4'-0"x6'-0"x1 3/8" B-FOLD	6-PANEL	
					18	2'-0"x6'-0"x1 3/8" B-FOLD	6-PANEL	
					20	16'x8'	OVERHEAD GARAGE DOOR	
					SQUARE FOOTAGE INDEX			
					FINISH UNIT'S			
					FIRST FLOOR 562 S.F.			
					SECOND FLOOR 986 S.F.			
					TOTAL LIVING AREA 1582 S.F.			
					FRONT PORCH 92 S.F.			
					SIDE PORCH 40 S.F.			
					GARAGE 420 S.F.			



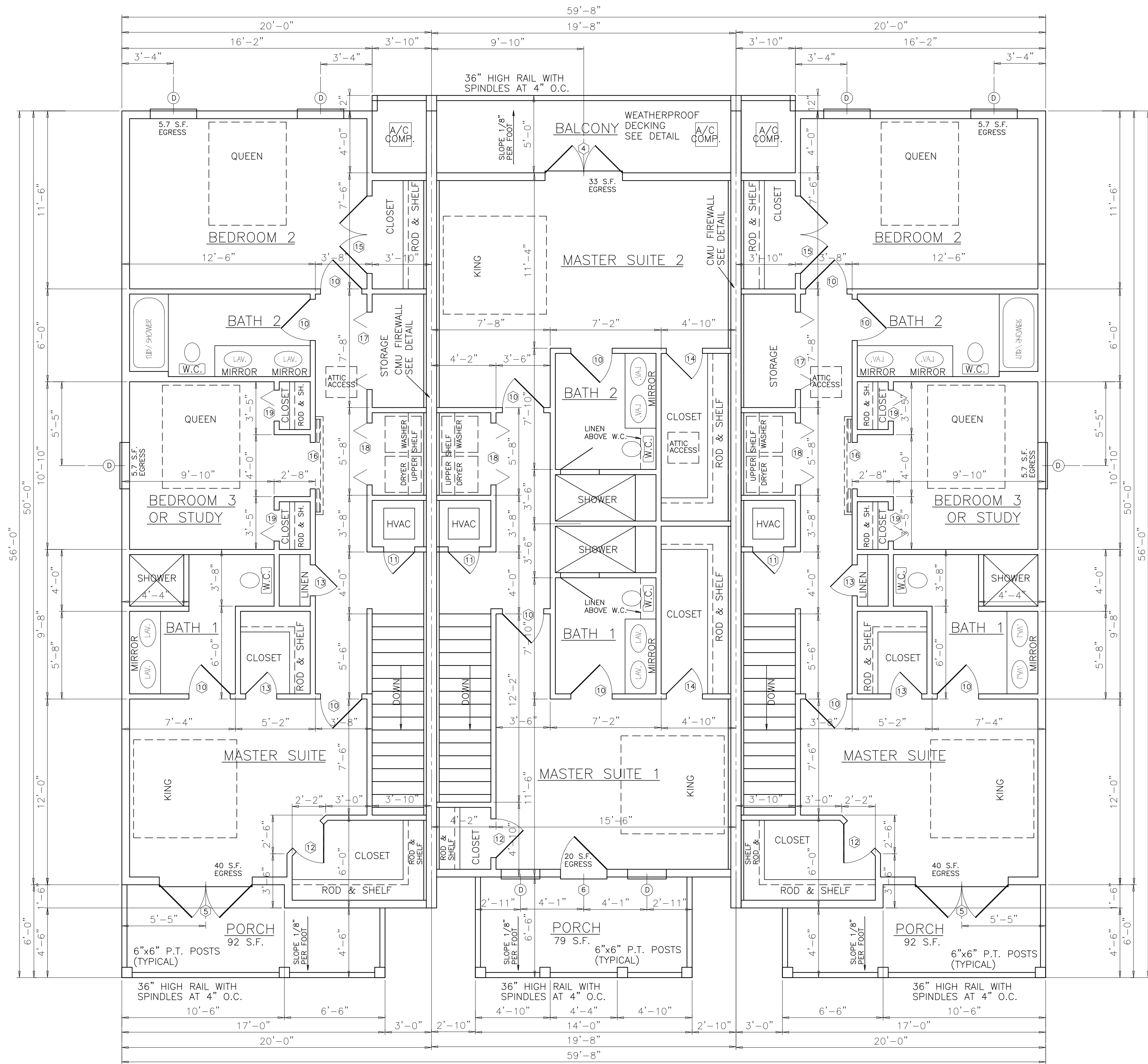
FIRST FLOOR 562 S.F.  
SECOND FLOOR 1014 S.F.  
TOTAL LIVING AREA 1582 S.F.

FIRST FLOOR 570 S.F.  
SECOND FLOOR 986 S.F.  
TOTAL LIVING AREA 1556 S.F.

FIRST FLOOR 562 S.F.  
SECOND FLOOR 1014 S.F.  
TOTAL LIVING AREA 1582 S.F.

BUILDING F FIRST FLOOR





BUILDING F SECOND FLOOR