



Architectural Review Board

TO MEMBERS OF THE ARCHITECTURAL REVIEW BOARD AND APPLICANTS:

The Architectural Review Board will conduct a public hearing at **2:00 p.m.** on **Thursday, January 20, 2020**, in the Mason Conference Room, Mezzanine Level, Pensacola City Hall, 222 West Main Street, Pensacola, Florida to consider applications for renovations, alterations, demolitions, new construction and/or variances, in one or more of the following districts: Pensacola Historic District, North Hill Preservation District, Old East Hill Preservation District, Palafox Historic Business District, and Governmental Center District. **The applicant(s), or authorized agent, must be present for the public hearing in order for the Board to act upon their request.**

AGENDA

QUORUM / CALL TO ORDER

APPROVAL OF MINUTES

The Architectural Review Board shall approve, or approve with changes, the minutes from the meeting held on **January 16, 2019**.

OPEN FORUM

NEW BUSINESS

Item 1	607 N. Spring Street	NHPD
Contributing Structure		PR-2

Patrick and Sarah O'Neill are requesting approval to install Aeratis Heritage flooring on both levels of the front porch and to replace windows on the rear and sides of a contributing structure.

Item 2	202 Cevallos Street	PHD
Contributing Structure		HR-2 / Wood Cottages

Kurt Kreueger is requesting approval to replace window shutters on a contributing structure.

Item 3	122 W. Lloyd Street	NHPD
Contributing Structure		PR-1AAA

Mary Bozeman is seeking approval to add 34 solar panels to the roof of a contributing structure.

Item 4 **903 N. Spring Street** **NHPD**
Contributing Structure **PR-2**

Dio Perera, Walcott Adams Verneuille Architects, is requesting approval for a detached carriage house.

Item 5 **220 W. Gadsden Street** **NHPD**
New Construction **PR-2**

Jim Veal is requesting *CONCEPTUAL* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel.

Item 6 **314 S. Alcaniz Street** **PHD**
Variance **HC-1 / Wood Cottages**

Scott Holland is seeing a Variance to increase the minimum rear yard setback from twenty (20) feet to twelve (12) feet, six (6) inches to accommodate a new two-story single family residence.

Item 7 **314 S. Alcaniz Street** **PHD**
New Construction **HC-1 / Wood Cottages**

Scott Holland is seeing *CONCEPTUAL* approval for a new two-story single family residence.

Item 8 **820 N. Baylen Street** **NHPD**
Variance **PR-2**

Paula and Jared Willets are seeking two Variances: to decrease the maximum required rear yard setback from 25' to 2' and to decrease the maximum required south side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters.

Item 9 **820 N. Baylen Street** **NHPD**
Demolition / New Construction **PR-2**

Paula and Jared Willets are requesting approval to demolish an existing non-contributing garage and *CONCEPTUAL* approval for a new detached garage with second story living quarters.

Item 10 **200 BLK S. 9th Avenue** **PHD**
New Construction **HC-1 / Brick Structures**

Elizabeth and Stephen Steck are seeking *final* approval for a new single family residence.

Item 11 **36 E. Garden Street** **PHBD**
Contributing Structure **C-2A**

Philip Partington is requesting *CONCEPTUAL* approval for exterior modifications to a contributing structure.

Item 12	18 / 20 E. Garden Street	PHBD
Contributing Structure		C-2A
Scott Sallis is requesting approval to renovate the storefronts of two retail spaces.		

Item 13	121 S. Palafox Place	PHBD
Contributing Structure		HR-2 / Wood Cottages
Scott Sallis is seeking approval to remove and modify the front and rear facades.		

Item 14	100 BLK S. Spring Street	GCD
Contributing Structure		C-2
Rimmer Covington is requesting final approval for a 14-unit townhome development with rooftop terraces.		

Item 15	1217 E. Mallory Street 1/2	R-1AA
Demolition		New City Tract
<p>Per the City of Pensacola’s Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to their architecture and/or its association with persons significant to local, regional or national history.</p>		

ADJOURNMENT

GENERAL INFORMATION: All persons having an interest in the above are invited to attend. Applicants are hereby notified to be present or have an authorized agent attend the meeting. Any discussions and/or presentations made by an authorized agent shall be binding.

ADA STATEMENT: The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs, and activities. Please call 435-1675 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

APPEAL STATEMENT: If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any such evidence upon which the appeal is to be based.

REVIEW OF BOARD DECISIONS: Any person aggrieved by a decision of the Board may, within fifteen (15) days thereafter, apply to the City Council for review of the Board's decision. A written notice shall be filed with the City Clerk requesting City Council to review said decision. If the applicant obtains a building permit within the fifteen-day time period specified for review of a board decision, said permit may be subject to revocation and any work undertaken in accordance with said permit may be required to be removed.

VARIANCE APPEAL: If denied a variance by the Board, the petitioner has thirty (30) days from the date of the meeting to appeal the decision in accordance with Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally, aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Planning Services Division and Attorney of the City of Pensacola must be notified in writing of an appeal within five (5) days of the application being made to the Circuit Court. If the Planning Services Division and City Attorney have not received a copy of the notice of appeal within thirty-five (35) days of the date of the meeting at which the variance was denied, the petitioner shall be notified by the Building Official that they have ten (10) days to remove or correct the violation.



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

January 16, 2020

MEMBERS PRESENT: Chairperson Quina, Vice Chairperson Crawford, Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter, Board Member Villegas

MEMBERS ABSENT: None

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Assistant City Attorney Lindsay, Intern Mendillo, Assistant Planning Director Cannon, Digital Media Coordinator Siedah Rosa

OTHERS PRESENT: Elsie Zhang, Lissa Dees

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present and explained the Board procedures to the audience.

APPROVAL OF MINUTES

Board Member Crawford made a motion to approve the December 19, 2019 minutes, seconded by Board Member Villegas, and it carried unanimously. Board Member Fogarty made a motion to approve the minutes of the special meeting tour on January 10, 2020, seconded by Board Member Campbell-Hatler, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

1304 N. Barcelona Street

NHPD

Contributing Structure

PR-1AAA

Action taken: Approved.

Scott Sallis, Dalrymple Sallis Architecture, is requesting modifications to a recently approved project.

Mr. Sallis presented to the Board and explained the proposed changes were simplified due to construction costs but felt it warranted returning to the Board for approval. Chairperson

Quina noted that North Hill had no objections to the request. He asked about the materials for the pergola, and Mr. Sallis advised they were most likely wood. Board Member Mead addressed the tree cutting, and Mr. Sallis stated the neighborhood association had met and had given their concerns. It was determined the tree cutting involved Laurel oaks, and everyone was on board. He further explained the trees coming out were near the pool, and they were planting far more trees than they were removing. It was determined the pergola was open to the sky with aluminum slats. Chairperson Quina asked about the security from the house to the pool. Mr. Sallis stated the pool contractor would be addressing this. He also advised there was a new connection from the porch to the master suite since the windows leaked horribly. **Board Member Crawford made a motion to approve, seconded by Board Member Mead, and it carried unanimously.**

Item 2

1 S. Jefferson Street

PHBD

Non-Contributing Structure

C-2A

Action taken: Approved (awning not included).

Lissa Dees, Downtown Improvement Board (DIB), is requesting approval for a "Puppy Pit Stop" along the south side of the Jefferson Street parking garage.

Ms. Zhang and Ms. Dees presented to the Board and stated the dog area would be open with the dogs on leashes. The no parking zone would be painted to expand the sidewalk area with planters to protect pedestrians from the vehicles. Some of the furniture and amenities would be offered in the second phase.

Chairman Quina pointed out it was an interesting way to enliven that corner, and it was a shame they couldn't raise the curb to make it all level. It was determined the funding came from the DIB. Board Member Mead asked if there was some manner where they could attach leashes, possibly installing rails to give for more freedom for the animals and the owners; it might also be a good architectural addition. Board Member Campbell-Hatler asked about the cleanup plan, and Ms. Dees stated the DIB had hired a company for street cleaning who would add this to their regular routine. Ms. Zhang advised there would be a waste station, and the turf was designed to keep the solid waste on top of the turf for easier cleaning.

Board Member Villegas was concerned about safety and asked about the shrubs which were determined to be in the first phase. She was concerned with the presence of the dogs and how people deal with them and how this would all play out. She liked the idea of attaching the leash to something and asked if there could be a gate on the entrance if needed; she wanted to know the quick fix for any potential problems. Ms. Dees advised when Southtowne was proposed, there was a dog park, but that had been mitigated. There were now areas to avoid, and they were trying to provide an area for the downtown pets. She also explained they were working within the budget they currently have, and a gate might be affordable at a later date. She indicated the traffic flow was a part of Public Works, and they had not commented on the need for a change.

Ms. Zhang stated they would use the same screening as the rear of Jefferson garage, and the awning cover was within Phase 2. They considered the retractable awning for the tight space and hurricane conditions. Advisor Pristera asked about the lighting, and Ms. Dees advised the lighting on the inside had been converted to LEDs, and the domes would be replaced to make it brighter. She also explained there were lots of security cameras around

the parking garage. Board Member Salter asked about the size of the in-ground waste disposal, and it was determined to be around 24" to 36" but it would be a regular size container buried in the ground. Board Member Campbell-Hatler was concerned about the shade and suggested "lollipop" trees, and Ms. Dees stated she would be asking Council about the Tree Fund monies. **Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Crawford. Board Member Salter made an amendment to state the awning was not included, and it was accepted and seconded. With no speakers, the motion carried unanimously.**

Item 3

412 E. Belmont Street

OEHPD

Contributing Structure

OEHC-1

Action taken: Approved with abbreviated reviews.

Jesse LaCoste, LaCoste Construction Group, is seeking *final* approval for a rear addition and exterior modifications to a contributing structure.

Mr. LaCoste addressed the Board and stated the siding color was aqua, windows and doors would be a deep espresso stain, the iron fixtures would be black, and trim color would be white. Chairperson Quina advised from the onsite visit, the actual ceiling height upstairs seemed adequate, but the problem was the ceiling height over the stairwell. Mr. LaCoste stated raising one roof line above the other created the need to raise the whole roof for the best visual.

Advisor Pristera stated it seemed to be a lot of expense to raise the roof for two rooms and a bathroom, and with a deep lot it might be better to construct an addition on the rear and not deal with the stairs and raising the roof; he explained this was not a preservation project. Mr. LaCoste stated the deep structural work was caused by the Code, and once they did the structural alterations, it became a Level 3 alteration. Advisor Pristera felt the lot was wide enough for other things. Mr. LaCoste stated the house was actually twisted, and according to the boundary, the rear of the left elevation was actually diving into the property line; he did not have as much room to build in the rear as it seemed. The Board then discussed other methods to obtain the needed height. Mr. Scapechi, the engineer, explained that Mr. Weekley pointed to a structural beam which holds up the second floor which is below the head height, and it could not be raised. Chairperson Quina asked how significant this house was, and Advisor Pristera stated it was unique to Old East Hill and significant to them. Staff stated Old East Hill had provided comments when the project was presented for conceptual review. Mr. LaCoste indicated they wanted to keep the structure the same, but it would be taller. Staff handed out the prior Old East Hill comments to the Board for consideration. It was determined the age for construction of the house was the 1890s, and Old East Hill wanted to maintain the gothic influence and details with a single front door and sidelights; Mr. LaCoste was agreeable to these suggestions.

Chairperson Quina appreciated the fact they were trying to preserve the structure, and adding 2' was minimal in saving the house. Mr. Weekley then explained to the Board that the foundation was a must, the head level at the stairs would have to come to Code, it was a Level 3 alteration, and he would need reports for historical repairs. He pointed out the foundation would not be done from the crawl space, and all flooring would be removed even to level the foundation. In just walking across the flooring, he could see there were some serious issues. He advised the east side appeared to be an add-on with multiple

piers at one location which was the point where it was beginning to sag. He explained they were basically building a new house from inside out. Advisor Pristera agreed this structure needed work. Board Member Campbell-Hatler asked what aesthetic quality would the structure have in the end with all the required changes and would it be better to take it down. Mr. LaCoste explained they had factored in enough to build what they proposed, and since his name would be attached to this home, it would be built with certain standards. Board Member Mead addressed the lack of fenestration on the rear, and Board Member Crawford suggested a window on the new rear elevation.

Board Member Mead made a motion to approve with the following modifications: 1) that the dormer on the west side have a double gang of square windows or a single square window consistent with the other square windows on that elevation; 2) in the addition, that the window over the top be modified to fit one of the component windows on the main body of the house to be submitted for abbreviated review; 3) on the rear elevation the door be shifted to the left to accommodate the retention of the double gang windows – he was fine with the deletion of the single window to the left of that side, and that some type of appropriate fenestration be placed in the rear elevation wall to give it some relief and more light in the bathroom which could be in an abbreviated review. (It was clarified that it was the door on the upper level of the rear elevation. It was also noted the Board preferred the single door on A2.2.) Board Member Crawford seconded the motion. Board Member Salter amended the motion to ensure all of the eaves, overhangs, and rakes of the new addition matched the profiles of the existing. The amendment was accepted and seconded, and the motion carried unanimously.

Item 4

200 W. Jackson Street

NHPD

Contributing Structure

PR-2

Action taken: Approved.

James and Michelle English are requesting a *Variance* to increase the maximum allowed rear yard coverage from 25% (625 sf) to 27.36% (684 sf) to accommodate a detached garage with second-story living quarters.

Mr. English presented to the Board, and Chairperson Quina stated he appreciated the applicant returning to the Board and addressing its concerns. Board Member Mead pointed out the house originally comprised a parcel which included the lot behind it, so with respect to the current Code, the existing house is built well into the rear setback line which is part of the percentage problem. Historic Preservation Planner Harding advised the Board had approved the removal of the existing stairs but 175 sq. ft. of the house still encroached into the rear; he explained they were able to occupy 625 sq. ft. and they were asking for 684 sq. ft. If the building had been built within its own setbacks, a variance would not be necessary. **Board Member Mead considered this a hardship, and the applicant should get credit for that detail and receive the balance for that on the additional coverage for what they were requesting and moved for an approval. Board Member Crawford seconded the motion, and with no audience speakers, the motion carried unanimously.**

NHPD

Contributing Structure

PR-2

Action taken: Approved with abbreviated review.

James and Michelle English are requesting approval for exterior modifications to a contributing structure and to add a detached two-car garage with second-story living quarters.

Mr. English addressed the Board and stated the windows were changed to wood since they wanted to emulate each elevation. The steel carriage doors would be trimmed to match the house. Board Member Crawford was concerned with the steel because of extruding methods which might not have sharp edges. Mr. English advised their goal was consistency which would be addressed by the painter. He also explained the balcony was now at 4' and they wanted it to aesthetically match the house. Chairperson Quina suggested lowering the balcony windows for access. Mr. English advised they proposed to position the A/C units under the stairs. Board Member Mead addressed the awning roof over the door and suggested duplicating the bracket detail on the front porch.

Board Member Crawford made a motion to approve with the following modifications:

1) that the windows on the front and right include a 4" center trim piece which matches the main house; 2) that brackets be added to the rear elevation canopy similar to the front elevation; 3) recommended the carriage door in the plans and suggested considering fiberglass doors with a cement board overlay for sharper details. Board Member Salter amended the motion to include that the second floor windows be lowered. Board Member Mead suggested an abbreviated review for the 4" center window trim since the trim was probably a 6" trim. The amendments were accepted. Board Member Mead seconded the motion, and it carried unanimously.

(The Board then proceeded to Item 7.)

PHBD

Contributing Structure

C-2A

Action taken: Approved as art.

The UWF Historic Trust is requesting modifications to a previously approved mural. This project was denied during an Abbreviated Review due to the inclusion of the UWF Historic Trust's name and logo causing the mural to be classified as signage.

Advisor Pristera presented to the Board and explained the mural had been installed. He explained as people come into the mural program, they were trying to deal with how to place the signature on it to designate it as part of a walking trail. They will eventually have an application which visitors can follow to an information hub. He explained the key was a citation or artist's signature, and they did not intend it to be offsite advertising.

Board Member Salter explained the definition of a sign by the City of Pensacola does not distinguish or exclude not-for-profits but states any entity, and the Trust is an entity. Assistant City Attorney Lindsay stated Board Member Salter was correct. Whether this Board would want to recommend that the City look at whether the ordinance could be amended at how we define signs, the Board could recommend that review. But as the Code is currently written, the opinion by Board Member Salter was correct. Staff referred to Sec. 12-14-1 *Definitions enumerated, Sign* - Sign means any device, display or structure, or part thereof, which advertises, identifies, displays, directs or attracts attention to an

object, person, institution, organization, business, product, service, event or location by the use of words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images.

Board Member Mead suggested the Trust was the custodian of the art and what it had been approved under previously. Board Member Salter advised every image he had seen in the past did not have the logo/key. Staff advised they had looked at it as off-premise signage which was also prohibited in this district. Assistant City Attorney Lindsay explained it was public art but might not be under the City's definition because there is a designation referencing back to the Historic Trust; the logo and the wording created the sign. Board Member Campbell-Hatler explained it was more an installation piece since one would have to know what they were looking at in order to participate in the viewing and consumption of it. Board Member Mead pointed out the Gulf Coast Arts Festival had lots of signs and depictions which direct the person to the artist. Advisor Pristera stated the parking garage also had the signature of the artists. Board Member Mead felt the categories were different. Board Member Campbell-Hatler explained if it was really signage, it would be very legible and very obvious for what it was trying to advertise; she did not believe this mural was focused on selling. She pointed out if walking through a museum with earphones on, you would have to have a designation to know which pieces were in that collection. Advisor Pristera indicated the key was lending to interactive wayfinding. Board Member Mead explained the value was given by the designation, and Board Member Campbell-Hatler suggested it was out of the perimeters of advertising and believed all of the murals should have it. Board Member Salter believed the issue at hand was using the key/logo as the symbol for the wayfinding paths, but the murals being mounted to the sides of the building represented the emblem of the Historic Trust Trail and did not need the mark of the Historic Trust placed on them to mark them as a part of the historic trail. The way the Code is written does not mean it has to be a business but states "which identifies an entity" which it does. He felt there needed to be an alteration to the Code.

Board Member Mead did not feel in this context an alteration was needed because he thought a categorical distinction could be made between art and signage and that the customary nature of the identification that is spoken to in the signage is different than the customary nature of the identification that is typically the signature of the artist, or in this case, the custodian of art. Proportionally speaking, this was consistent for the signature on art where we have a matter which is in the public domain and has to be maintained by a public custodian; he suggested this was within the bounds for custom of art and did not become signage. Board Member Salter asked the difference between this mural and the mural with the logo for the East Garden District development. Advisor Pristera felt the development was using the mural to benefit them for their development, and the logo placement was also in a more prominent location. Board Member Salter stated it was still a logo of an entity and did not see a distinction between this logo and the Historic Trust logo. Board Member Mead explained they were trying to use a public domain image as signage in the same manner as the Historic Trust, but here you have the public custodian of the art and of the location putting up the historic image of the place and also indicating the custodian. Board Member Salter pointed out the image could change and at that point, anyone who wanted to become the custodian could place their image on it. Board Member Mead clarified that the Historical Trust was the real custodian of the images, and if that

custodian did not exist, those historical resources would go away. Advisor Pristera advised there was a committee to oversee donors, and it was a program for public benefit, and if they wanted their sponsorship noted, it could be placed on a website. He felt giving the key gave it legitimacy in that a larger group had reviewed this, and it was appropriate and serving a public good.

Board Member Villegas agreed with both Board members but felt some type of amendment needed to be in place to acknowledge the historical value of it and how these things are approached. Verbiage of custodianship could get the Board in trouble down the line, and she felt amending it with some acknowledgment to a historical acknowledgement within the community would be the value of the community and allowed in that context. But outside of that, signage was signage; she felt it would be changed out and could be a problem down the line. Board Member Mead explained that within an art placement, you would sign the iteration of the art, and this mural was consistent with that. Attempts to prescribe too much winnows out all the creative efforts that you could get in the play of the joints that are needed in order to be successful. Board Member Villegas pointed out there were a lot of images not owned by UWF which the Historical Trust had not handed over, and a private company could purchase them, and an amendment protected the Board in the long term.

Board Member Mead made a motion to approve as these are public art in placements which are being signed effectively by the custodian of the art in placement responsible for its erection, these should be considered as art, and insofar as they are in proportion to the typical customary signature on a piece of art, they should be approved and not considered signage. Board Member Campbell-Hatler seconded the motion. The motion carried 5 to 2 with Board Member Salter and Villegas dissenting.

Item 7

423 E. Government Street

PHD

Contributing Structure

HC-1 / Wood Cottages

Action taken: Approved.

Robin Hoban is requesting approval to remove a chimney.

Ms. Hoban presented to the Board and thanked Historic Preservation Planner Harding for his assistance in preparing the application. She advised they did a preliminary assessment of the chimney initially, and based on the Board's discussion, they decided to try and keep the chimney; the entire floorplan had been designed around the chimney. At this time, they have begun to fully assess the brick on the chimney and the house, and the sun dried brick had not held up over time, and the prior owners had not done anything to mitigate the damage. After getting onto the roof with the structural engineer, the degradation was alarming; it was a concern at this point, it would cost more to remove it than to keep it, and they wanted the Board to consider her request to remove the chimney. Advisor Pristera explained he had met the contractor at the house and also felt the house was very unstable, and only a small portion was supporting the chimney structure; to repair the house would be a total rebuild. He pointed out the homeowner was doing a great job in restoring the house the correct way, but the chimney would be a total rebuild. **Board Member Mead made a motion to approve the chimney removal, seconded by Board Member Salter, and it carried unanimously.**

ADJOURNMENT – With no further business, the meeting adjourned at 4:22 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be 'G. Harding', written in a cursive style.

Historic Preservation Planner Harding
Secretary to the Board

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 1**
607 N. Spring Street
NHPD / PR-2
Contributing Structure

BACKGROUND

Patrick and Sarah O'Neill are requesting approval to install Aeratis Heritage flooring on both levels of the front porch and to replace twelve windows located on the rear and sides of a contributing structure. Repairs to the porch with in-kind materials were approved through a Board for Board application in January. Many of the existing to-be-replaced windows are damaged and cause leaks. The proposed windows will be 2/2 double hung wood-clad to match all other windows on the house which were replaced in 2012.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(6) NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures

**Architectural Review Board Application
Full Board Review**

Application Date: January 28, 2020

Project Address: 607 N. Spring Street

Applicant: Patrick and Sarah O'Neill

Applicant's Address: 607 N. Spring Street

Email: patrick.c.oneill@gmail.com **Phone:** 850-221-5906

Property Owner: Patrick and Sarah O'Neill

(If different from Applicant)

District: **PHD** ☐ **NHPD** ☒ **OEHPD** ☐ **PHBD** ☐ **GCD** ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

1. Request to install Aeratis Heritage T&G Porch Flooring in battleship gray color durring porch repair.

2. Request to install Jeldwen Siteline clad double hung windows to replace 12 windows on non-street front sides of the house

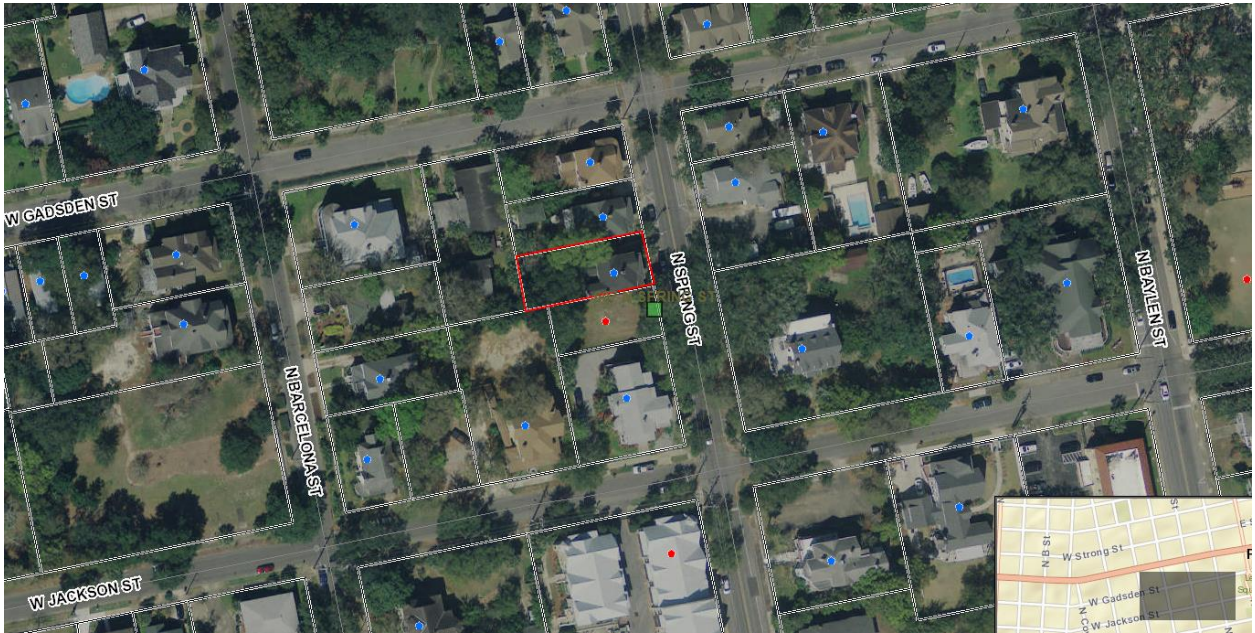
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on file

Applicant Signature

Date

607 N. Spring Street



FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. 95 576
Site Name Moreno, Susie R. Rental #1 830 = = Survey Date 8005 820 = =
Address of Site: 607 N. Spring St., Pensacola, FL 32501 905 = =
Instruction for locating W. side of N. Spring Street between W. Jackson St.
and W. Gadsden Street 813 = =
Location: Belmont Tract 25 16-17 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Vance, James, Jr., and Mary
Address: 1023 North Spring Street, Pensacola, FL 32501 902 = =
Type of Ownership private 848 = = Recording Date 832 = =
Recorder:
Name & Title: Guedez, Susan; Gantzhorn, Alan
Address: HPPB 818 = =

Condition of Site: Integrity of Site: Original Use Residence 838 = =
Check One Check One or More
☐ Excellent 863 = = ☐ Altered 858 = = Present Use Residence 850 = =
☒ Good 863 = = ☒ Unaltered 858 = = Dates: Beginning c +1908 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) () 858 = = Period 20th century 845 = =
☐ Moved () (Date:) () 858 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
☐ Zoning () () 878 = = ☐ Transportation () () 878 = =
☐ Development () () 878 = = ☐ Fill () () 878 = =
☐ Deterioration () () 878 = = ☐ Dredge () () 878 = =
☐ Borrowing () () 878 = =
☐ Other (See Remarks Below): 878 = =

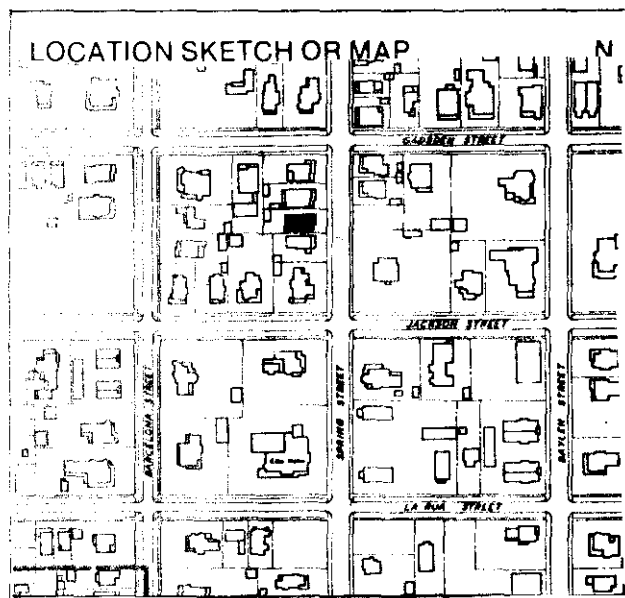
Areas of Significance: Architecture, History 910 = =

Significance:

This frame vernacular house was one of three rental houses built by Susie R. Moreno, wife of Scarritt Moreno, a wealthy Pensacola businessman. It was owned for the longest period, 1915 to 1946, by Felo McAllister.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame vernacular 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) wood, novelty siding 854 ==
 STRUCTURAL SYSTEM(S) wood frame 856 ==
 PORCHES E/ 2 tiered hipped verandah w/ turned posts and spindle and spool baluster; 4 bay; access from E 942 ==
 FOUNDATION: brick pier 942 ==
 ROOF TYPE: gable on hip 942 ==
 SECONDARY ROOF STRUCTURE(S): 942 ==
 CHIMNEY LOCATION: center ridge 942 ==
 WINDOW TYPE: DHS, 2/2, wood 942 ==
 CHIMNEY: brick 882 ==
 ROOF SURFACING: composition shingle, diamond 882 ==
 ORNAMENT EXTERIOR: brackets, gingerbread trim, stained glass panels 882 ==
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 2 1/2 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 MIN Pensacola 1970; North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude: 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
2S	30W	19

UTM Coordinates:

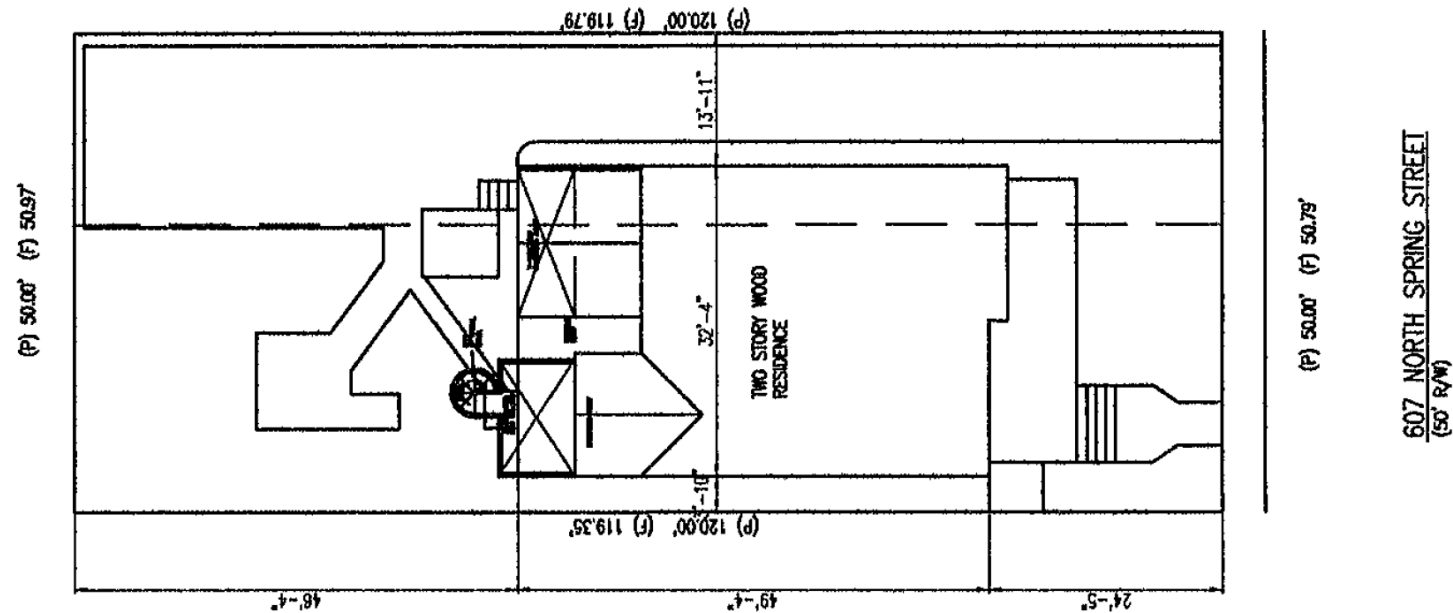
Zone Easting Northing

Photographic Records Numbers HPPB P80.21 Fr 4; NH 12-8A 860 ==

Contact Print



607 N Spring St



Site Plan- No change to the site plan

- Request permission to use Aeratis Tongue and Groove Heritage two sided porch decking during repairs to the front porch.
- Request permission to complete the replacement of windows on three sides of the house

Porch Tongue and Groove Decking

- Request to use Aeratis Tongue and Groove decking to replace the current decking that is unsafe and was incorrectly repaired in the past.
- Request to use this decking on both levels of the porch, it is two sided for underside appeal.
- Request to use the Battleship Gray color which matches the upstairs color of the current porch.

Aeratis Heritage

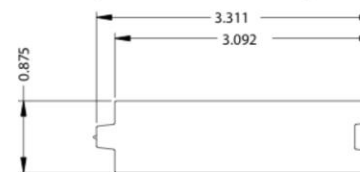


Aeratis Heritage is a true double-sided tongue and groove porch plank that comes in three pre-finished colors, Battleship Gray, Weathered Wood and Vintage Slate. These colored boards are made with slight color variation along with subtle, random streaking to match the richness and depth of natural wood. Heritage, like all the other Aeratis products, can be painted or stained any color, any time in the future, by following the steps within the Traditions paint instructions.

The Heritage line of products are ADA slip complaint and carry a Class "B" fire rating (more flame resistant than any other competitors' product). This double-sided board offers a finished ceiling look from the underside of a porch floor that is visible from underneath.

Aeratis Heritage T&G porch flooring board dimensions are 3-1/8" x 7/8" and are available in 12', 16' and 20' lengths. As seen above from left to right: Battleship Gray, Weathered Wood and Vintage Slate. The Aeratis products have the appearance of wood and natural color variation.

Aeratis Heritage T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'

Width: 3-1/8" (3.092)

Thickness: 7/8"



<https://www.aeratis.com/heritage>

Current Upstairs Decking

- Request Battleship Gray color because upstairs decking is currently gray and the original decking is on the left side of this picture.
- As seen in the picture, on the right, facing the front of the house, the last 2 feet of the porch was replaced with dissimilar wood and is dangerously weak due to rotting.



Current Downstairs Decking

- Front porch is bucking and warping and is currently painted multiple colors.
- Replacement of the entire porch is being completed due to multiple rotten support beams being replaced. Decking must be removed to complete repairs.



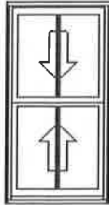
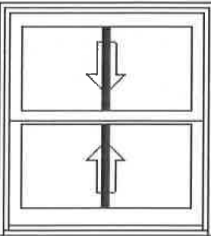
Jeldwen Siteline Clad Double Hung Windows

Request to use JeldWen Wind CAT 3 Windows as described on the right.

After the house fire in 2011, this product line was used to replace 9 windows on the house.

Request to finish the replacement of the remaining windows on three sides of house with this product line. A total of 12 remaining windows to be replaced which are not facing the street.

All windows will be replaced with 2 panes over 2 panes to match the original house windows.

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-3	Rough Opening: 29 3/4 X 56 3/4	Frame Size : 29 X 56 Siteline Clad Double Hung, Auralast Pine, Brilliant White Exterior, Primed Interior, Nail Fin (Standard), Color Match Metal DripCap, 4 9/16 Jamb, Standard Double Hung, Tan Jambliner, Concealed Jambliner White Hardware, Florida - FBC, Wind Zone 3 Rated, PG 50, (+50/-65) FL# 20118.1 Insulated Low-E 366 Impact w/Annealed Out, PVB Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Width*, GlassThick=0.706, Clear Opening:25.2w, 24.4h, 4.2 sf PEV 2019.4.0.2787/PDV 6.286 (12/06/19) NW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
Line-4	Rough Opening: 32 1/8 X 35 1/8	Frame Size : 31 3/8 X 34 3/8 Siteline Clad Double Hung, Auralast Pine, Brilliant White Exterior, Primed Interior, Nail Fin (Standard), Color Match Metal DripCap, 5 1/4 Jamb, 4/4 Thick, Standard Double Hung, Tan Jambliner, Concealed Jambliner White Hardware, Florida - FBC, Wind Zone 3 Rated, PG 50, (+50/-65) FL# 20118.1 Insulated Low-E 366 Impact w/Annealed Out, PVB Interlayer, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Brilliant White SDL, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Height*, GlassThick=0.706, Clear Opening:27.6w, 13.6h, 2.6 sf PEV 2019.4.0.2787/PDV 6.286 (12/06/19) NW			
					
	Viewed from Exterior. Scale: 1/2" = 1'				

South Side of SR Moreno House

- All windows except one were replaced on this side of the house in 2012 after house fire.
- Window to replace is outlined in red.
- All other windows are an example of the JELDWEN siteline windows requested to be approved for this 2020 remodel.



West Side of SR Moreno House (Back)

- Request to replace two windows on the back of the house.
- Upclose photo of JELDWEN window installed



North Side of SR Moreno House (Back)

- Request to replace all windows on this side of the house.
- Three windows were replaced in ~2009 on the bottom floor, left hand side.

Request to replace and match in window design with south side of house.





Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 2**
202 Cevallos Street
PHD / HR-2 / Wood Cottages
Contributing Structure

BACKGROUND

Kurt Krueger is requesting approval to replace window shutters on a contributing structure. The existing wood shutters will be replaced with storm-rated colonial-style aluminum shutters. Based on photographs from the Florida Master Site File, shutters were likely added to the house during or after the 1980's. The proposed materials are very similar to materials approved at 1 E. Zarragossa Street (June 2016) and are identical to those approved at 122 Calle de Santiago Court (February 2014).

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(A)(6)(g) *PHD, Shutters*



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **ES03853**
 Field Date 8-30-2013
 Form Date 8-30-2013
 Recorder # _____

☒ Original
☐ Update

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 202 S Cevallos St Multiple Listing (DHR only) _____
 Survey Project Name REBUILD NW Florida's Hazard Mitigation Program Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☒ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 202 Direction S Street Name Cevallos Street Type Street Suffix Direction _____
 Address: 202 S Cevallos
 Cross Streets (nearest/between) S Cevallos St, E Intendencia
 USGS 7.5 Map Name PENSACOLA USGS Date 1982 Plat or Other Map _____
 City / Town (within 3 miles) PENSACOLA In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 24 1/4 section: ☐ NW ☐ SW ☒ SE ☐ NE Irregular-name: _____
 Tax Parcel # 00-0S-00-9001-004-342 Landgrant PENSACOLA
 Subdivision Name PENSACOLA Block 20 Lot 342&343
 UTM Coordinates: Zone ☒ 16 ☐ 17 Easting 480198 Northing 3364419
 Other Coordinates: X: 30.41165 Y: -87.20617 Coordinate System & Datum WSG84
 Name of Public Tract (e.g., park) OLD CITY TRACT

HISTORY

Construction Year: 1918 ☐ approximately ☐ year listed or earlier ☒ year listed or later
 Original Use: Private residence From (year): 1918 To (year): 2013
 Current Use: Private residence From (year): 1918 To (year): 2013
 Other Use: _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☐ no ☒ unknown Date: _____ Original address: _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: unknown Nature: Bringing interior up to current codes
 Additions: ☐ yes ☐ no ☒ unknown Date: _____ Nature: _____
 Architect (last name first): unknown Builder (last name first): unknown
 Ownership History (especially original owner, dates, profession, etc.) unknown

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 2
 Exterior Fabric(s) 1. Wood siding 2. Not applicable 3. _____
 Roof Type(s) 1. Gable 2. Not applicable 3. _____
 Roof Material(s) 1. Sheet metal: 5V crimp 2. Other 3. _____
 Roof secondary strucs. (dormers etc.) 1. Hip extension 2. _____
 Windows (types, materials, etc.) Simple windows with vertical orientation

Distinguishing Architectural Features (exterior or interior ornaments) Full width front porch with columnar supports and wide stairs,

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____	
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. Other 2. Other
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Brick 2. Concrete, Generic
 Main Entrance (stylistic details) Door is centered on front facade and is flanked by 2 windows on either side.

Porch Descriptions (types, locations, roof types, etc.) Large front porch under a hip roof extension, Large enclosed porch under a gable roof

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource _____

Archaeological Remains unknown - ground not disturbed

☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☒ building permits ☐ Sanborn maps
☐ FL State Archives/photo collection ☐ city directory ☒ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Exterior Inspection

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☐ no ☒ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) _____

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Photographs Maintaining organization REBUILD Northwest Florida, Inc.
 Document description Photos taken during exterior inspection File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Salina Randall Affiliation REBUILD Northwest Florida, Inc.
 Recorder Contact Information 150 W Maxwell Street, 850-497-7024 ext 25/ salina@rebuildnwf.org
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 2**
202 Cevallos Street
PHD / HR-2 / Wood Cottages
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Kurt Krueger is requesting approval to replace window shutters on a contributing structure. The existing wood shutters will be replaced with storm-rated colonial-style aluminum shutters. Based on photographs from the Florida Master Site File, shutters were likely added to the house during or after the 1980's. The proposed materials are very similar to materials approved at 1 E. Zarragossa Street (June 2016) and are identical to those approved at 122 Calle de Santiago Court (February 2014).

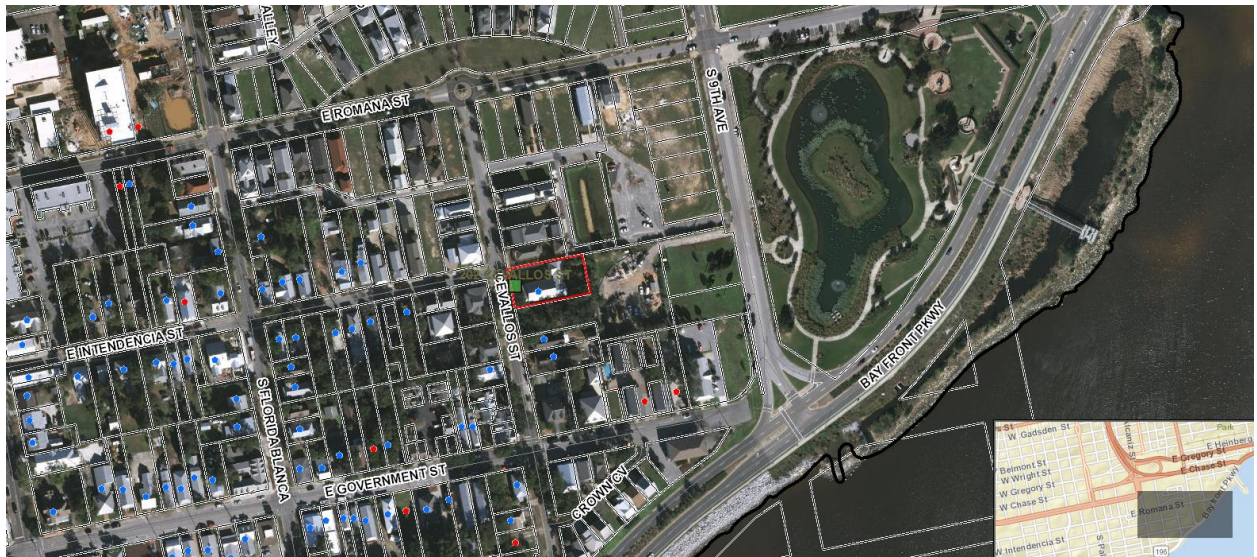
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(A)(6)(g) *PHD, Shutters*



202 Cevallos Street





City of
Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 27 JANUARY 2020

Project Address: 202 CEVALLOS ST. PENSACOLA, FL 32502

Applicant: KURT A. KRUEGER

Applicant's Address: 202 CEVALLOS ST. PENSACOLA FL 32502

Email: KDKRUEGER@AOL.COM Phone: 850-554-6220

Property Owner: KURT A. and DRE A. KRUEGER
(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

THIS PROJECT IS TO REPLACE SHUTTERS AT OUR
PRIMARY RESIDENCE. THE REPLACEMENTS ARE STORM
SECURE RATED ALUMINUM COLONIAL STYLE SHUTTERS
FIBC APPROVAL # FL 17473. COLOR WILL BE EXACTLY
WHAT IS PRESENTLY IN PLACE: AN EPOXY PRIMER WITH
POWDER-COAT FINISH. A VERY SIMILAR PRODUCT WAS
INSTALLED IN WINDOWS OVER JACKSON'S RESTAURANT.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Kurt A. Krueger
Applicant Signature

1/27/2020
Date

ARCHITECTURAL REVIEW BOARD

Application for Exterior Shutter Replacement
202 Cevallos St., Pensacola, FL 32502

Requested: Replacement of existing exterior window shutters with Storm Secure Rated Aluminum Colonial Style Shutters FBC approval # 17473. See Storm Secure SEI Manufacturing summary sheet.

Epoxy primer with powder-coat finish to be used. See technical data sheet. Color will be exactly as is currently in place – see Sherwin-Williams architectural custom manual match.

Replacement is very similar to that placed above Jackson's Restaurant – see photos of those shutters and email concerning their approval.

There are 24 openings as shown in the accompanying site plan, with the following sizes:

15 @ 3x6

5 @ 3x8

2 @ 3x5

1 @ 6.5x6

1 @ 9x6

See photo of sample, and property appraiser plat for placement.

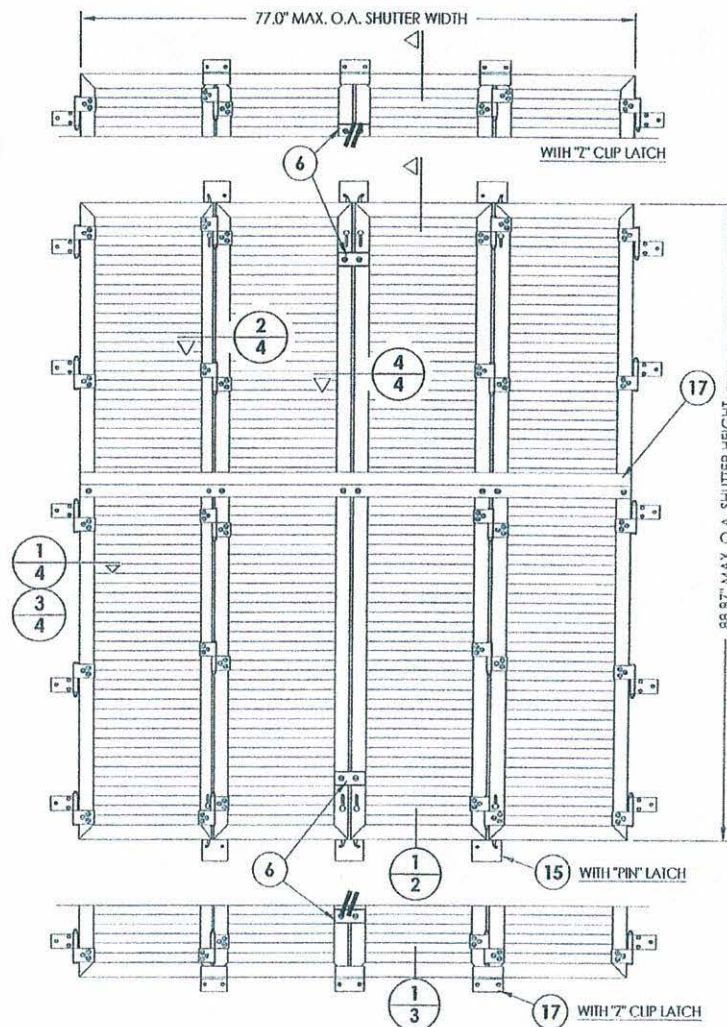
EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER "IMPACT"

GENERAL NOTES

1. This product has been evaluated and is in compliance with the 5th Edition (2014) Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Section 1609.1.2 of the FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E 1996 and Section 1609.1.2.2 of the FBC.
4. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
5. Aluminum shutter material shall be 6063-T6.
6. The Engineer or Architect of Record is responsible for determining the wind loads for any specific application and to determine that the existing structure is capable of withstanding the loads imposed by the shutter system.

TABLE OF CONTENTS

SHEET#	DESCRIPTION
1	Typical elevation, design pressures & general notes
2	Vertical cross sections masonry & stud construction
3	Vertical cross sections masonry & stud construction
4	Horizontal cross sections masonry & stud construction
5	Anchoring locations masonry and stud installation
6	Anchoring locations masonry and stud installation
7	Bill of materials & components



LATCH TYPE	MAX. FRAME DIMENSION	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE
"PIN"	77.0" X 88.87"	+65.0	-65.0
"Z" CLIP	77.0" X 88.87"	+80.0	-90.0

FLORIDA PROFESSIONAL ENGINEER

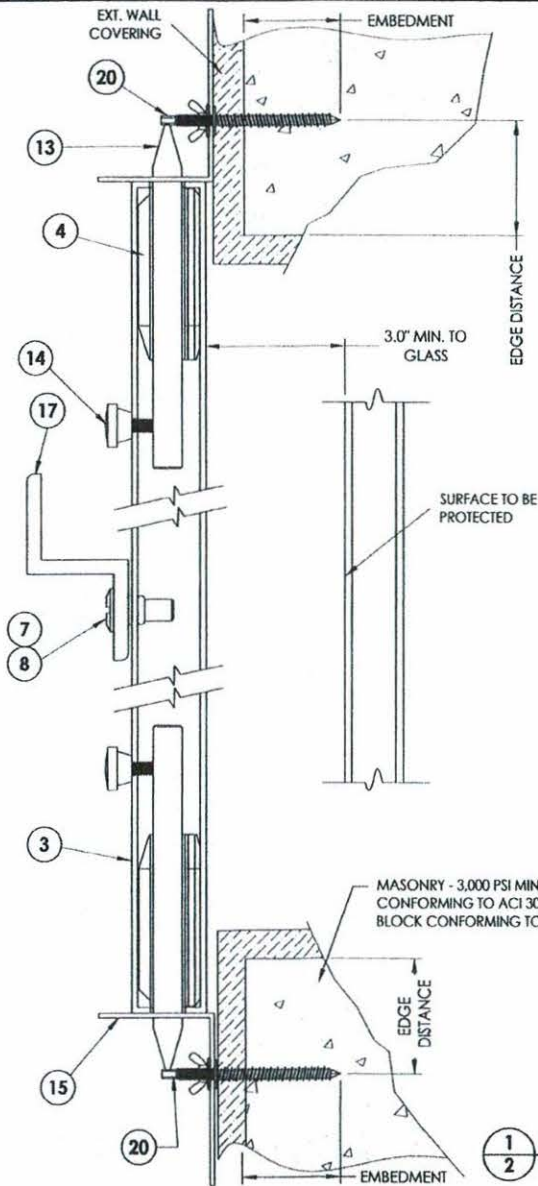
F. SCHMIDT
LICENSE No. 43409

2-5-11

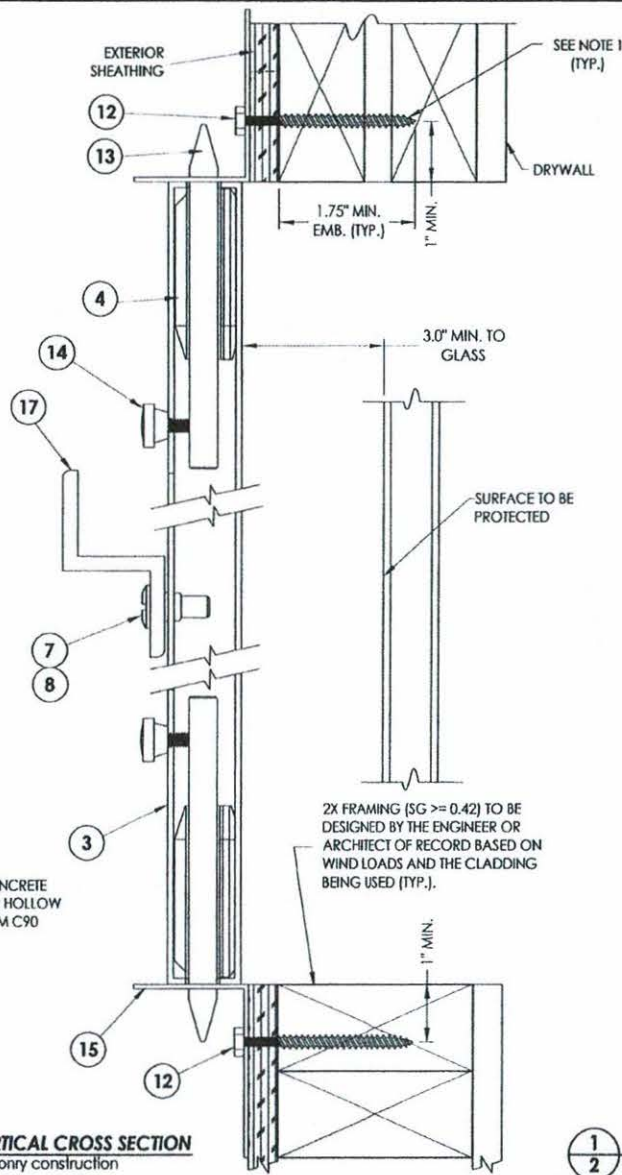
Documents Prepared By: Lyndon F. Schmidt, P.E. No. 43409

R.W. BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.656.9197
FBPE C.A. No. 9813

PRODUCT: SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY		TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES	
REVISIONS		NOI DATE	
DATE: 2/05/15 SCALE: N.T.S. DWG. BY: JJK CHK. BY: LFS DRAWING NO.: FL-17474.1 SHEET 1 OF 7		© 2015 R.W. BUILDING CONSULTANTS, INC.	



1 VERTICAL CROSS SECTION
2 Masonry construction



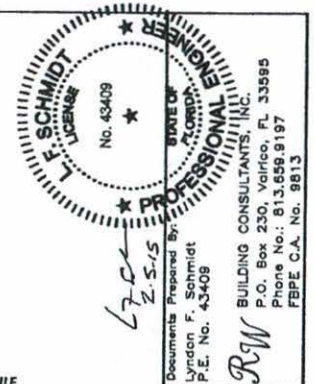
1 VERTICAL CROSS SECTION
2 Stud construction

NOTE 1:
MAINTAIN 3/8" MIN. EDGE
DISTANCE TO EDGE OF STUD TO
PREVENT SPLITTING OF WOOD.

20 MASONRY ANCHOR SCHEDULE

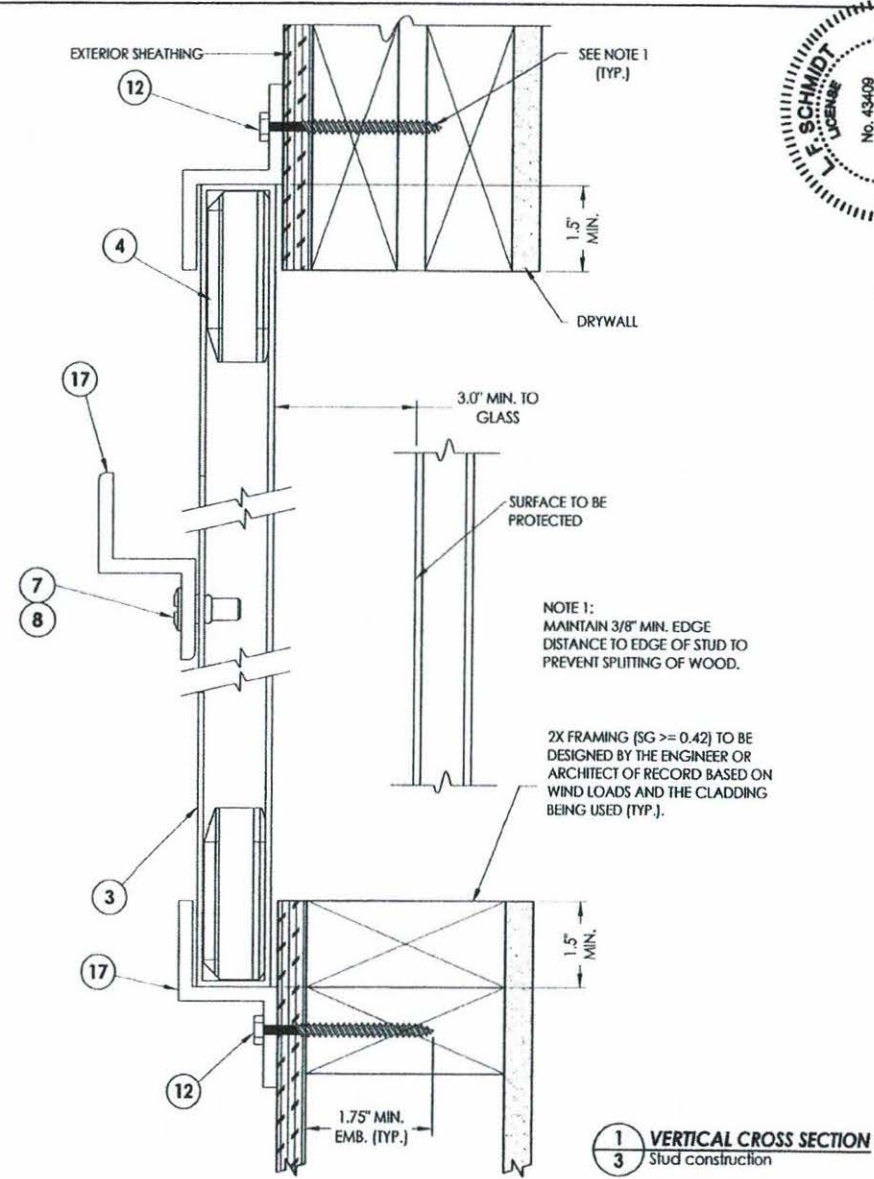
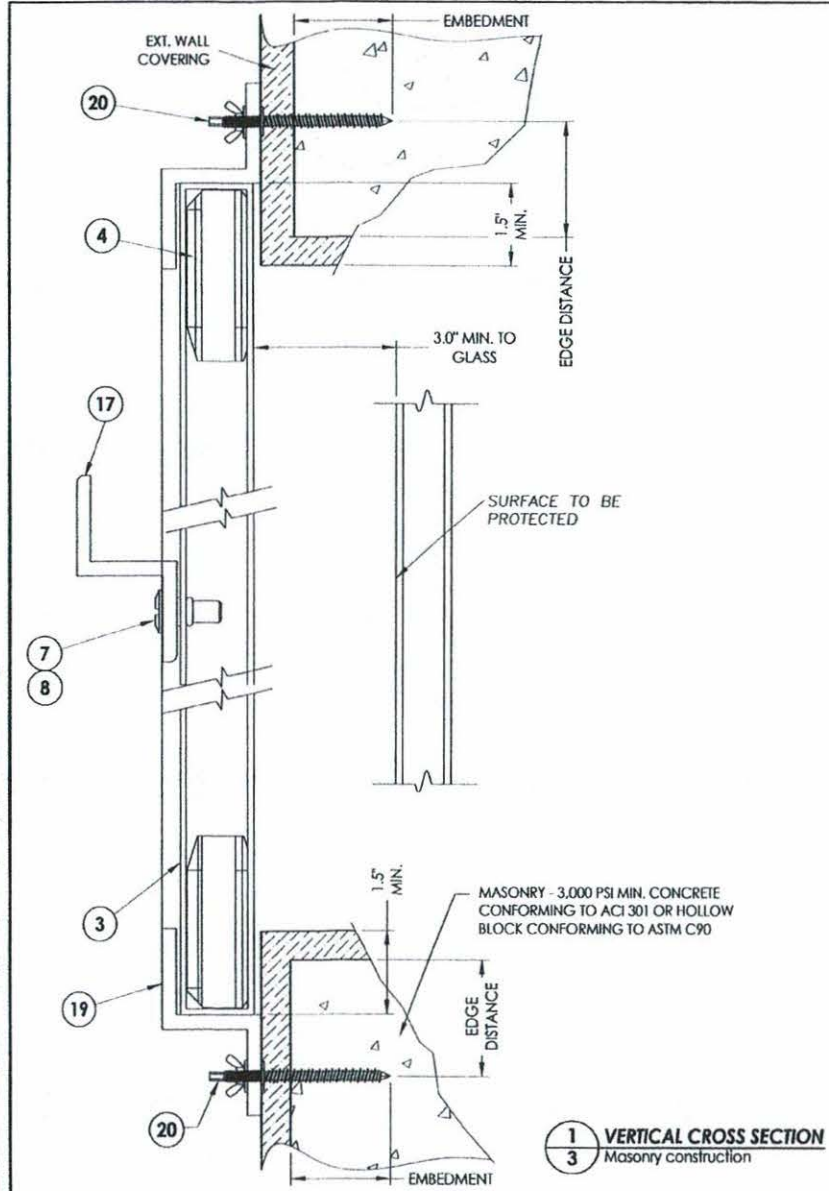
ANCHOR	ANCHOR
1/4" SAMMYS SSC TAPCON SG EM = 1.75" CL = 3" ED = 1.25" (3,295 PSI MIN. CONC.)	1/4" SAMMYS SSC TAPCON SG EM = 1.25" CL = 3" ED = 2.5"
1/4" ITW RED HEAD DYNABOLT SLEEVE ANCHOR EM = 1.125" CL = 3" ED = 1.5" (3000 PSI MIN. CONC.)	1/4" ITW RED HEAD DYNABOLT SLEEVE ANCHOR EM = 1.125" CL = 3" ED = 1.5"
1/4" ALL POINTS SOLID-SET ANCHOR EM = 0.875" CL = 3" ED = 2" (3,000 PSI MIN. CONC.)	1/4" ALL POINTS SOLID-SET ANCHOR EM = 0.875" CL = 3" ED = 2"
1/4" ITW TAPCON EM = 1.75" CL = 3" ED = 4" (3,000 PSI MIN. CONC.)	

EM = MINIMUM EMBEDMENT
(PENETRATION)
CL = MINIMUM CENTER TO
CENTER ANCHOR SPACING
ED = EDGE DISTANCE



Documents Prepared By: L. Schmidt
P.E. No. 43409
R.W. BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.659.8197
FBPE, C.A. No. 9813

PRODUCT:	SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY:
BY:	REVISIONS:
NO.	DATE
DATE: 2/05/15	
SCALE: N.T.S.	
DWG. BY: JK	
CHK. BY: LFS	
DRAWING NO.: FL-17474.1	
SHEET 2 OF 7	



SEI SCHMIDT
No. 43409
P.E. No. 43409

Documents Prepared By:
Lyndon F. Schmidt
P.E. No. 43409

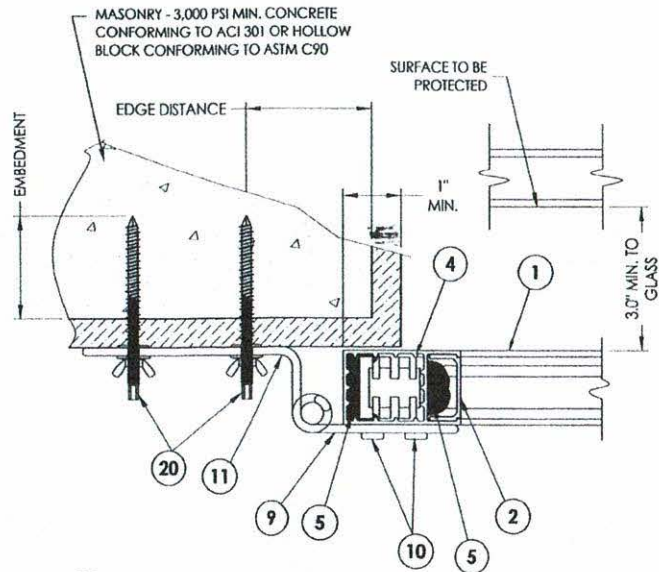
PROFESSIONAL ENGINEER
FLORIDA

BUILDING CONSULTANTS, INC.
P.O. Box 230, Vero Beach, FL 33595
Phone No.: 813.659.9197
FBPE C.A. No. 9813

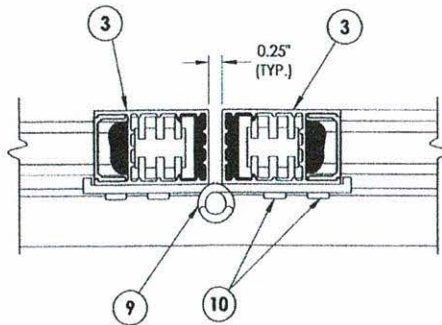
PRODUCT:
SEI
EXTRUDED ALUMINUM
COLONIAL HURRICANE SHUTTER

PART OR ASSEMBLY:
VERTICAL CROSS SECTIONS
MASONRY & STUD CONSTRUCTION

DATE: 2/05/15
SCALE: N.T.S.
DWG. BY: JK
CHK. BY: LFS
DRAWING NO.: FL-17474.1
SHEET: 3 OF 7

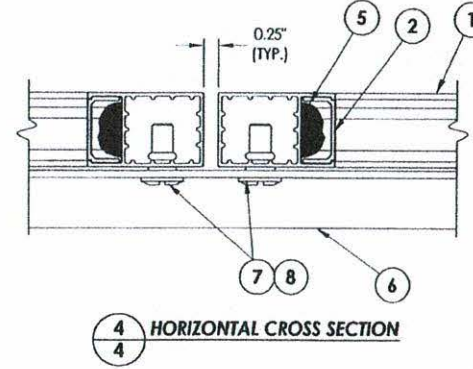


1
4 **HORIZONTAL CROSS SECTION**
Masonry construction

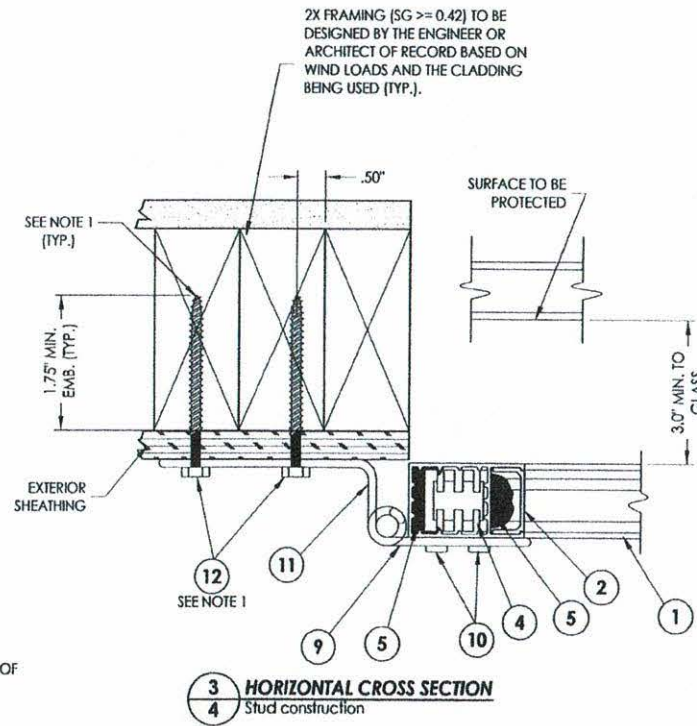


2
4 **HORIZONTAL CROSS SECTION**

NOTE 1:
MAINTAIN 3/8\"/>



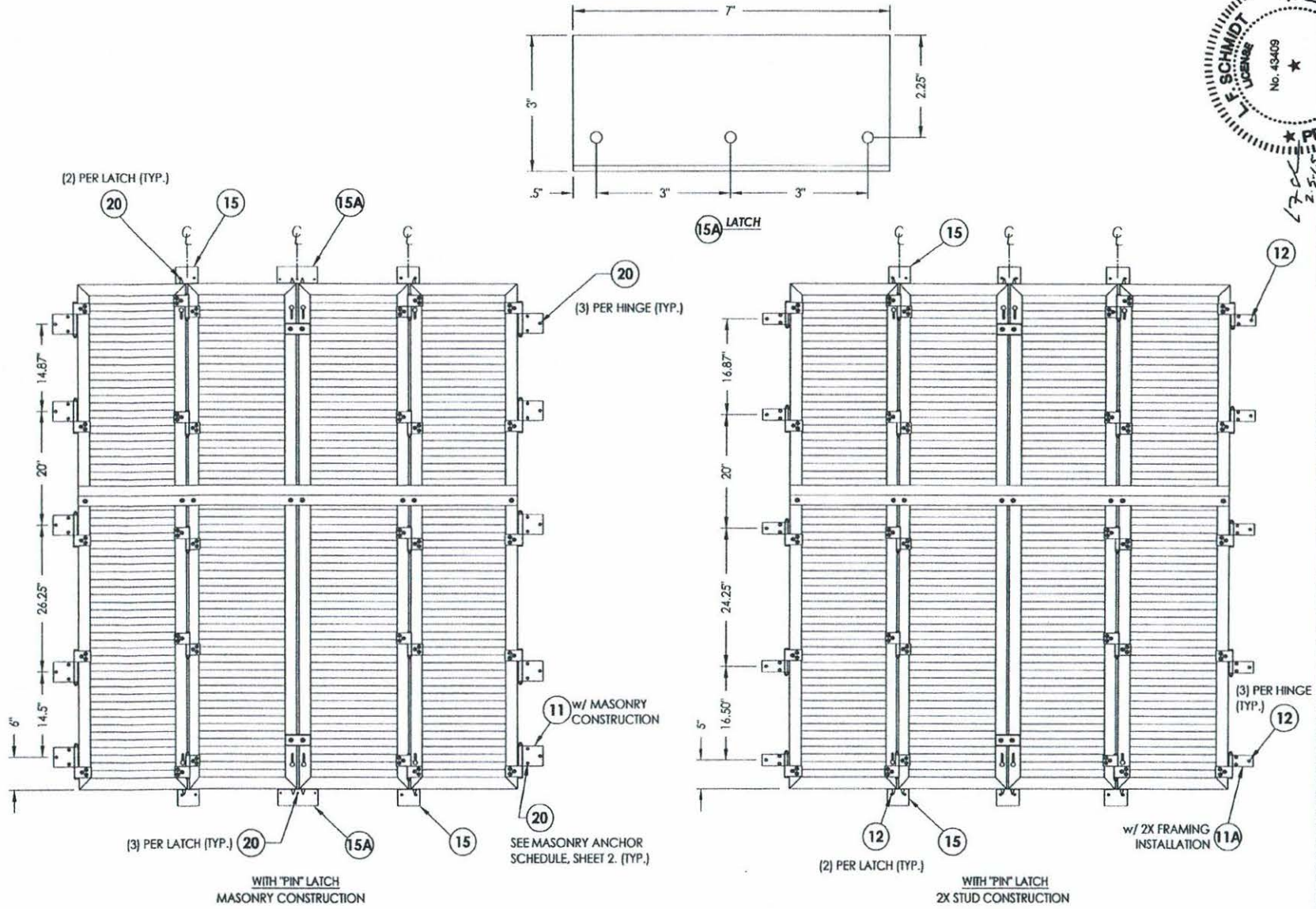
4
4 **HORIZONTAL CROSS SECTION**



3
4 **HORIZONTAL CROSS SECTION**
Stud construction

<p>Documents Prepared By: Lyndon F. Schmidt P.E. No. 43409</p>		<p>DATE: 2/05/15</p>	
		<p>SCALE: N.T.S.</p>	
<p>PRODUCT: SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY:</p>		<p>DWG. BY: JJK</p>	
<p>HORIZONTAL CROSS SECTIONS MASONRY & STUD CONSTRUCTION</p>		<p>CHK. BY: LFS</p>	
<p>NO. DATE</p>		<p>DRAWING NO.: FL-17474.1</p>	
<p>REVISIONS</p>		<p>SHEET 4 OF 7</p>	

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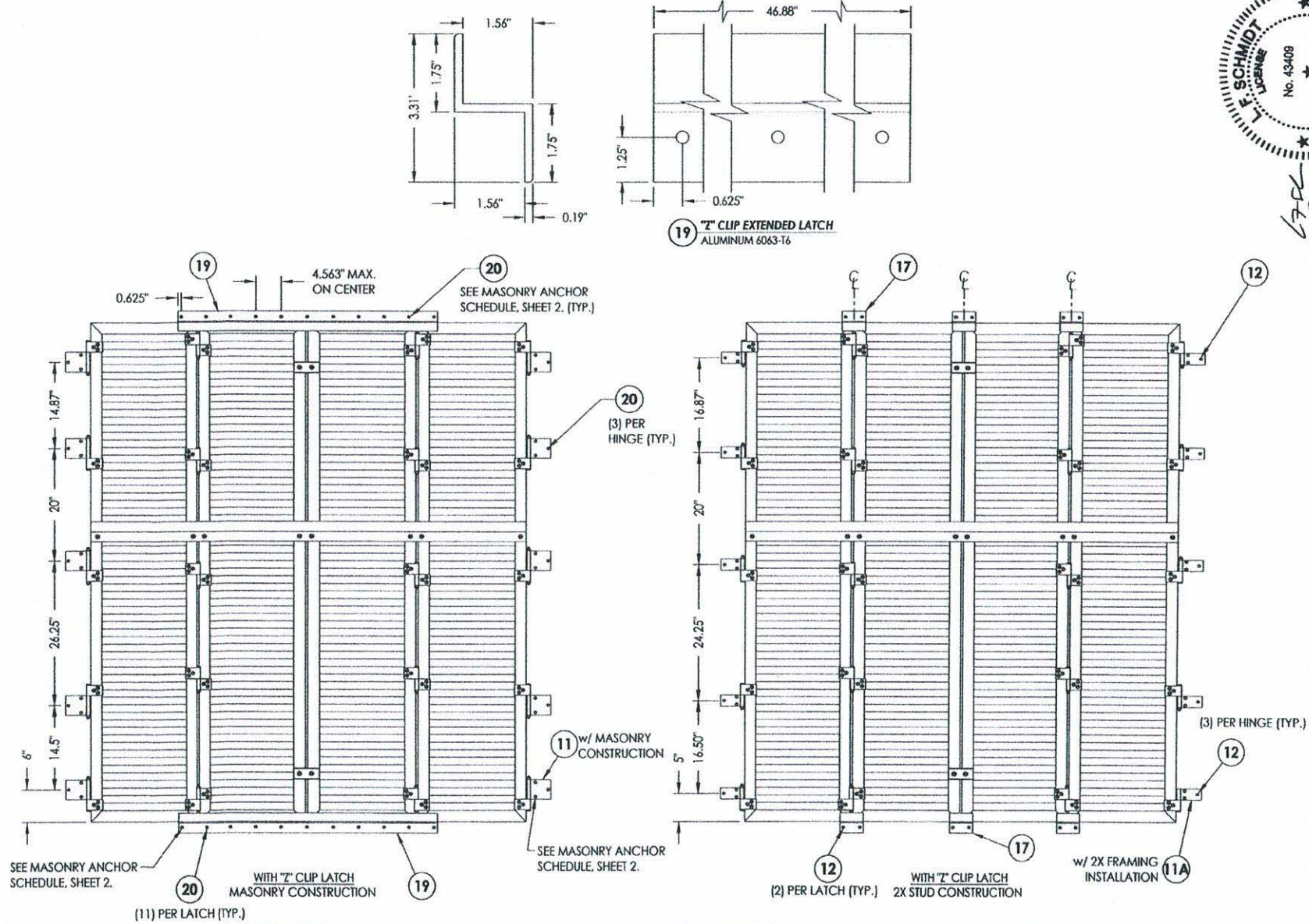
SEI
EXTRUDED ALUMINUM
COLONIAL HURRICANE SHUTTER
PART OR ASSEMBLY:
ANCHORING LOCATIONS
MASONRY & STUD INSTALLATION

DATE: 2/05/15
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.: FL-17474.1
 SHEET: 5 OF 7

Documents Prepared By:
 Lyndon F. Schmidt
 P.E. No. 43408

PROFESSIONAL ENGINEER
 F. SCHMIDT
 LICENSE
 No. 43408

BUILDING CONSULTANTS, INC.
 P.O. Box 230, Venice, FL 33595
 Phone No.: 813.859.9187
 FBPE C.A. No. 9813



17474
2.5.11

STATE OF FLORIDA
F. SCHMIDT
LICENSE
No. 43409

Documents Prepared By:
Lyndon F. Schmidt
P.E. No. 43409

PRODUCT:
SEI
EXTRUDED ALUMINUM
COLONIAL HURRICANE SHUTTER
PART OR ASSEMBLY:
ANCHORING LOCATIONS
MASONRY & STUD INSTALLATION

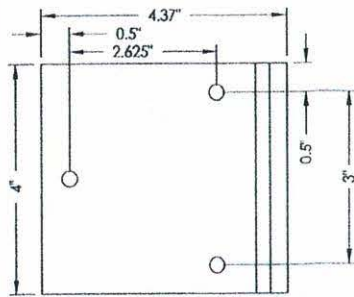
DATE: 2/05/15
SCALE: N.T.S.
DWG. BY: JK
CHK. BY: LFS
DRAWING NO.: FL-17474.1
SHEET 6 OF 7

REVISIONS

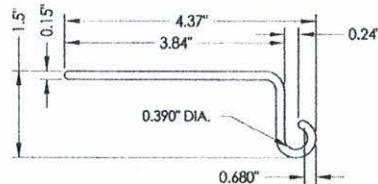
NO. DATE BY

© 2015 R.W. BUILDING CONSULTANTS INC.

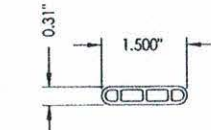
BILL OF MATERIALS		
1	LOUVER 6063-T6 0.060"	ALUM.
2	LOUVER/INSERT 6063-T6 0.060"	ALUM.
3	STILE/RAIL 6063-T6 0.060"	ALUM.
4	NYLON CORNER KEY	NYLON
5	STRUCTURAL ADHESIVE	
6	STORM BAR 6063-T6	ALUM.
7	1/4-20 x 1" SIDEWALK BOLT	STEEL
8	1/4-20 RIV-NUT	ALUM.
9	FLAT HINGE	ALUM.
10	3/16" DIA. POP RIVET	ALUM.
11	SINGLE HINGE MASONRY	ALUM.
11A	SINGLE HINGE WOOD	ALUM.
12	1/4" x 3" H.H. LAG SCREW	STEEL
13	LOCKING PIN	ALUM.
14	THUMB SCREW	STEEL
15	LATCH	ALUM.
17	"Z" CLIP	ALUM.
19	"Z" CLIP EXTENDED LATCH	ALUM.
20	ANCHOR - SEE MASONRY ANCHOR SCHEDULE	STEEL



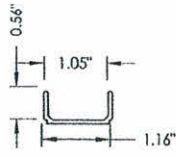
11 SINGLE HINGE MASONRY
EXTRUDED ALUMINUM
6063-T6



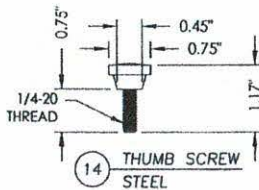
11 SINGLE HINGE
EXTRUDED ALUMINUM
6063-T6



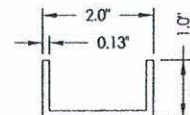
1 LOUVER
EXTRUDED ALUMINUM
6063-T6
0.060" TYP. WALL THK.



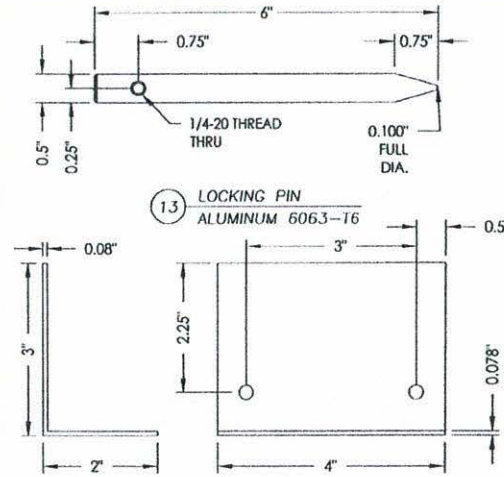
2 LOUVER/INSERT
EXTRUDED ALUMINUM
6063-T6
0.060" TYP. WALL THK.



14 THUMB SCREW
STEEL

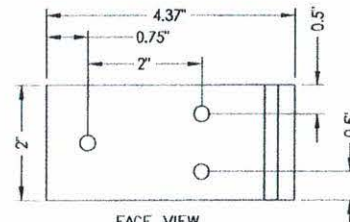


6 STORM BAR
EXTRUDED ALUMINUM
6063-T6

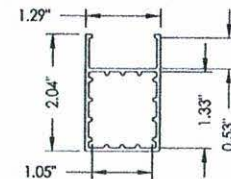


13 LOCKING PIN
ALUMINUM 6063-T6

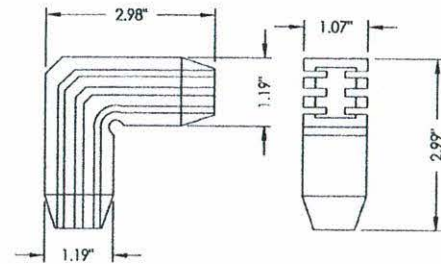
15 LATCH
ALUMINUM 6063-T6



11A SINGLE HINGE WOOD
EXTRUDED ALUMINUM
6063-T6



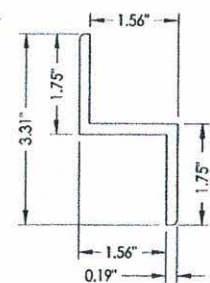
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EXTRUDED ALUMINUM
6063-T6
0.060" TYP. WALL THK.



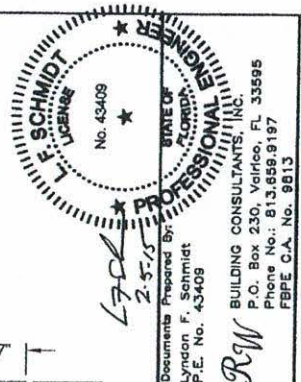
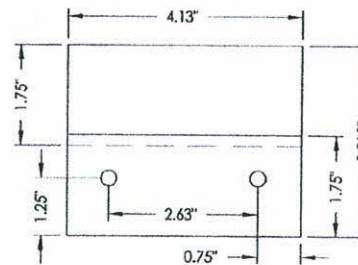
4 NYLON CORNER KEY



9 FLAT HINGE
EXTRUDED ALUMINUM
6063-T6



17 "Z" CLIP
ALUMINUM 6063-T6



PRODUCT:		SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY:	
REVISIONS		BILL OF MATERIALS & COMPONENTS	
DATE:	2/05/15	BY:	
SCALE:	N.T.S.	NO. DATE	
DWG. BY:	JK		
CHK. BY:	LFS		
DRAWING NO.:	17474.1		
SHEET	7	OF	7



Technical Data Sheet

KW Epoxy Primer ELSS 72131

Description:	Thermosetting powder coating based on an epoxy resin. Epoxies are designed for interior applications where exterior durability is not required. This product has been modified to provide excellent corrosion protection and is recommended for primer applications.	
Typical Physical Properties:	Film Thickness (ASTM D)	2.0-3.0 mil
	Gloss 60°angle (ASTM D-523-89)	30-60
	Hardness (ASTM D-3363-92A)	2H+
	Flexibility (ASTM D-1737-89)	1/8 inch
	Adhesion (ASTM D-3359-95A)	5B (100%)
	Impact Direct/Indirect (ASTM D-2794-93)	160/160 in/lbs
	Chemical Resistance	Excellent
	Salt Spray (ASTM B117)	2500 hrs, 3 mm creepage
	Abrasion Resistance (ASTM D4060)	40 mg loss after 1000 cycles
	Heat Resistance ASTM D2485	Passes at 270°F
	Specific Gravity	1.60±0.05
Application Data:	Epoxies can be applied with either a corona electrostatic powder spray gun at between 60kv – 100 kv or a Tribo gun. Epoxies can also be formulated for fluid bed application upon request.	
Cure Schedules:	Epoxies can be cured in a direct or indirect gas convection oven, an electric oven, or an Infrared. A combination of any of these ovens is also suitable. Care must be taken with excess heat, as epoxies tend to discolor on overtake. <i>Cure: 10 minutes@ 340°F Peak Metal Temperature</i>	
Storage:	Product should be stored at temperatures below 80°F, in a dry area away from any heat source.	
Notes:	All tests were performed on Bonderite 1000, iron phosphated panels with a nominal film thickness of 2 mils. Lower gloss levels may require higher cure temperatures or longer dwell times. Please refer to the MSDS for safety information.	

Any recommendations contained herein or any information given by any IFS COATINGS representative is based on tests and information believed to be accurate. However, since we have no control over the conditions under which our products are transported, stored, handled, or used by purchasers, all recommendations and sales are made on condition that IFS COATINGS will not be held liable for any damages resulting from their use. No representative of ours has any authority to waive or change this provision.



Buildings

Address: 202 CEVALLOS ST, Year Built: 1918, Effective Year: 1990

Structural Elements

DECOR/MILLWORK-ABOVE AVERAGE
DWELLING UNITS-1
EXTERIOR WALL-SIDING-LAP.AAVG
FLOOR COVER-CARPET
FOUNDATION-WOOD/SUB FLOOR
HEAT/AIR-CENTRAL H/AC
INTERIOR WALL-DRYWALL-DECORAT
NO. PLUMBING FIXTURES-16
NO. STORIES-2
ROOF COVER-METAL/MODULAR
ROOF FRAMING-GABLE-HI PITCH
STORY HEIGHT-11
STRUCTURAL FRAME-WOOD FRAME



Areas - 5825 Total SF

BASE AREA - 2166

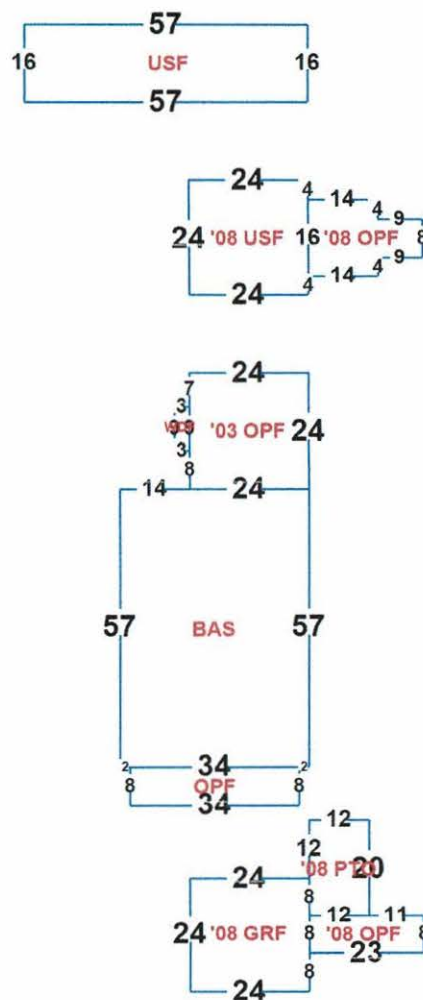
GARAGE FIN - 576

OPEN PORCH FIN - 1328

PATIO - 240

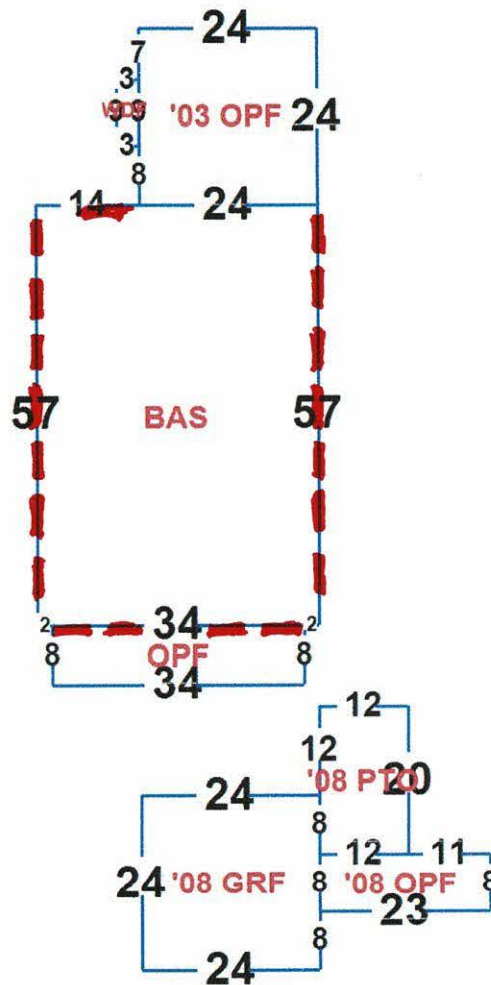
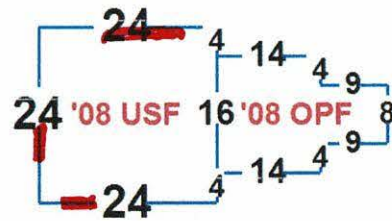
UPPER STORY FIN - 1488

WOOD DECK FIN - 27



Images

Escambia County Property Appraiser
130580000



! - WINDOW OPENINGS
FOR SHUTTER REPLACEMENT

From: Gregg Harding
Sent: Monday, November 18, 2019 9:53 AM
To: 'Kurt Krueger' <kdkrueger@aol.com>
Subject: RE: Shutters

Kurt,

Please see the response below from the UWF advisor to the ARB. Please let me know if you have any questions moving forward!

Gregg,

I believe we approved a metal storm shutter that looks like wood on the windows above Jackson's Restaurant. There is a company on Government Street that I toured when this was being proposed back in 2014 called Storm Tech, Inc. <https://stormtechinc.com/>

If the owner can show the shutters will look like wood and that they are hurricane rated, they most likely will get approved, but they will need to go through the full board.

Ross

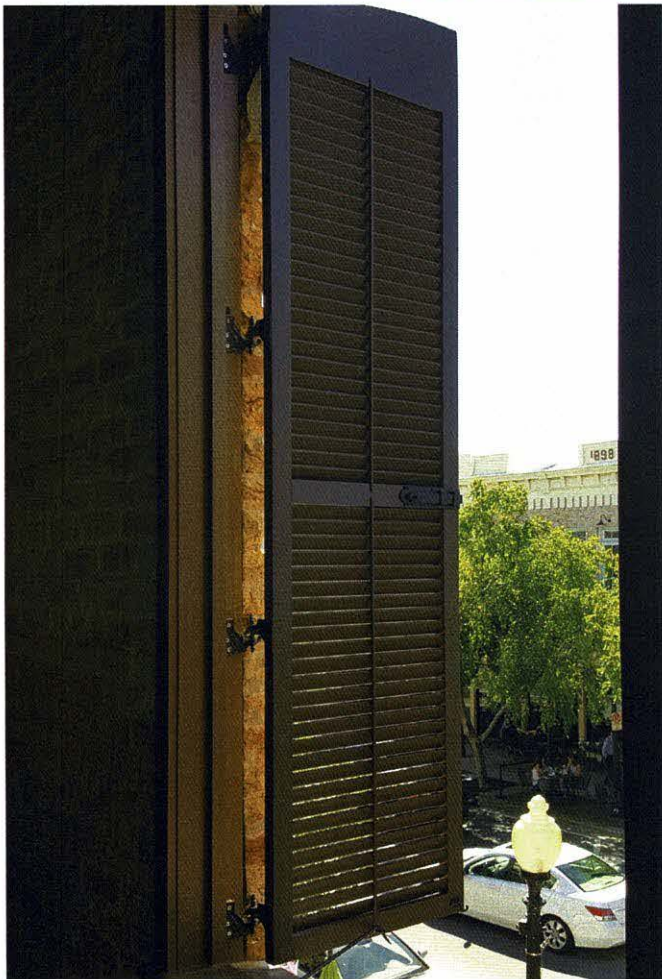
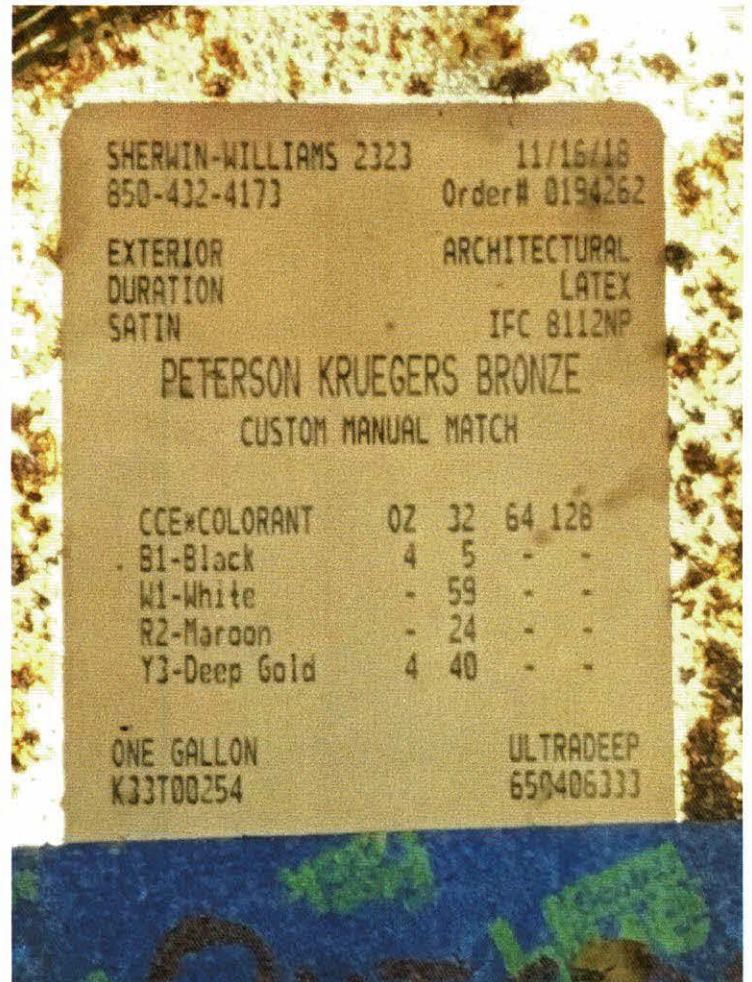
Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

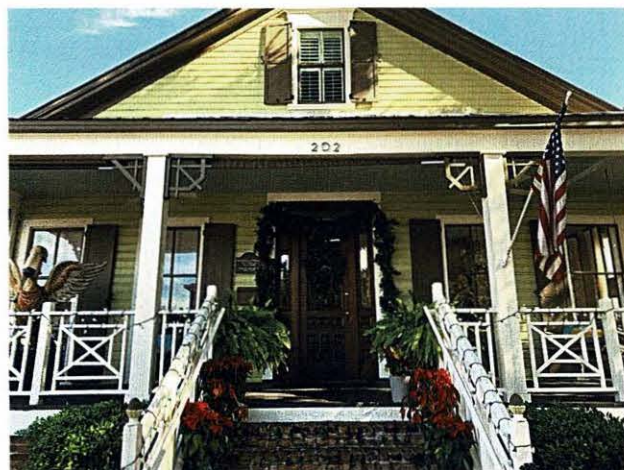
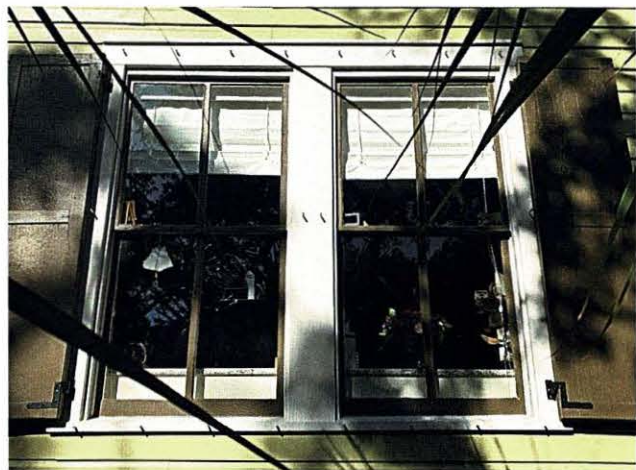
222 W Main St.

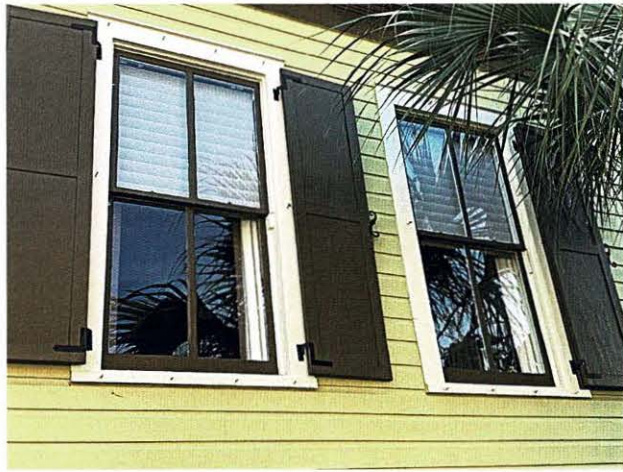
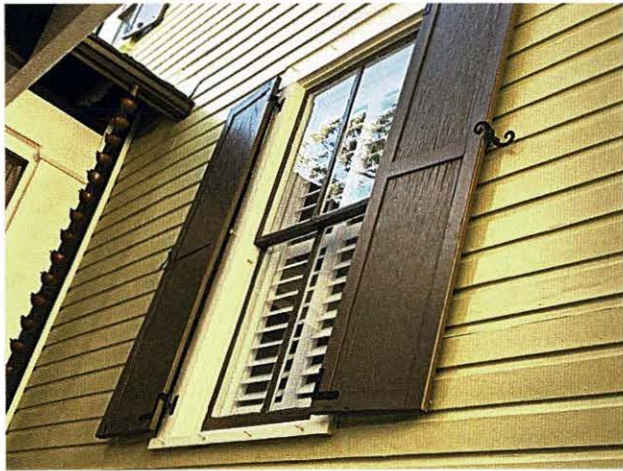
Pensacola, FL 32502

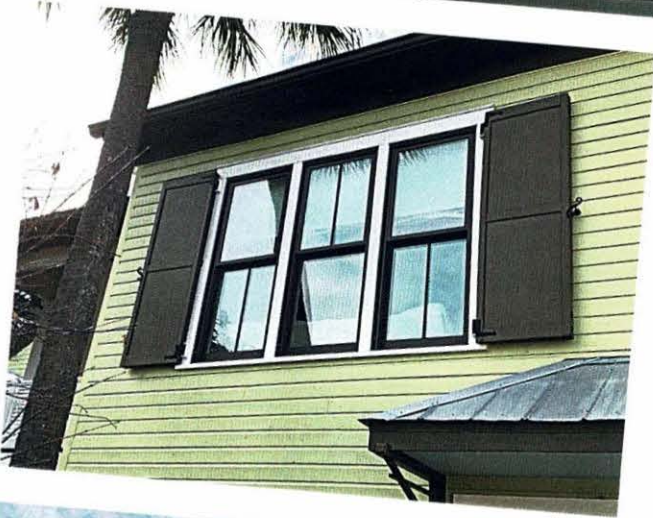


SHTTER REPLACEMENT

ABOVE JACKSON'S







Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 3**
122 W. Lloyd Street
PR-1AAA
Contributing Structure

BACKGROUND

Mary Bozeman is seeking approval to add 34 solar panels to the roof of a contributing structure. All 34 panels are proposed to be added to the south side of the roof which faces Lloyd Street. Per Florida Statute Sec. 163.04(2), "a property owner may not be denied permission to install solar collectors [...] by any entity." However, "such entity may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45° east or west of due south provided that such determination does not impair the effective operation of the solar collectors."

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Florida Statute – Sec. 163.04 *Florida Solar Rights Law*

Sec. 12-2-10(B)(4) *NHPD, Procedure for review (all activities regulated by this subsection shall be subject to review and approval by the ARB)*

Sec. 12-2-10(B)(6) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 1/24/20

Project Address:

122 W Lloyd St. Pensacola FL 32501

Applicant:

Titan Solar Power FL

Applicant's Address:

12221 N. US 301 Thomasasassa, FL 33592

Email:

Charesik@titansolarpower.com

Phone: 813 982 9001

Property Owner:

Mary Bezman

(If different from Applicant)

District:

PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

solar PV install – south side of roof.
34 modules, 10.88kW

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]

Applicant Signature

1/24/20

Date

Planning Services

222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. Es 905
Site Name Freeman, R.R. House 830 = = Survey Date 8009 820 = =
Address of Site: 122 W. Lloyd St. Pensacola, FL. 32501 905 = =
Instruction for locating NE corner W. Lloyd and N. Spring 813 = =
Location: Clapp Tract 162 1-4 port 5 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Bozeman, Frank C. and Mary C. ;
Address: 122 W. Lloyd St.
Pensacola, FL. 32501 902 = =
Type of Ownership Private 848 = = Recording Date 8009 832 = =
Recorder:
Name & Title: Gantzhorn, Alan; Hawley, Nancy ;
Address: HPPB 818 = =

Condition of Site: Integrity of Site: Original Use Residence 838 = =
Check One Check One or More Present Use Residence 850 = =
☐ Excellent 863 = = ☐ Altered 858 = =
☐ Good 863 = = ☐ Unaltered 858 = =
☐ Fair 863 = = ☐ Original Site 858 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = =
☐ Moved () (Date:) 858 = =
Dates: Beginning +1926-27 844 = =
Culture/Phase American 840 = =
Period 20th Century 845 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
☐ Zoning () () 878 = = ☐ Transportation () () 878 = =
☐ Development () () 878 = = ☐ Fill () () 878 = =
☐ Deterioration () () 878 = = ☐ Dredge () () 878 = =
☐ Borrowing () () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture 910 = =

Significance:

Built by attorney, R.R. Freeman, this Federal Revival house has been owned solely by lawyers. All three owners have been practicing attorneys in Pensacola.

911 = =

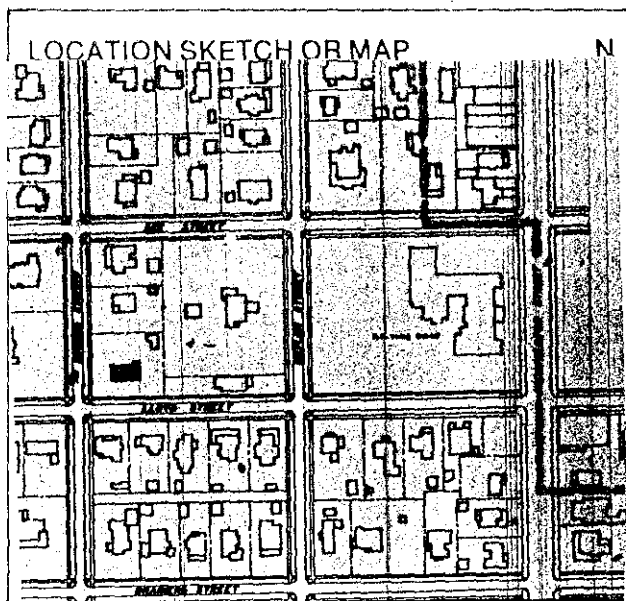
ARCHITECT Yonge and Hart (Pensacola, Fl.) 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Federal Revival 964 ==
 PLAN TYPE Rectangle 966 ==
 EXTERIOR FABRIC(S) Aluminum siding 854 ==
 STRUCTURAL SYSTEM(S) Wood Frame 856 ==
 PORCHES none

942 ==
 FOUNDATION: Continuous: brick 942 ==
 ROOFTYPE: Gable with returns 942 ==
 SECONDARY ROOF STRUCTURE(S): 1 st add. flat roof 942 ==
 CHIMNEY LOCATION: End:ridge End: ext. 942 ==
 WINDOW TYPE: DHS, 6/6; arched, DHS, wood with shutters 942 ==
 CHIMNEY: Brick 882 ==
 ROOF SURFACING: Composition shingle: butt 882 ==
 ORNAMENT EXTERIOR: Ped. ent. with paired pillasters 882 ==
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS 0 954 ==

Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==

Latitude and Longitude: " " " " 800 ==

Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

UTM Coordinates:

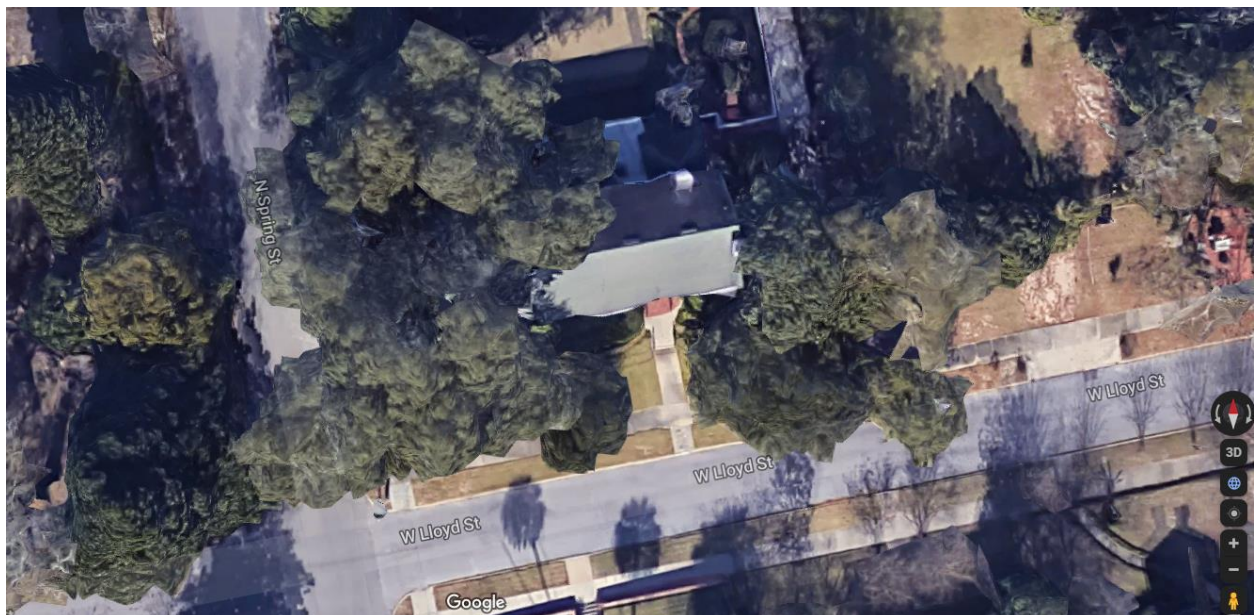
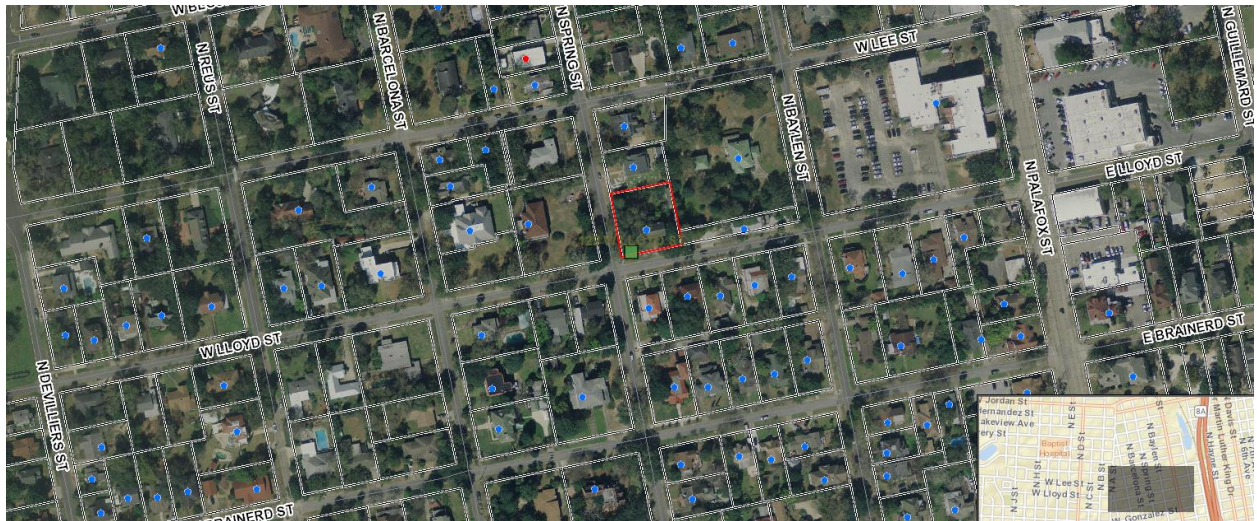
Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P80.32 Fr. 9A 860 ==

Contact Print



122 W. Lloyd Street



Florida

Solar Rights Law

Florida law forbids ordinances, deed restrictions, covenants, or similar binding agreements from prohibiting solar equipment use. Under this law, a homeowner may not be denied permission to install a solar collector, clothesline, or other energy device based on renewable resources by "any entity granted the power or right in any deed restriction, covenant or similar binding agreement to approve, forbid, control, or direct alteration of property..."



While a homeowner cannot be prevented from installing a solar energy system, certain restrictions may be imposed without violating the law. However, those restrictions must be

reasonable, not arbitrary, and uniformly imposed on homeowners in the subdivision. The restrictions cannot act to impair the performance of a solar system or it may be seen as "effectively" prohibiting solar.

The law specifically prohibits a community association from preventing the installation of solar collectors on the roof. The association may determine where on the roof the collectors may be installed, so long as the installation is within the area required for its effective operation, that is, south, or east or west of due south. The association is, thereby, limited in imposing requirements which would effectively restrict the system's operating efficiency or increase the installation cost. As such, requirements for screening the system from view, whether by trees or fences, ground-mounting, or limiting visibility from the street, are contrary to the spirit and letter of the law if the result impairs the efficiency of the system.

There has been some litigation with respect to the applicability of Section 163.04. However, most cases have been resolved through mediation. One such case involved the installation of a solar pool heater on the roof of a home. In this case, the association filed an injunction requesting removal of the rooftop system and instead required that the system be ground-mounted. This change would have impaired the system's operating efficiency; and the yard space was insufficient to allow ground mounting. The parties settled, with the homeowner's prevailing on the issue of roof mounting. Although the collectors were relocated to a less conspicuous area on the roof, more panels were added to compensate for the loss of system efficiency.

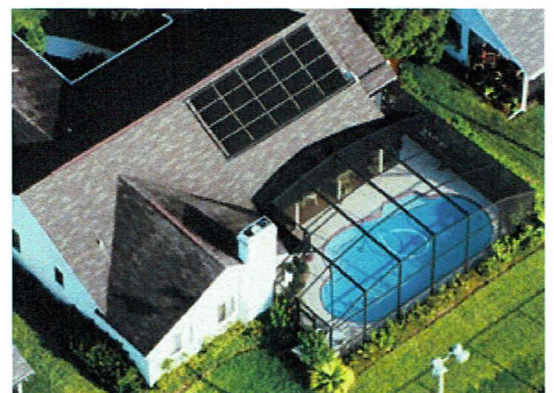
Another case dealt with the denial of a residential pool heating system. This case was decided in favor of the association based on

the sole issue of whether Section 163.04 applied to homeowner associations. The court held that the law did not apply to homeowner associations. Subsequently, the law was amended to specifically include actions taken by homeowner associations.

More recently, there have been cases decided under 163.04 that have protected the right of homeowners to install tubular skylights on their residences, including condominiums and townhome villas where the devices were installed on common property. In both cases, the homeowners prevailed and the association was required to pay court costs and attorney fees – for themselves and for the prevailing homeowner.

The Legislature has made successive amendments to the statute to better state its intent to protect the right of all Floridians to use solar energy to reduce the cost of operating their homes, while at the same time reducing the state's dependence on fossil fuels. The law applies to all actions taken with respect to approval or denial of a solar system, regardless of when the community was instituted or when the association bylaws may have been adopted.

It is important to seek the approval of a homeowners association prior to the installation of a solar system. Section 163.04 does not waive the need for association approval if it is required by the governing documents.



The logo features a stylized yellow sun in the top left corner. The word "Florida" is written in a large, yellow, cursive script. Below it, the words "Solar Rights Law" are written in a smaller, white, serif font.

Florida Solar Rights Law

Florida Statute - Section 163.04

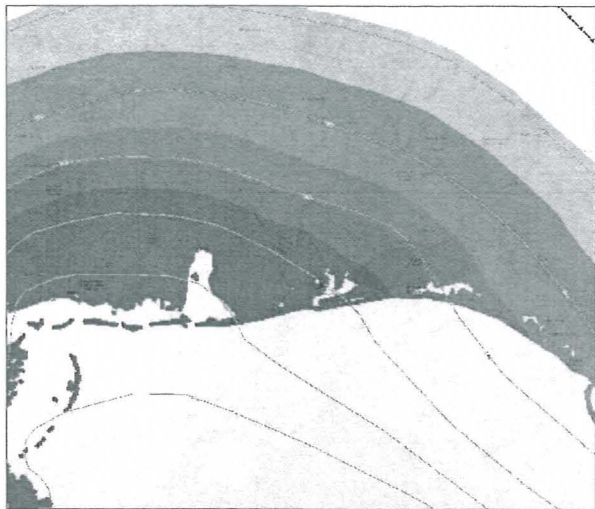
Energy devices based on renewable resources—

- (1) Notwithstanding any provision of this chapter or other provision of general or special law, the adoption of an ordinance by a governing body, as those terms are defined in this chapter, which prohibits or has the effect of prohibiting the installation of solar collectors, clotheslines, or other energy devices based on renewable resources is expressly prohibited.
- (2) No deed restrictions, covenants, or similar binding agreements running with the land shall prohibit or have the effect of prohibiting solar collectors, clotheslines, or other energy devices based on renewable resources from being installed on buildings erected on the lots or parcels covered by the deed restrictions, covenants, or binding agreements. A property owner may not be denied permission to install solar collectors or other energy devices based on renewable resources by any entity granted the power or right in any deed restriction, covenant, or similar binding agreement to approve, forbid, control, or direct alteration of property with respect to residential dwellings not exceeding three stories in height. For purposes of this subsection, such entity may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45° east or west of due south provided that such determination does not impair the effective operation of the solar collectors.
- (3) In any litigation arising under the provisions of this section, the prevailing party shall be entitled to costs and reasonable attorney's fees.
- (4) The legislative intent in enacting these provisions is to protect the public health, safety, and welfare by encouraging the development and use of renewable resources in order to conserve and protect the value of land, buildings, and resources by preventing the adoption of measures which will have the ultimate effect, however unintended, of driving the costs of owning and operating commercial or residential property beyond the capacity of private owners to maintain. This section shall not apply to patio railings in condominiums, cooperatives, or apartments.

History—s. 8, ch. 80-163; s. 1, ch. 92-89; s. 14, ch. 93-249.

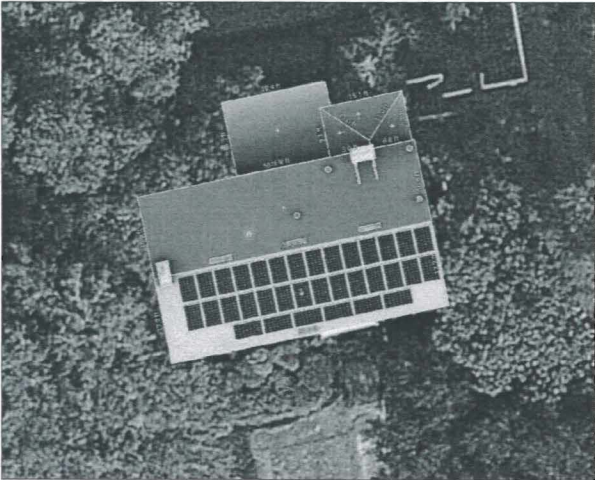
Florida Solar Energy Center®

A Research Institute of the University of Central Florida
1679 Clearlake Road, Cocoa, FL 32922-5703
321.638.1000 • www.fsec.ucf.edu • info@fsec.ucf.edu



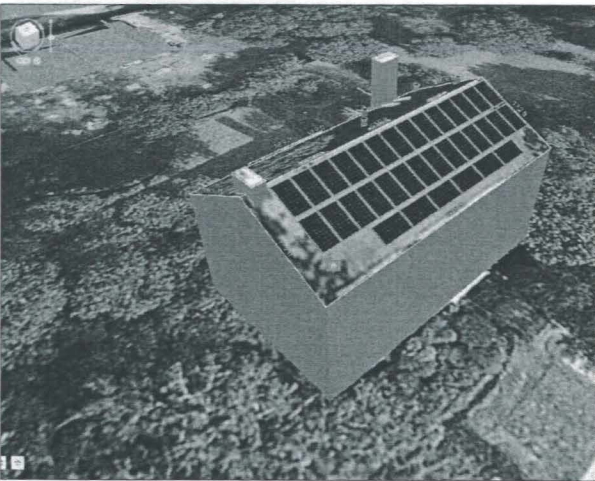
LOCATION MAP

SCALE: NONE



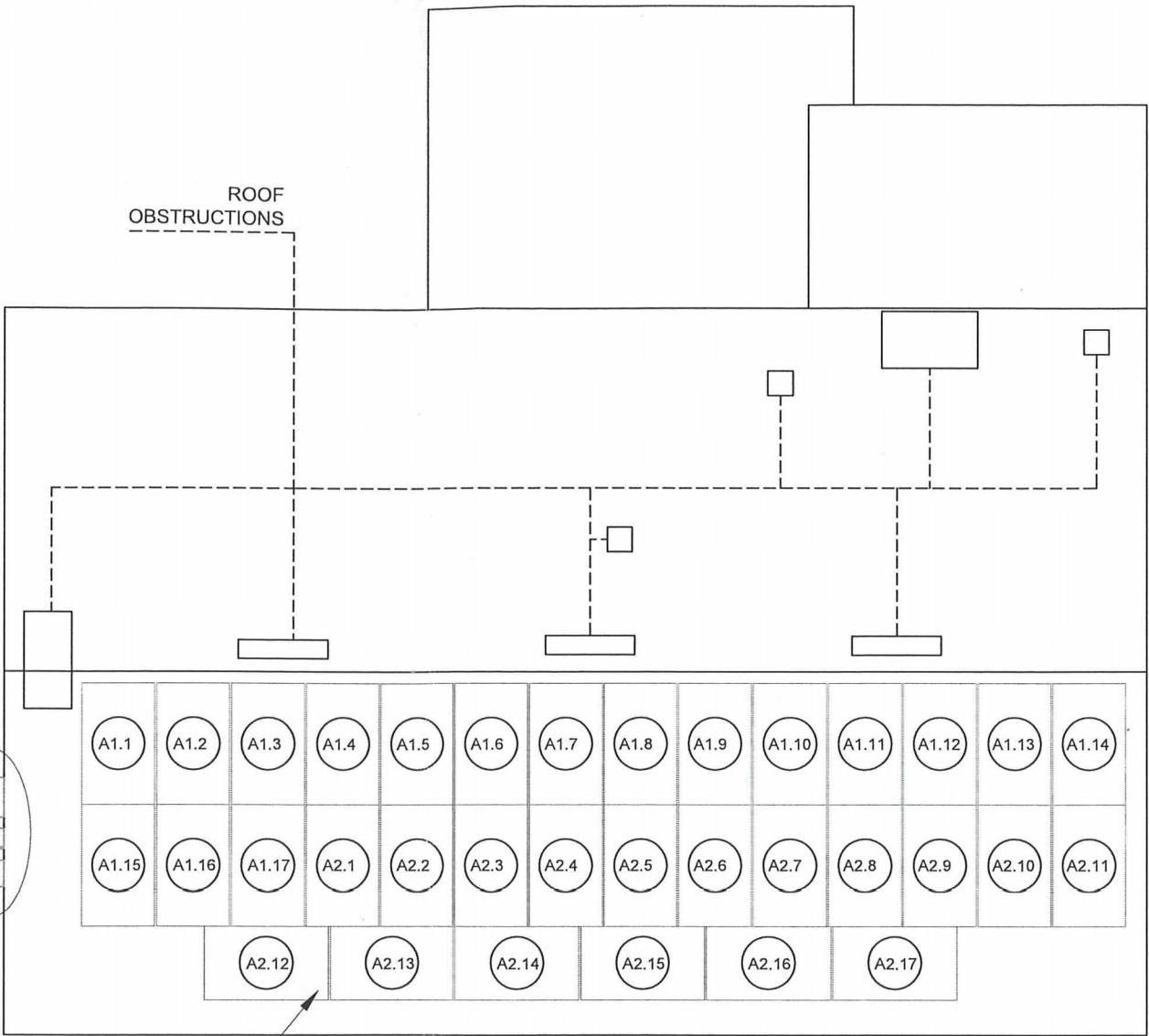
IRRADIANCE VIEW

SCALE: NONE



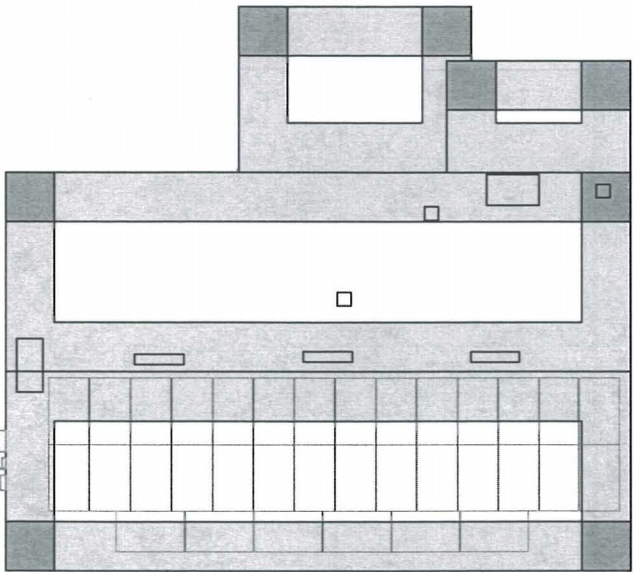
3D RENDERING

SCALE: NONE



ARRAY-A
TILT=26°
AZIMUTH= 168° (S)

- ZONE 1 ☐
- ZONE 2 ☐
- ZONE 3 ☒

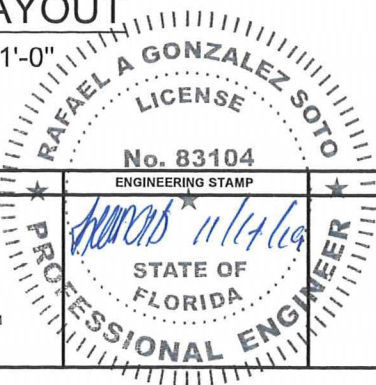


REFERENCE

SCALE: NONE

ARRAY LAYOUT

SCALE: 1/4" = 1'-0"



REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	PROJECT	ADDRESS	PARCEL NUMBER	SHEET NAME	PROJECT ID	DESIGNED BY	DATE	SHEET TITLE
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 9001 #EC13008093		BOZEMAN, MARY	PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM	122 W Lloyd St, Pensacola, FL 32501, USA	20-26-16-0640-00000-8390	COVER SHEET	TSP30734	ENG. RAFAEL A. GONZALEZ SOTO, PE	11/07/2019	C-1 1 OF 8

PROJECT DESCRIPTION

INSTALLATION OF GRID-TIED PHOTOVOLTAIC STRING INVERTER SYSTEM ON SHINGLE ROOF OF EXISTING FAMILY RESIDENCE.

SYSTEM CAPACITY: 10.88 KW DC / 7.6 KW AC

PV PANELS: (34) SILFAB-SLA-M-320 320W 60 CELLS

OPTIMIZERS: (34) OPTIMIZERS P320

INVERTER: (1) SE7600H-US 240V INVERTER FROM SOLAR EDGE

RACKING SYSTEM: IRONRIDGE XR RAIL FAMILY MODEL XR1000

ARRAY-A: 34 PANELS ON PORTRAIT SETUP FACING SOUTH, RAILS EAST TO WEST ON PITCHED ROOF

GENERAL NOTES

PER FL. STATUTE 377.705 (REVISED 7/1/2017), I RAFAEL A. GONZALEZ SOTO, P.E. 83104 AN ENGINEER LICENSED PURSUANT TO CHAPTER 471, CERTIFY THAT THE PV ELECTRICAL SYSTEM AND ELECTRICAL COMPONENTS ARE DESIGNED AND APPROVED USING THE STANDARDS CONTAINED IN THE MOST RECENT VERSION OF THE FLORIDA BUILDING CODE.

APPLICABLE CODES: 2017 FLORIDA BUILDING CODE 6TH, ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES, NEC 2014 ELECTRICAL CODE

ALL WIND DESIGN CRITERIA AND PARAMETERS ARE FOR HIP AND GABLE RESIDENTIAL ROOFS, CONSIDERING FROM A 7° TO A MAXIMUM 27° (2/12 TO A MAXIMUM 6/12 PITCH ROOF IN SCHEDULE. ALL RESIDENTIAL ROOFS SHALL NOT EXCEED 30'-0" MEAN ROOF HEIGHT. ROOF SEALANTS SHALL CONFORM TO ASTM C920 AND ASTM 6511, AND IS RESPONSIBILITY OF THE CONTRACTOR TO PILOT FILL ALL HOLES. CONTRACTOR SHALL ENSURE ALL ROOF PENETRATIONS TO BE INSTALLED AND SEALED PER 2017 FLORIDA BUILDING CODE OR LOCAL GOVERNING CODE.

ALL WIRING METHODS AND INSTALLATION PRACTICES SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (NEC) 2014, LOCAL STATE CODES, AND OTHER APPLICABLE LOCAL CODES. MEANS SHALL BE PROVIDED TO DISCONNECT ALL CURRENT CARRYING CONDUCTORS OF THE PHOTOVOLTAIC POWER SOURCE FROM ALL OTHER CONDUCTORS IN THE BUILDING. CONNECTORS TO BE TORQUED PER DEVICE LISTING, OR MANUFACTURERS RECOMMENDATIONS. NON-CURRENT CARRYING METAL PARTS SHALL BE CHECKED FOR PROPER GROUNDING.

REQUIRED SAFETY SIGNS AND LABELS SHALL BE PERMANENTLY ATTACHED BY ADHESIVE, OR OTHER MECHANICAL MEANS. LABELS SHALL COMPLY WITH ARTICLE 690 VI OF THE NEC 2014 OR OTHER APPLICABLE STATE AND LOCAL CODES. SEE LABELS AND MARKING PAGE FOR MORE INFORMATION.

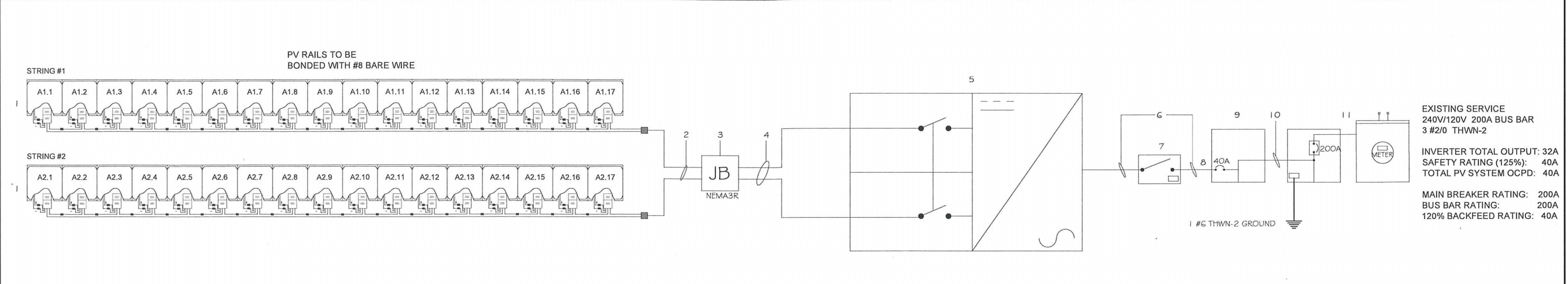
SHEET SUMMARY

C-1	COVER SHEET
E-1	SINGLE LINE
E-2	LABELS
S-1	STRUCTURAL PLAN
S-2	RACKING PLAN
D-1	DATA SHEET
D-2	DATA SHEET
D-3	DATA SHEET

PROJECT INFORMATION

PROJECT LATITUDE	30.425653	MIN AMBIENT TEMP	1° C
PROJECT LONGITUDE	-87.220885	MAX AMBIENT TEMP	35° C
UTILITY NAME	FPL	WIND EXPOSURE	C
AHJ	PENSACOLA COUNTY	MAX WIND SPEED	151mph

	WIRE SIZES, QUANTITY & TYPE			RACEWAY SIZE, TYPE, LOCATION & INFO.			WIRE AMPACITY CALCULATIONS							ADDITIONAL INFORMATION			
WIRE TAG	CONDUCTOR QTY. SIZE & TYPE	NEUTRAL QTY. SIZE & TYPE	GROUND QTY. SIZE & TYPE	RACEWAY SIZE & TYPE	RACEWAY LOCATION	RACEWAY HEIGHT ABOVE ROOF	OUTPUT CURRENT	125% OF OUTPUT CURRRRENT	MIN OCPD	WIRE DE-RATED CALCULATION				DIST.	VOLTAGE	VOLTAGE DROP %	CONDUIT FILL %
										WIRE RATING	AMBIENT TEMP	# OF COND.	FINAL AMPACITY				
DC.1 (BEFORE JB) DC.2 (AFTER JB) AC.1(FROM INVERTER TO SERVICE)	(4) #10 AWG PV WIRE (4) #10 AWG THWN-2 (2) #6 AWG THWN-2	(1) #6 AWG THWN-2	(1) #8 AWG BARE COPPER (1) #8 AWG THWN-2 (1) #8 AWG THWN-2	NOT APPLICABLE 3/4" EMT CONDUIT 3/4" EMT CONDUIT	UNDER ARRAY ABOVE ROOF EXTERIOR WALL	1/2" TO 3-1/2" 1/2" TO 3-1/2" "N/A"	15A	18.8A	20A	40A X 0.76 X 1 = 30.4 A				10 FT.	350V	0.11%	6.4%
							15A	18.8A	20A	40A X 0.76 X 0.8 = 24.3 A				20 FT.	350V	0.21%	8.1%
							32A	40A	40A	55A X 0.76 X 1 = 41.8 A				5 FT.	240V	0.1%	7.7%



RACKING ROOF MOUNT SYSTEM SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTRUCTION MANUAL, INCLUDING ALL GROUNDING WEEB CLIPS, GROUND LUGS, AND RAIL SPLICE KITS FOR ELECTRICAL CONTINUITY

PV MODULE

MANUFACTURER: SILFAB SOLAR
MODEL: SLA-M320 320W 60 CELLS
QUANTITY..... (34)
POWER AT STC..... 320W
POWER AT PTC..... 227W
V-OC (OPEN-CIRCUIT VOLTAGE)..... 39.85V
V-MP (MAX-POWER VOLTAGE) 32.8V
I-SC (SHORT-CIRCUIT CURRENT)..... 9.71A
I-MP (MAX-POWER CURRENT)..... 9.16A
MNFR V.OC TEMP COEFFICIENT: -0.30%/°C

PV OPTIMIZER

MANUFACTURER: SOLAREEDGE
MODEL: P320
QUANTITY.....34
MAXIMUM 1-SC INPUT.....11A
MAXIMUM V-OC INPUT.....48V
MAXIMUM POWER PER STRING...5700W

INVERTER

SOLAREEDGE_TECHNOLOGIES
SE-7600H-US(240V)
MODEL: SE-7600H-US
MAX.OUTPUT CURRENT..... 32A
MINIMUM OCPD.....40A
MAX NUMBER OF STRINGS..... 2
NUMBER OF MPPT'S.....1
MAXIMUM INPUT VOLTAGE..... 480V
TRANSFORMERLESS (Y/N)..... YES
OPERATING CURRENT.....15A
OPERATING VOLTAGE.....380V
MAXIMUM SYSTEM VOLTAGE.....500V
SHORT CIRCUIT CURRENT.....12.8A

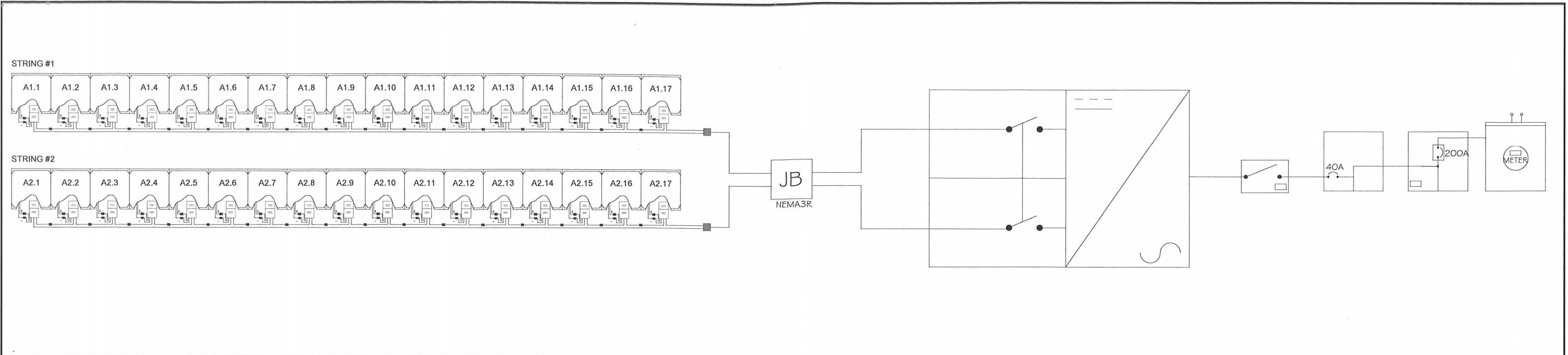
LEGEND:

1	PV MODULES SLA-M 320 FROM SILFAB SOLAR 60 CELL P:320W, VMP: 32.8V, VOC: 39.85V, IMP: 9.16A, ISC: 9.71A	6	2 #8 L1,L2 THWN-2 1 #8 TWHN-2 GROUND 3/4" EMT CONDUIT
2	2 #10 PV WIRE 1 #8 BARE WIRE GROUND 3/4" EMT CONDUIT	7	PV SYSTEM DISCONNECT RATED FOR 60A AIC RATING 100KA
3	NEMA3R JUNCTION BOX	8	BACKFEED PV BREAKER 2P-40A
4	4 #10 THWN-2 1 #10 THWN-2 GROUND 3/4" EMT CONDUIT	9	EXISTING FPL UTILITY METER BASE 200A RATED WITH 200A MAIN BREAKER AIC 10KA
5	SE7600H-US 240V INVERTER FROM SOLAR EDGE POWER: 7.6 KW, IMAX: 40A EFF @240V: 99% WITH INTEGRATED RAPID SHUTDOWN MECHANICAL DC 2P SWITCH		

SINGLE LINE DIAGRAM

SCALE: NONE

REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786 - 393 - 4740	RAFAEL A GONZALEZ SOTO LICENSE No. 83104 STATE OF FLORIDA PROFESSIONAL ENGINEER	TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 9001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	SINGLE LINE PROJECT ID TSP30734 DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE DATE 11/07/2019 SHEET TITLE E-1 SHEETS 2 OF 8



1 Combiner Box / Circuits / Conduit Combiner Box / Enclosures / EMT Enclosures

WARNING

ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NEC 690.17 (E) | Part No. 596-00497

WARNING

ELECTRICAL SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE UNGROUNDED
AND MAY BE ENERGIZED

NEC 690.35 (E) | Part No. 596-00588

WARNING

TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL

NEC 110.27 (C) & OSHA 1910.145 (f)(7)
Part No. 596-00499

2 AC Disconnect / Breaker / Points of Connection

**PHOTOVOLTAIC
AC DISCONNECT**

120/240V
60Hz
7.6KW
32A
40A

NEC 690.52 | Part No. 558-00252

WARNING

ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NEC 690.17 (E) | Part No. 558-00497

PHOTOVOLTAIC AC DISCONNECT

32A
240V

NEC 690.54 | Part No. 596-00239

3 Main Service Disconnect

WARNING

ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NEC 690.17 (E) | Part No. 558-00497

WARNING

TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL

NEC 690.5(C) | Part No. 558-00499

**MAIN PHOTOVOLTAIC
SYSTEM DISCONNECT**

**CAUTION: SOLAR ELECTRIC
SYSTEM CONNECTED**

NEC 690.15 & NEC 690.13(B) | Part No. 558-00613

4 EMT / Conduit Raceways
**(Reflective Material Required)*

**WARNING: PHOTOVOLTAIC
POWER SOURCE**

NEC 690.31 | Part No. 558-00206

5 Inverter

WARNING

ELECTRICAL SHOCK HAZARD
IF A GROUND FAULT IS INDICATED
NORMALLY GROUNDED CONDUCTORS
MAY BE UNGROUNDED AND ENERGIZED

NEC 690.5 (C) | Part No. 596-00498

PHOTOVOLTAIC AC DISCONNECT

32A
240V

NEC 690.54 | Part No. 596-00239

6 Breaker Panel / Pull Boxes

WARNING

ELECTRICAL SHOCK HAZARD
IF A GROUND FAULT IS INDICATED
NORMALLY GROUNDED CONDUCTORS
MAY BE UNGROUNDED AND ENERGIZED

NEC 690.5 (C) | Part No. 558-00498

WARNING

TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL

NEC 110.27 (C) & OSHA 1910.145 (f)(7)
Part No. 558-00499

WARNING

ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NEC 690.17 (E) | Part No. 558-00497

WARNING

ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NEC 690.17 (E) | Part No. 558-00497

**DO NOT DISCONNECT
UNDER LOAD**

NEC 690.33 (E)(2) | Part No. 558-00244

CAUTION

PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED

NEC 705.15(D)(4) & NEC 690.64
Part No. 558-00495

WARNING

DUAL POWER SOURCE
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED

NEC 705.12(D)(4) & NEC 690.64 | Part No. 558-00495

WARNING

INVERTER OUTPUT CONNECTION. DO NOT
RELOCATE THIS OVERCURRENT DEVICE

NEC 705.12(D)(2)(C) | Part No. 558-00589

7 Main Service Disconnect / Utility Meter

**MAIN PHOTOVOLTAIC
SYSTEM DISCONNECT**

8 AC Disconnect

**PHOTOVOLTAIC
SYSTEM EQUIPPED
WITH RAPID SYSTEM
SHUTDOWN**

PV SAFETY LABELS

SCALE: 10"=1'-00"

REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 9001 #EC13008093		BOZEMAN, MARY PROJECT PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM ADDRESS 122 W Lloyd St, Pensacola, FL 32501, USA PARCEL NUMBER 20-26-16-0640-00000-8390	LABELS PROJECT ID TSP30734 DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE DATE 11/07/2019 SHEET TITLE E-2 SHEETS 3 OF 8

ROOF AREA	
EXISTING SHINGLE ROOF	
TOTAL ROOF AREA:	2042.06 sq.-ft
TOTAL PHOTOVOLTAIC AREA:	622.88 sq.-ft
PERIMETER WIDTH:	4.0-ft
PRESSURE ZONE:	1 & 2
MEAN ROOF HEIGHT:	23.40-ft
ROOF SLOPE:	5.9/12 -ft
TOTAL MODULES:	34
TOTAL ROOF MOUNTS:	92
ZONE 1	<div><div></div><div>-29.97psf</div></div>
ZONE 2	<div><div></div><div>-52.17psf</div></div>
ZONE 3	<div><div></div><div>-77.15psf</div></div>

ELECTRICAL
SERVICE



ARRAY-A
TILT=26°
AZIMUTH= 168° (S)

2"x4" WOOD
TRUSS SYSTEM TRUSS
SEPARATION 24"

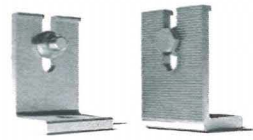
EACH ANCHOR TO
MATCH TRUSS CENTER

STRUCTURAL PLAN

SCALE: 1/4"=1'-0"

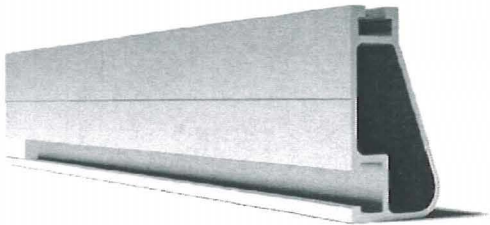
REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME		
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786 - 393 - 4740	<div><div>RAFAEL A GONZALEZ SOTO</div><div>LICENSE</div><div>No. 83104</div><div>STATE OF FLORIDA</div><div>PROFESSIONAL ENGINEER</div></div>	TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 -9001 #EC13008093		BOZEMAN, MARY	STRUCTURAL PLAN		
							PROJECT PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM	PROJECT ID TSP30734	DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE	SHEET TITLE S-1
							ADDRESS 122 W Lloyd St, Pensacola, FL 32501, USA	INSTALL DETAILS SHINGLE	DATE 11/07/2019	SHEETS 4 OF 8
							PARCEL NUMBER 20-26-16-0640-00000-8390			

Our Slotted L-feet are engineered for most roof mounting applications. Vertical slots allow for easily dropping in rails with attached hardware and provide adjustability to account for roof irregularities.



Property	Value
Material	6000 Series Aluminum
Finish	Mill & Black
Height	3"
Width	2"
Depth	2"
Length of Vertical Slot	1.125"
Weight	0.22 Lbs
Hardware	3/8" SS

XR100 is the ultimate residential mounting rail. It supports a range of wind and snow conditions, while also maximizing spans.



Property	Value
Material	6000 Series Aluminum
Finish	Clear & Black Anodized
Beam Height	2.44"
Weight / Linear Foot	0.68 Lbs
Total Cross-Sectional Area	0.582 In ²
Section Modulus (X-axis)	0.297 In ³
Moment of Inertia (X-axis)	0.390 In ⁴
Moment of Inertia (Y-axis)	0.085 In ⁴
Torsional Constant	0.214 In ³
Polar Moment of Inertia	0.126 In ⁴



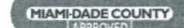
- Miami-Dade approved
- Bonds to difficult substrates including most Kynar® coated metals
- Outstanding bonding and adhesive qualities

Bostik 915 sealant is a one-component, smooth polyurethane adhesive capable of dynamic joint movement totaling 70% of original joint geometry (±3%). The sealant cures to a tough, flexible rubber when exposed to moisture present in the atmosphere. Bostik 915 all seasons formula has physical properties that will remain relatively stable over time. The cured performance temperature range is -40°F to 150°F. Where textured appearance is needed, please use Bostik 916 or Bostik 200GT.

- ASTM C920, TYPE 5, GRADE NS, CLASS 75 USE NT, A AND M
- US Federal Specification TT-S 029302 (ICMB-NSS) for one-component sealants as Class A, non-sag
- CARB, SCAQMD, and OTC compliant
- Canadian Specification CAN/CSB TP19-1M87
- Miami-Dade County, Florida, NOA No.: 13-0423.10, 05/24/17
- Miami-Dade TAS X2-2- Static Uplift Resistance
- AAMA 808.3
- AAMA 100/200/300 installation requirements

Bostik Q15 is designed for applications from foundation to finish and is ideal for, sealing expansion and control joints, tight up joints, perimeters of doors, windows, and other wall penetrations. It has tenacious sealing and bonding performance for masonry roofing applications, metal roofs, gutters, roof tie installations, flashing and sheet metal applications.

Miami-Dade County Considerations: Mate or join adjacent surfaces prior to the Bostik 915 skinning and subsequent curing, to maximize wetting potential of the sealant to the substrates. Allow full-cure, typically 7 days, prior to any mechanical stress.



Testing Procedures: It is recommended that adhesion testing be performed to capture both overall qualities of proposed materials and specific adhesion of the materials.

Joint Design: In general, most joint movement can be accommodated in a thin layer of sealant than a thick bed. No. 80195 should be no thicker than 1/2" (12.7mm) and No. Hanner than 1/4" (6.35mm). In joints between 1/2" and 1", the depth of joints with no depth should be approximately 21". In joints between 1" and 2", the depth should be approximately 2 1/2". Deep Joints with dynamic movement should not be designed in widths less than 1/4".

Surface Preparation: See Limitation above for surface preparation. Surfaces should be structurally clean, dry, free of oil, dirt, dust, loose particles, and other contaminants. Surfaces are not limited to cast, shot, loose particles, dirt, asphalt, rail, or steel. If substrate is painted or coated, scrape away all loose and weakly bonded paint or coating. Any paint or coating that cannot be removed must be tested to verify adhesion of the proposed material. The appropriate surface preparation method is detailed in the AASHTO section on next page for details.

To remove moisture and any other loose material, clean concrete, stone or other masonry materials with non-alcoholic

IronRidge Mid Clamps secure PV modules to the rail when there are multiple modules in a row.



Property	Value
Material	5000 Series Aluminum
Finish	Mill & Black
Spacing between Modules	¼"
Width	1"
Depth	1.5"
Weight	0.05 Lbs
Hardware	¼"-20 SS Nut and Bolt

IronRidge End Clamps secure PV modules to XR Rails using the top slot, independent upon the module's mounting holes.



Property	Value
Material	5000 & 6000 Series Aluminum
Finish	Mill & Black
Height	Varies depending on Module
Width	1.5"
Depth	1.5"
Weight	0.05 Lbs
Hardware	¼"-20 SS Nut and Bolt

RAIL XR100		FLUSH MOUNT SYSTEM SPAN TABLE (inches) PORTRAIT INSTALLATION (MAXIMUM MODULE LENGTH 67.5") EXPOSURE B		
WIND SPEED (mph)	ROOF SLOPE (degs.)	GROUND SNOW: 0 psf		
		ZONE 1	ZONE 2	ZONE 3
160	5	93	70	57
	10	97	72	58
	15	96	71	58
	20	95	71	58
	25	94	70	57
	30	85	81	81
	35	85	81	81
	40	84	80	80
	45	84	79	79

DESIGN WIND PRESSURE CALCULATIONS FOR SOLAR MODULES INSTALLED ON ROOF

SITE INFORMATION			
BC VERSION	2017	RISK CATEGORY	II
MEAN ROOF HEIGHT (ft)	12.18	EXPOSURE CATEGORY	C
LENGTH (ft)	51.0	ROOF SLOPE (°)	26
WIDTH (ft)	32.4	ROOF TYPE	GABLED
PARAPET HEIGHT (ft)	0	ULTIMATE WIND SPEED	160mph
MODULE LENGTH (ft)	5.46	NOMINAL WIND SPEED	151mph
MODULE WIDTH (ft)	3.28	K _d	0.85
NO. OF MODULES IN ROW	14	K _{zT}	1.0
EFFECTIVE WIND AREA (ft ²)	16	K _z	0.85


VELOCITY PRESSURE (ASD) 27.75

WIDTH OF PRESSURE COEFFICIENT	WIDTH	4.00'	
EXTERNAL PRESSURE COEFFICIENT	ZONE 1	0.5	-0.9
	ZONE 2	0.5	-1.7
	ZONE 3	0.5	-2.6
INTERNAL PRESSURE COEFFICIENT (+/-)	0.18		

ROOF ZONE	DOWN	UP
1	18.87	-29.87
2	18.87	-52.17
3	18.87	-77.15

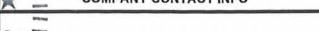
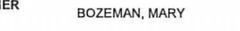
Uni-Rac Specs. Lag pull-out (withdrawal) capacities (lbs)
in typical roof lumber (ASD)

	<i>Specific gravity</i>	<i>$\frac{5}{16}$" shaft, * per inch thread depth</i>
Douglas Fir, Larch	0.50	266
Douglas Fir, South	0.46	235
Engelman Spruce, Lodgepole Pine (MSR 1650 f & higher)	0.46	235
Hem, Fir, Redwood (close grain)	0.43	212
Hem, Fir (North)	0.46	235
Southern Pine	0.55	307
Spruce, Pine, Fir	0.42	205
Spruce, Pine, Fir (E of 2 million psi and higher grades of MSR and MEL)	0.50	266



Sources: American Wood Council, NDS 2005, Table 11.2A, 11.3A.



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SLA-M 320 Wp

60 Cell Monocrystalline PV Module



CHUBB

*CHUBB provides fire and corrosion insurance for Silfab solar modules.



INDUSTRY LEADING WARRANTY

All our products include an industry leading 25-year product workmanship and 30-year performance warranty.

35+ YEARS OF SOLAR INNOVATION

Leveraging over 35+ years of worldwide experience in the solar industry, Silfab is dedicated to superior manufacturing processes and innovations such as Bifacial and Back Contact technologies, to ensure our partners have the latest in solar innovation.

NORTH AMERICAN QUALITY

Silfab is the largest and most automated solar manufacturer in North America. Utilizing premium quality materials and strict quality control management to deliver the highest efficiency, premium quality PV modules 100% made in North America.



BAA / ARRA COMPLIANT

Silfab panels are designed and manufactured to meet Buy American Act Compliance. The US State Department, US Military and FAA have all entrusted Silfab panels in their solar installations.

LIGHT AND DURABLE

Engineered to accommodate low load bearing structures up to 5400Pa. The light-weight frame is exclusively designed for wide-ranging racking compatibility and durability.

LOWEST DEFECT RATE

Total automation ensures strict quality controls during the entire manufacturing process at our ISO certified facilities, 48.18 ppm as per December 2018.

DOMESTIC PRODUCTION

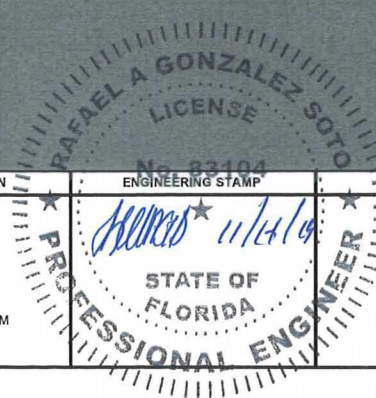
Silfab is 100% North American which means our customer service is direct, efficient and local. Your solar panels can be delivered anywhere in the Continental USA within days.

AESTHETICALLY PLEASING

All black sleek design doesn't compromise on quality.

PID RESISTANT

PID Resistant due to advanced cell technology and material selection, in accordance to IEC 62804-1



Electrical Specifications		SILFAB SLA Monocrystalline	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	320	242
Maximum power voltage (Vpmax)	V	33.7	30.3
Maximum power current (Ipmax)	A	9.5	8.0
Open circuit voltage (Voc)	V	40.45	37.42
Short circuit current (Isc)	A	9.96	8.17
Module efficiency	%	19.6	18.5
Maximum system voltage (VDC)	V	1000	
Series fuse rating	A	20	
Power Tolerance	Wp	+/- 3%	
Measurement conditions: STC 1000 W/m² • AM 1.5 • Temperature 25 °C • NOCT 800 W/m² • AM 1.5 • Measurement uncertainty ≤ 3% • Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by ±5% and power by +/- 3%.			
Temperature Ratings		SILFAB SLA Monocrystalline	
Temperature Coefficient Isc	%/K	0.03	
Temperature Coefficient Voc	%/K	-0.30	
Temperature Coefficient Pmax	%/K	-0.38	
NOCT (± 2°C)	°C	45	
Operating temperature	°C	-40/+85	
Mechanical Properties and Components		SILFAB SLA Monocrystalline	
Module weight (± 1 kg)		19 kg	
Dimensions (H x L x D; ± 1mm)		1650 x 990 x 38 mm	
Maximum design load (wind/snow)*		2400 Pa upward / 5400 Pa downward	
Hail impact resistance		Ø 25 mm at 83 km/h	
Cells		60 - Si monocrystalline - 5 busbar - 156.75 x 156.75 mm	
Glass		3.2 mm high transmittance, tempered, antireflective coating	
Backsheet		Multilayer polyester-based	
Frame		Anodized Al (Black)	
Bypass diodes		3 diodes, 20SQ040 (45V/20A) IP67/IP68 Junction Box	
Cables and connectors (See installation manual)		90° C, 12 AWG, PV Wire, MC4 compatible	
Warranties		SILFAB SLA Monocrystalline	
Module product workmanship warranty		25 years	
Linear power performance guarantee		30 years	
Certifications		SILFAB SLA Monocrystalline	
Product		ULC ORD C1703, UL 1703, IEC 61215, IEC 61730-1 and IEC 61730-2 Certified. FSEC and CEC listed, IEC 62716 Ammonia Corrosion, IEC 61701:2011 Salt Mist Corrosion Certified	
Factory		UL Fire Rating: Type 2 (Type 1 on request) ISO9001:2015	

*Please refer to the Safety and Installation Manual for mounting specifications.

⚠ Warning: Read the installation and User Manual before handling, installing and operating modules.

Third-party generated pan files from Fraunhofer-Institute for Solar Energy Systems ISE are available for download at: www.silfabsolar.com/downloads

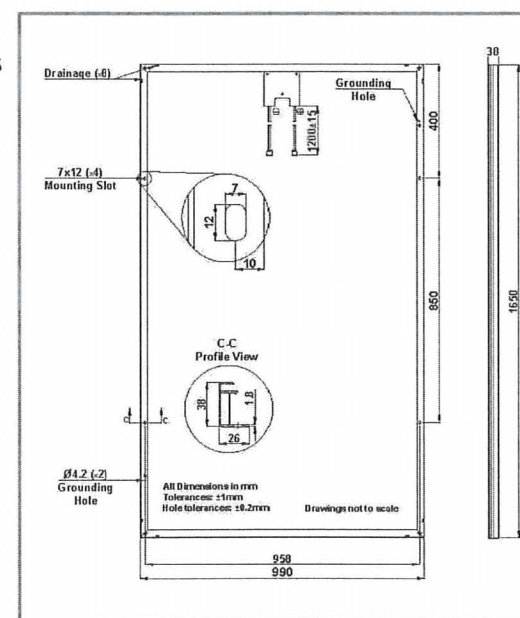


Modules Per Pallet: 26
Pallets Per Truck: 36
Modules Per Truck: 936



Silfab Solar Inc.
240 Courtneypark Drive East
Mississauga ON L5T 2Y3 Canada
Tel +1 905-255-2501 | Fax +1 905-696-0267
info@silfabsolar.com | www.silfabsolar.com

Silfab Solar Inc.
800 Cornwall Ave
Bellingham WA 98225 USA
Tel +1 360-569-4733



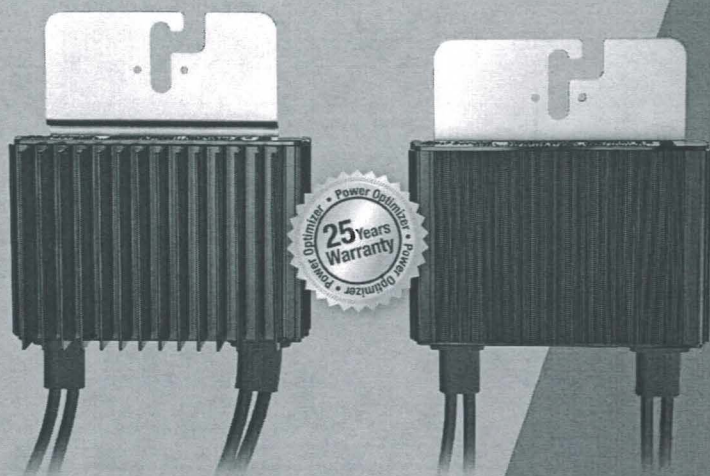
Silfab SLA-M 320 SF-05 20190117-K. No reproduction of any kind is allowed. Data and information is subject to modifications without notice. ©Silfab, 2019.

REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME
			ENGI PARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGI PARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 9001 #EC13008093		BOZEMAN, MARY PROJECT PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM ADDRESS 122 W Lloyd St, Pensacola, FL 32501, USA PARCEL NUMBER 20-26-16-0640-00000-8390	DATE SHEET PROJECT ID TSP30734 DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE INSTALL DETAILS SHINGLE DATE 11/07/2019 SHEET TITLE D-1 SHEETS 6 OF 8



SolarEdge Power Optimizer
Module Add-On For North America

P320 / P370 / P400 / P405 / P505



POWER OPTIMIZER

PV power optimization at the module-level

- Specifically designed to work with SolarEdge inverters
- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Compliant with arc fault protection and rapid shutdown NEC requirements (when installed as part of the SolarEdge system)
- Module-level voltage shutdown for installer and firefighter safety

USA-CANADA-GERMANY-UK-ITALY-THE NETHERLANDS-JAPAN-CHINA-AUSTRALIA-ISRAEL-FRANCE-BELGIUM-TURKEY-INDIA-BULGARIA-ROMANIA-HUNGARY-
SWEDEN-SOUTH AFRICA-POLAND-CZECH REPUBLIC

www.solaredge.us



SolarEdge Power Optimizer
Module Add-On for North America
P320 / P370 / P400 / P405 / P505

OPTIMIZER MODEL (typical module compatibility)	P320 (for high-power 60-cell modules)	P370 (for higher-power 60 and 72-cell modules)	P400 (for 72 & 96-cell modules)	P405 (for thin film modules)	P505 (for higher current modules)	
INPUT						
Rated Input DC Power ⁽¹⁾	320	370	400	405	505	W
Absolute Maximum Input Voltage (Voc at lowest temperature)	48	60	80	125	83	Vdc
MPPT Operating Range	8 - 48	8 - 60	8 - 80	12.5 - 105	12.5 - 83	Vdc
Maximum Short Circuit Current (Isc)	11		10.1		14	Adc
Maximum DC Input Current	13.75		12.63		17.5	Adc
Maximum Efficiency			99.5			%
Weighted Efficiency			98.8		98.6	%
Overvoltage Category			II			
OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREGE INVERTER)						
Maximum Output Current			15			Adc
Maximum Output Voltage		60		85		Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREGE INVERTER OR SOLAREGE INVERTER OFF)						
Safety Output Voltage per Power Optimizer			1 ± 0.1			Vdc
STANDARD COMPLIANCE						
EMC			FCC Part15 Class B, IEC61000-6-2, IEC61000-6-3			
Safety			IEC62109-1 (class II safety), UL1741			
RoHS			Yes			
INSTALLATION SPECIFICATIONS						
Maximum Allowed System Voltage			1000			Vdc
Compatible inverters			All SolarEdge Single Phase and Three Phase inverters			
Dimensions (W x L x H)	128 x 152 x 28 / 5 x 5.97 x 1.1	128 x 152 x 36 / 5 x 5.97 x 1.42	128 x 152 x 50 / 5 x 5.97 x 1.96	128 x 152 x 59 / 5 x 5.97 x 2.32		mm / in
Weight (including cables)	630 / 1.4	750 / 1.7	845 / 1.9	1064 / 2.3		gr / lb
Input Connector			MC4 ⁽²⁾			
Output Wire Type / Connector			Double Insulated; MC4			
Output Wire Length	0.95 / 3.0		1.2 / 3.9			m / ft
Operating Temperature Range			-40 - +85 / -40 - +185			°C / °F
Protection Rating			IP68 / NEMA6P			
Relative Humidity			0 - 100			%

⁽¹⁾ Rated STC power of the module. Module of up to +5% power tolerance allowed.

⁽²⁾ For other connector types please contact SolarEdge

PV SYSTEM DESIGN USING A SOLAREGE INVERTER ⁽³⁾⁽⁴⁾		SINGLE PHASE HD-WAVE	SINGLE PHASE	THREE PHASE 208V	THREE PHASE 480V
Minimum String Length (Power Optimizers)	P320, P370, P400 P405 / P505	8 6		10 8	18 14
Maximum String Length (Power Optimizers)		25		25	50 ⁽⁵⁾
Maximum Power per String		5700 (6000 with SE7600H-US, SE10000H-US)	5250	6000	12750
Parallel Strings of Different Lengths or Orientations			Yes		

⁽³⁾ For detailed string sizing information refer to: http://www.solaredge.com/sites/default/files/string_sizing_na.pdf.

⁽⁴⁾ It is not allowed to mix P405/P505 with P320/P370/P400/P600/P700/P800 in one string.

⁽⁵⁾ A string with more than 30 optimizers does not meet NEC rapid shutdown requirements; safety voltage will be above the 30V requirement



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								PROJECT ID TSP30734	DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE	SHEET TITLE D-2
								INSTALL DETAILS SHINGLE	DATE 11/07/2019	SHEETS 7 OF 8

solaredge

Single Phase Inverter
with HD-Wave Technology
for North America

SE3000H-US / SE3800H-US / SE5000H-US /
SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

INVERTERS



Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking efficiency
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Extremely small
- High reliability without any electrolytic capacitors
- Built-in module-level monitoring
- Outdoor and indoor installation
- Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)



www.solaredge.us

solaredge

Single Phase Inverter
with HD-Wave Technology for North America
SE3000H-US / SE3800H-US / SE5000H-US /
SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
Max. AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	-	Vac
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Frequency (Nominal)				59.3 - 60 - 60.5				Hz
Maximum Continuous Output Current 208V	-	16	-	24	-	-	-	A
Maximum Continuous Output Current @ 240V	12.5	16	21	25	32	42	47.5	A
GFDI Threshold				1				A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds				Yes				
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	-	
Transformer-less, Ungrounded				Yes				
Maximum Input Voltage				480				Vdc
Nominal DC Input Voltage			380			400		Vdc
Maximum Input Current 208V	-	9	-	13.5	-	-	-	Adc
Maximum Input Current @240V	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Max. Input Short Circuit Current				45				Adc
Reverse-Polarity Protection				Yes				
Ground-Fault Isolation Detection				600k Ω Sensitivity				%
Maximum Inverter Efficiency	99			99.2				%
CEC Weighted Efficiency				99				%
Nighttime Power Consumption				< 2.5				W
ADDITIONAL FEATURES								
Supported Communication Interfaces				RS485, Ethernet, ZigBee (optional), Cellular (optional)				
Revenue Grade Data, ANSI C12.20				Optional ⁽¹⁾				
Rapid Shutdown - NEC 2014 and 2017 690.12				Automatic Rapid Shutdown upon AC Grid Disconnect				
STANDARD COMPLIANCE								
Safety				UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07				
Grid Connection Standards				IEEE1547, Rule 21, Rule 14 (H)				
Emissions				FCC Part 15 Class B				
INSTALLATION SPECIFICATIONS								
AC Output Conduit Size / AWG Range				3/4" minimum / 14-6 AWG			3/4" minimum / 14-4 AWG	
DC Input Conduit Size / # of Strings / AWG Range				3/4" minimum / 1-2 strings / 14-6 AWG			3/4" minimum / 1-3 strings / 14-6 AWG	
Dimensions with Safety Switch (HxWxD)				17.7 x 14.6 x 6.8 / 450 x 370 x 174			21.3 x 14.6 x 7.3 / 540 x 370 x 185	in / mm
Weight with Safety Switch	22 / 10		25.1 / 11.4	26.2 / 11.9			38.8 / 17.6	lb / kg
Noise			< 25				< 50	dBA
Cooling				Natural Convection			Natural convection	
Operating Temperature Range				-13 to +140 / -25 to +60 ⁽¹⁾ (-40°F / -40°C option) ⁽¹⁾				°F / °C
Protection Rating				NEMA 3R (Inverter with Safety Switch)				

⁽¹⁾ For other regional settings please contact SolarEdge support

⁽²⁾ Revenue grade inverter P/N: SExxxxH-US000NNC2

⁽³⁾ For power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

⁽⁴⁾ -40 version P/N: SExxxxH-US000NNU4

RoHS

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Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 4**
903 N. Spring Street
NHPD / PR-2
Contributing Structure

BACKGROUND

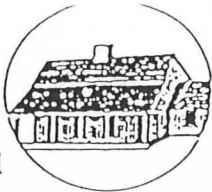
Dio Perera, Walcott Adams Verneuille Architects, is requesting approval for a detached carriage house. The proposed two-car garage with second-story living space has been designed to complement the primary residence. The paint palette will match the existing approved palette for the principle structure. Proposed materials include Marvin wood windows and doors. The garage doors will be carriage style painted Sherwin Williams "Classic Light Buff and the roof will be architectural shingles in "Oxford Grey". A similar design of this project was approved as presented by the Board in November 2018.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction in North Hill*

Sec. 12-2-10(B)(6) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures in North Hill*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE Version 2.0 7/92

Site #8 ES00725

Recorder #

Field Date 5 / 3 / 95

Form Date 7 / 9 / 95

Original
Update

NAME NAMES (addr. if none) E. J. FORBES HOUSE [MULT. LIST. #8]
 SURVEY NORTH HILL [SURVEY #]
 NATIONAL REGISTER CATEGORY ☐ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 903 N. SPRING ST.
 CROSS STREETS nearest/between NW CORNER OF N. SPRING ST. AND W. STRONG ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
 COUNTY ESCAMBIA TAX PARCEL # 9010-020-042
 SUBDIVISION NAME NORTH HILL BLOCK 42 LOT NO. 20-22
 OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
 NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
 ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 2S RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
 UTM: ZONE 16 17 EASTING 1 1 1 1 1 1 1 1 NORTHING 1 1 1 1 1 1 1 1
 PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

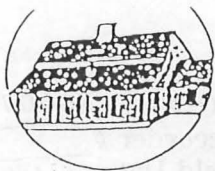
STYLE QUEE EXTERIOR PLAN IRRE NO. STORIES 2.5
 STRUCTURAL SYSTEMS WF
 FOUNDATION: Types PIER, CONT Materials BRIC, STUC
 EXTERIOR FABRICS WTBD
 ROOF: Types GAHP Materials SHCO
 Secondary strucs. (dormers etc.) SE CORNER, OCTAGONAL TOWER
 CHIMNEY: No. 3 Materials BRIC LOCATIONS W LAT SLOPE, SW SLOPE,
 WINDOWS (types, materials, and placements) SE SLOPE
 DHS, 1/1, WOOD; BAY (SEMI-OCTAGONAL)
 MAIN ENTRANCE (stylistic details)
 PORCHES: #open #closed #incised Locations E AND S/ 1 STORY ENCIRCLING VERANDAH
 Porch roof types WITH WOOD COLUMNS, SPINDLE AND SPOOL BALLUSTER; 6 BAY, ACCESS FROM E
 EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☒ residential ☐ institutional ☐ rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains

NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORY

CONSTRUCTION DATE 1900 CIRCA xyes no

ARCHITECT: (last name first) _____

BUILDER: (last name first) _____

MOVES yes xno Dates _____ Orig.addr. _____ALTERATIONS xyes no Dates _____ Nature _____ADDITIONS yes no Dates _____ Nature _____

ORIGINAL USES (give dates) RESIDENCE

INTERMEDIATE USES (give dates) RESIDENCE

PRESENT USES (give dates) RESIDENCE

OWNERSHIP HISTORY (especially original owner) WILLIAM J. FORBES (ORIGINAL).

ELWOOD MCLAUGHLIN (UNTIL 1953), JANE D. AND DOUGLAS S. ASHLEY (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?

Individually elig. for Nat. Register?

Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic her _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____
give FSF Manuscript Number, or loca _____)

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R10, F3-4

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

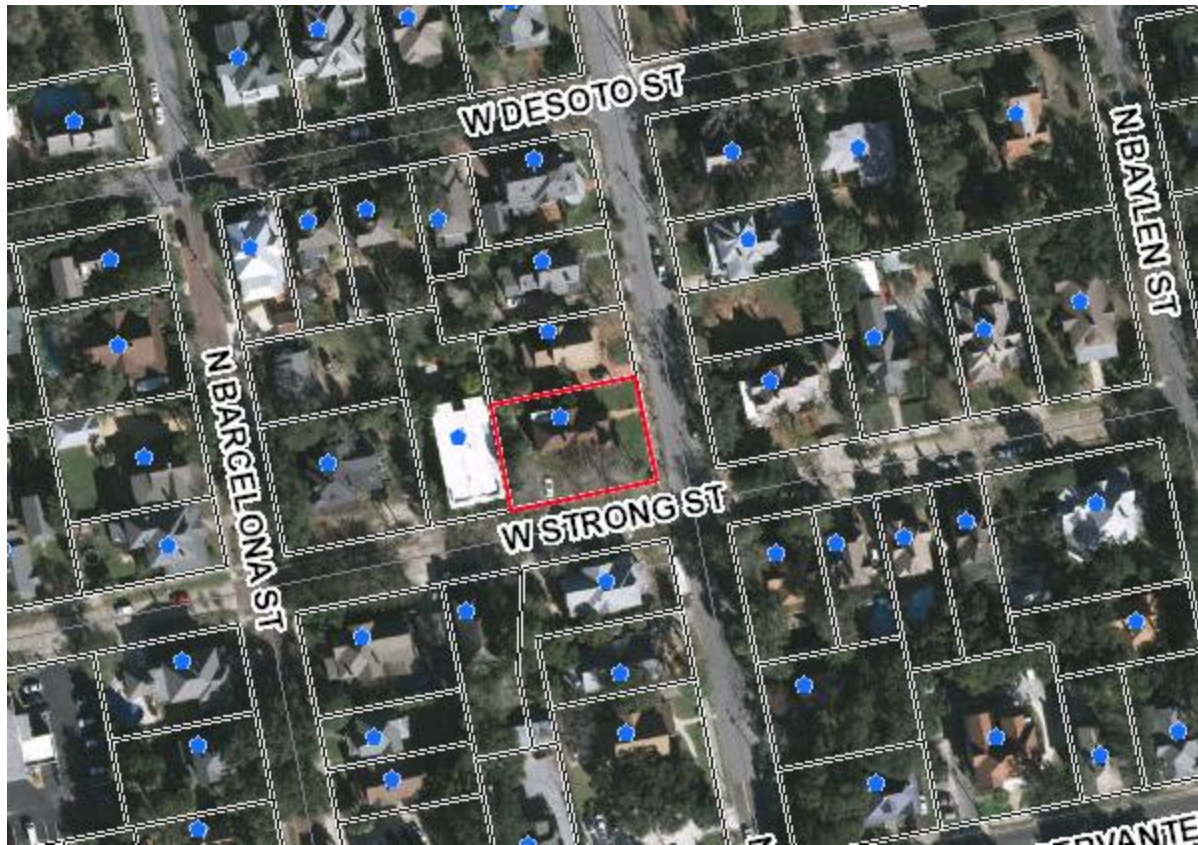
DIR USE ONLY		OFFICIAL EVALUATIONS				DIR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY*	y	n	pe	u	Date / /
SHPO-NR ELIGIBILITY*			y	n	pe	u	Date / /
DELIST DATE		LOCAL DESIGNATION*					Date / /
		Local office					

* y=Yes; n=No; pe=Potentially Eligible; u=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

903 N. Spring Street



**Architectural Review Board Application
Full Board Review**

Application Date: 1/24/20

Project Address: 903 N Spring Street, Pensacola, Florida 32501

Applicant: Walcott Adams Verneuille Architects, Inc. - Diosdado Perera

Applicant's Address: 1 S School Street, Fairhope, Alabama 36532
diosdado@wavarchitects.com
missouri@wavarchitects.com

Email: missouri@wavarchitects.com **Phone:** 251-928-6041

Property Owner: Rhonda and Daryl Brach
(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

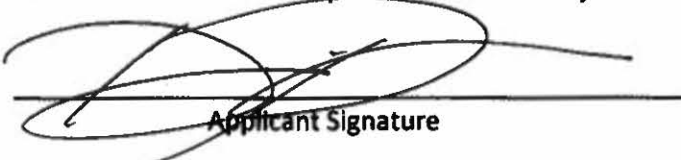
- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of a carriage house which will include living space above and parking for 2 vehicles below.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

1/24/20

Date

Architectural Review Set
January 30, 2020

GENERAL NOTES

1. DO NOT SCALE ANY DRAWING.
2. The Architect shall be consulted in the event any item of work necessary for the proper completion of the Project which is not specifically covered in the drawings and/or specifications.
3. All work performed by the Contractor and all Sub-Contractors shall be of superior quality performed in a manner consistent with industry standards, all building code requirements and in a professional manner by mechanics skilled and licensed in their respective trades.
4. All manufactured articles, materials and equipment shall be applied, installed, erected and connected in accordance with manufacturer's directions and recommendations.
5. Any discrepancies between drawings and/or specifications, local codes, building inspector requirements and/or existing conditions shall be referred to the Architect for resolution. All Contractors shall check all dimensions and conditions prior to commencement of construction or the work of their specific trade.
6. The Contractor shall verify and be responsible for all dimensions and conditions for the Project. Where job conditions prevent obtaining dimensions or results as shown or specified, the Contractor shall consult the Architect for resolution.
7. All Work performed by the Contractor and all Sub-Contractors shall conform to the requirements of municipal, local, federal and state laws, as well as any other governing requirements, and conventional guidelines, whether or not specified on the drawings.
8. These Plans may be used only under such conditions in which all applicable laws, rules and regulations is the sole responsibility of the Contractor.
9. Where the contract, notes or drawings call for any work of a more stringent nature than that required by the building code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished in all cases.
10. The Architect shall be provided with shop drawings or samples of custom fabricated items prior to construction.
11. Reasonable allowances shall be provided for all items not specified in the drawings, materials list, notes and specifications.
12. Substitutions for specified items shall be permitted only upon written consent from the Architect.
13. Written dimensions have precedence over scaled dimensions. Larger scale details have precedence over smaller scale details.
14. *The Contractor shall be responsible for prompting owner to obtain builders risk insurance prior to construction. The Contractor shall be responsible for obtaining all permits and approvals, all fees and taxes necessary to the construction of the Project.*
15. The Contractor shall be fully and solely responsible for the removal, replacement and rectification of all damaged and defective material and workmanship in connection with the contract work.
16. The Contractor and all Sub-Contractors shall obtain and apply for all legally required approvals and permits necessary for the execution and completion of his work.
17. The Contractor is responsible that easements and setbacks are not encroached.
18. The Contractor shall coordinate all tie-ins and all utility services with the respective utility companies.
19. The Contractor shall remove all construction debris and leave the site uniformly graded.
20. The contractor shall protect from damage all existing trees, shrubs, vegetation and landscape elements or features adjacent to and in the vicinity of the building pad and staging areas during the entire period of construction.

Project Information

Property Address:
903 N. Spring St.
Pensacola, FL
32501

Owner/ Contacts

Contacts:
Rhonda and Daryl Brach

Rhonda Brach
rsbrach@gmail.com

Daryl Brach
daryl.brach@gmail.com

Architectural

Walcott Adams Verneuille Architects
One South School Street
Fairhope, Alabama 36532

Contacts:
Gina Walcott
Dio Perera

Phone: 251-928-6041
Fax: 251-928-6045

Gina@wavarchitects.com
Dio@wavarchitects.com

General Contractor

Heath Kelly Construction
2328 Brightview Place,
Cantonment, FL 32533

Contact:
Heath Kelly
cell: 850-232-7195

Geo. Tech.

Not Yet Selected

Structural

Dean A. Spencer Engineering Inc.
2735 Sanibel Pl.
Gulf Breeze, FL 32563

Contact:
Max Spencer

Phone: 850-932-8730

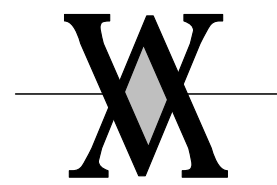
dean.spencer.pe@gmail.com

Landscape

Not yet selected

Index of Drawings

T1.1	Title
C1.1	Survey of Record
C1.2	Site Context
C1.3	Architectural Site Plan
A1.1	Floor Plans
A3.1	Elevations
SP.1	Specs



WALCOTT
ADAMS
VERNEUILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

New Carriage House for
Rhonda and Daryl Brach
903 N. Spring St.
Pensacola, FL 32501

DateJanuary 30, 2020

Revised

Revised

Revised

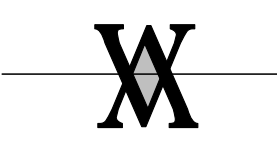
Drawn

Checked

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Architects, Inc.

T1.1

Title sheet

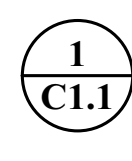
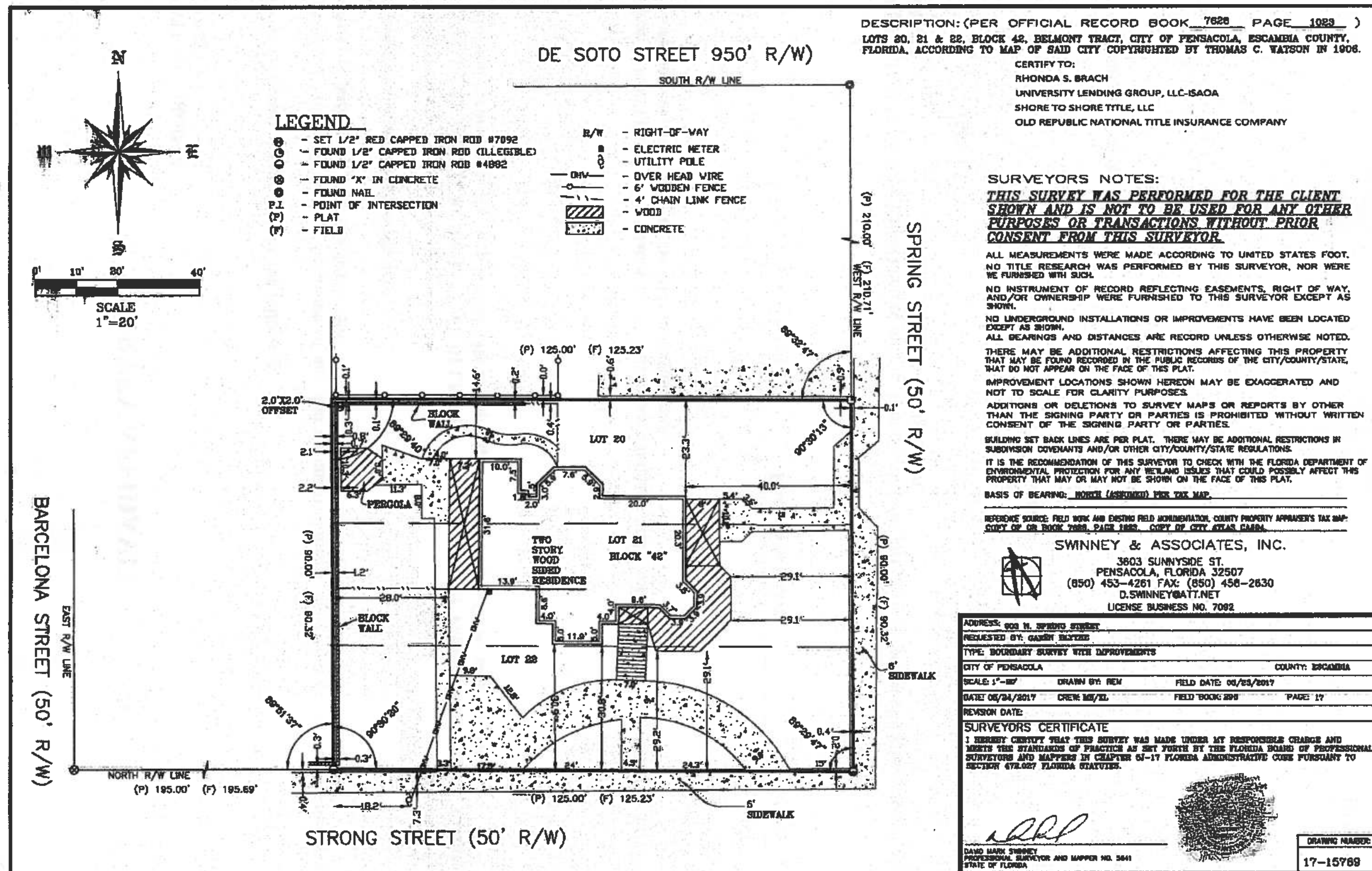


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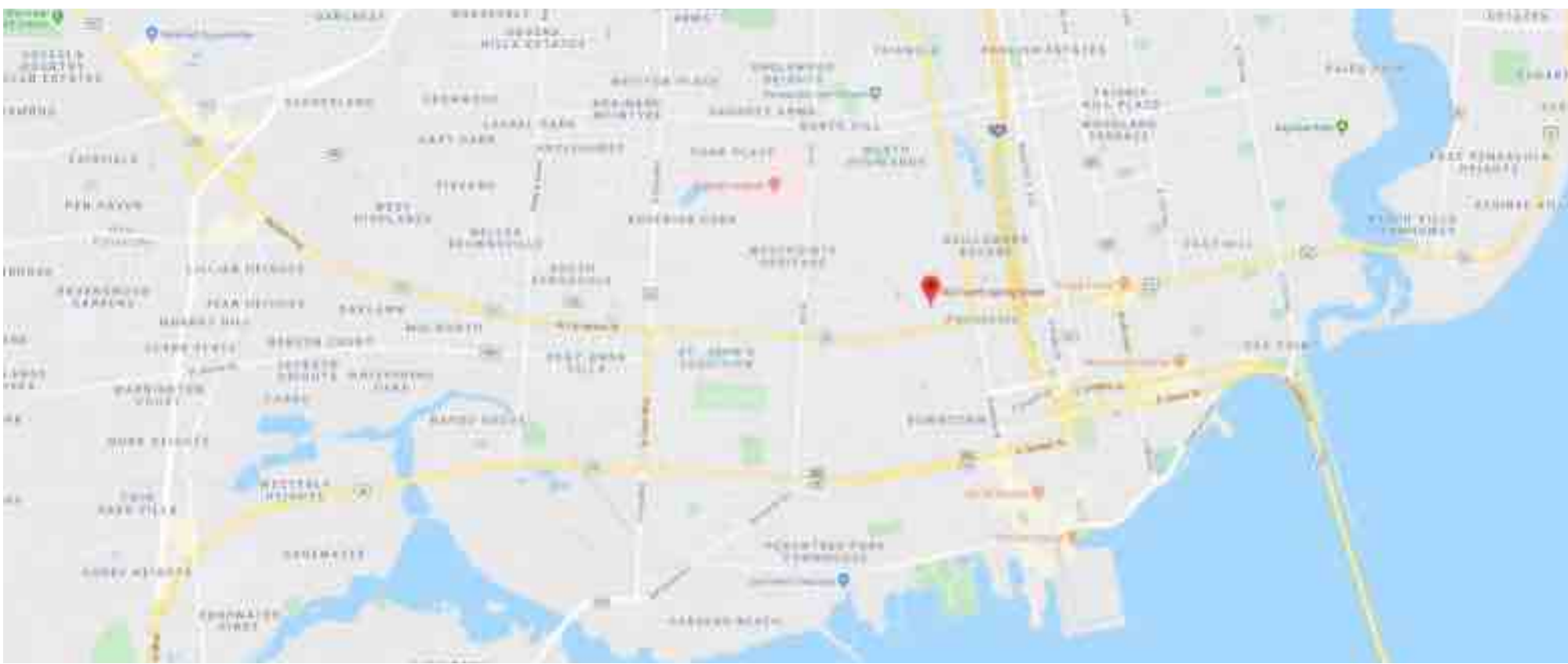
Date	January 30, 2020
Revised	
Revised	
Revised	
Drawn	
Checked	
Copyright 2018 Walcott Adams Verneulle Architects, Inc.	

C1.1

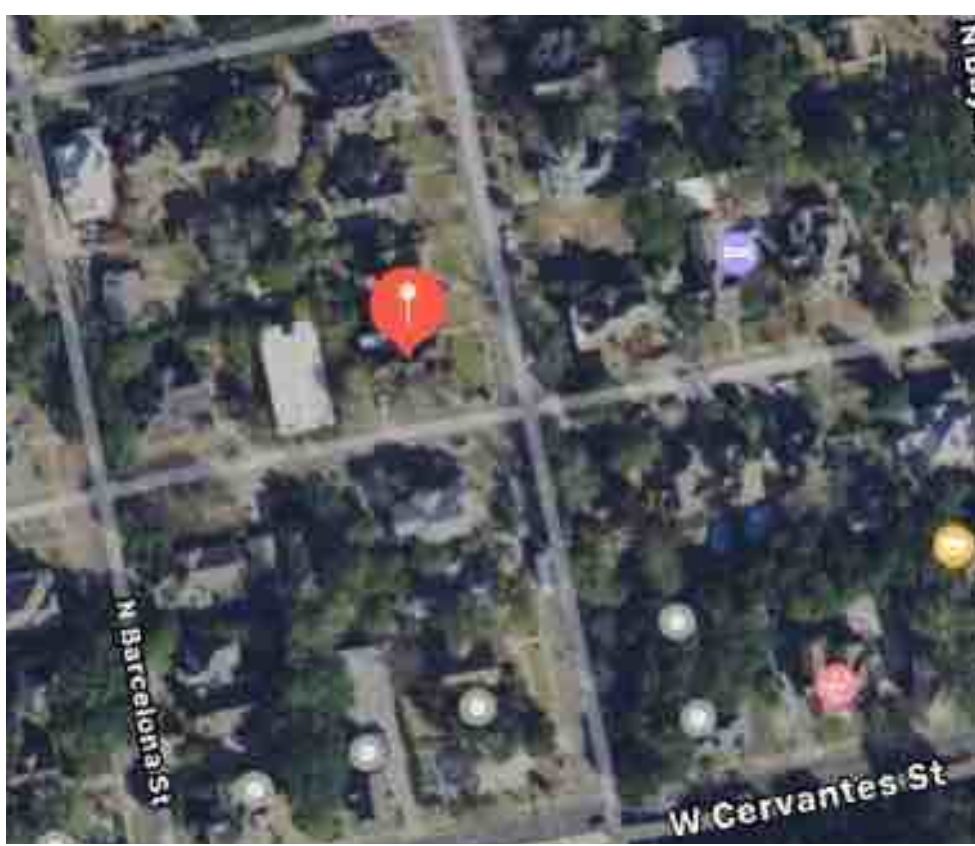
Survey of Record



Survey of Record



Location Map of 903 N. Spring St.



Satellite Image of 903 N. Spring St.

Reference House Images Taken on both Strong and Spring Streets



904 N. Barcelona St.



208 W. Strong St.



Property from Strong Street



Property @ intersection of Strong & Spring Street



Property from Spring Street



909 N. Spring Street



911 N. Spring Street



915 N. Spring Street

Two Story Carriage House Reference Images within 0.2 miles of Property



905 N. Barcelona Street



1001 N. Barcelona Street



904 N. Barcelona Street



225 W. Gonzalez Street



222 W. De Soto Street

W

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ARB Set

New Carriage House for
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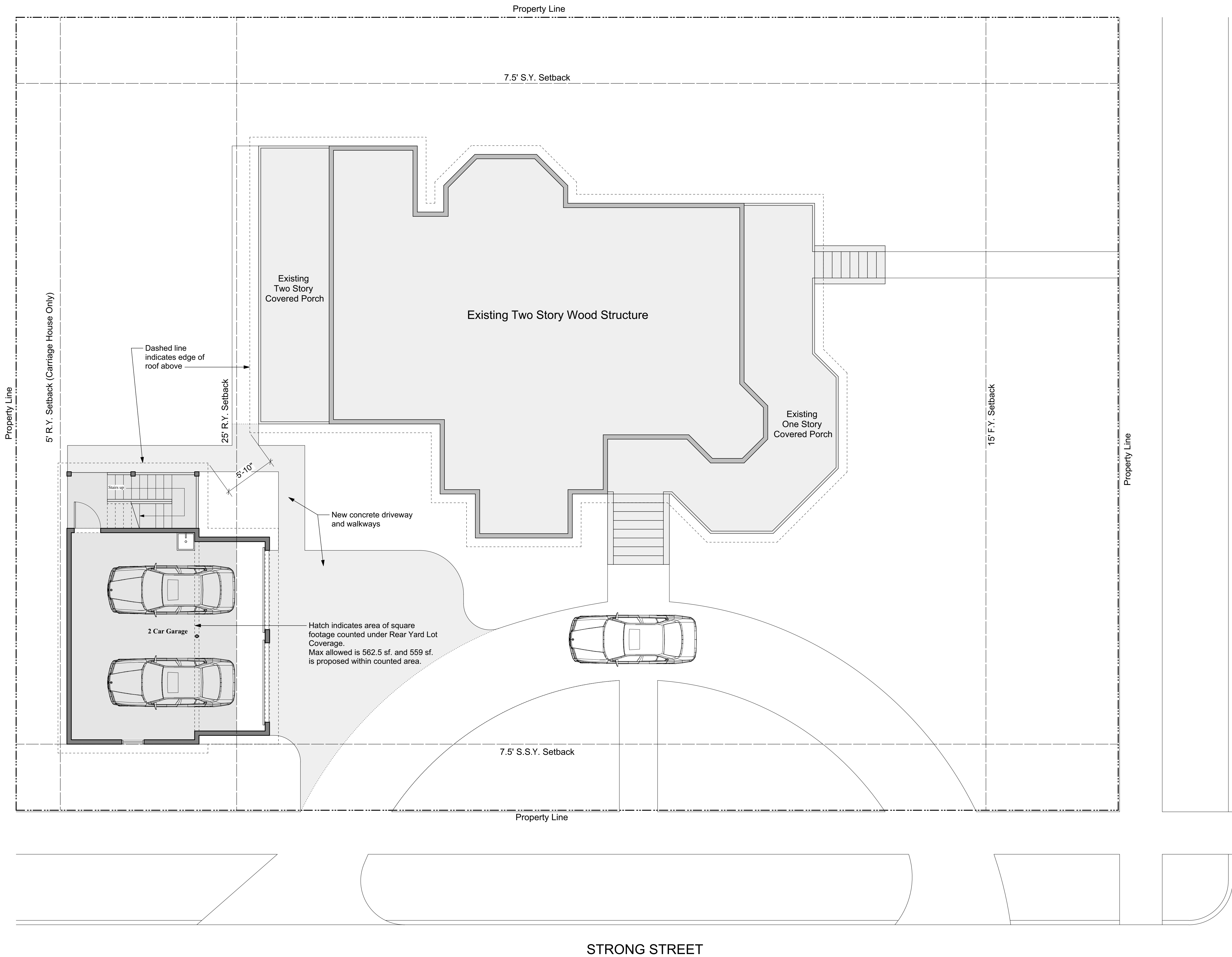
Date	January 30, 2020
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Revised	
Revised	
Drawn	
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C1.2

Site Context

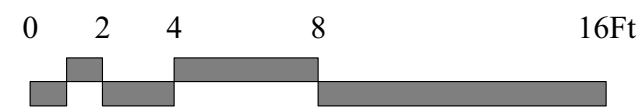
W

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1
C1.3

Architectural Site Plan
3/16"=1'-0"



W
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FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

New Carriage House for
Rhonda and Daryl Brach
903 N. Spring St.
Pensacola, FL 32501

Date January 30, 2020

Revised

Revised

Revised

Drawn

Checked

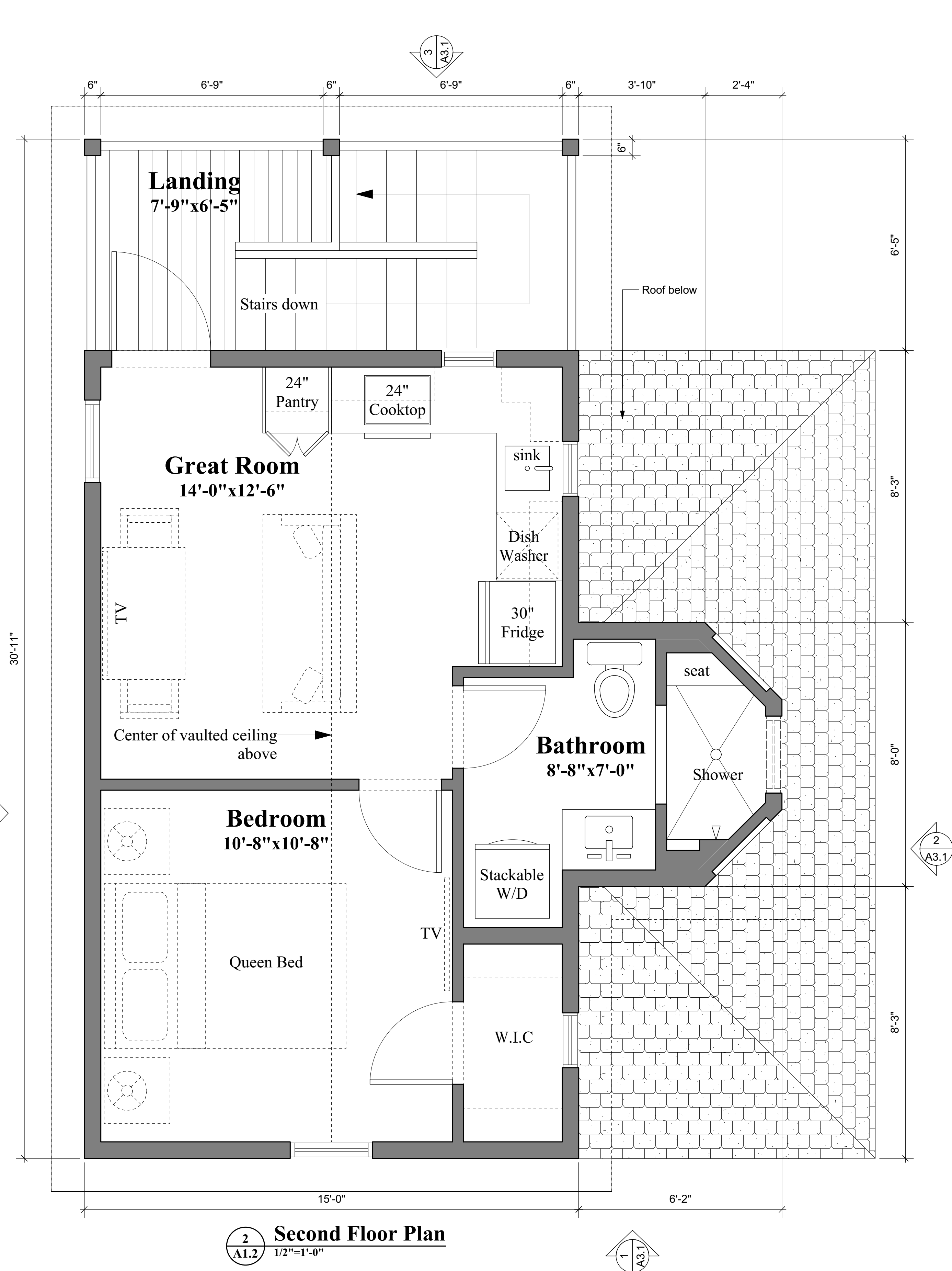
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Architects, Inc.

C1.3

Site Plan



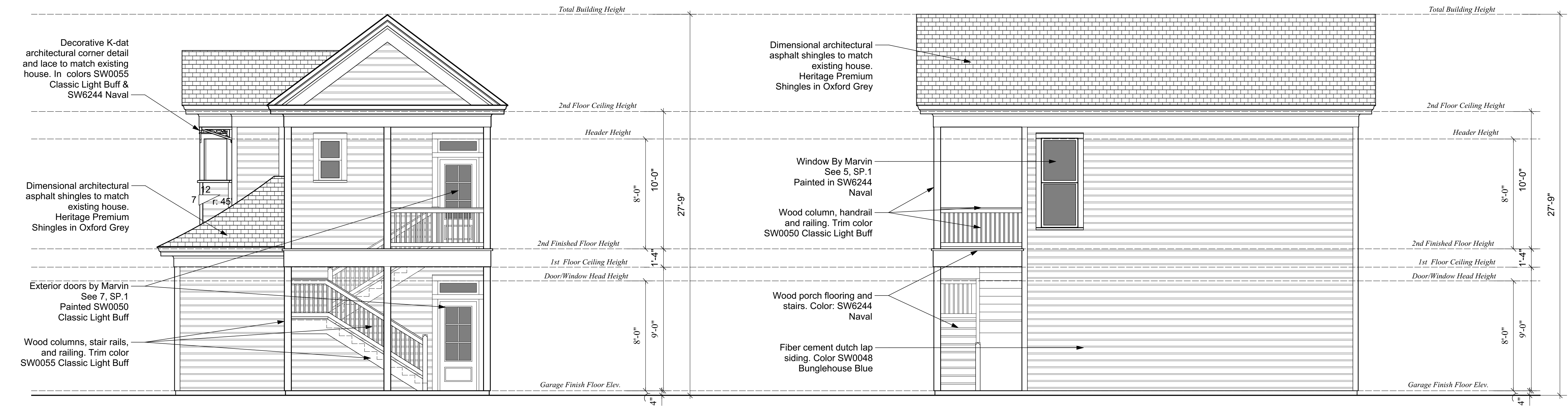
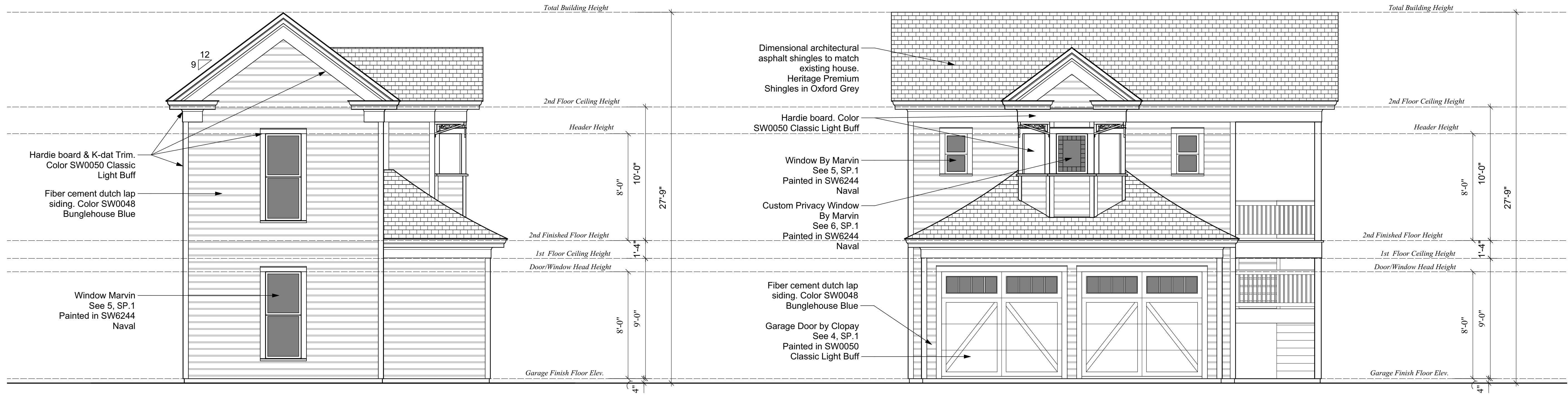
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Square Footage		Second Floor:	
First Floor:		Heated & Cooled	411 s.f.
Garage	547 s.f.	Landing Porch	40 s.f.
Side Porch	29 s.f.		
Stairs	67 s.f.	Total Under Roof	
			1,094 s.f.

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Date	January 30, 2020
Revised	
Revised	
Revised	
Drawn	
Checked	
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1 Strong Street Elevation
A3.2



2 Spring Street Elevation
A3.2

W

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VERNEUILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

New Carriage House for
Rhonda and Daryl Brach
903 N. Spring St.
Pensacola, FL 32501

Date	January 30, 2020
Revised	
Revised	
Revised	
Drawn	
Checked	
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A3.2

Street Elevations

W

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SW 0048
Bunglehouse Blue
Interior / Exterior

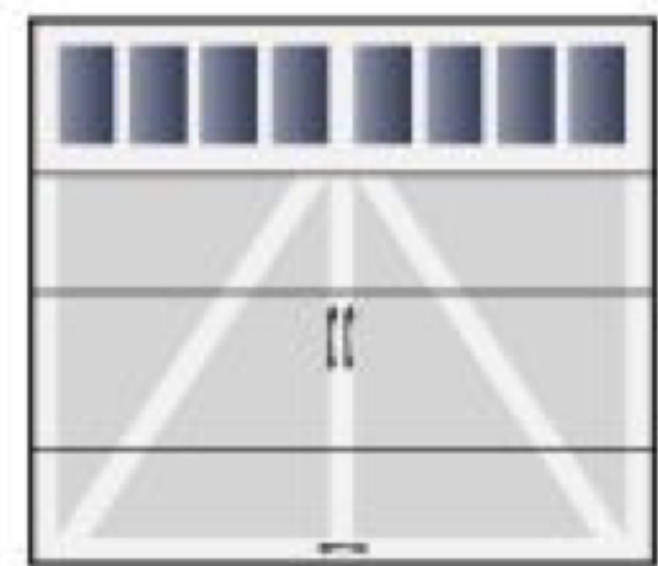
1 House Body Color

SW 0050
Classic Light Buff
Interior / Exterior

2 House Trim Color

SW 6244
Naval
Interior / Exterior
Locator Number: 253-C6

3 Porch Flooring, Stairs and Windows



REC14

4 Garage Door

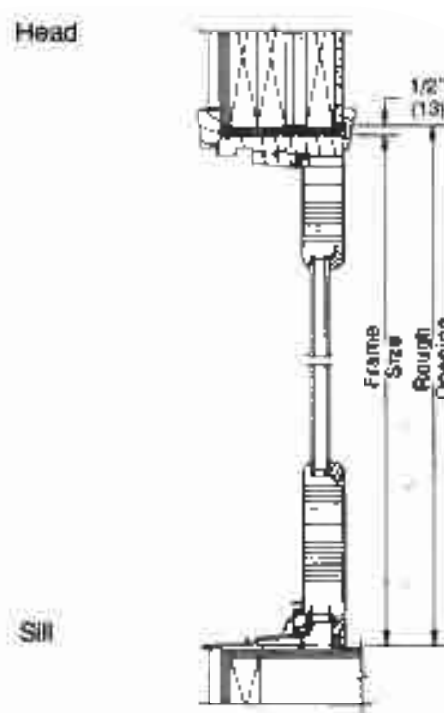
Garage doors from Clopay's Carriage House Doors, Grand Harbor Collection, Series 2, Design 22 with top section of windows in style REC 14. To be painted in SW0050 Classic Light Buff.



Exterior View

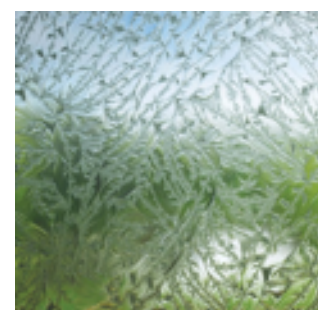


Interior View



5 Double Hung Window Style

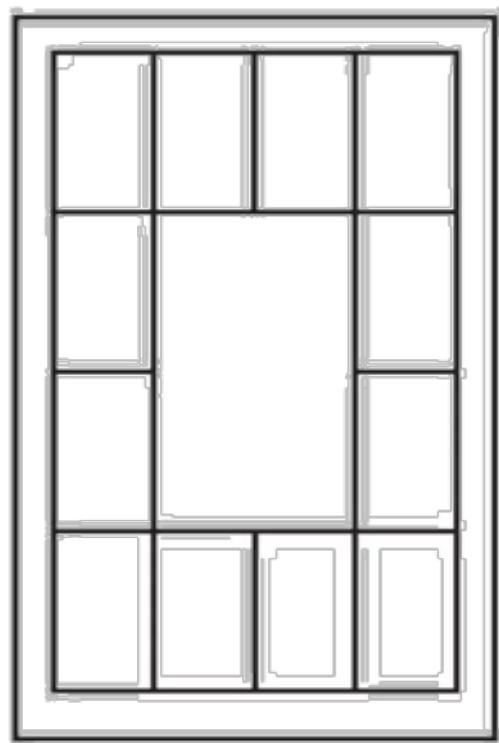
Marvin Signature Series Ultimate wood double hung window with IZ3 coastal/hurricane certification & CE certified. Painted in SW6244 Naval



Glue Ship Glass



True Divided Lite



Victorian Pattern

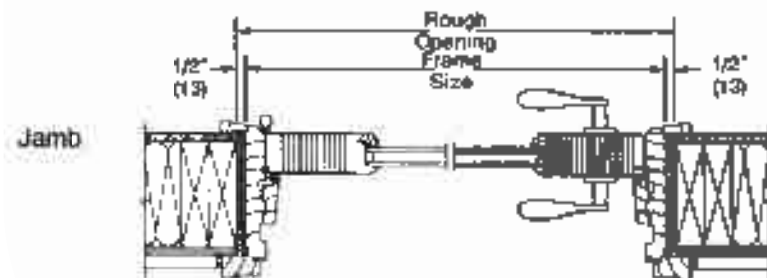
6 Picture Window

Marvin Signature Series Ultimate wood picture window with IZ3 coastal/hurricane certification & CE certified. Glue Chip glass center with bronze & green tinted interlayers in the perimeter. Painted in SW6244, Naval

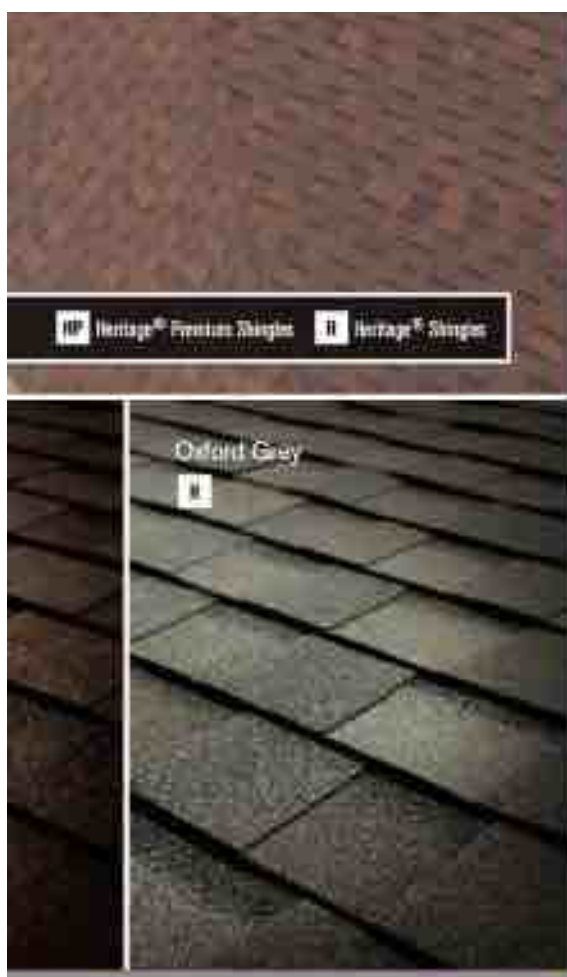


7 Porch Door

Marvin Ultimate outswing wood french door with double-panel French style. IZ4 coastal/hurricane certification & CE certified. Painted in SW0050 Classic Light Buff w/ lites in SW6244 Naval



Wood Siding with 2x6 Frame Construction



8 Roof Shingles

Architectural Details Being Referenced



Fascia and trim details



Stained glass privacy window



Rear porch railing post detail



Rear porch door

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FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

New Carriage House for
Rhonda and Daryl Brach
903 N. Spring St.
Pensacola, FL 32501

Date	January 30, 2020
Revised	
Revised	
Revised	
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SP.1
Specs

W

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Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 5**
220 W. Gadsden Street
NHPD / PR-2
New Construction

BACKGROUND

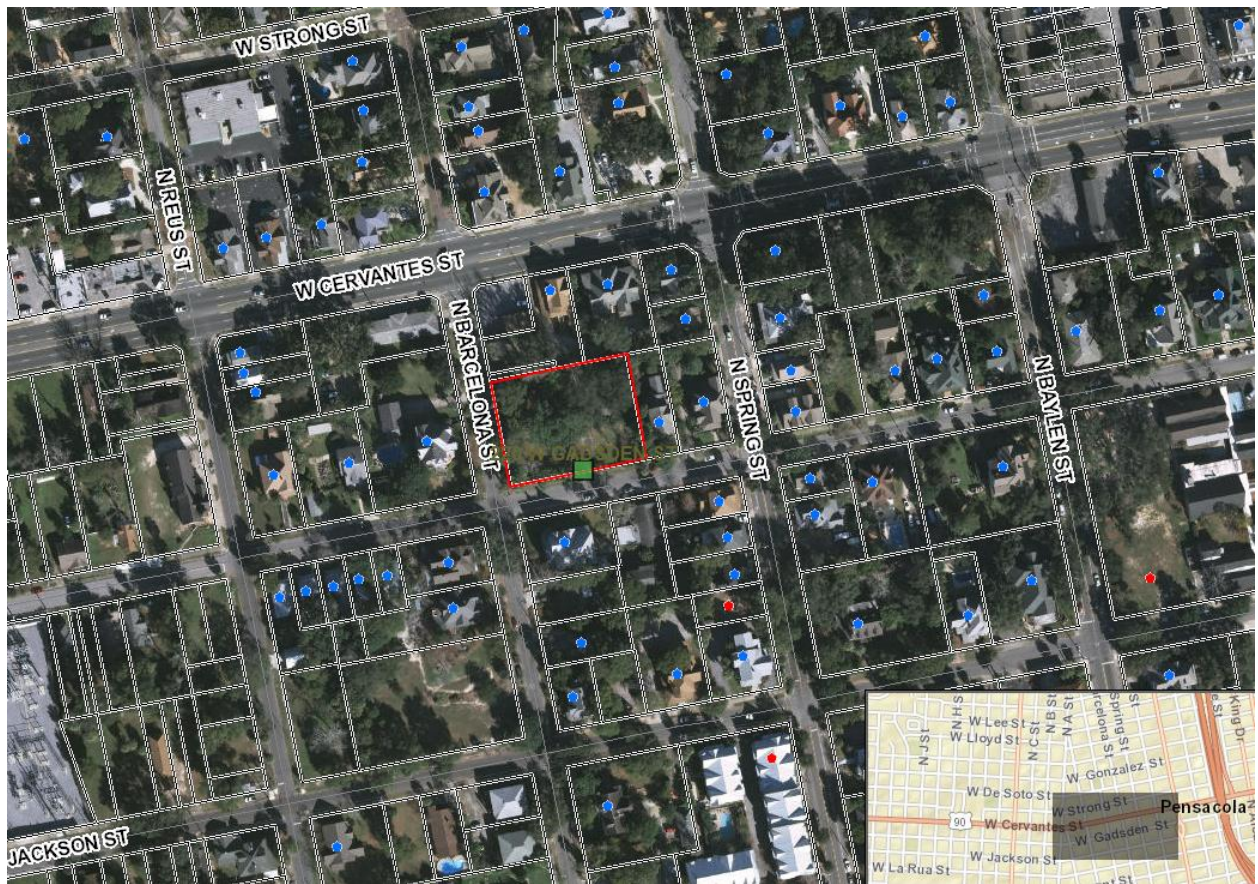
Jim Veal is requesting *CONCEPTUAL* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. The southwest parcel received final approval for a single family residence in July 2019. The proposed craftsman-style home will have a large front porch, hipped roof and access to an attached two-car garage. The architectural design is meant to blend with the neighborhood and with the future residences to the west. All exterior materials will be submitted for final review at a later date.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

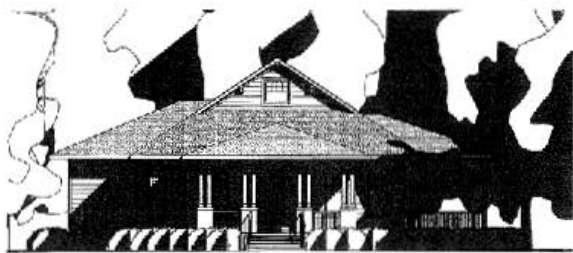
Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction*

220 W. Gadsden Street





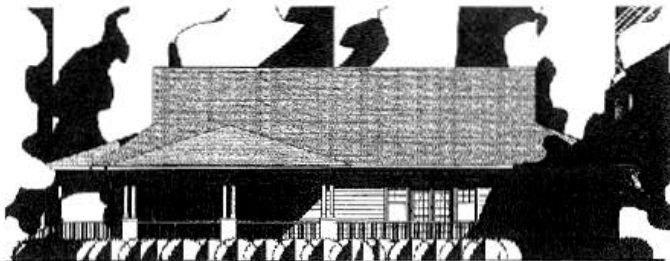
PERSPECTIVE ①



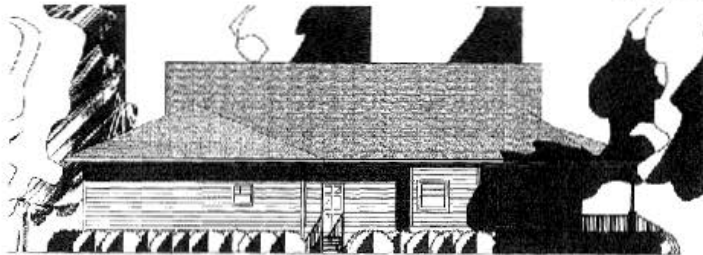
WEST ELEVATION
1/4" = 1'-0" ①



EAST ELEVATION
1/4" = 1'-0" ①



SOUTH ELEVATION
1/4" = 1'-0" ②



NORTH ELEVATION
1/4" = 1'-0" ②

Architectural Review Board Application
Full Board Review



Application Date: 1-29-2020

Project Address: 220 E Gadsden 4A
Applicant: J. Venz, Architect
Applicant's Address: 627 Bayshore Dr,
Email: jvejuenlarchitect.com Phone: 850.450.3295
Property Owner: Robert Holmes (Gordon Properties)
(If different from Applicant)

District: ☒ PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

Conceptual Approval for single family
residences

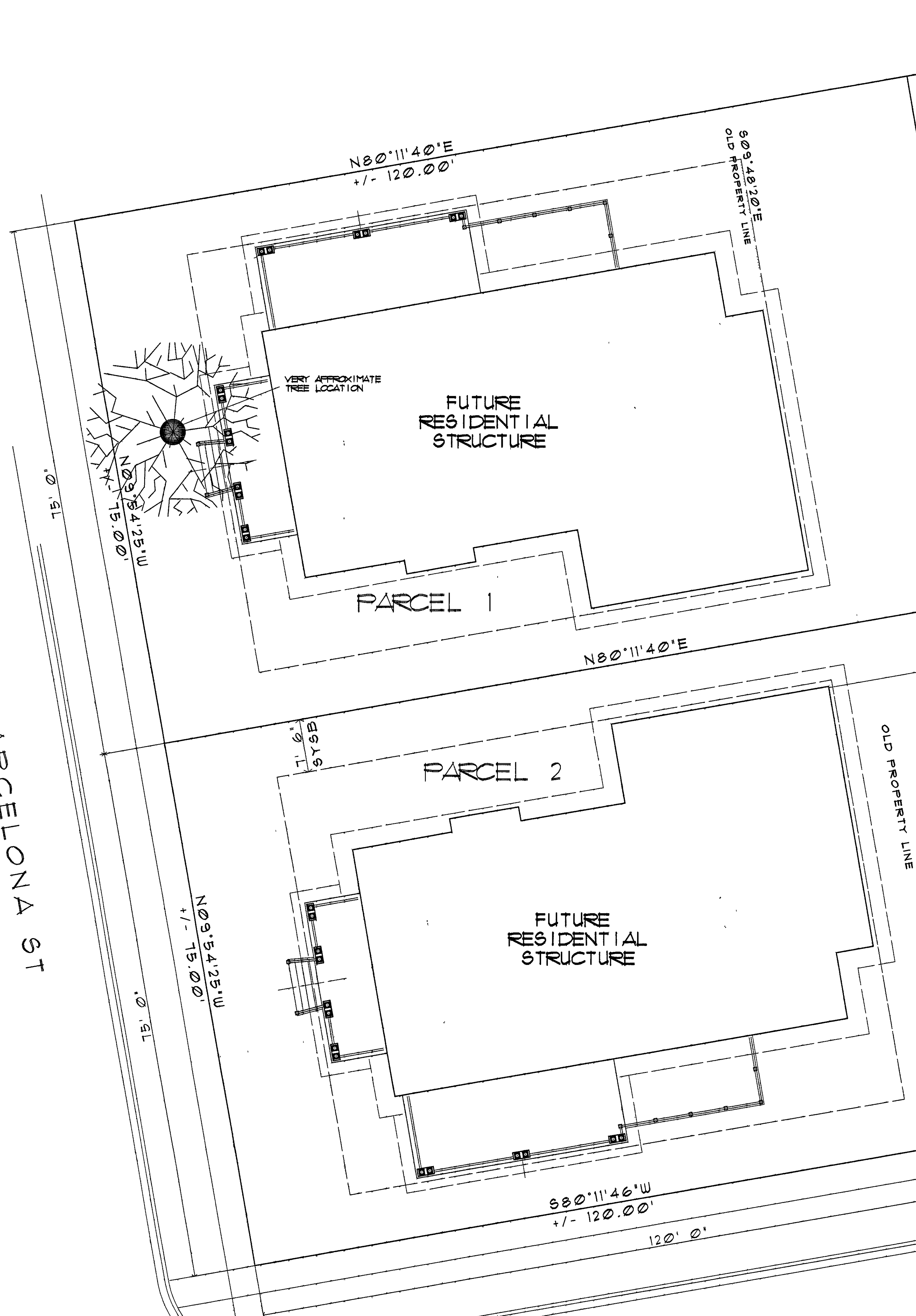
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]
Applicant Signature

1-29-2020
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

BARCELONA ST



PARCEL 3

PROPOSED ONE STORY RESIDENTIAL STRUCTURE

PARCEL 2

FUTURE RESIDENTIAL STRUCTURE

FUTURE RESIDENTIAL STRUCTURE

VERY APPROXIMATE TREE LOCATION

NOTES
01. PROPERTY OF THE ARCHITECT
02. DO NOT DISTRIBUTE OR DUPLICATE

DATE: 01-28-20
J. J. VEAL ARCHITECT
627 BAYSHORE DR. PENSACOLA, FL 32507
1-850-450-3295 jv@jvealarchitect.com

A NEW RESIDENCE for
HOLMES HOME
EAST GADSDEN STREET, PENSACOLA, FL

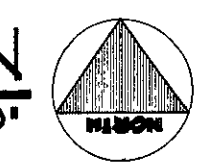
© 2020 J. J. VEAL ARCHITECT

DRAWN BY: COV
OR DN

SCH-M3B

GRND LEVEL 2,652 S.F.

PRELIMINARY
SCHEMATIC SITE PLAN
NOT FOR CONSTRUCTION
1/8" = 1' - 0"



EXISTING 6" FENCE

+/- 24" TREE

ADJACENT PROPERTY WATER METER

ATT UTILITY POLE

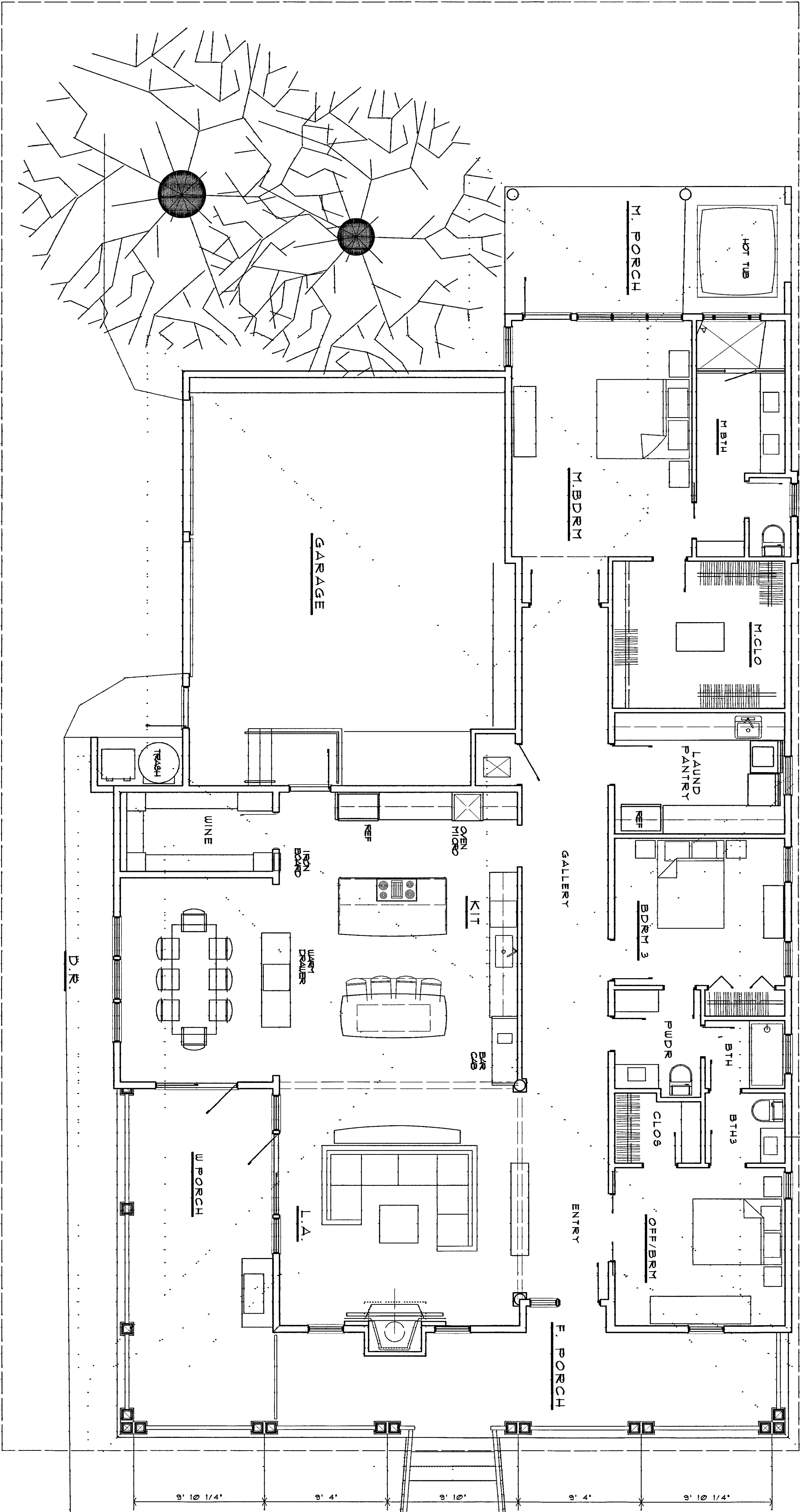
FIRE HYDRANT

WATER METER

CONCRETE DRIVE

15' 0"

NOTES	
01. PROPERTY OF THE ARCHITECT	
02. DO NOT DISSEMINATE OR REPRODUCE	
AREA TABULATION	
CONDITIONED AREA	2,655 s.f.
REAR PORCH	
GARAGE	



PRELIMINARY
NOT FOR CONSTRUCTION
SCHEMATIC FLOOR PLAN
1/4" = 1'-0"

© 2020 J.V.EAL ARCHITECT

A NEW RESIDENCE for
HOLMES HOME
xxx EAST GADSDEN ST. PENSACOLA, FL

J. VEAL
ARCHITECT
627 BAYSHORE DR. PENSACOLA, FL 32507
1-850-450-3295 jv@jvealarchitect.com

DATE:
01-08-20

A-1

DRAWN BY:

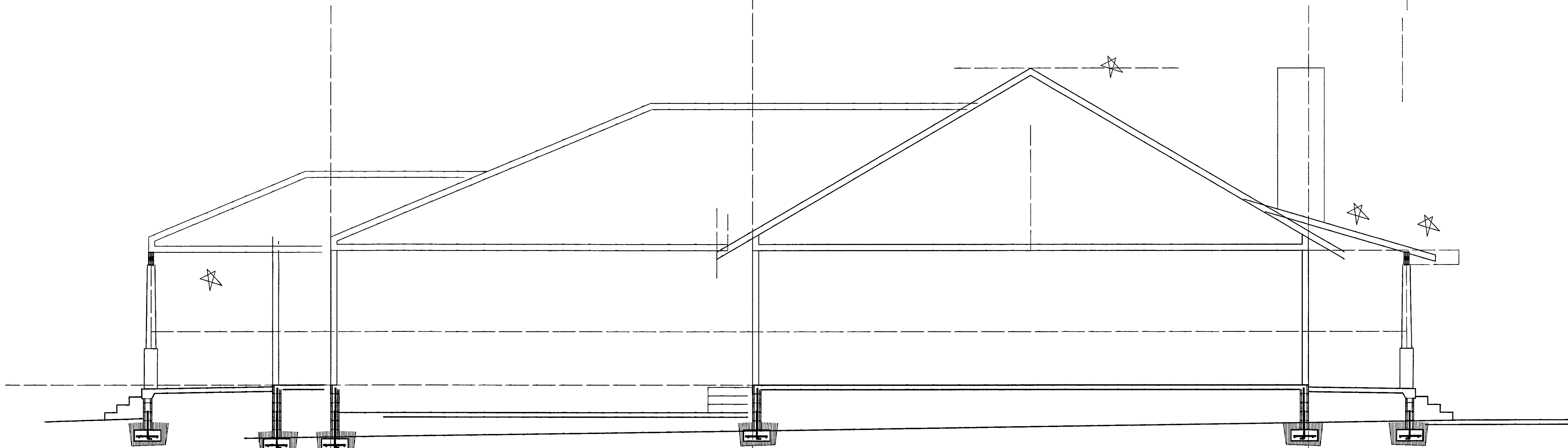
OF
DN

NOTES

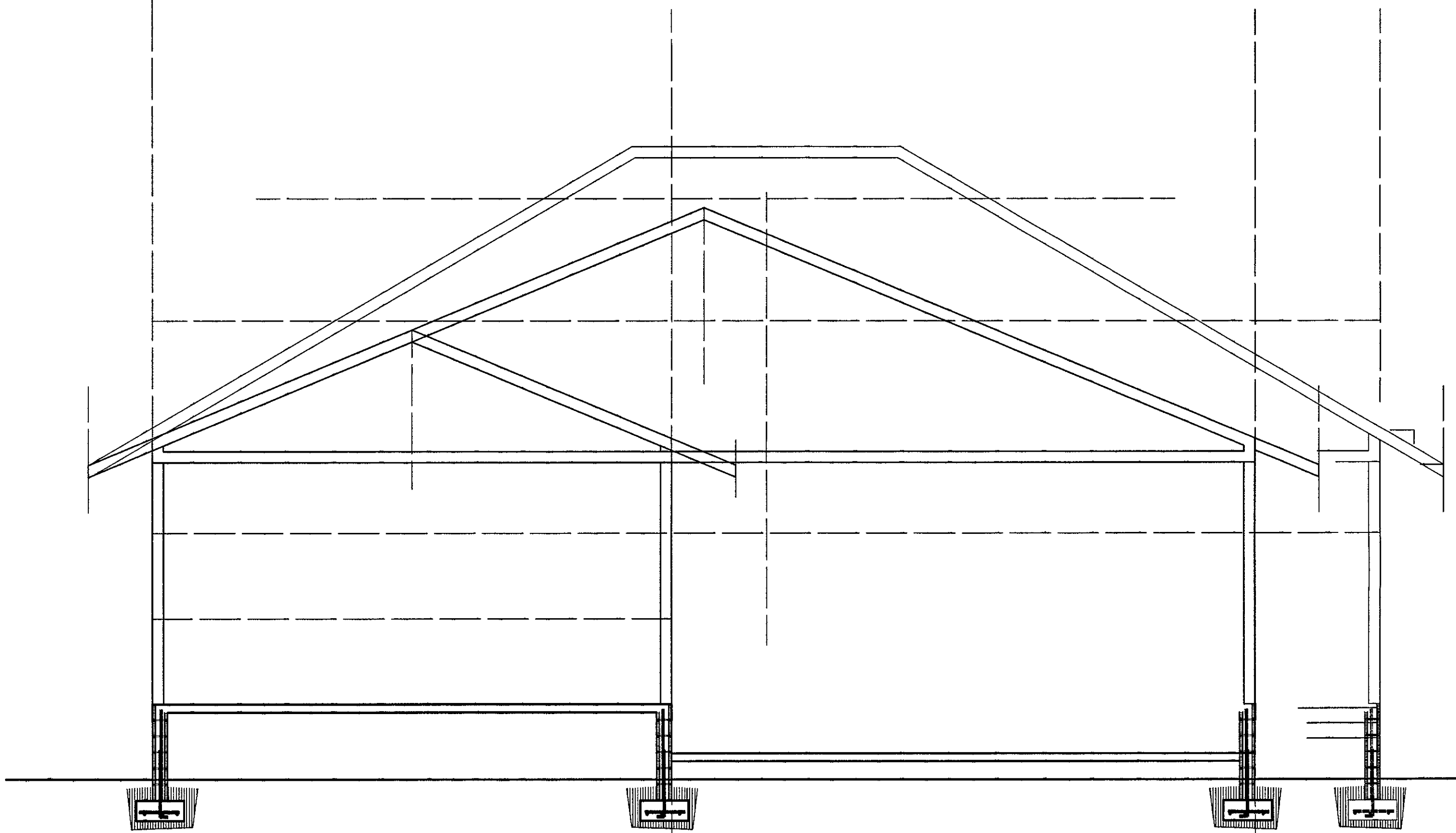
01. PROPERTY OF THE ARCHITECT
02. DO NOT DISTRIBUTE OR DUPLICATE

DATE:
01-08-19

J. VEAL
ARCHITECT
627 BAYSHORE DR. PENSACOLA, FL. 32507
1-850-450-3295 jv@jvealarchitect.com



PRELIMINARY
NOT FOR CONSTRUCTION
NORTH - SOUTH SECTION (A)
1/4" = 1' - 0"



PRELIMINARY
NOT FOR CONSTRUCTION
EAST - WEST SECTION (B)
1/4" = 1' - 0"

A NEW RESIDENCE FOR
HOLMES HOME
XXX EAST GADSDEN ST., PENSACOLA, FL

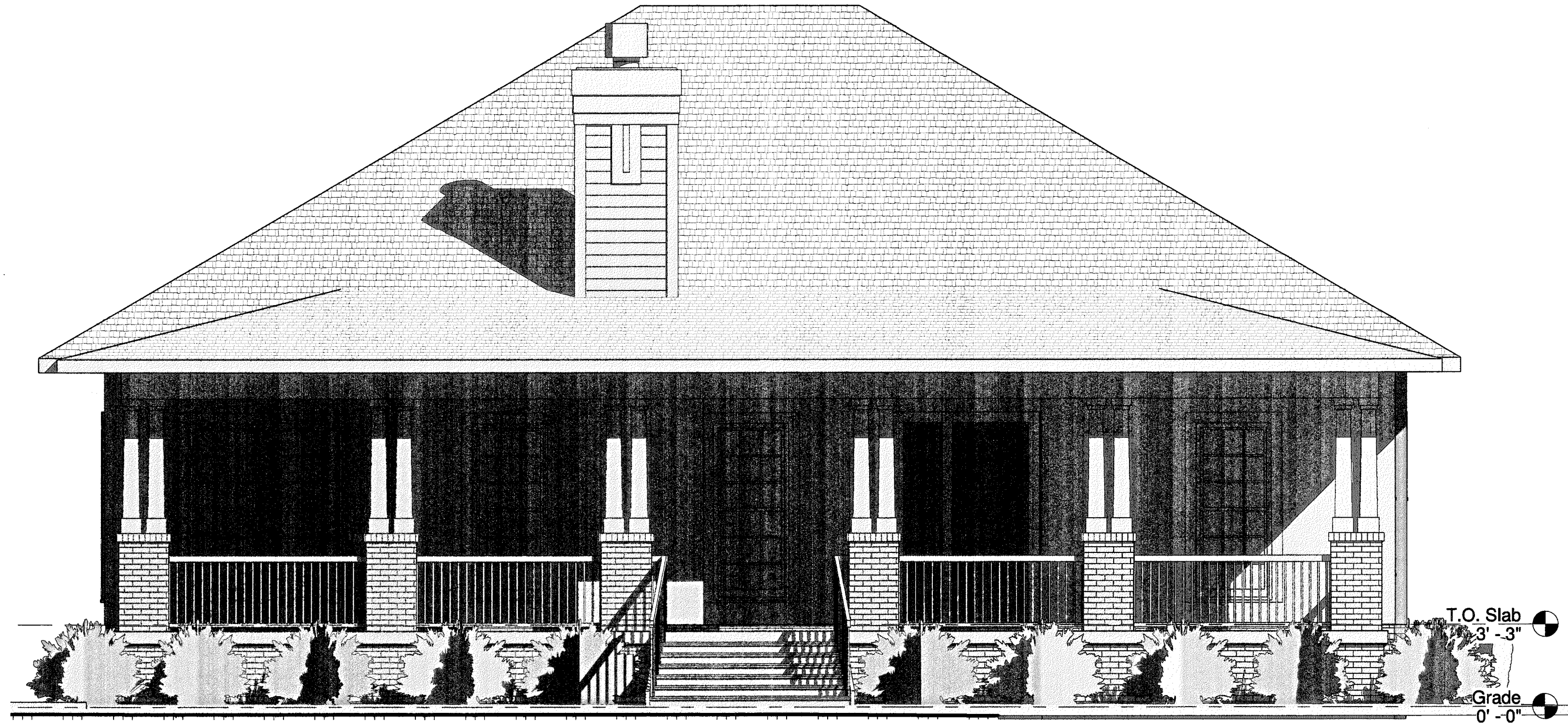
© 2008 J. VEAL ARCH.

DRAWN BY:

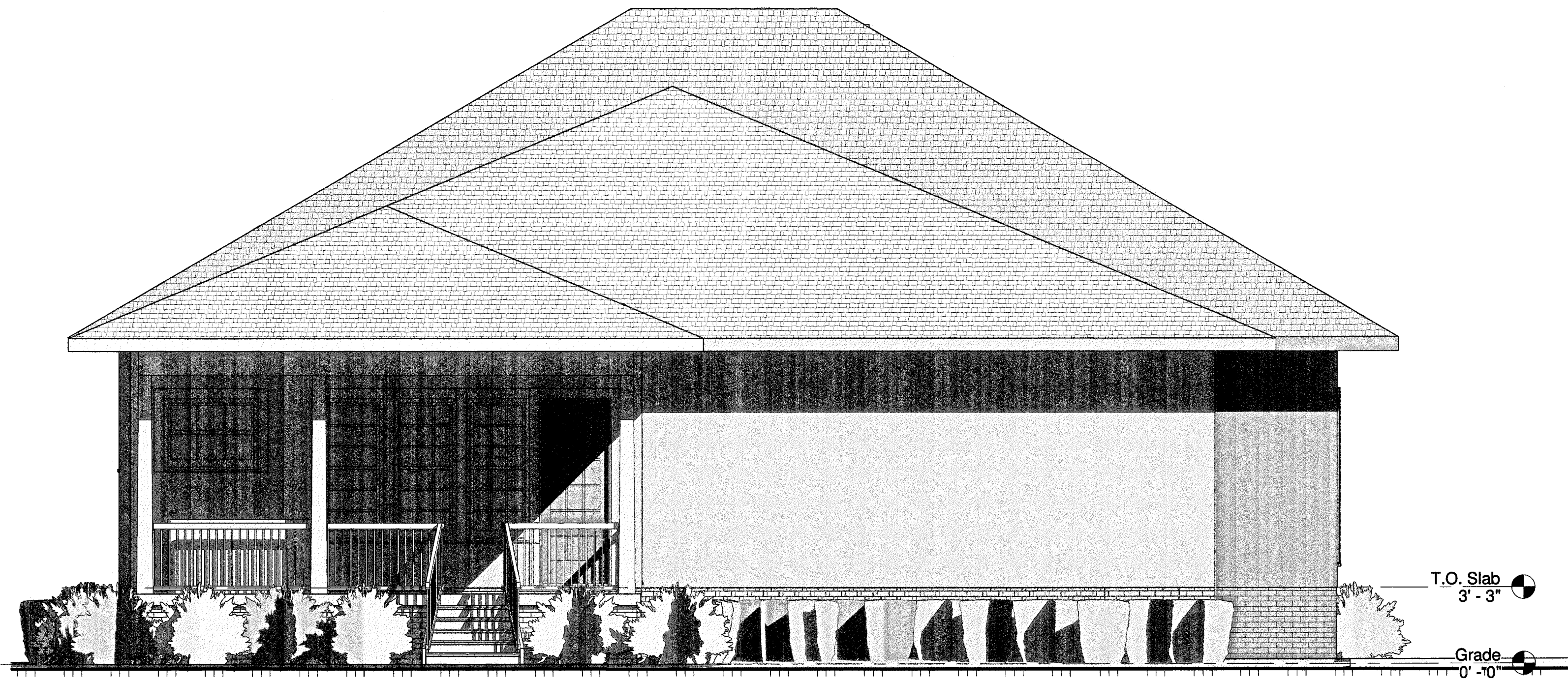
A-2

OR

DN



① SOUTH ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"

DATE:
01-02-20

JVA
J. VEAL, ARCHITECT
1-850-450-3295, jv@jvealarchitect.com
AL 32636 FL # 13055

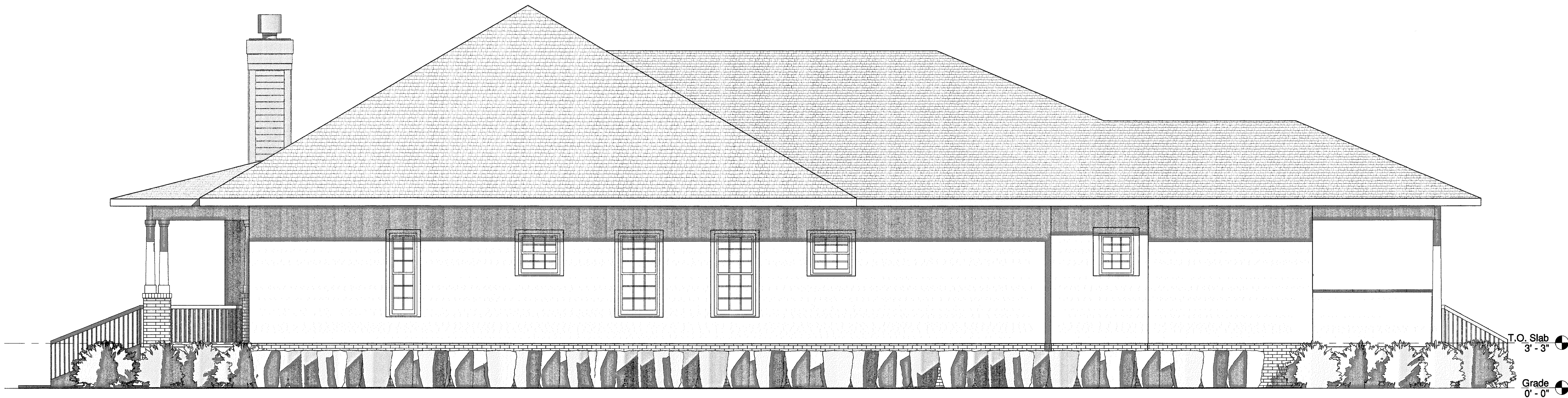
A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

PRELIMINARY
NOT FOR
CONSTRUCTION
© 2019 J. VEAL, ARCHITECT

DRAWN BY:

A-3
OF

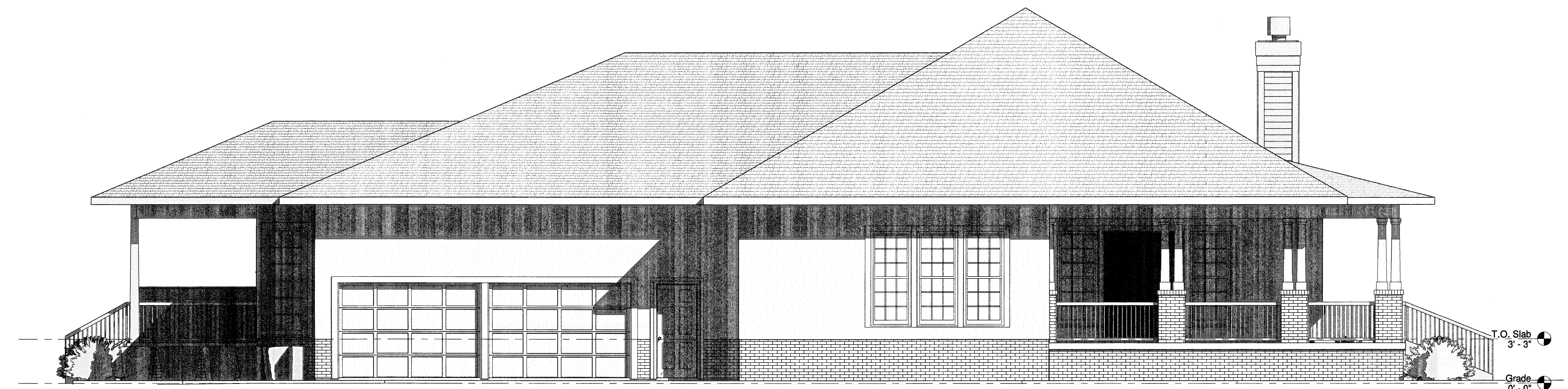
DN



T.O. Slab
3' - 3"

Grade
0' - 0"

③ EAST ELEVATION
1/4" = 1'-0"



T.O. Slab
3' - 3"

Grade
0' - 0"

④ WEST ELEVATION
1/4" = 1'-0"

DATE:
01-02-20

JVA
J. VEAL, ARCHITECT
1-850-450-5295 jv@jvealarchitect.com
AL 32656

A NEW HOUSE
NOT FOR CONSTRUCTION
HOLMES HOUSE
PENSACOLA, FLORIDA

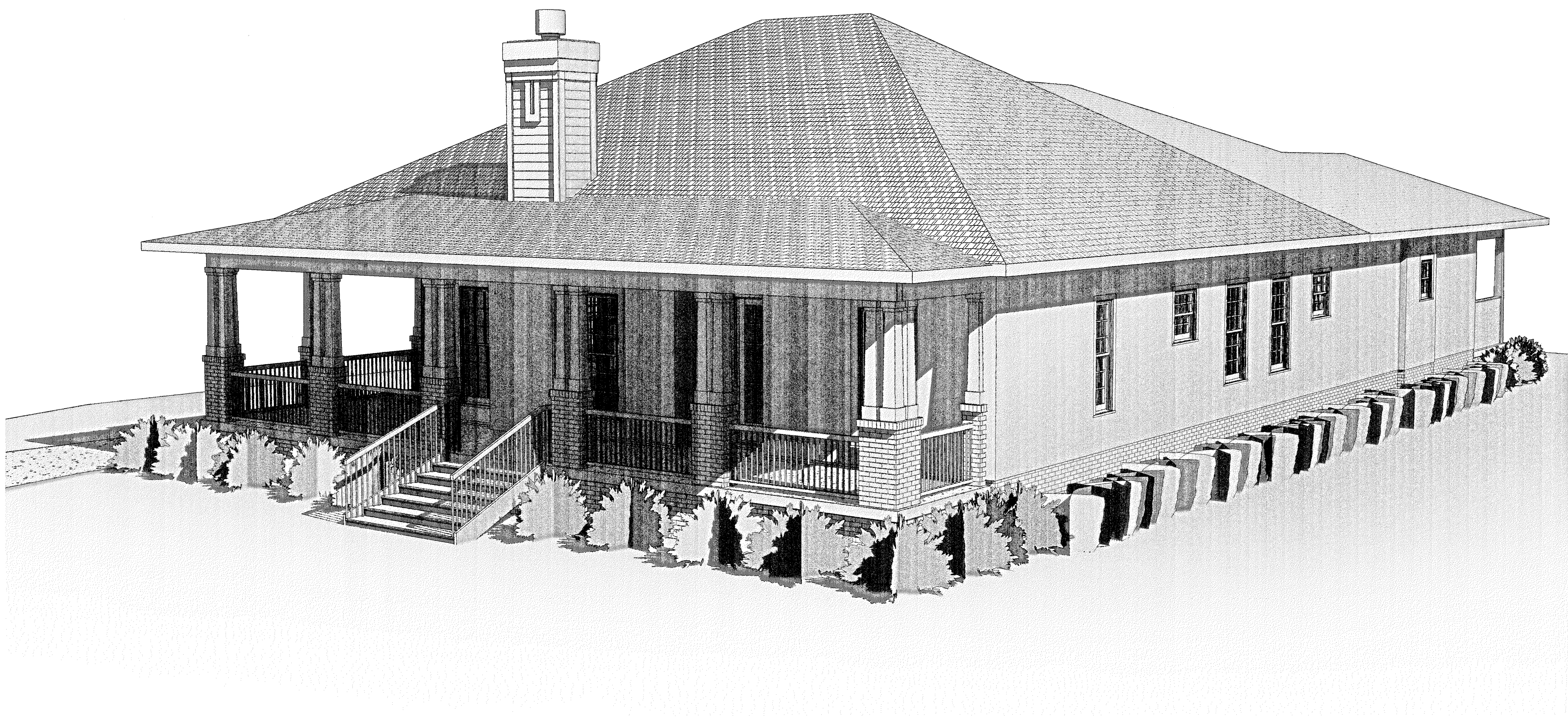
© 2019 J. VEAL ARCHITECT

DRAWN BY:

A-4

OF

DN



① SOUTHEAST PERSPECTIVE

DATE:
01-02-20

JVA
J. VEAL, ARCHITECT
1-850-450-5295 JV@jvealarchitect.com
AL 52656

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

PRELIMINARY
NOT FOR
CONSTRUCTION
© 2018 J. VEAL, ARCHITECT

DRAWN BY:

A-5

OF

DN



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 6**
314 S. Alcaniz Street
PHD / HC-1 / Wood Cottages District
Variance

BACKGROUND

Scott Holland is seeing a Variance to increase the minimum rear yard setback from twenty (20) feet to twelve (12) feet, six (6) inches to accommodate a new two-story single family residence.

This item is in consideration with Item 7.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*

Figure 12-2.1 *PHD, Wood cottages district – Streetscape type 1 and 2 (setback list)*

314 S. Alcaniz Street



- ☐ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details: *
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s). *
- D. A non-refundable application fee of **\$500.00**.

* The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) FIGURE 12-2.1, STREETSCAPE TYPE 2 Zoning HC-1

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 314 South Alcaniz Street / Pensacola, FL. / 32502

Current use of property: Residential

1. Describe the requested variance(s): To reduce the rear yard setback from 20 feet to 12.5 feet
to accommodate a new single family residence.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

(See Attachment)

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

(See Attachment)

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

(See Attachment)

5. Explain what other condition(s) may justify the proposed variance(s):

(See Attachment)

Application Date: 01-30-20

Applicant: R. Scott & Karen P. Holland

Applicant's Address: 101 Entrada 2 / Pensacola Beach, FL. / 32561

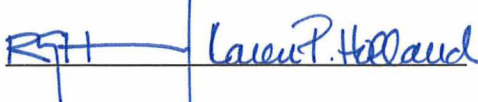
Email: scoho1@hhma.com Phone: (850) 393-2168

Applicant's Signature: 

Property Owner: R. Scott & Karen P. Holland

Property Owner's Address: 101 Entrada 2 / Pensacola Beach, FL. / 32561

Email: scoho1@hhma.com Phone: (850) 393-2168

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

VARIANCE CRITERIA

Per Sec. 12-12-2(A)(2), in order to authorize any variance from the Land Development Code the Board must find:

1. *That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;*

The existing structure slated for removal (or demolition) currently has a rear yard setback of 10.33 feet. The adjacent building to the north has a rear yard setback of 3.08 feet and the adjacent building to the south has a rear yard setback of 7.00 feet.

The current structure underwent a renovation in 2004 and was allowed to retain the existing rear yard setback of 10.33 feet. The existing building to the north underwent an addition in 2008 and was allowed to remove an existing non-conforming lean-to and replace it with a new addition utilizing the same footprint. Both of these projects were allowed to be permitted and constructed given the shallow depth of the site and the existing locations of the buildings and their respective rear yard setbacks.

The existing building to the south appears to have been built circa 1960's. The reason it was granted a rear yard setback of 7.00 feet is unknown to the applicant.

2. *That the special conditions and circumstances do not result from the actions of the applicant;*

All rear yard setbacks to this specific site and the adjacent buildings to the north and south are pre-existing.

3. *That granting the variance requested will not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district;*

Granting this variance will allow the applicant to construct a single-family residence utilizing the current rear yard setback is not a special privilege given the fact that in 2004 the existing structure was granted its current rear yard setback. In addition, the two adjacent buildings to the north and south were granted the same request and have rear yard setbacks less than what the applicant is requesting.

NOTE: The variance being requested (12.50 feet) is 2.17 feet less than the pre-existing 10.33 feet, is 9.42 feet less than the adjacent building to the north, and is 5.50 feet less than the adjacent building to the south.

4. *That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardship on the applicant;*

Given the shallowness of the site, plus the existing rear yard setbacks of this site and the two adjacent sites located to the north and south, having to adjust to a 20.00-foot rear yard setback would render the site unbuildable. The additional depth is needed to accommodate off-street parking and to help preserve an existing 12" live oak and 24" southern magnolia.

5. *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

Granting this variance for a rear yard setback of 12.50 feet will allow the applicant to design and construct a single-family residence with the proper square footage, to obtain off-street parking, and to save two (2) heritage trees.

6. *That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

Granting this variance allows the new structure to closely maintain it's current footprint by utilizing the current rear yard setback. The new design will reflect the character of the Seville Historic District and will be an asset to downtown.

7. *That the variance will not constitute any change in the districts shown on the zoning map, will not impair an adequate supply of light and air to adjacent property, will not increase the congestion of public streets, or increase the danger of fire, will not diminish or impair established property values within the surrounding area, and will not otherwise impair the public health, safety, and general welfare of the city.*

Granting this variance will NOT change zoning, does NOT impair light and air to adjacent property owners, will NOT increase congestion of public streets, will NOT be a fire hazard, will NOT diminish property values, and will NOT impair public health, safety, and general welfare of the city.

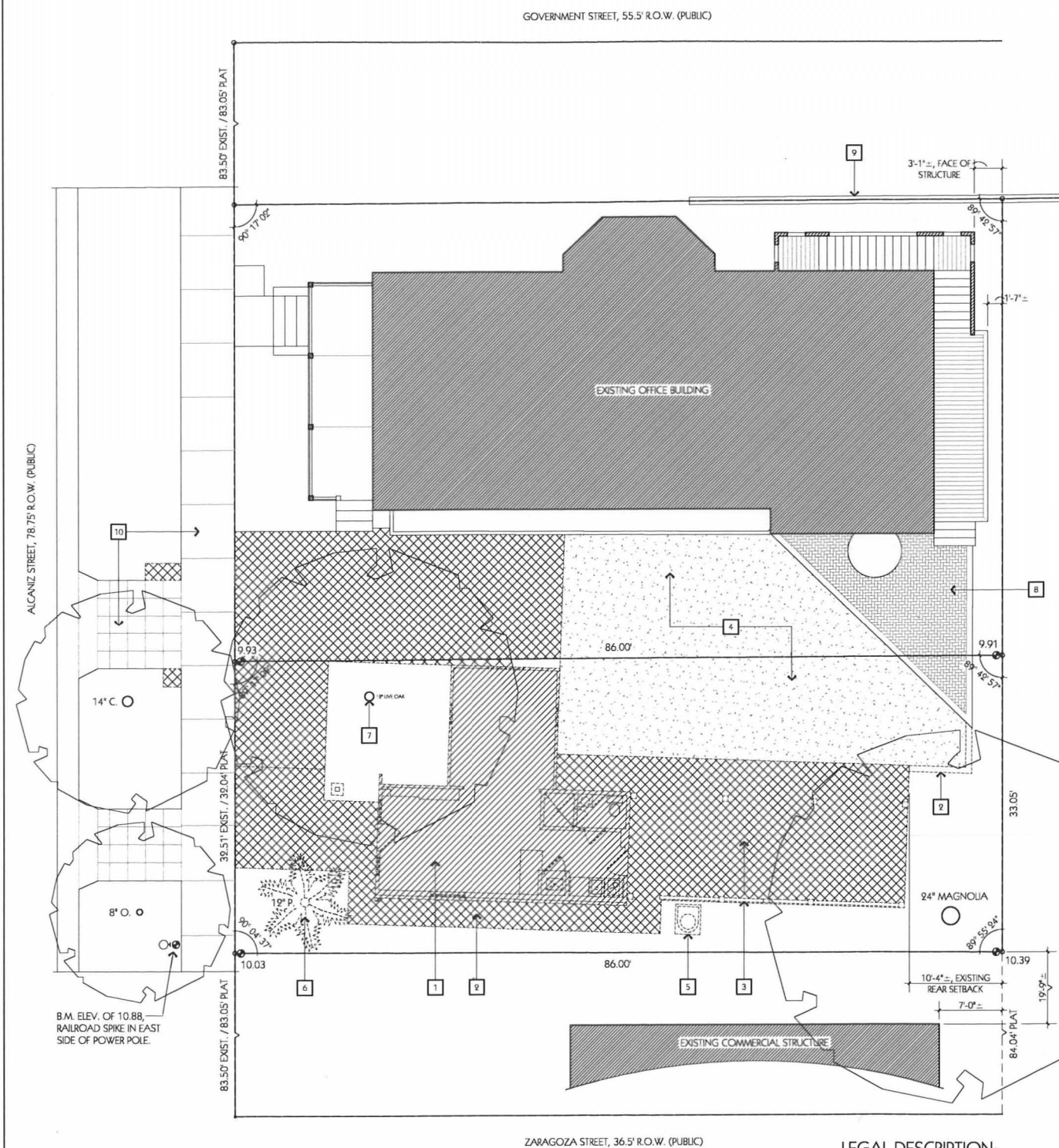
NOTE: The construction of this new single-family residence will increase the current property value and the utilization of reinforced CMU exterior walls and non-combustible exterior cladding materials will definitely decrease the potential of a fire hazard to adjacent neighboring structures.

Additional Criteria:

- a) That the Variance granted will not detract from the architectural integrity and/or historical accuracy of the development and its surroundings; and*
- b) That the grant of the Variance will be in harmony with the general intent and purpose of this title and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

Granting this variance allows the construction of a new structure to closely maintain the current footprint of the existing structure by utilizing the current rear yard setback. In addition, the new design reflects the architectural integrity and character of the Seville Historic District and will be an asset to downtown.

The new construction project, which is an integral part of this variance request, will be the permanent residence for the applicants, Scott and Karen Holland. They are committed not only to the design and construction of this project, but are also committed to becoming an active part of downtown life and will maintain the new structure and its grounds to the highest standards in which the District deserves.



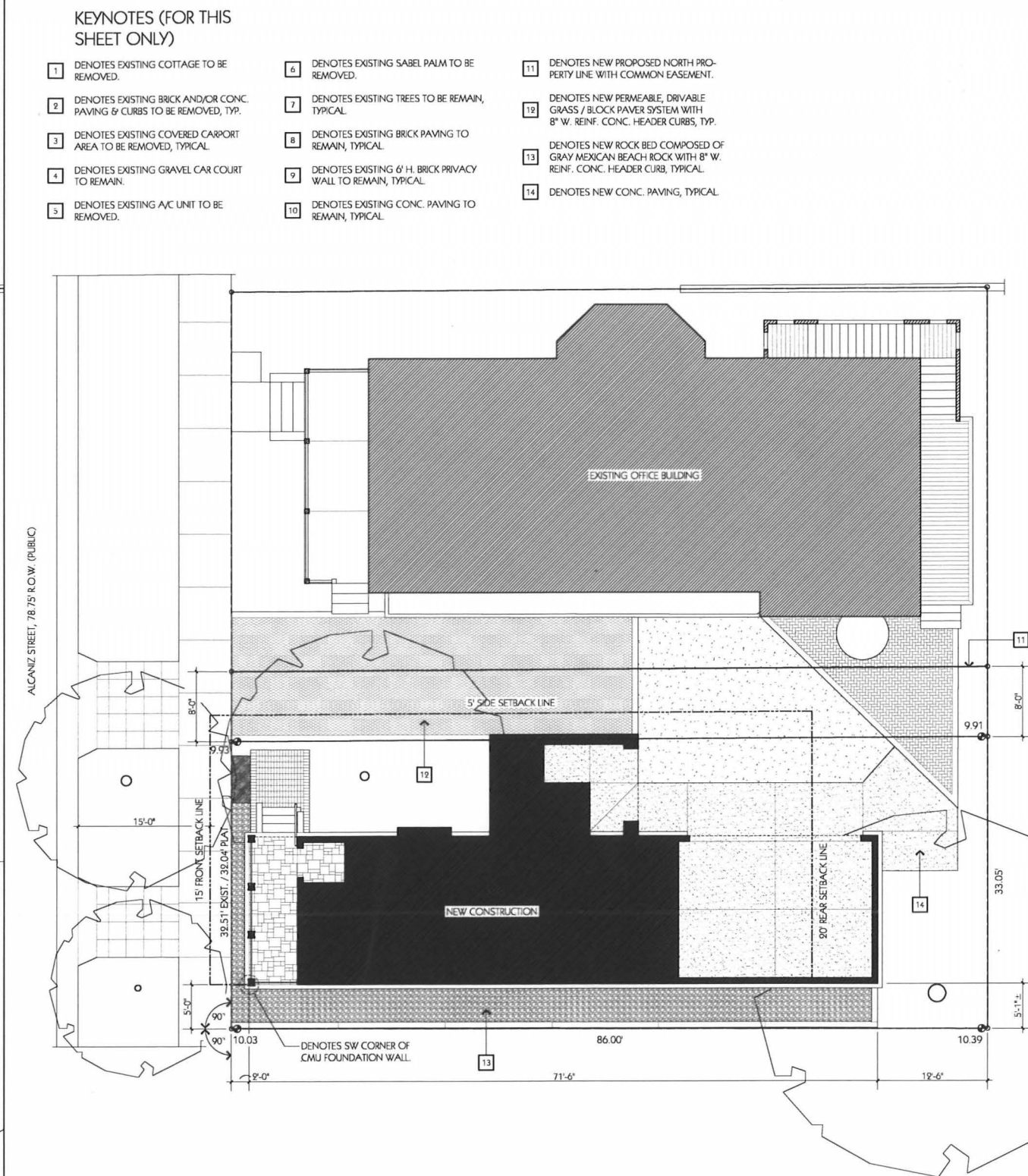
SITE PLAN - EXISTING CONDITIONS / DEMOLITION
SCALE: 1/4"=1'-0"



LEGAL DESCRIPTION:

THE NORTH HALF OF LOT 50, LESS
THAN THE NORTH 51 FEET THEREOF,
BLOCK 9, OLD CITY TRACT, ESCAMBIA
COUNTY, FLORIDA, ACCORDING TO
"MAP OF PENSACOLA, FLORIDA"
COPYRIGHTED BY THOMAS C.
WATSON IN 1906.

STREET ADDRESS:
314 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502



SITE PLAN - NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"



PHOTO 1

VIEW LOOKING EAST TOWARDS BACK
OF PROPERTY



PHOTO 2

VIEW LOOKING NORTH FROM
BEHIND ADJACENT PROPERTY TO THE
SOUTH



PHOTO 3

VIEW LOOKING NORTH ALONG
SUBJECT PROPERTY AND THE
ADJACENT PROPERTY TO THE NORTH



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 7**
314 S. Alcaniz Street
PHD / HC-1 / Wood Cottages District
Variance

BACKGROUND

Scott Holland is seeing *CONCEPTUAL* approval for a new two-story single family residence. The proposed new structure will have a reinforced concrete foundation, Hardie ship-lap siding and corrugated metal roof panels. A two-car garage will be located on the north side of the house alongside a side entrance covered by brick veneer and a hard-coat stucco finish. Materials include powder-coated aluminum handrails and heavy-timber wood brackets. Exterior doors and windows will be Kolbe clad wood with horizontal muntins. The demolition of the existing structure was approved in December 2019 with the condition that the applicant continue to seek opportunities for removal or salvage and that demolition only be approved if applicant cannot find any practicable offer to relocate. Conceptual approval of this project was denied without prejudice and encouragement to resubmit.

This item is in consideration with Item 6.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*

Figure 12-2.1 *PHD, Wood cottages district – Streetscape type 1 and 2 (setback list)*

314 S. Alcaniz Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 01-30-20

Project Address: 314 South Alcaniz Street / Pensacola, FL / 32502

Applicant: R. Scott Holland / Heffernan Holland Morgan Architecture

Applicant's Address: 312 South Alcaniz Street / Pensacola, FL / 32502

Email: scho1@hhma.com **Phone:** 850-393-2168

Property Owner: R. Scott & Karen P. Holland

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Please see attachment.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

RSH
Applicant Signature

01.30.20
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

PROJECT SPECIFICS / DESCRIPTION:

This application is for the following requests:

1. Demolition of the existing structure (or the possibly of relocation);
2. Schematic Site Approval; and
3. Schematic Design Approval of "Single-Family" Residential Structure

Demolition:

The current structure is composed of a 540 SF cottage and an attached three-car open carport. This structure is classified as a "non-contributing" historic building; believed to have been constructed in the early 1960's as a one-car garage.

New Construction:

The proposed new construction is for a 1,887 SF (conditioned space) two-story, single-family residence. The new structure will be designed to withstand 200+ MPH wind loads and shall be composed of the following components:

1. Foundation: Reinforced concrete spread footings with 8" CMU reinforced stem walls;
2. Exterior Walls: Load-bearing, reinforced 8" CMU walls extended to roof structure;
3. Interior Walls: Wood stud framing;
4. First Floor: Back-fill with reinforced concrete slab (exposed, polished);
5. Second Floor: Wood floor trusses, 20" deep;
6. Roof: Open-trussed wood framing;
7. Exterior Doors & Windows: Kolbe clad wood, impact-rated, horizontal muntins;
8. Exterior Cladding: Hardie "Artisan" ship-lap siding (7" exposure), brick veneer plinth and wall cladding, and hard-coat stucco in selected areas (as shown on elevations);
9. "Eye-Brow" Shade Components: Heavy-timber wood brackets with 2x6 T&G decking and metal roof panels; and
10. Roofing: Metal roof panels, corrugated, Galvalume.

It is the desire of the Owners to design a "Net-Zero" residence utilizing solar power, geothermal mechanical system, and other energy-saving components and equipment.

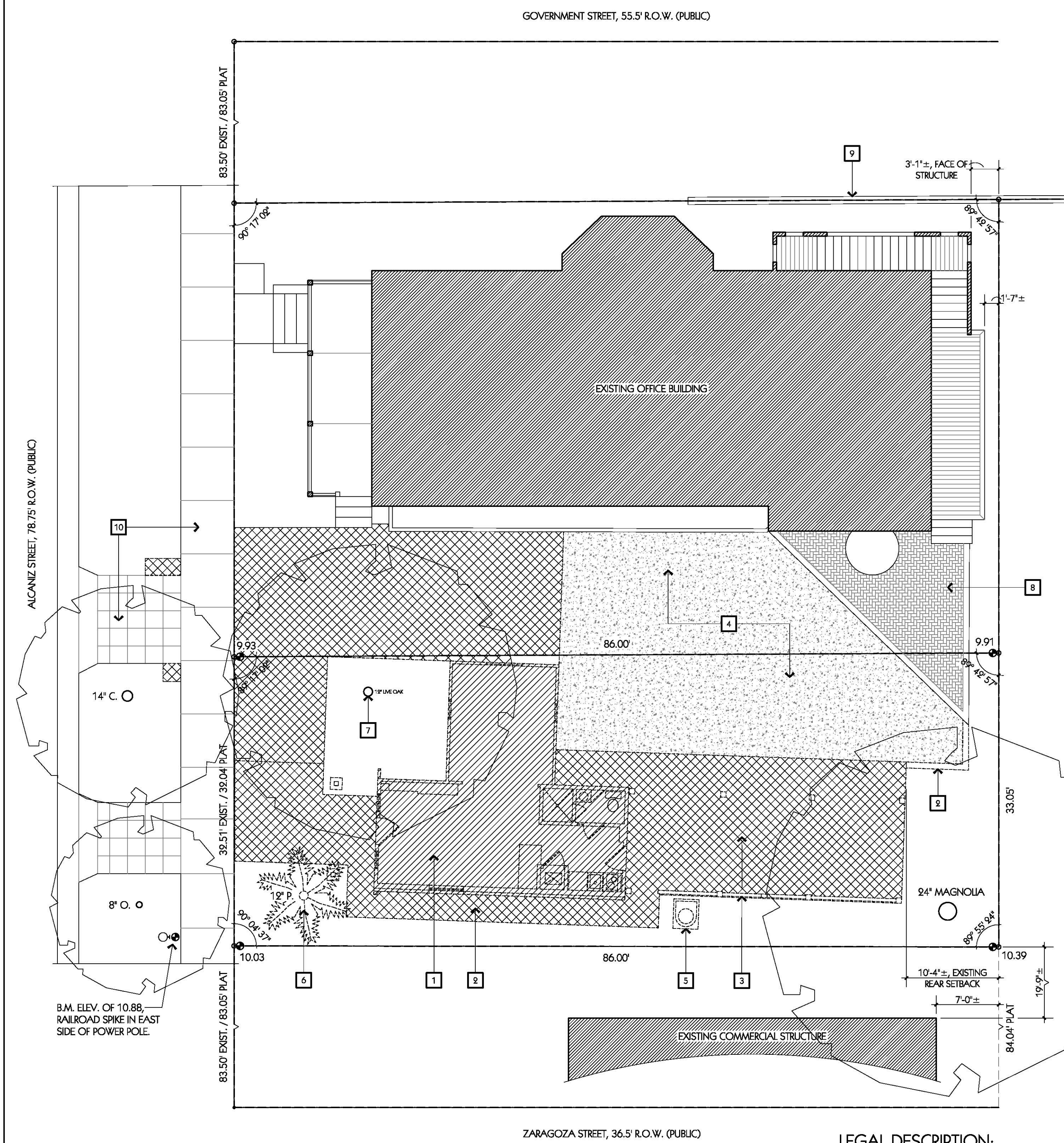
TITLE SHEET	SHEET TITLE	PROJECT NO.	1902	00% SUBMITTAL		PROJECT TITLE 314 SOUTH ALCANIZ STREET PENSACOLA, FL 32502	CONSULTANTS
		CAD DWG FILE	1902A3.1.dwg	DATE	01-30-20		
		DRAWN BY	RSH	REVISION 1	00-00-00		
		CHECKED BY	RSH				
		COPYRIGHT	HI-WA 2017				

HEFFERNAN HOLLAND MORGAN
A R C H I T E C T U R E

312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942

A 1

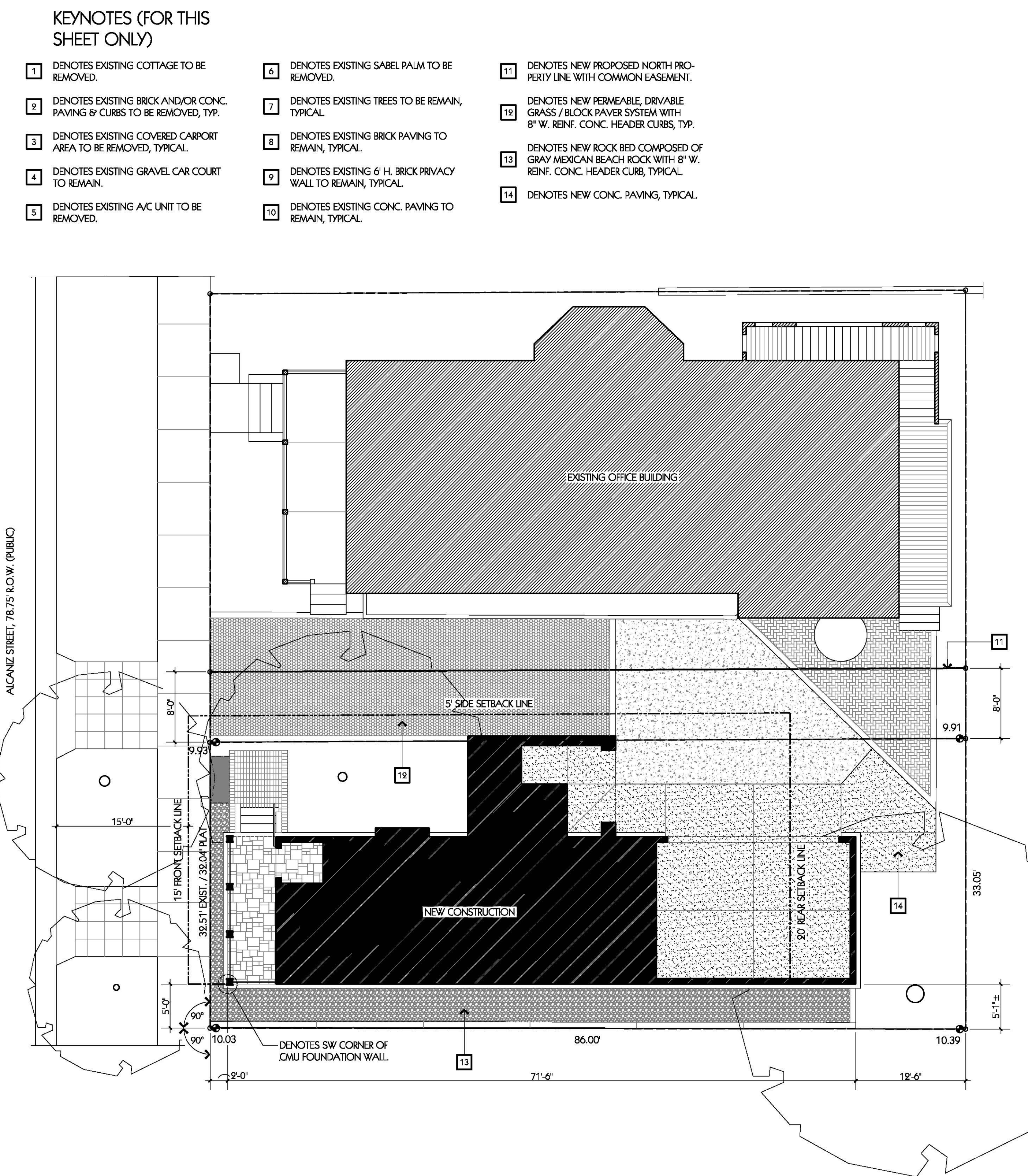
P12



SITE PLAN - EXISTING CONDITIONS / DEMOLITION
SCALE: 1/4"=1'-0"



LEGAL DESCRIPTION:
THE NORTH HALF OF LOT 50, LESS THAN THE NORTH 51 FEET THEREOF, BLOCK 9, OLD CITY TRACT, ESCAMBA COUNTY, FLORIDA, ACCORDING TO "MAP OF PENSACOLA, FLORIDA" COPYRIGHTED BY THOMAS C. WATSON IN 1906.
STREET ADDRESS:
314 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502



SITE PLAN - NEW CONSTRUCTION
SCALE: 1/4"=1'-0"



- KEYNOTES (FOR THIS SHEET ONLY)
- 1 DENOTES EXISTING COTTAGE TO BE REMOVED.
 - 2 DENOTES EXISTING BRICK AND/OR CONC. PAVING & CURBS TO BE REMOVED, TYP.
 - 3 DENOTES EXISTING COVERED CARPORT AREA TO BE REMOVED, TYPICAL.
 - 4 DENOTES EXISTING GRAVEL CAR COURT TO REMAIN.
 - 5 DENOTES EXISTING A/C UNIT TO BE REMOVED.
 - 6 DENOTES EXISTING SABEL PALM TO BE REMOVED.
 - 7 DENOTES EXISTING TREES TO BE REMAIN, TYPICAL.
 - 8 DENOTES EXISTING BRICK PAVING TO REMAIN, TYPICAL.
 - 9 DENOTES EXISTING 6' H. BRICK PRIVACY WALL TO REMAIN, TYPICAL.
 - 10 DENOTES EXISTING CONC. PAVING TO REMAIN, TYPICAL.
 - 11 DENOTES NEW PROPOSED NORTH PROPERTY LINE WITH COMMON EASEMENT.
 - 12 DENOTES NEW PERMEABLE, DRIVABLE GRASS / BLOCK PAVER SYSTEM WITH 8" W. REINF. CONC. HEADER CURBS, TYP.
 - 13 DENOTES NEW ROCK BED COMPOSED OF GRAY MEXICAN BEACH ROCK WITH 8" W. REINF. CONC. HEADER CURB, TYPICAL.
 - 14 DENOTES NEW CONC. PAVING, TYPICAL.

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE
312 S ALCANIZ STREET PENSACOLA, FL 32502 850.433.2799 FL AAC001942

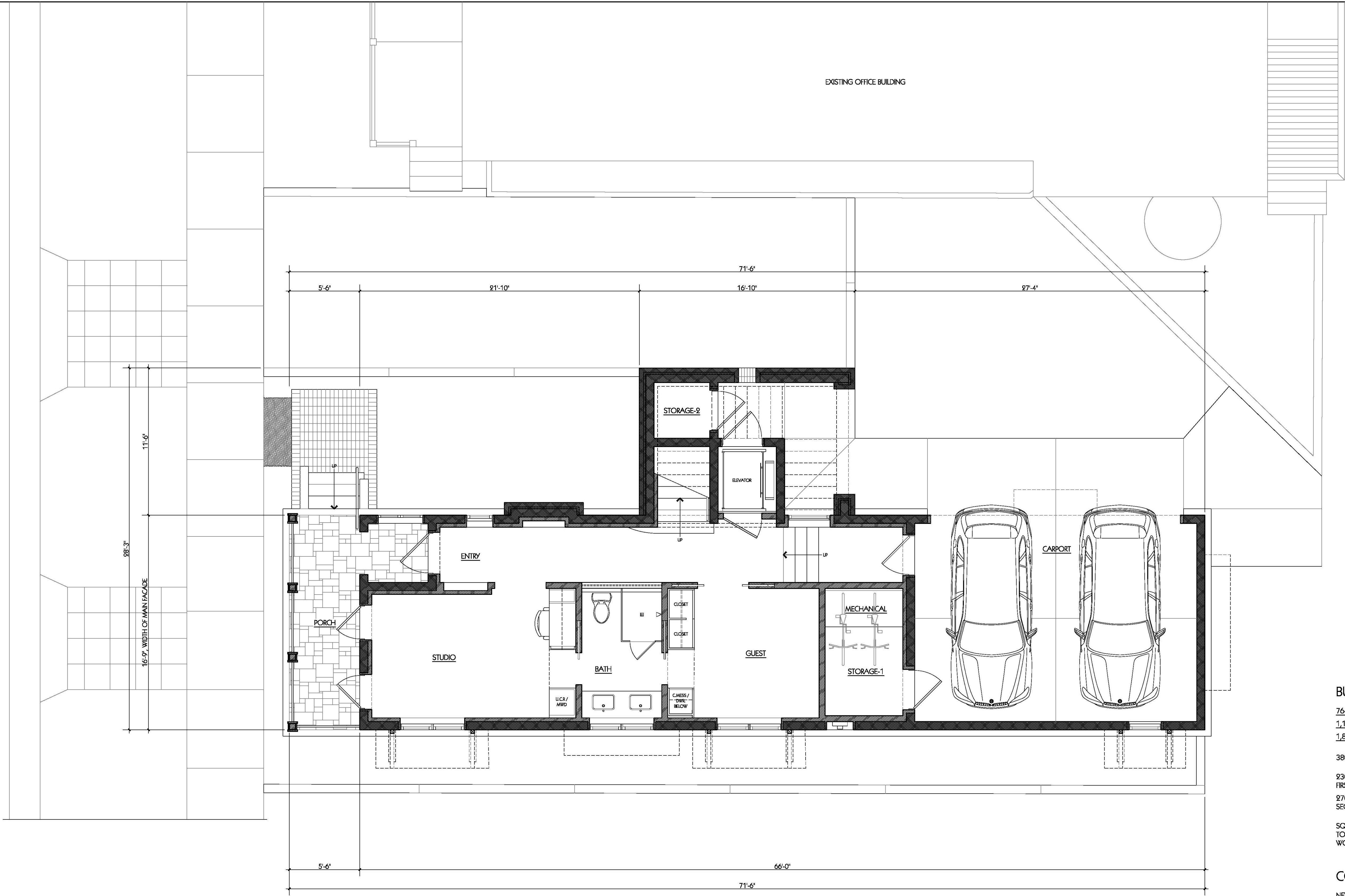
CONSULTANTS

PROJECT TITLE
P1
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	1902	00% SUBMITTAL	DATE	01-30-20
CAD DWG FILE	1902A3.1.dwg	DATE	00-00-00	
DRAWN BY	RSI	REVISION 1		
CHECKED BY	RSI			
COPYRIGHT	H-HWA 2017			

SHEET TITLE
SITE PLAN - EXISTING CONDITIONS / DEMOLITION & NEW CONSTRUCTION

A2



FIRST FLOOR PLAN - NEW CONSTRUCTION

SCALE: 1/4"=1'-0"



BUILDING DATA:

764 S.F. COND. SPACE - FIRST FLR.
1,123 S.F. COND. SPACE - SECOND FLR.
1,887 S.F. COND. SPACE - TOTAL

380 S.F. GARAGE

230 S.F. EXTERIOR SPACE UNDER ROOF - FIRST FLOOR
270 S.F. EXTERIOR SPACE UNDER ROOF - SECOND FLOOR

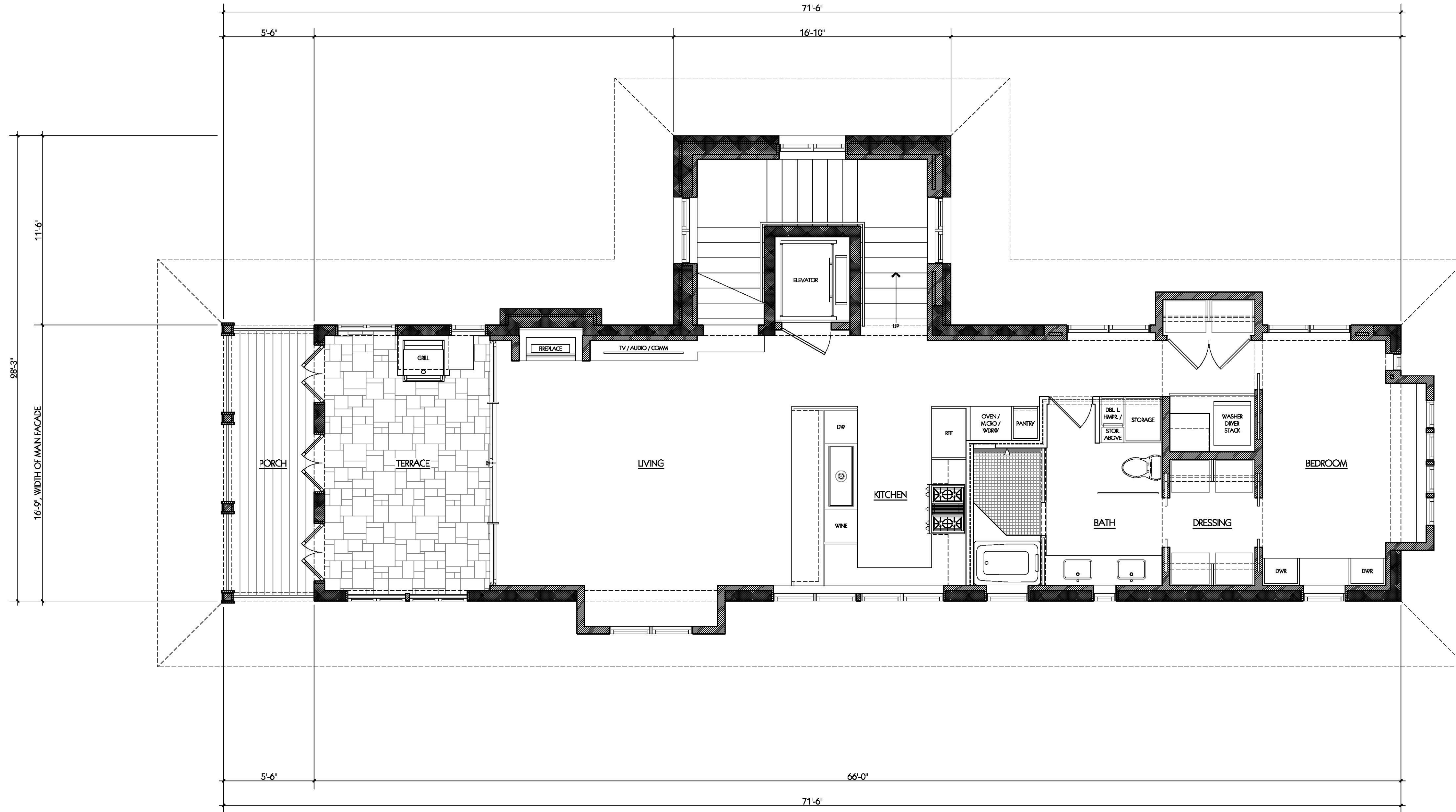
SQUARE FOOTAGE AREAS CALCULATED TO OUTSIDE FACE OF CMU AND/OR WOOD STUD.

CONSTRUCTION DATA:

NEW STRUCTURE COMPOSED OF EXTERIOR REINFORCED-CMU, LOAD-BEARING WALLS WITH A RAISED FIRST FLOOR REINFORCED CONC. SLAB ON COMPACTED FILL.

SECOND FLOOR FRAMING COMPOSED OF THE FOLLOWING: 20" D. WOOD FLOOR TRUSSES AND 3/4" PLYWOOD FLOOR SHEATHING AND SOME EXTERIOR WALL WOOD STUD FRAMING.

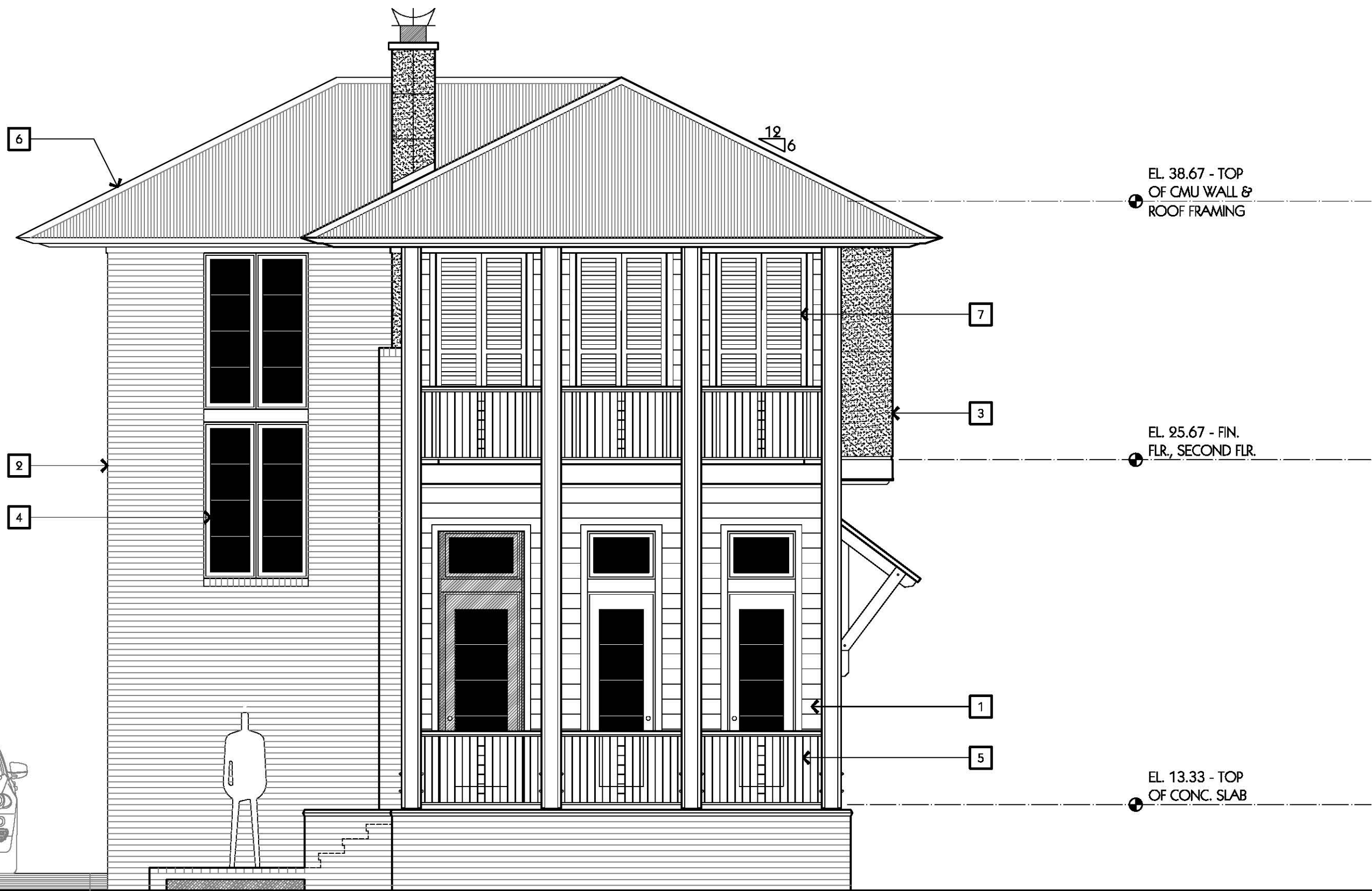
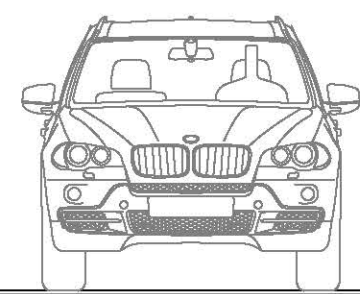
SECOND ROOF SYSTEM SHALL BE COMPOSED OF A COMBINATION OF CUSTOM WOOD FRAMING AND PRE-FABRICATED WOOD TRUSSES WITH 5/8" PLYWOOD ROOF SHEATHING.



SECOND FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/4"=1'-0"



CONSULTANTS			
PROJECT TITLE			
P12 314 SOUTH ALCANIZ STREET PENSACOLA, FL 32502			
PROJECT NO.	1902	00% SUBMITTAL	
	1902/A3.1.dwg	DATE	01-30-20
DRAWN BY	RS1	REVISION 1	00-00-00
CHECKED BY	RS1		
COPYRIGHT	H-HWA 2017		
SHEET TITLE			
SECOND FLOOR PLAN - NEW CONSTRUCTION			



KEYNOTES (FOR THIS SHEETS A4.1 - A4.3)

- 1 DENOTES PAINTED COMPOSITE SHIP-LAP SIDING, 7" EXPOSURE, TYPICAL.
- 2 DENOTES BRICK VENEER, TYPICAL.
- 3 DENOTES HARD-COAT STUCCO FINISH, TYPICAL.
- 4 DENOTES CLAD WOOD WINDOWS AND DOORS WITH HORIZ. MUNTINS, TYPICAL.
- 5 DENOTES POWDER-COATED ALUMINUM HANDRAILS, TYPICAL.
- 6 DENOTES CORRUGATED METAL ROOF PANELS WITH GALVALUME FINISH, TYPICAL.
- 7 DENOTES OPERABLE WOOD SHUTTERS, TYPICAL.

WEST ELEVATION - MAIN VIEW FROM ALCANIZ STREET
SCALE: 1/4"=1'-0"



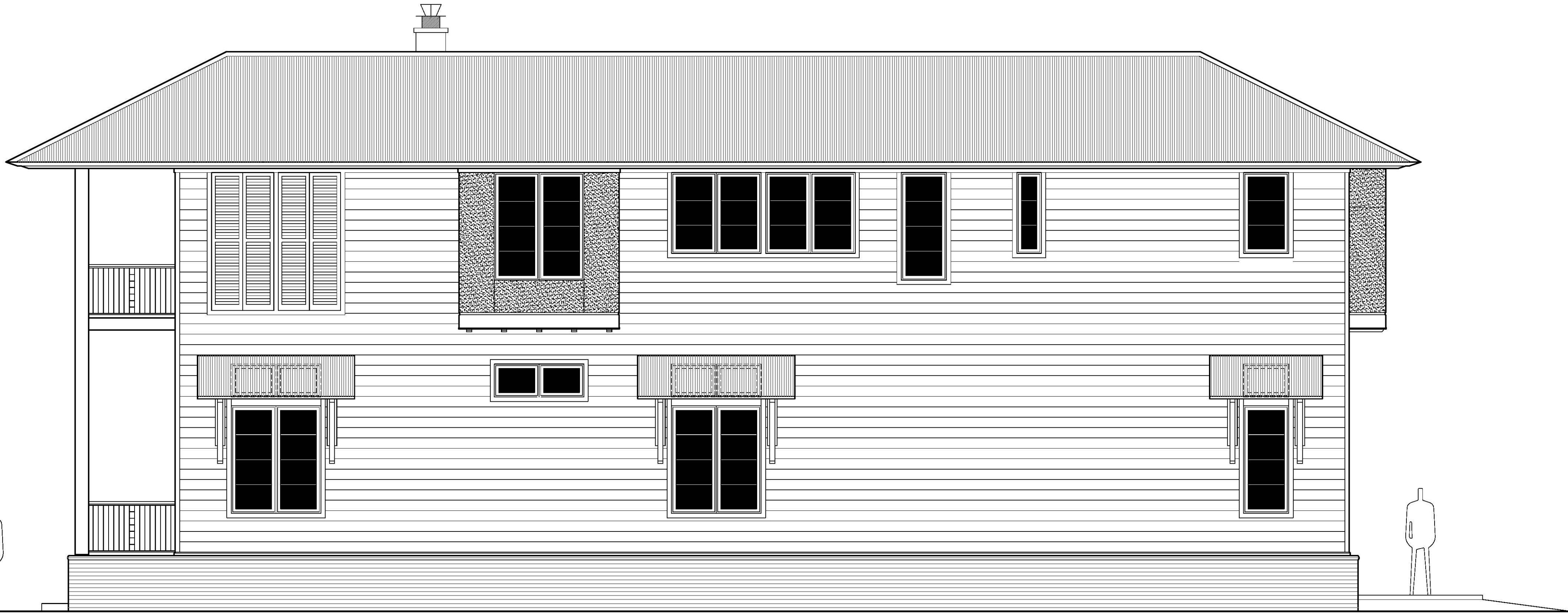
EAST ELEVATION - REAR VIEW
SCALE: 1/4"=1'-0"

CONSULTANTS

PROJECT TITLE
P12
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DRAWN BY	CHECKED BY	COPYRIGHT	00% SUBMITTAL	
					DATE	01-30-20
1902	1902A4.1.dwg	RSI	RSI	H-HWA 2017	REVISION 1	00-00-00

SHEET TITLE
EAST ELEVATION



SOUTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

CONSULTANTS

PROJECT TITLE
P12
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	DRAWN BY	CHECKED BY	COPYRIGHT	1902	00% SUBMITTAL	
						DATE	01-30-20
		RS1	RS1	HHWA 2017		REVISION 1	00-00-00

SHEET TITLE
SOUTH ELEVATION



NORTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

CONSULTANTS

PROJECT TITLE
P1
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	CAD DWG FILE	1902	00% SUBMITTAL		DATE	REVISION 1	00-00-00	1902A4.1.dwg	RSH	RSH	HHWA 5017

SHEET TITLE
NORTH ELEVATION



FRONT VIEW LOOKING BETWEEN BUILDINGS



FRONT VIEW LOOKING NE



FRONT VIEW LOOKING SE



REAR VIEW

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 8**
820 N. Baylen Street
NHPD / PR-2
Variance

BACKGROUND

Paula and Jared Willets are seeking two Variances: to decrease the maximum required rear yard setback from 25' to 2' and to decrease the maximum required south side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters. By definition, accessory dwelling units may only be built alongside detached single family residences and are typically not allowed for existing duplexes. However, this zoning district allows multifamily development which is also the current use of this property. The intention of the requested Variances is to allow the applicants to demolish an existing and dilapidated non-contributing garage and to rebuild within its footprint. The existing garage sits approximately 1'-3 ½" away for the south side yard property line and approximately 8 ½" away from the rear property line.

This item is under consideration with Item 9.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3 (E)(1) *ARB, Conditions for granting a zoning variance*

Table 12-2.9 *NHPD, Regulations*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

 Site #8 ES00893
 Recorder # _____
 Field Date 5 / 3 / 95
 Form Date 6 / 26 / 95
☐ Original
☒ Update

 SITE NAMES (addr. if none) EDITH P. LIONS HOUSE [MULT. LIST. #8 _____]
 SURVEY NORTH HILL [SURVEY # _____]
 NATIONAL REGISTER CATEGORY _____ building _____ structure ☒ district _____ site _____ object _____

LOCATION & IDENTIFICATION

 ADDRESS (Include N,S,E,W; st., ave., etc.) 820 N. BAYLEN ST.
 CROSS STREETS nearest/between SE CORNER OF N. BAYLEN AND W. STRONG ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
 COUNTY ESCAMBIA TAX PARCEL # 9010-009-035
 SUBDIVISION NAME NORTH HILL BLOCK 35 LOT NO. 9-10
 OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
 NAME OF PUBLIC TRACT (e.g., park) BELMONT
 ROUTE TO _____

MAPPING

 USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 25 RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☒ n
 [UTM: ZONE 16 17 EASTING 0 NORTHING 0]
 PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

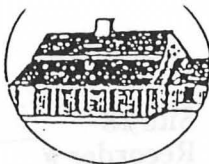
 STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 2
 STRUCTURAL SYSTEMS MASO
 FOUNDATION: Types CONT Materials BRIC
 EXTERIOR FABRICS BRIC
 ROOF: Types GAHP Materials SHCO
 Secondary strucs. (dormers etc.) CRGA
 CHIMNEY: No. 1 Materials BRIC LOCATIONS NORTH EXTERIOR
 WINDOWS (types, materials, and placements) DHS; 6/6 WOOD SINGLE AND GROUPED

 MAIN ENTRANCE (stylistic details) _____
 PORCHES: #open _____ #closed _____ #incised _____ Locations W/2STORY HIPPED PORCHES
 Porch roof types AT ENTRANCES
 EXTERIOR ORNAMENT BRICK QUOINS POLYCROYMATIC BRICK WORK

 INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☒ residential ☐ institutional ☐ rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

 ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☒ n (No-explain; yes-attach!)
 Artifacts or other remains _____

 NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
 EXAMPLE OF 1930s MASONRY VERNACULAR ARCHITECTURE.



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1930+ CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) _____ UNKNOWN
 BUILDER: (last name first) _____ UNKNOWN
 MOVES ☐ yes ☒ no Dates _____ Orig. addr. _____
 ALTERATIONS ☐ yes ☒ no Dates _____ Nature _____
 ADDITIONS ☐ yes ☒ no Dates _____ Nature _____
 ORIGINAL USES (give dates) _____ RESIDENCE
 INTERMEDIATE USES (give dates) _____ RESIDENCE
 PRESENT USES (give dates) _____ RESIDENCE
 OWNERSHIP HISTORY (especially original owner) EDITH B. LIONS (ORIGINAL)
WILLIAM BROWN (CURRENT)

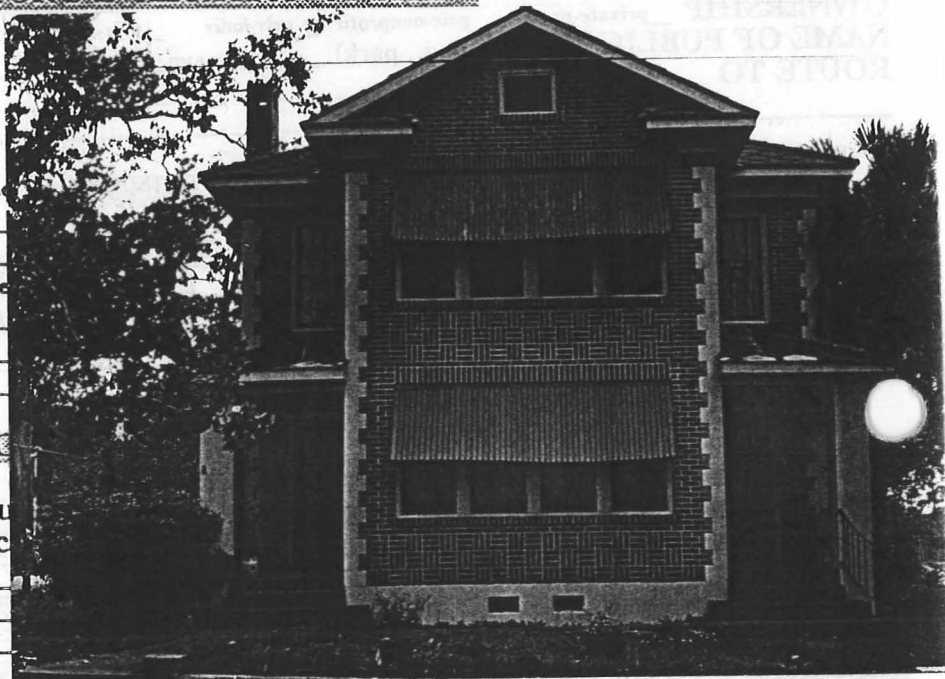
SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic h _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____
 give FSF Manuscript Number, or loc _____)



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R10, F23-24

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

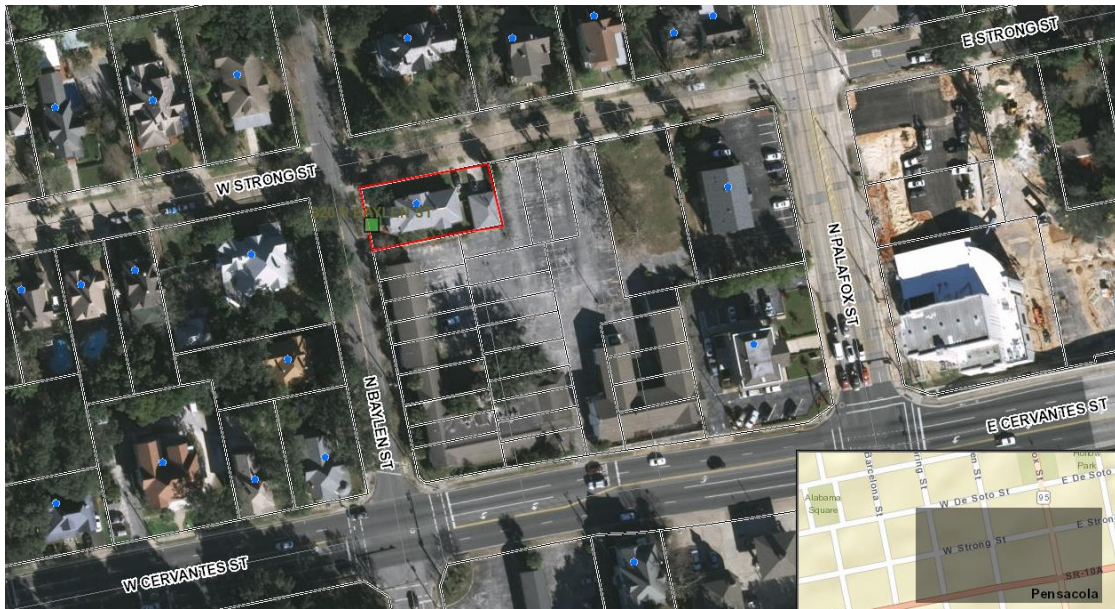
DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY*	y	n	pe	n	Date
/ /		SHPO-NR ELIGIBILITY*	y	n	pe	n	Date
DELIST DATE		LOCAL DESIGNATION*					Date
/ /		Local office					

* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

820 N. Baylen Street



- ☐ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details: *
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and
distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Table 12-2.9 **Zoning** PR-2

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 820 N. Baylen Street

Current use of property: Multi family dwelling

1. Describe the requested variance(s): (1) Decrease the maximum required rear yard setback from 25' to 2' and (2) decrease the maximum required side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

see attached

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

see attached

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

see attached

5. Explain what other condition(s) may justify the proposed variance(s):

see attached

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

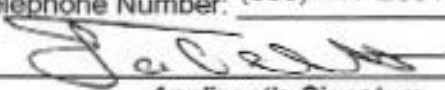
"The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event to allow the City time to provide the requested services."

APPLICANT INFORMATION

Name: Jared & Paula Willets

Address: 820 North Baylen Street

Telephone Number: (850) 417-2891


Applicant's Signature

PROPERTY OWNER INFORMATION

Name: Jared & Paula Willets

Address: 820 North Baylen Street

Telephone Number: (850) 417-2891


Property Owner's Signature

VARIANCE APPLICATION
820 NORTH BAYLEN STREET

1. We request a variance on setbacks to rebuild our garage on the existing footprint and a variance to build a second story with an additional dwelling unit.
2. There is not enough property to build under current setbacks.
3. The garage has been neglected for many years and is in a serious state of disrepair. Repair is not an option.
4. In it's current state, the garage is an eyesore. A new structure, built in the style of the main house, would be a welcome addition to the neighborhood.
Our neighbor (Covington Place) adjacent to the south and west of our home supports our plans.

VARIANCE APPLICATION 2
820 NORTH BAYLEN STREET

Architectural Review Board
Pensacola, FL

We are seeking variances to continue the restoration of our home at 820 North Baylen St.

Phase three of the project is the demolition and rebuilding of our garage. The new structure would be built in the style of the main house using the same materials.

We would like the new garage to include a second story with an additional dwelling unit.

A variance of setbacks would allow us to build the new garage on the existing footprint. Under current setbacks, there is not enough property to build. A variance of height would allow for the ADU.

The developer of our closest neighbor (Covington Place) supports our proposal. Charles Liberis has sent a letter to the ARB expressing that support. (see attached)

Upon approval, we will have our designer begin work on plans to be submitted to the ARB for consideration.

Thank you,
Jared & Paula Willets

From: Charles Liberis <cliberis@liberislaw.com>
Subject: RE: 820 North Baylen St.
Date: December 4, 2019 at 5:55 AM
To: Jared Willets <jwillets@bellsouth.net>
Cc: Kaylan Walden <kwalden@liberislaw.com>

CL

Jared

Happy to support your effort. Important that you get Support of the North Hill Preservation Group

Kaylan

Please prepare letter to ARB on Olde City Developers LLC letterhead

Dear-----

Olde City is the developer of Covington Place Townhomes adjacent to the above property. We have no objection to and strongly support Mr Willets plan to demolish his existing garage and construct a new garage apartment in an architectural style similar to his primary structure

Very truly yours,



Charles S. Liberis
Liberis Law Firm
212 W. Intendencia
Pensacola, FL 32502
Office: 850-438-9647
Fax: 850-433-5409

Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check. **Be aware! Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds.** NOTE: OUR wire instructions will NEVER have a Swift Code.

The information contained in this message is protected by the attorney work-product privilege. It is intended only for the use of the addressee(s) named above. If this message has been sent to you by mistake, the privileges are not waived by virtue of that mistake. If you are not the named addressee(s) or the employee or agent responsible to deliver it to the named addressee(s), you may not use, disseminate, distribute, or copy this message. If you have received this message in error, please immediately so notify us by reply e-mail and delete this message from your computer. Thank you.

From: Jared Willets <jwillets@bellsouth.net>
Sent: Tuesday, December 3, 2019 5:37 PM
To: Charles Liberis <cliberis@liberislaw.com>
Subject: 820 North Baylen St.

BAYLEN STREET 50' R/W

STRONG STREET 50' R/W

PALAFOX STREET U.S. HIGHWAY 29
STATE ROAD #95 70' R/W

Measurements made in accordance with United States Standards.

Bearing Reference N.A.

Ordered By: MR. DAVID VALETTE Elevation Reference

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
PSM #5605Walter J. Glaze
PSM #6190

PITTMAN, PILAZE AND ASSOCIATES, INC.
LAND SURVEYORS
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone (850) 434-6666
Fax (850) 434-6661
Email: pgsurvey@bellsouth.net

SHEET 1 OF 1
NOT VALID UNLESS IMPRINTED WITH EMBOSSED SEAL AND SIGNED SURVEYOR
LB No. 7073

Date of Survey 1-6-13
Date of Plat 1-8-13
Date of Revision
Scale 1" = 20'
File No. B-12296
Job No. 35760-13
FB 1504 PG 35-37
En encroachments CONCRETE

Drawn By PMJ
Checked By KJS

A BOUNDARY SURVEY AND
LOCATION OF IMPROVEMENTS

LEGEND:

- R/W
● 1/2" Capped iron rod set #7073
⊙ 1/2" Capped iron rod found #noted
⊕ 1/2" Iron rod found
⊗ PK Nail found
⊖ 3/4" Crimped iron pipe found
⊕ Air conditioning unit
⊗ Concrete
⊖ Wood fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
3. This survey does not reflect or determine ownership.
4. This drawing only reflects setback lines, which appear on the recorded plat. This property may also be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
5. Footers and foundations below natural grade not located.

STREET ADDRESS: 820 North Baylen Street

LEGAL DESCRIPTION:

Lot 9 and 10, Block 35, Belmont Tract, according to map of City of Pensacola copyrighted by Thomas C. Watson in 1906, Section 23, Township 2 South, Range 30 West, Escambia County, Florida.

CERTIFIED TO MEET MINIMUM TECHNICAL STANDARDS TO:

First American Title Insurance Company
Gulf Coast Community Bank
Carl E. Valletto and Annette M. Valletto

LOT 11, BLOCK 35

LOT 8, BLOCK 35

NORTH
SCALE 1" = 20'

#1035

CERVANTES STREET STATE ROAD #10-A 80' R/W

STRONG STREET

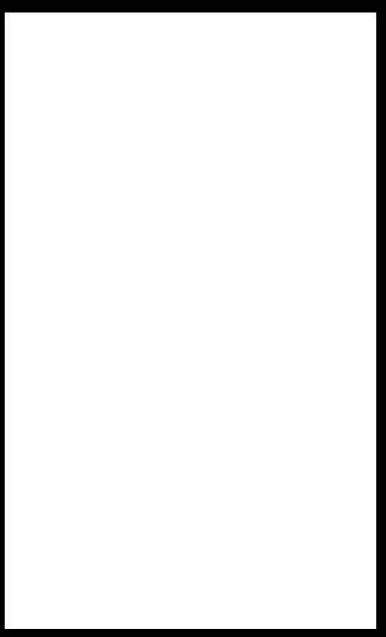
BAYLEN STREET



ARCHITECTURAL SITE PLAN



CERVANTES STREET



Revision Schedule	
No.	Description

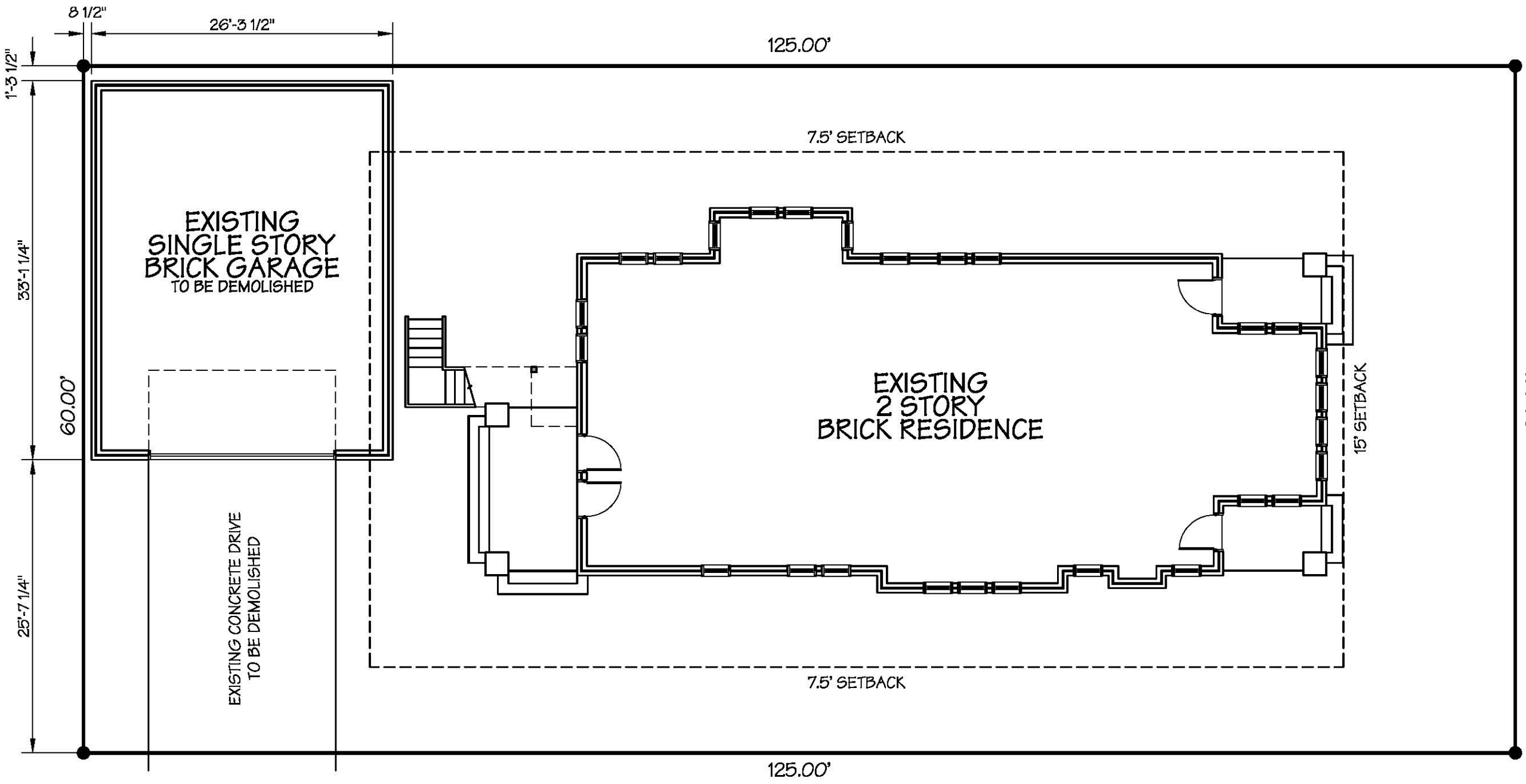
PROJECT TITLE:
Willetts Carriage House
820 N. Baylen Street
Pensacola, Florida 32501

SHEET TITLE:
**SITE PLANS
AND ELEVATION**

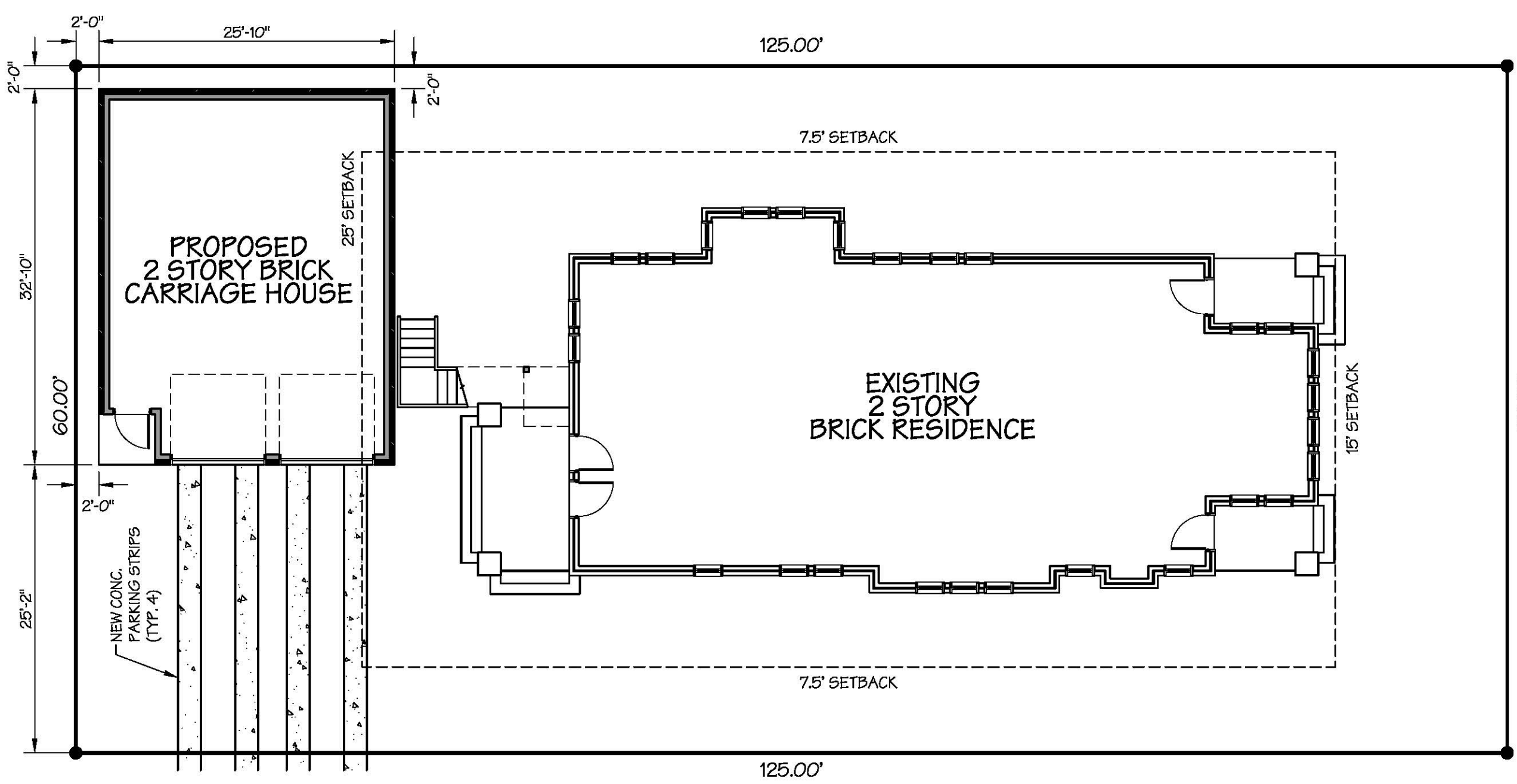
SHEET NUMBER:
A1

DATE:
01/21/20

PROJECT NO:
WCB1953



1
A1 A1
SCALE: 1"=10'



2
A1 A1
SCALE: 1"=10'

- SCOPE OF WORK**
- DEMOLISH EXISTING GARAGE AND CONCRETE DRIVE.
 - CONSTRUCT NEW, 2 STORY, WOOD FRAMED CARRIAGE HOUSE WITH BRICK VENEER TO MATCH EXISTING RESIDENCE. CONSTRUCTION IS TO BE WITHIN THE FORMER GARAGE FOOTPRINT.
 - CONSTRUCT NEW PARKING STRIPS.

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EXIST. HOUSE: 2,038 SF
EXIST. GARAGE: 871 SF
EXIST. CONC. DRIVEWAY: 418 SF
TOTAL EXISTING: 3,327

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TOTAL EXISTING: 3,098 SF (229 SF LESS)

SQUARE FOOTAGES
EXISTING HOUSE:
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250 SF COVERED EXTERIOR
3,864 SF TOTAL

CARRIAGE HOUSE:
22 SF COVERED EXTERIOR
826 SF INTERIOR UNCONDITIONED
848 SF 2ND LEVEL CONDITIONED
1,696 SF TOTAL



3
A1 A1
SCALE: 3/16"=1'-0"

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 9**
820 N. Baylen Street
NHPD / PR-2
Demolition / New Construction

BACKGROUND

Paula and Jared Willets are requesting approval to demolish an existing non-contributing garage and *CONCEPTUAL* approval for a new detached garage with second story living quarters. The existing brick garage is dilapidated and beyond repair. The applicants are proposing to rebuilt within the footprint of the garage and with some added space between the property lines and exterior walls. The style of the proposed structure will match the main house with a brick exterior, architectural shingles, and 3 over 1 windows. Since the applicants are requesting conceptual approval only, all proposed materials and additional plans will be submitted for a later, final review. The north elevation which depicts the street front side of the proposed garage has been provided in this packet.

This item is under consideration with Item 8.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(9) *NHPD, Demolition of structures*

Sec. 12-2-10(B)(8) *NHPD, New construction* reference to Sec. 12-2-10(A)(10) *PHD, Other demolition permits*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

 Site #8 ES00893
 Recorder # _____
 Field Date 5 / 3 / 95
 Form Date 6 / 26 / 95
☐ Original
☒ Update

 SITE NAMES (addr. if none) EDITH P. LIONS HOUSE [MULT. LIST. #8 _____]
 SURVEY NORTH HILL [SURVEY # _____]
 NATIONAL REGISTER CATEGORY _____ building _____ structure ☒ district _____ site _____ object _____

LOCATION & IDENTIFICATION

 ADDRESS (Include N,S,E,W; st., ave., etc.) 820 N. BAYLEN ST.
 CROSS STREETS nearest/between SE CORNER OF N. BAYLEN AND W. STRONG ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
 COUNTY ESCAMBIA TAX PARCEL # 9010-009-035
 SUBDIVISION NAME NORTH HILL BLOCK 35 LOT NO. 9-10
 OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified _____ city _____ county _____ state _____ federal _____ unknown
 NAME OF PUBLIC TRACT (e.g., park) BELMONT
 ROUTE TO _____

MAPPING

 USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 25 RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☒ n
 [UTM: ZONE 16 17 EASTING 1 1 1 0 NORTHING 1 1 1 0]
 PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

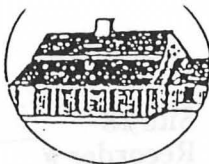
 STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 2
 STRUCTURAL SYSTEMS MASO
 FOUNDATION: Types CONT Materials BRIC
 EXTERIOR FABRICS BRIC
 ROOF: Types GAHP Materials SHCO
 Secondary strucs. (dormers etc.) CRGA
 CHIMNEY: No. 1 Materials BRIC LOCATIONS NORTH EXTERIOR
 WINDOWS (types, materials, and placements) DHS; 6/6 WOOD SINGLE AND GROUPED

 MAIN ENTRANCE (stylistic details) _____
 PORCHES: #open _____ #closed _____ #incised _____ Locations W/2STORY HIPPED PORCHES
 Porch roof types AT ENTRANCES
 EXTERIOR ORNAMENT BRICK QUOINS POLYCROYMATIC BRICK WORK

 INTERIOR PLAN _____ CONDITION: ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☐ commercial ☒ residential ☐ institutional ☐ rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

 ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☐ y ☒ n (No-explain; yes-attach!)
 Artifacts or other remains _____

 NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
 EXAMPLE OF 1930s MASONRY VERNACULAR ARCHITECTURE.



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1930+ CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES yes ☒ no ☐ Dates _____ Orig. addr. _____
 ALTERATIONS yes ☒ no ☐ Dates _____ Nature _____
 ADDITIONS yes ☐ no ☐ Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) RESIDENCE
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) EDITH B. LIONS (ORIGINAL)
WILLIAM BROWN (CURRENT)

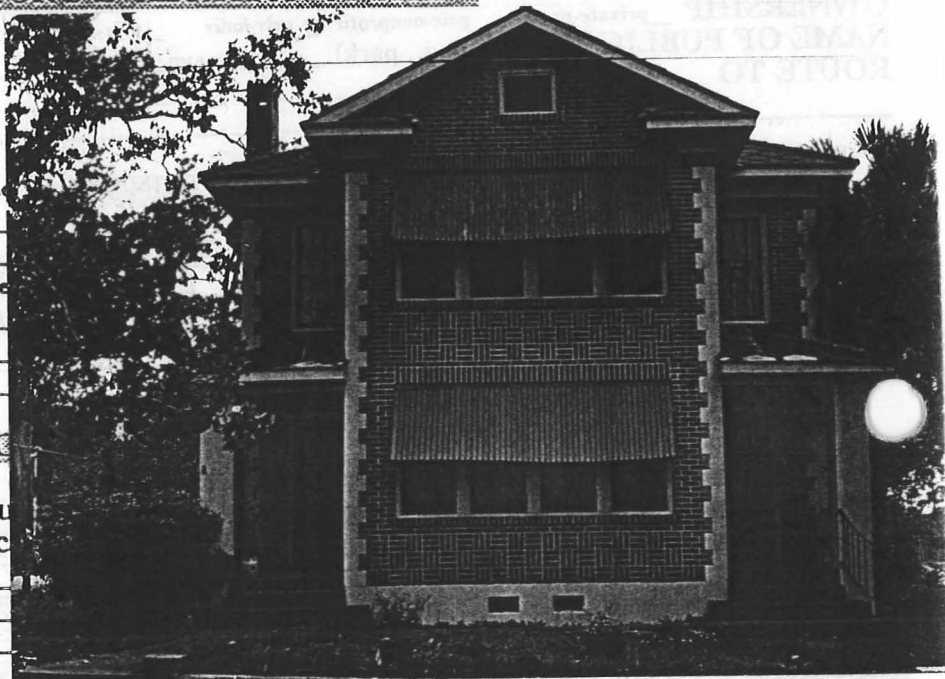
SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic h _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____)
 give FSF Manuscript Number, or loc _____



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R10, F23-24

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

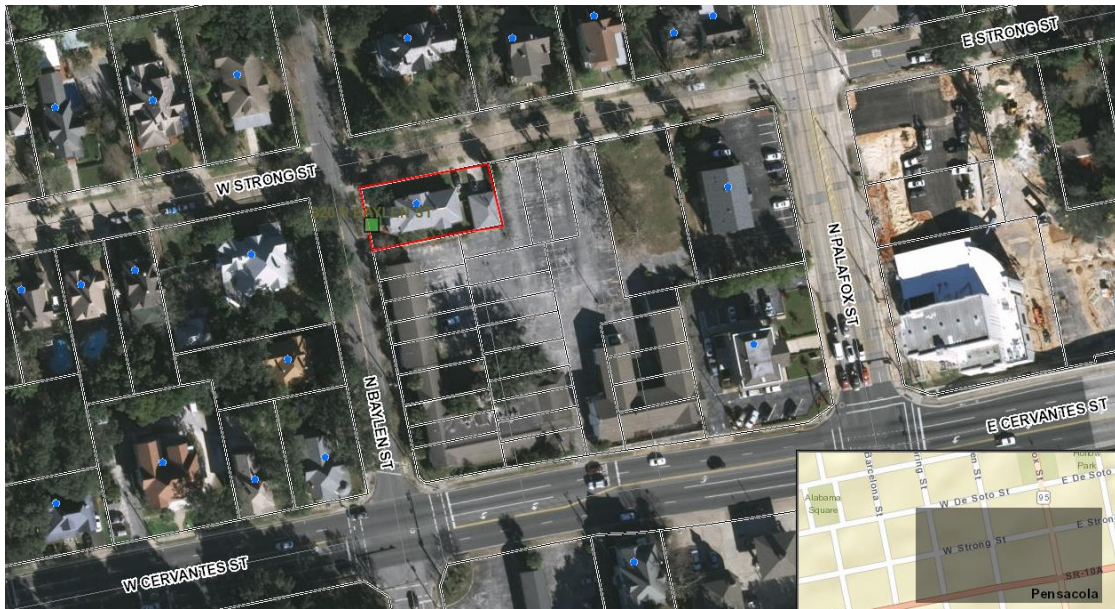
DHR USE ONLY		OFFICIAL EVALUATIONS		DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY*	y	n	pe	n
SHPO-NR ELIGIBILITY*	y	n	pe	n	
DELIST DATE	LOCAL DESIGNATION*				
	Local office				

* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

820 N. Baylen Street





**Architectural Review Board Application
Full Board Review**

Application Date: 1/30/2020

Project Address: 820 N. Baylen Street

Applicant: Jared and Paula Willets

Applicant's Address: 820 N. Baylen Street

Email: jwillets@bellsouth.net

Phone: _____

Property Owner: Jared and Paul Willets

(If different from Applicant)

District:

PHD ☐

NHPD ☒

OEHPD ☐

PHBD ☐

GCD ☐

Application is hereby made for the project as described herein:



Residential Homestead – \$50.00 hearing fee



Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Requesting approval to demolish existing single story brick garage. Garage is falling down and is not a contributing historic structure.

Requesting CONCEPTUAL approval to rebuild a 2 story brick carriage house within the existing garage footprint. Proposed garage to match main house.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on file.

Applicant Signature

Date

BAYLEN STREET 50' R/W

STRONG STREET 50' R/W

PALAFOX STREET U.S. HIGHWAY 29
STATE ROAD #95 70' R/W

Measurements made in accordance with United States Standards.

Bearing Reference N.A.

Ordered By: MR. DAVID VALETTE Elevation Reference

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
PSM #5605Walter J. Glaze
PSM #6190

LEGEND:

- R/W
- Right of way
 - 1/2" Capped iron rod set #1073
 - 1/2" Capped iron rod found #noted
 - ⊕ 1/2" Iron rod found
 - ⊕ PK Nail found
 - ⊕ 3/4" Crimped iron pipe found
 - ⊕ Air conditioning unit
 - ⊕ Concrete
 - Wood fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
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STREET ADDRESS: 820 North Baylen Street

LEGAL DESCRIPTION:

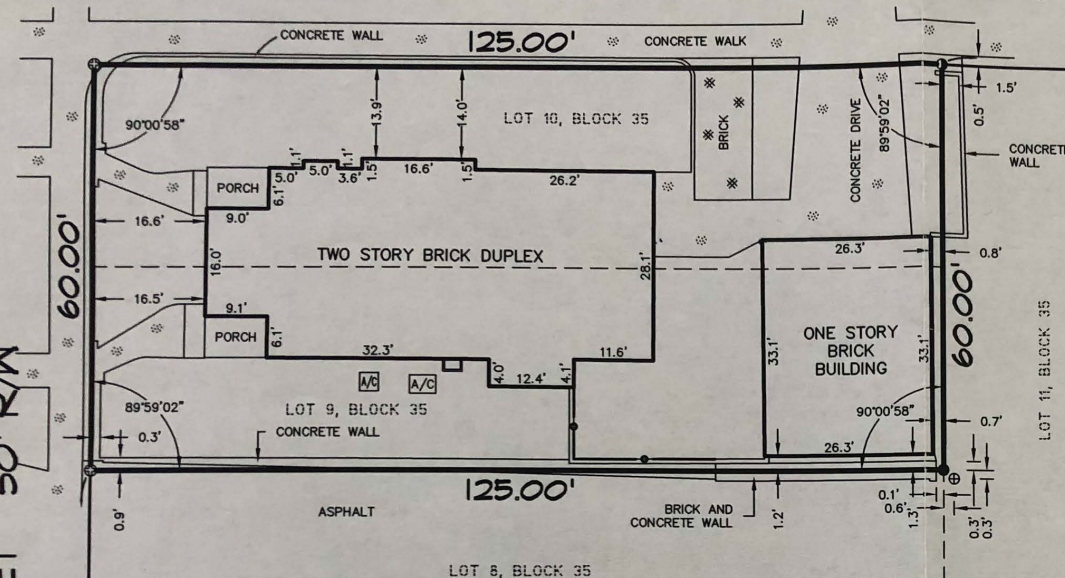
Lot 9 and 10, Block 35, Belmont Tract, according to map of City of Pensacola copyrighted by Thomas C. Watson in 1906, Section 23, Township 2 South, Range 30 West, Escambia County, Florida.

CERTIFIED TO MEET MINIMUM TECHNICAL STANDARDS TO:

First American Title Insurance Company
Gulf Coast Community Bank
Carl E. Valletto and Annette M. Valletto

A BOUNDARY SURVEY AND
LOCATION OF IMPROVEMENTSNORTH
SCALE 1" = 20'

CERVANTES STREET STATE ROAD #10-A 80' R/W



PITTMAN, PILAZE AND ASSOCIATES, INC.
LAND SURVEYORS
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone (850) 434-6666
Fax (850) 434-6661
Email: pgsurvey@bellsouth.net

SHEET
1
OF
1
NOT VALID
UNLESS
IMPRINTED WITH
EMBOSSSED SEAL
AND SIGNED
SURVEYOR
LB No. 1073

Date of Survey 1-6-13
Date of Plat 1-8-13
Date of Revision
Scale 1" = 20'
File No. B-12296
Job No. 35160-13
FB 1504 PG 35-37
Enroachments CONCRETE

Drawn By PMJ
Checked By NJS

STRONG STREET

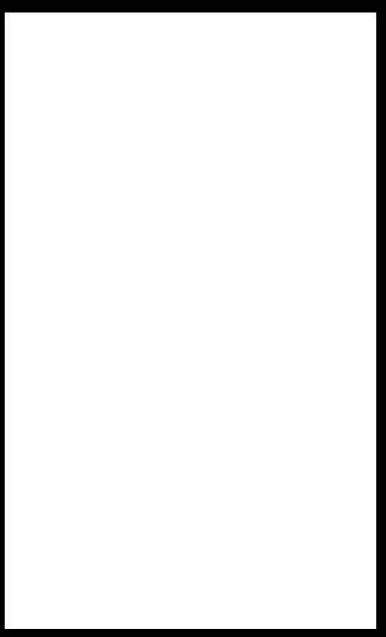
BAYLEN STREET



ARCHITECTURAL SITE PLAN



CERVANTES STREET



Revision Schedule	
No.	Description

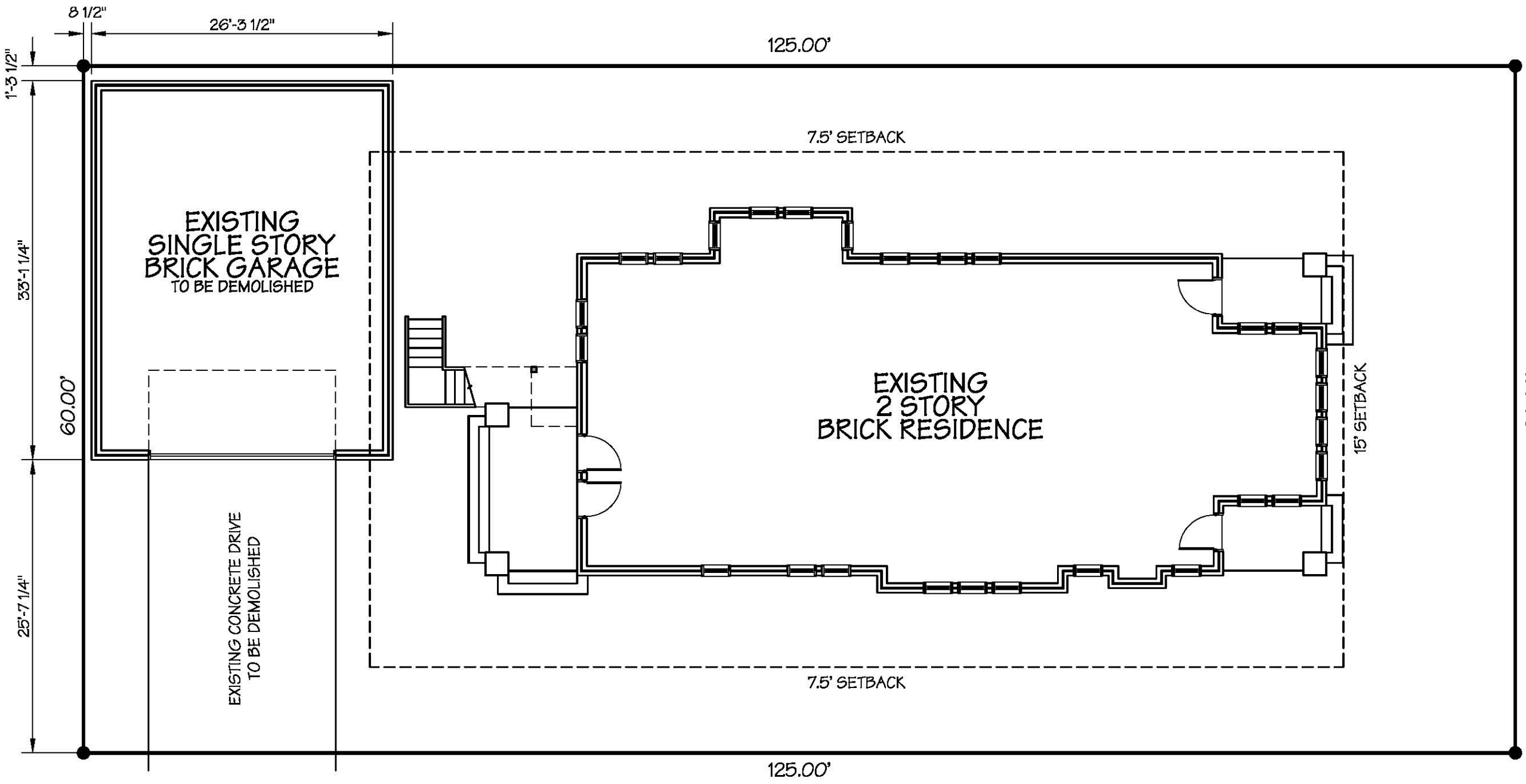
PROJECT TITLE:
Willets Carriage House
820 N. Baylen Street
Pensacola, Florida 32501

SHEET TITLE:
**SITE PLANS
AND ELEVATION**

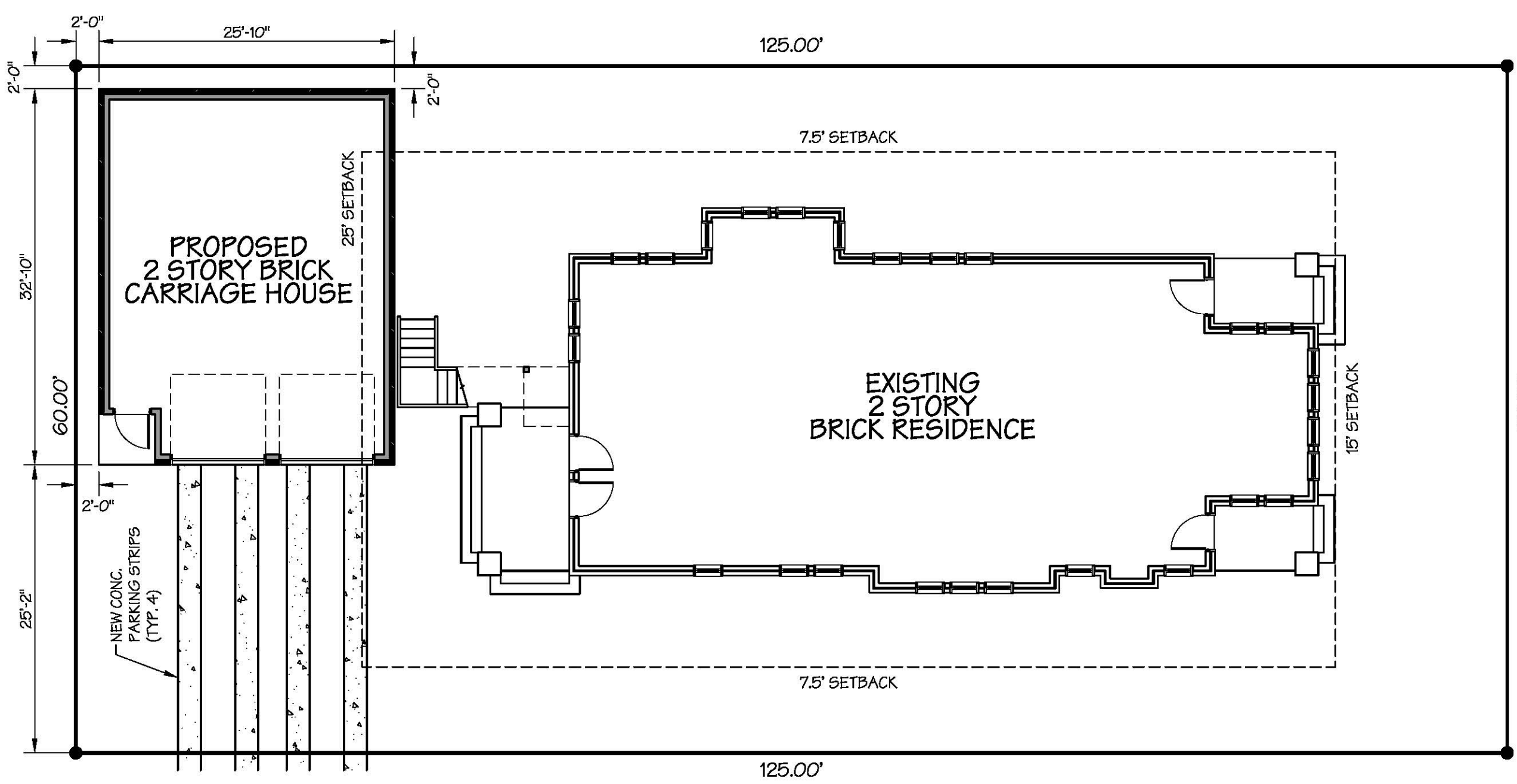
SHEET NUMBER:
A1

DATE:
01/21/20

PROJECT NO:
WCB1953



1
A1 A1
EXISTING SITE PLAN
SCALE: 1"=10'



2
A1 A1
PROPOSED SITE PLAN
SCALE: 1"=10'

- SCOPE OF WORK**
- DEMOLISH EXISTING GARAGE AND CONCRETE DRIVE.
 - CONSTRUCT NEW, 2 STORY, WOOD FRAMED CARRIAGE HOUSE WITH BRICK VENEER TO MATCH EXISTING RESIDENCE. CONSTRUCTION IS TO BE WITHIN THE FORMER GARAGE FOOTPRINT.
 - CONSTRUCT NEW PARKING STRIPS.

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EXIST. GARAGE: 871 SF
EXIST. CONC. DRIVEWAY: 418 SF
TOTAL EXISTING: 3,327

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TOTAL EXISTING: 3,098 SF (229 SF LESS)

SQUARE FOOTAGES
EXISTING HOUSE:
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CARRIAGE HOUSE:
22 SF COVERED EXTERIOR
826 SF INTERIOR UNCONDITIONED
848 SF 2ND LEVEL CONDITIONED
1,696 SF TOTAL



3
A1 A1
NORTH ELEVATION
SCALE: 3/16"=1'-0"

820 N. Baylen Street – Garage



820 N. Baylen Street – Garage



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 10**
200 BLK S. 9th Avenue
PHD / HC-1 / Brick Structures
New Construction

BACKGROUND

Elizabeth and Stephen Steck are seeking *final* approval for a new single family residence. This project received conceptual approval in October 2019. The revised plans still depict a three-level house with a garage, foyer, and storage area on the first floor, primary living space on the second, and a master suite and bedrooms on the third. The exterior, however, has undergone a redesign which reflect the applicants' preferred style and input from the Board. The revised elevations show a brick structure with faux carriage doors, brick work, and windows to resemble a historic warehouse. Bronze aluminum guardrails will line the second and third level balconies and a stained cypress pergola will adorn the third. Windows and doors are to be PGT vinyl. Lighting will include up down lights on the third floor and gas lanterns on the ground level. The applicants have also provided a landscape plan with consideration to the ECUA easement.

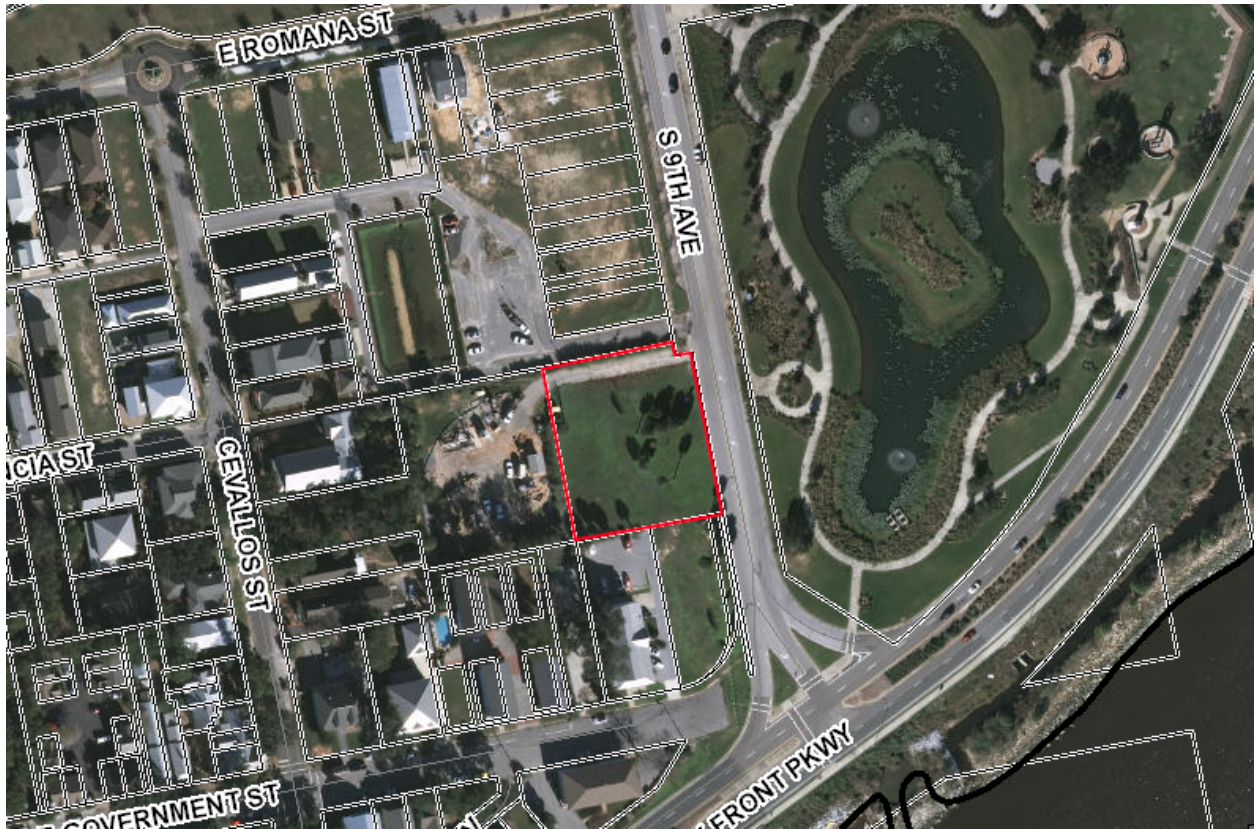
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(8) *PHD, New construction*

Figure 12-2.2 *PHD, Type III for the brick structures district*

200 BLK South 9th Avenue



B

ounds

Architecture Studio

04 Tiger Point Blvd.
Half Breeze, FL 32563
(351) 469-9552

#. AA26000637

www.boundsearch.com

ALLEN BOUNDS III, R.A.

JOB NUMBER: 8423	
DATE: 0.2.2019	
DESIGN: AAB	DRAWN: AAB

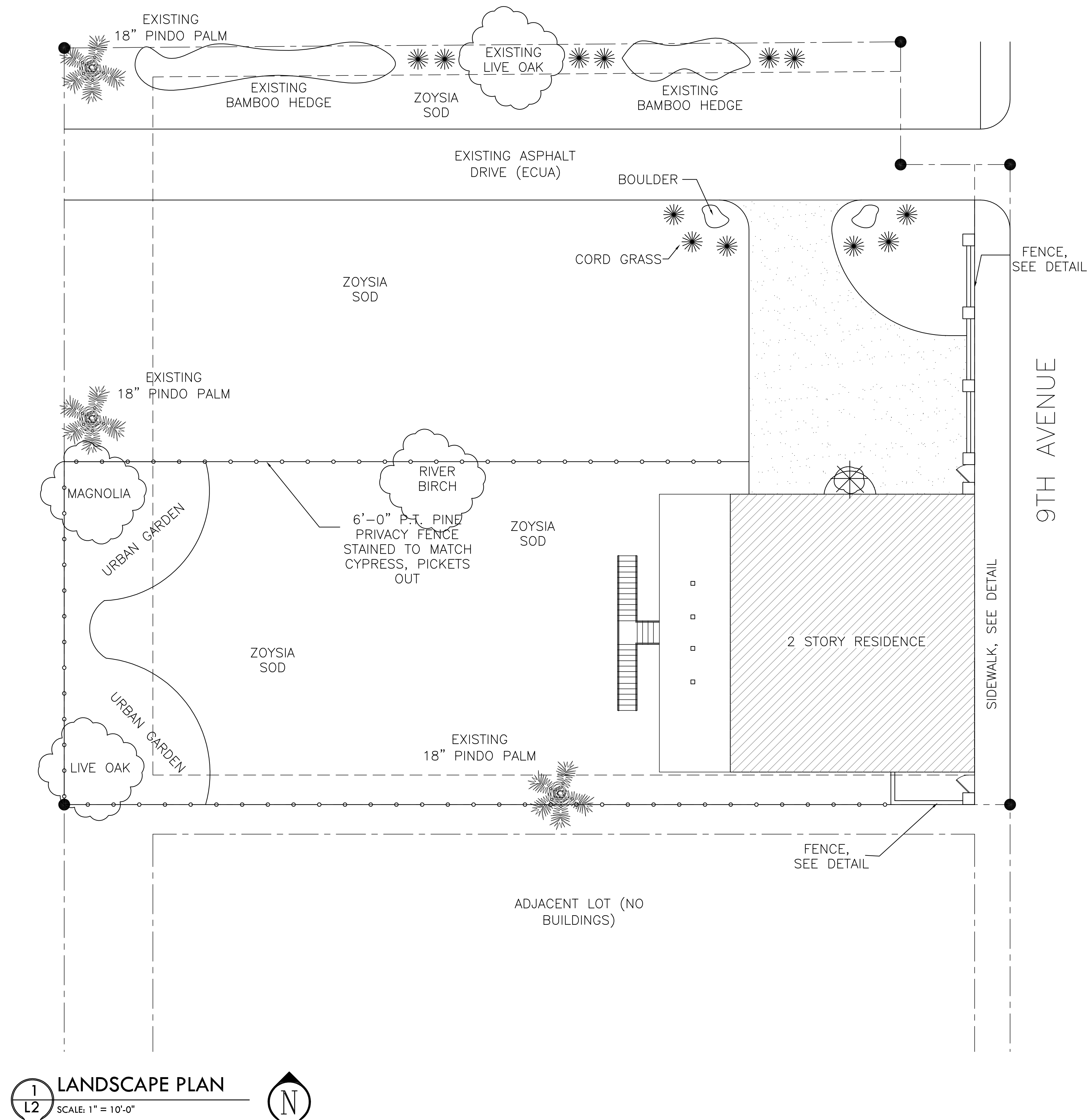
STECK RESIDENCE
9TH AVENUE
PENSACOLA, FL.

SHEET TITLE
-
LANDSCAPE
PLAN
-
-
-
-
-

SHEET NO:

L2

RIGHT 2019 BOUNDS, INC.



October 2019 ARB

B

bounds

Architecture Studio

3804 Tiger Point Blvd.
Gulf Breeze, FL 32563
v 850.469.9552
FL# : AA2600637
www.boundsarch.com

NOT FOR
CONSTRUCTION

A. ALLEN BOUNDS III, R.A.

JOB NUMBER: 18423	
DATE: 10.2.2019	
DESIGN: AAB	DRAWN: AAB

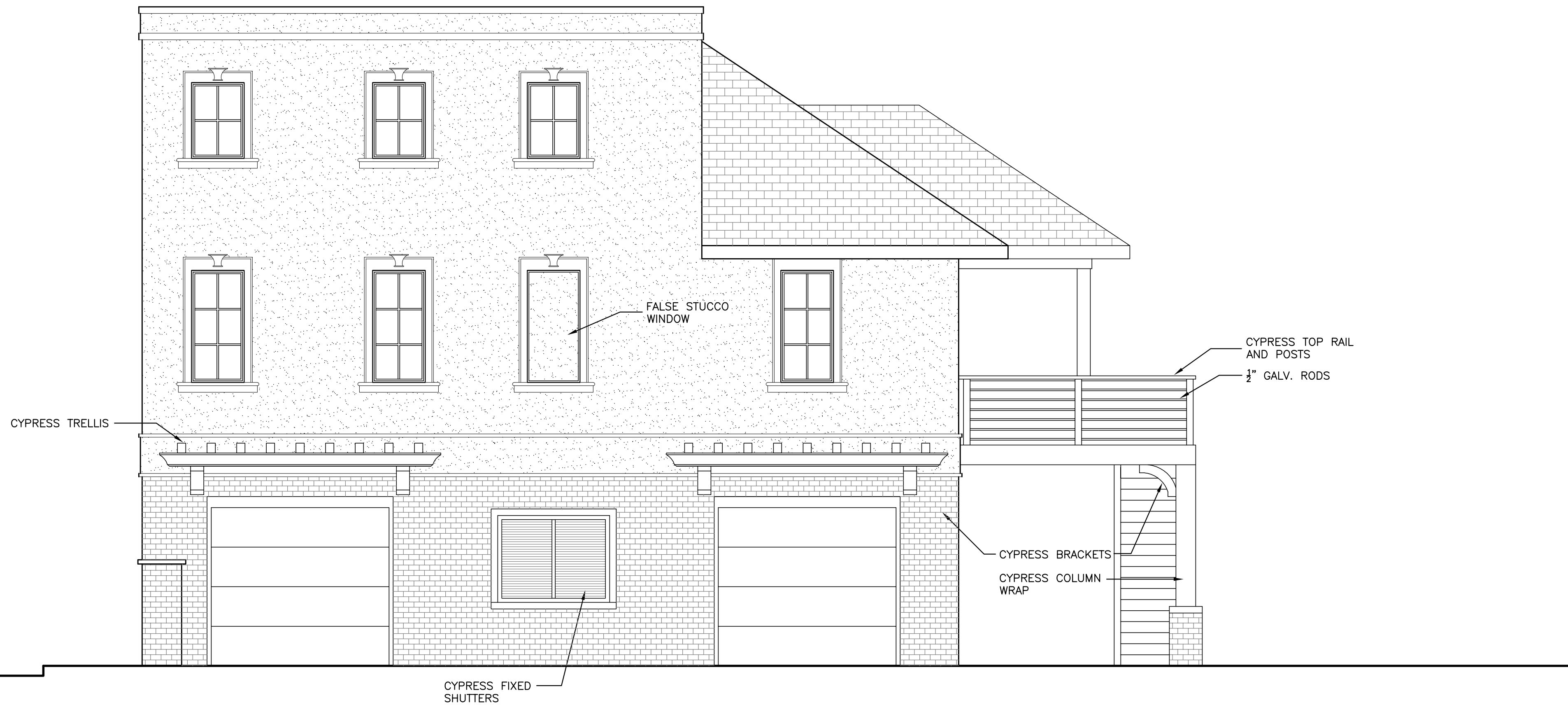
STECK RESIDENCE
9TH AVENUE
PENSACOLA, FL.

SHEET TITLE ELEVATIONS
.....

SHEET NO: <div>A5.1</div>
COPYRIGHT 2019 BOUNDS, INC.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

October 2019 ARB



1 WEST ELEVATION
A5 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A5 SCALE: 1/4" = 1'-0"

NOT FOR
CONSTRUCTION



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 1/30/2020

Project Address: SOUTH 9TH AVE. 500 BLOCK.

Applicant: Elizabeth and Steve Steck

Applicant's Address: 840 Green Hills Rd. Cantonment, FL 32533

Email: steck.elizabeth72@gmail.com Phone: 850-777-7887

Property Owner: Elizabeth and Steve Steck

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Follow-up to the October conceptual approval for final approval. There are additional changes above what the board recommended. The home foot print has been changed to maximize the front view and removal of large back porch. The home is now more warehouse like with all brick, large front windows, carriage openings on the first floor, foot print of floors fully stacks on top of each other and parapet roof. The front porch and balcony now have bronze aluminum railing to match the bronze windows. The plan is for the garage doors, faux carriage doors, front door and pergola to be wood to give the beauty of wood as it ages. The front door will be custom to match the above window.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Elizabeth Steck
Applicant Signature

1-30-2020
Date

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE:
PINE HALL BRICK
"MARSHTON QUEEN"

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY PHASE OF CONSTRUCTION.
BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL CITY/REGIONAL BUILDING CODES.

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE PROJECT ONLY. NO OTHER REPRODUCTION OR ALTERATION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF BRODEUR HOME DESIGNS. UNDER THE COMMON COPYRIGHT ACT, THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

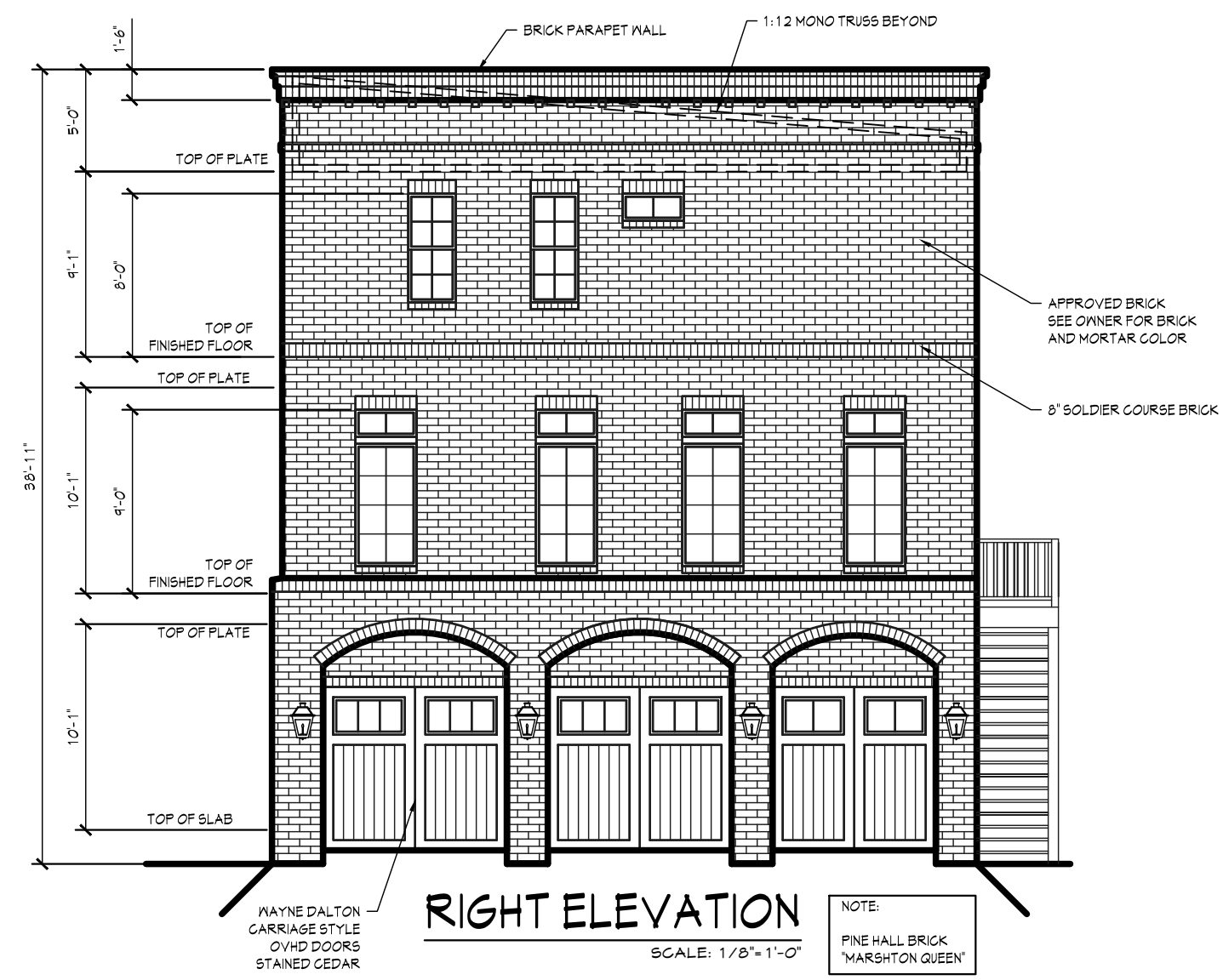
CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR
HOME DESIGNS
PH: (850) 377-6612 EMAIL: jesse@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

SHEET
A1

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:

BUILDER/CONTRACTOR TO VERIFY
ALL DIMENSIONS AND CONDITIONS
BEFORE ANY PHASE OF CONSTRUCTION
FROM ANY PHASE OF CONSTRUCTION

BUILDER/CONTRACTOR RESPONSIBLE
FOR CONFORMING TO LOCAL
CITY/REGIONAL BUILDING CODES

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR
HOME DESIGNS

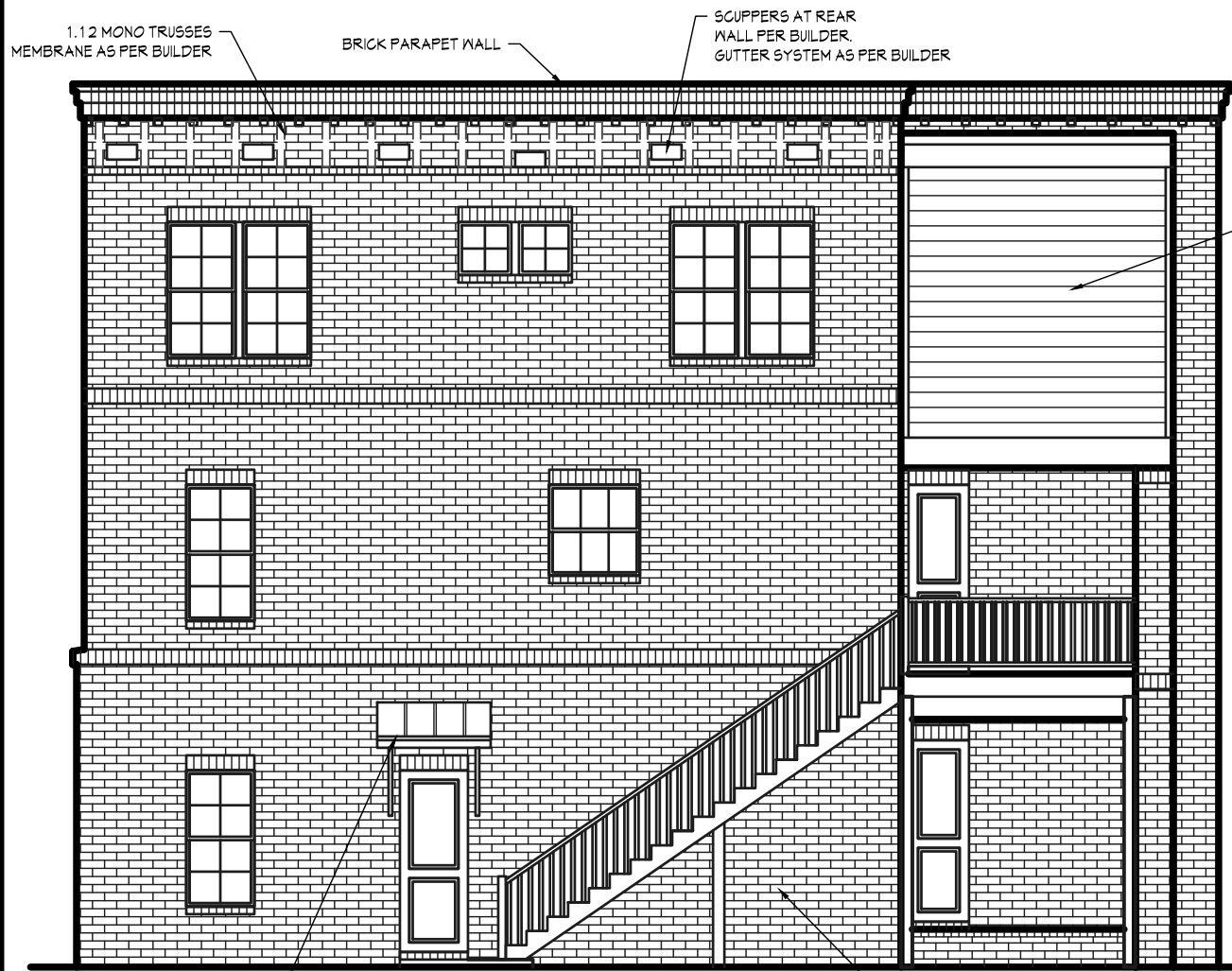
PH: (850) 377-6612 EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

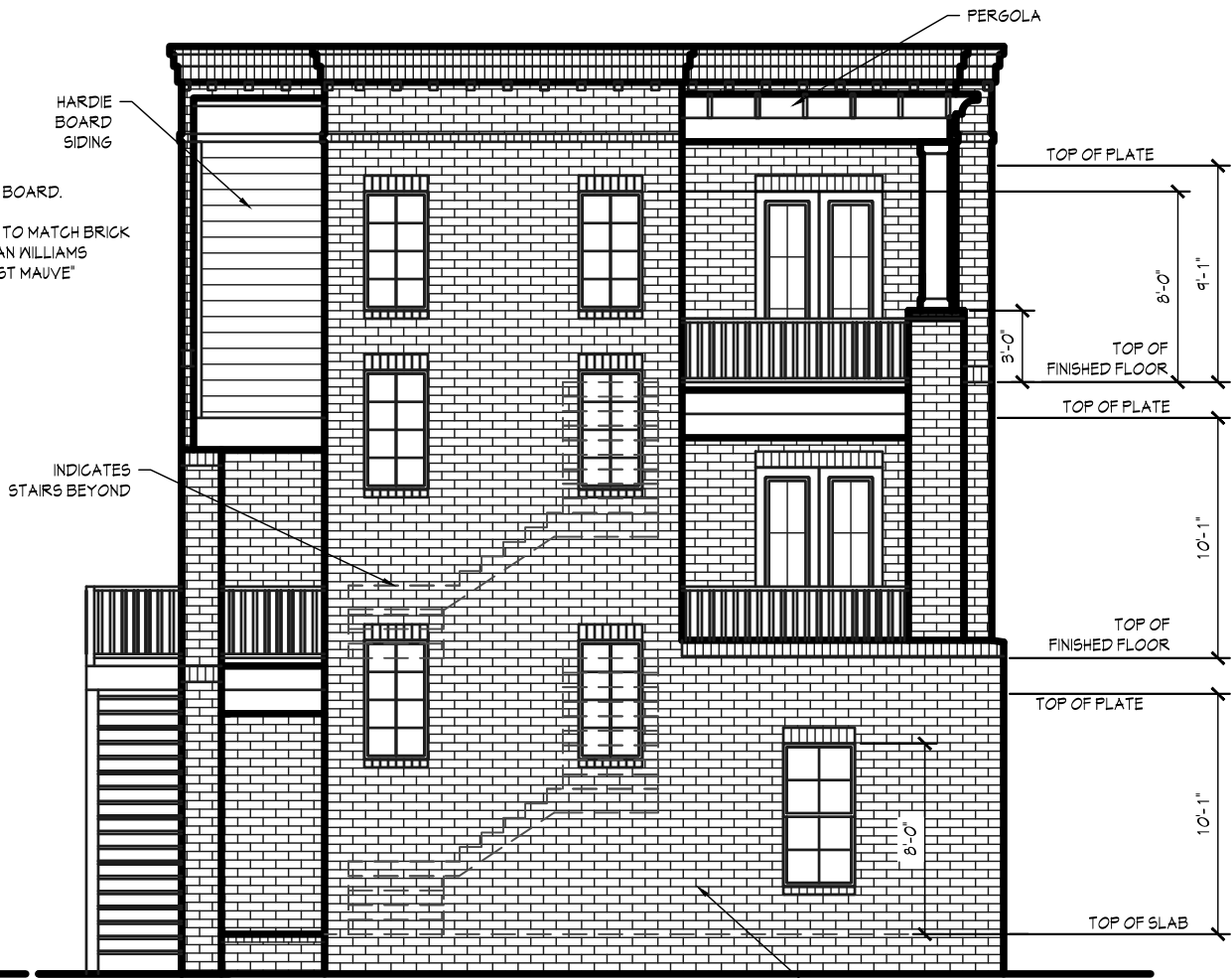
SHEET

A2

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



REAR ELEVATION
SCALE: 1/8"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"

APPROVED BRICK
SEE OWNER FOR BRICK
AND MORTAR COLOR

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR TO VERIFY
ALL DIMENSIONS AND CONDITIONS
BEFORE ANY PHASE OF CONSTRUCTION
BUILDER/CONTRACTOR RESPONSIBLE
FOR CONFORMING TO LOCAL
CITY/REGIONAL BUILDING CODES

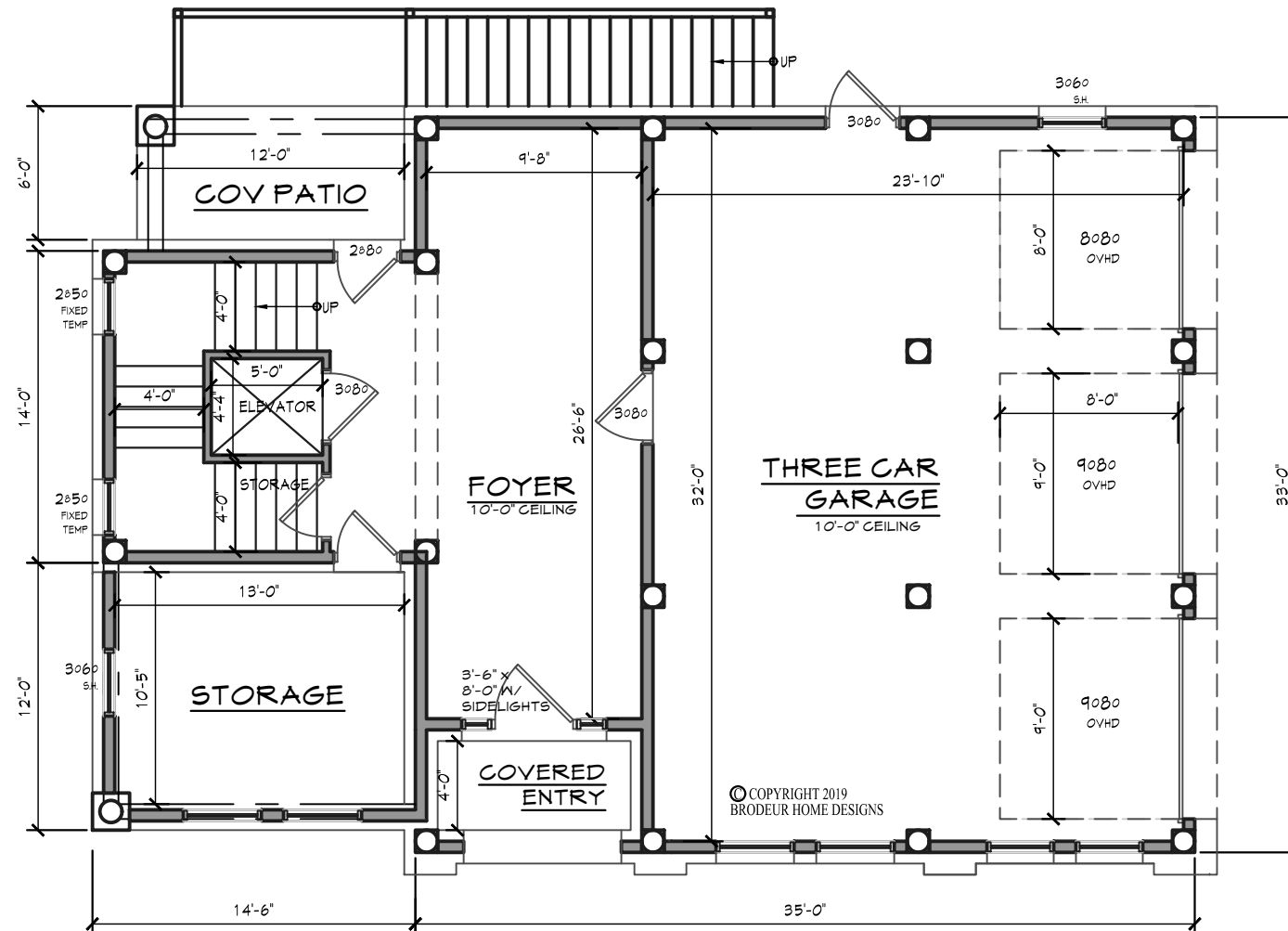
THE PURCHASER OF THESE PLANS IS
ENTITLED TO THEIR USE FOR THE
CONSTRUCTION OF THE PROJECT
ONLY. ANY OTHER REUSE OR
REPRODUCTION IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION
OF BRODEUR HOME DESIGNS
IS PROHIBITED. THE PLANS SHALL
NOT BE REPRODUCED IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION
OF BRODEUR HOME DESIGNS

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR
HOME DESIGNS
PH: (850) 377-6612
EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



NOTE:
ALL WINDOWS TO BE PG1
BRONZE VINYL IMPACT GLASS
RATED LOW E WINDOWS

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA CALCULATIONS:

MAIN FLOOR LIVING	1211 S.F.
UPPER FLOOR LIVING	1211 S.F.
TOTAL LIVING AREA	2422 S.F.
GROUND FLOOR LIVING	409 S.F.

NOTE:
GARAGE DOORS TO BE WAYNE
DALTON CARRIAGE STYLE
DOORS

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR TO VERIFY
ALL DIMENSIONS AND CONDITIONS
FROM ANY PHASE OF CONSTRUCTION
BUILDER/CONTRACTOR RESPONSIBLE
FOR CONFORMING TO LOCAL
CITY/REGIONAL BUILDING CODES

THE PURCHASER OF THESE PLANS IS
ENTITLED TO THEIR USE FOR THE
CONSTRUCTION OF THE HOME IN
CONFORMANCE WITH THE PERMITS
ISSUED. ANY OTHER USE, REPRODUCTION
OR ALTERATION OF THESE PLANS
WITHOUT THE WRITTEN PERMISSION
OF BRODEUR HOME DESIGNS
IS PROHIBITED AND MAY BE
PUNISHED BY LAW.

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR
HOME DESIGNS
PH: (850) 377-6612
EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

SHEET
A4

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:

BUILDER/CONTRACTOR TO VERIFY
ALL DIMENSIONS, SIZES AND LOCATIONS
PRIOR TO ANY PHASE OF CONSTRUCTION

BUILDER/CONTRACTOR RESPONSIBLE
FOR CONFORMING TO LOCAL,
CITY/REGIONAL BUILDING CODES.

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE CONSTRUCTION OF NO MORE THAN ONE RESIDENCE. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT. THE PLANS SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOWE DESIGNS.

CUSTOMER INFORMATION

NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE

		RUBLER / CONTRACTOR.
--	--	----------------------

BUILDER / CONTRACTOR.

BUILDER / CONTRACTOR.

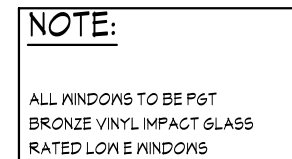
BRODEUR
H O M E D E S I G N S
PH# (850) 377-6612
EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:
JB
CHECKED BY:
JB
DATE:

SCALE:
AS SHOWN
JOB NO.

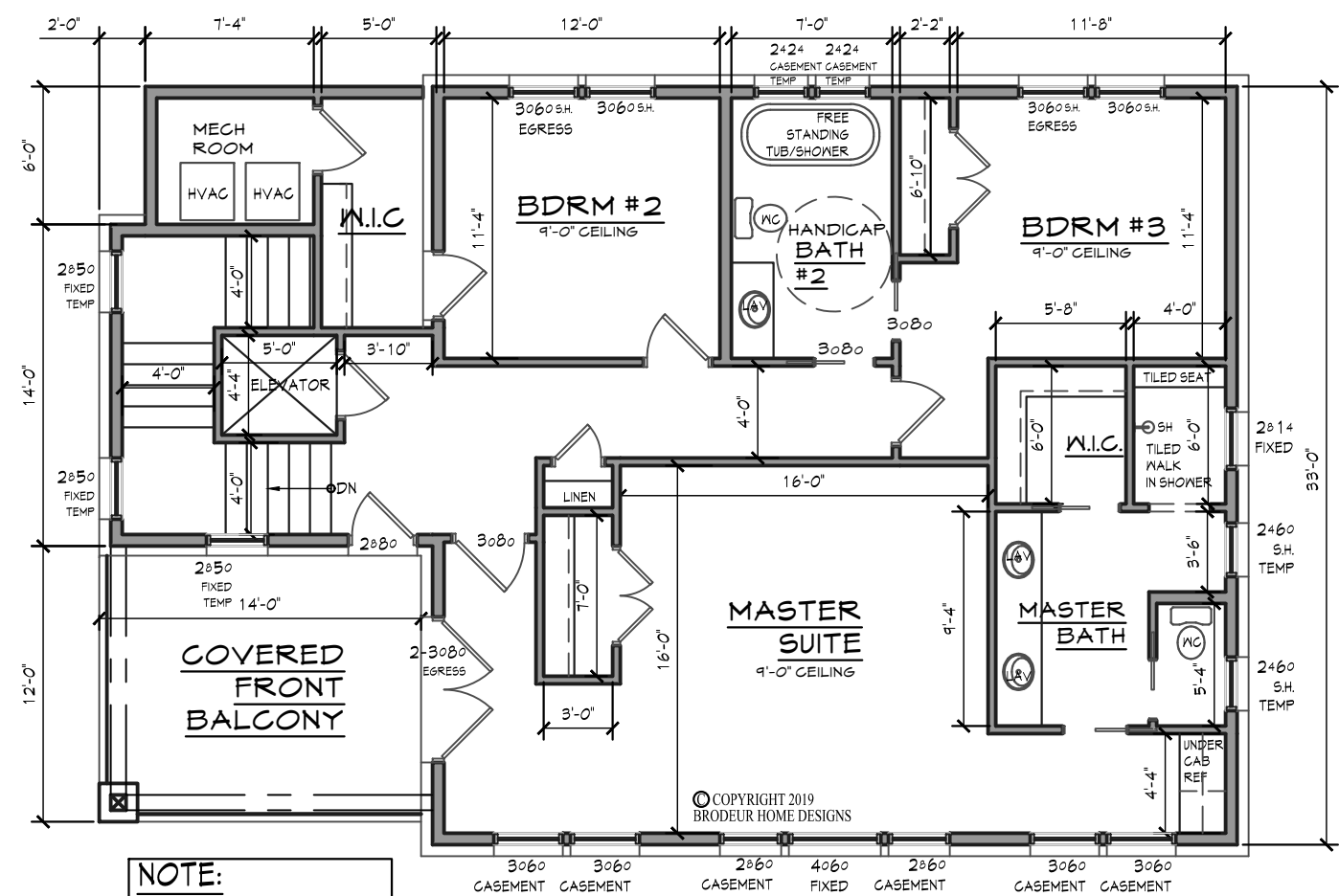
SHEET

A5



SCALE: 1/8"=1'-0"

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



NOTE:
ALL WINDOWS TO BE PGT
BRONZE VINYL IMPACT GLASS
RATED LOW E WINDOWS

UPPER FLOOR PLAN

SCALE: 1/8"=1'-0"

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR TO VERIFY
ALL DIMENSIONS AND CONDITIONS
BEFORE ANY CONSTRUCTION
FROM ANY PHASE OF CONSTRUCTION
BUILDER/CONTRACTOR RESPONSIBLE
FOR CONFORMING TO LOCAL
CITY/REGIONAL BUILDING CODES

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ENTITLED TO THEIR USE FOR THE
CONSTRUCTION OF THE PROJECT
ONLY. NO OTHER USE, REPRODUCTION,
OR ALTERATION IS PERMITTED
WITHOUT THE WRITTEN PERMISSION
OF BRODEUR HOME DESIGNS.
THE PLANS SHALL NOT BE
REPRODUCED IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION
OF BRODEUR HOME DESIGNS.

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR
HOME DESIGNS
PH: (850) 377-6612
EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

SHEET
A6

Materials and Supplies List

Pine Hall Brick, Marston Queen with lite beige mortar.

Hardie Board & wood back stairs, Sherman Williams, Deepest Mauve.



Windows: PGT, bronze vinyl, impact glass, low.

Doors: French and front elevation: PGT, bronze vinyl, impact glass, low e.

GRID FEATURES

FLAT GRID (GBG)

9/16" wide or 13/16" wide
Grid between the glass

CONTOUR GRID (GBG)

1" wide
Grid between the glass

TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior
with 9/16" wide bronze shadow bar between the glass



BRONZE



TRADITIONAL
SIMULATED
DIVIDED LITE
GRIDS

Standard grid pattern as shown on elevations.
Sizes and type shown on A5 & A6 of plans.

SH5500

- Movable bottom sash slides to open vertically
- Constant force balance system for smooth, easy operation

- Spiral balance system
Standard feature on larger window sizes ensures ease of sash operation
Optional upgrade on any window size
- SecureConnect integrated corner keys for added sash strength
- Tilt sash design for easy exterior cleaning
- Embedded tilt latch
 - For added strength in holding sash into frame
 - Presents cleaner sight lines
- Stylish ComfortLift handles
 - Allows ease of operation and option to add style by selecting hardware finish
 - Optional lift rail for alternative opening method
- Beveled meeting rail enhances visual appeal of profile
- Configuration Options
 - Radius and Arch Tops
 - Proview/Oriel, Cottage, and custom sashes
- Standard glass options
 - Laminated Insulating Glass (impact-resistant)

CA5540

- Hinged on the right or left hand side and can be opened by turning a handle
- Multi-point locking system for added strength and security
- Washable hinge
Standard option for easy cleaning from inside the home
- Egress hinge option
Optional upgrade meets egress requirement of one operation to unlock window
- Nesting handle will not interfere with window treatments
- TrueHold heavy-duty hinge
Standard feature on larger window sizes ensures durability of sash operation
Optional upgrade on standard window sizes for additional durability of sash operation
- Available in single vent or custom units
Single unit hinged for opening either left or right
Double unit hinged for opening: one left, one right
Triple unit hinged for opening: one left, one right, fixed center unit
- Standard glass options
Laminated Insulating Glass (impact-resistant)
- Window comes with a standard screen

AW5540

- Hinged along the top and can be opened by turning a handle
- Multi-point locking system for added strength and security
- Washable hinge
Standard option for easy cleaning from inside the home
- Nesting handle will not interfere with your window treatments
- Available in single vent or custom units
Individual vent units can be mulled vertically or horizontally for custom configurations
- Standard glass options
Laminated Insulating Glass (impact-resistant)
- Window comes with a standard screen

PW5520

- Fixed (non-operable) windows, often used as accent windows
- Available in a variety of shapes and sizes
 - Provides maximum amount of light
 - Can serve as standalone or companion window
- Available in popular Fixed Lite Architectural shapes
 - Half Circle, Eyebrow, Arch, Trapezoid
- Standard glass options
 - Laminated Insulating Glass (impact-resistant)

FD5555

- Hinged frame surrounds a glass pane extending almost the full height of the door
- Mechanically fastened corners for added strength and durability
- Traditional panel joinery
 - The aesthetics and charm of a traditional wood door without the maintenance
- Multi-point locking system
 - Creates built-in anti-lift device for enhanced strength and security
- Stainless steel hinges
 - Corrosion resistant and provide smooth door operation
- Conventional 4-9/16" frame depth
 - Fits easily into openings without costly modifications
- Solid cellular vinyl material sounds and feels like solid wood
- Optional sidelites available
 - Fills large openings and provides additional light
- Standard glass options
 - Laminated Insulating Glass (impact-resistant)
 - Tempered Glass

CD290

- Hinged door with glass panes
- Integrated window design
 - Delivers a more sleek, upscale appearance versus the "utility" look of other manufacturers' cabana doors
 - Eliminates the need for window inserts with unsightly handle and deadbolt notches
- Concealed weather-strip
 - Keeps elements out without detracting from the door's appearance
- Installation screw cover
 - Conceals unsightly install screws from view
 - Provides a clean, sleek finish
- Modern design
 - Smooth panel surface versus scalloped panel surface of other manufacturers
- Custom kickplate heights available
- Single Hung and Picture Window styles available
 - Single Hung style with sash that opens to allow airflow
 - Picture Window style allows maximum light into any room
- Standard glass options
 - Laminated Insulating Glass (impact-resistant)
 - Tempered Glass

Back Elevation Exterior Doors:



More Options Available

Metal Awning: Standing seam



Bronze

Feather River Doors 37.5 in. x 81.625 in. 6 Lite Craftsman Stained Chestnut Mahogany Right-Hand Inswing Fiberglass Prehung Front Door
Model# FF3791

Front Step: 7" ramp.

Back Stairs will be made of wood

Lights.



Cylinders 2-Light Bronze Outdoor Wall Lantern Sconce with LED Bulbs

Modern and sleek,
power coated outdoor wall lantern

Dimensions:

W: 6 in. H: 18 1/4 in.; extends: 8 3/4 in.



Charleston Outdoor Wall Lantern - 1 Light

- **Actual Size:** 15.75"Hx8"Wx8"D
- **Bulb Base:** US Medium-E26
- **Color:** Oiled Bronze / Glass
- **Indoor-Outdoor:** Yes
- **Material:** Glass, Metal
- **Max Bulb Wattage:** 100
- **Number of Lights:** 1
- **Safety Rating:** Wet



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 11**
36 E. Garden Street
PHBD / C-2A
Contributing Structure

BACKGROUND

Philip Partington is requesting *CONCEPTUAL* approval for exterior modifications to a contributing structure. The proposed plans show “Reynolds Music House” converted into a new restaurant with covered outdoor seating and green wall systems. The front elevation will be partially filled in and will have aluminum entry doors and window systems. Windows and doors are also proposed to be installed along the Jefferson Street side which will be covered with a standing seam metal roof system supported by columns. Metal canopies will also be placed above the front and rear entry doors.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. ES 1089
Site Name _____ 830 = = Survey Date 8210 820 = =
Address of Site: 36 E. Garden St., Pensacola, FL 32501 905 = =
Instruction for locating NW corner of Jefferson St. extension and
E. Garden St. 813 = =
Location: Old City Tract Arpent lts. port. lts. 54&45 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Reynolds Music House ;
Address: 36 E. Garden St.
Pensacola, FL 32501 902 = =
Type of Ownership Corporate 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Marcille, Ruth ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
838 = =

Check One	Check One or More	Present Use <u>Commercial</u> 850 = =
<input type="checkbox"/> Excellent 863 = =	<input checked="" type="checkbox"/> Altered 858 = =	Dates: Beginning <u>C+ 1918</u> 844 = =
<input checked="" type="checkbox"/> Good 863 = =	<input type="checkbox"/> Unaltered 858 = =	Culture/Phase <u>American</u> 840 = =
<input type="checkbox"/> Fair 863 = =	<input checked="" type="checkbox"/> Original Site 858 = =	Period <u>20th Century</u> 845 = =
<input type="checkbox"/> Deteriorated 863 = =	<input type="checkbox"/> Restored () (Date:) 858 = =	
	<input type="checkbox"/> Moved () (Date:) 858 = =	

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More

<input type="checkbox"/> Zoning () 878 = =	<input type="checkbox"/> Transportation () 878 = =
<input type="checkbox"/> Development () 878 = =	<input type="checkbox"/> Fill () 878 = =
<input type="checkbox"/> Deterioration () 878 = =	<input type="checkbox"/> Dredge () 878 = =
<input type="checkbox"/> Borrowing () 878 = =	
<input type="checkbox"/> Other (See Remarks Below): 878 = =	

Areas of Significance: Architecture 910 = =

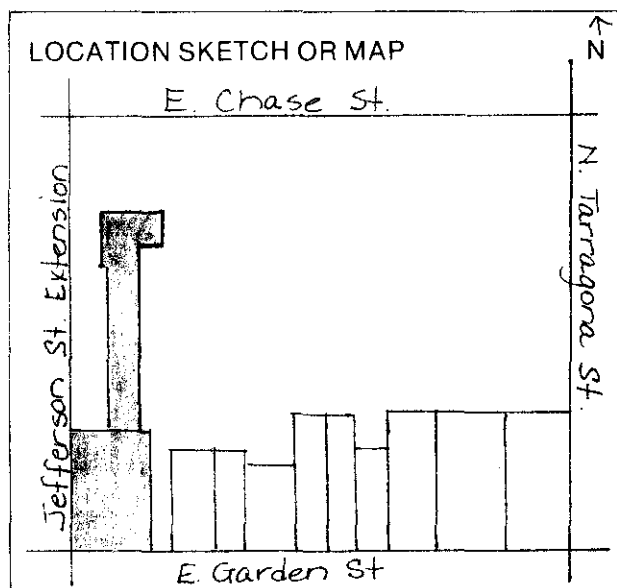
Significance: Built c. + 1918 by Mr. A. B. Saunders, this masonry vernacular structure originally housed the Pensacola Feed Company. The building is adjacent to the site where the Southern Hotel, built in 1902, once stood. The Hotel was destroyed by fire in 1910. The west wall of the present structure is part of that Hotel.

The building has been the location for various businesses. The Reynolds Music House, Inc. bought the structure in 1943 and currently occupies the building.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Irregular 966 = =
 EXTERIOR FABRIC(S) Stucco # stone veneer 854 = =
 STRUCTURAL SYSTEM(S) Masonry: brick 856 = =
 PORCHES - 942 = =
 FOUNDATION: Continuous: brick 942 = =
 ROOF TYPE: Flat: built-up with parapet 942 = =
 SECONDARY ROOF STRUCTURE(S): Marquis, flat 942 = =
 CHIMNEY LOCATION: - 942 = =
 WINDOW TYPE: Glass panels 942 = =
 CHIMNEY: - 882 = =
 ROOF SURFACING: Built-up 882 = =
 ORNAMENT EXTERIOR: - 882 = =
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 Min Pensacola 1970 809 = =
 Latitude and Longitude: 800 = =
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section
2S	30W	46

812 = =

UTM Coordinates:

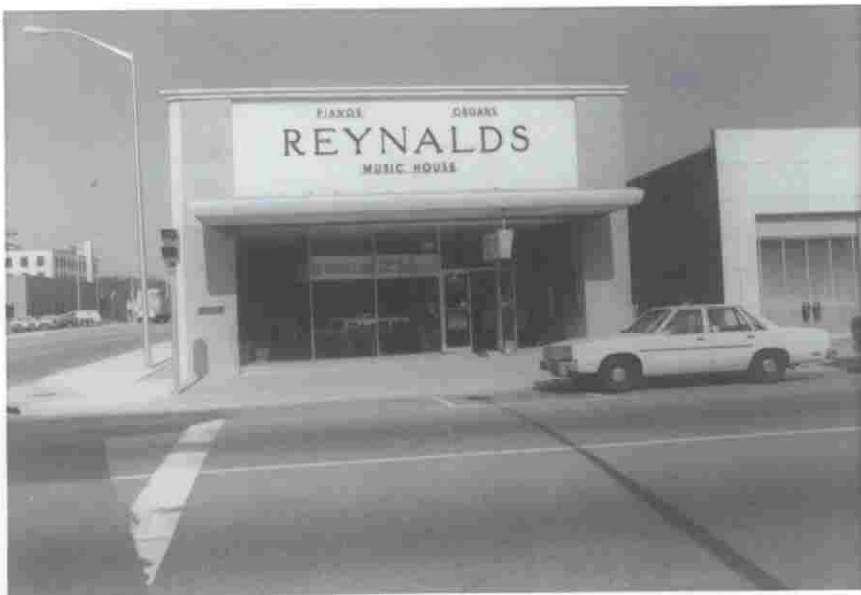
Zone Easting Northing

890 = =

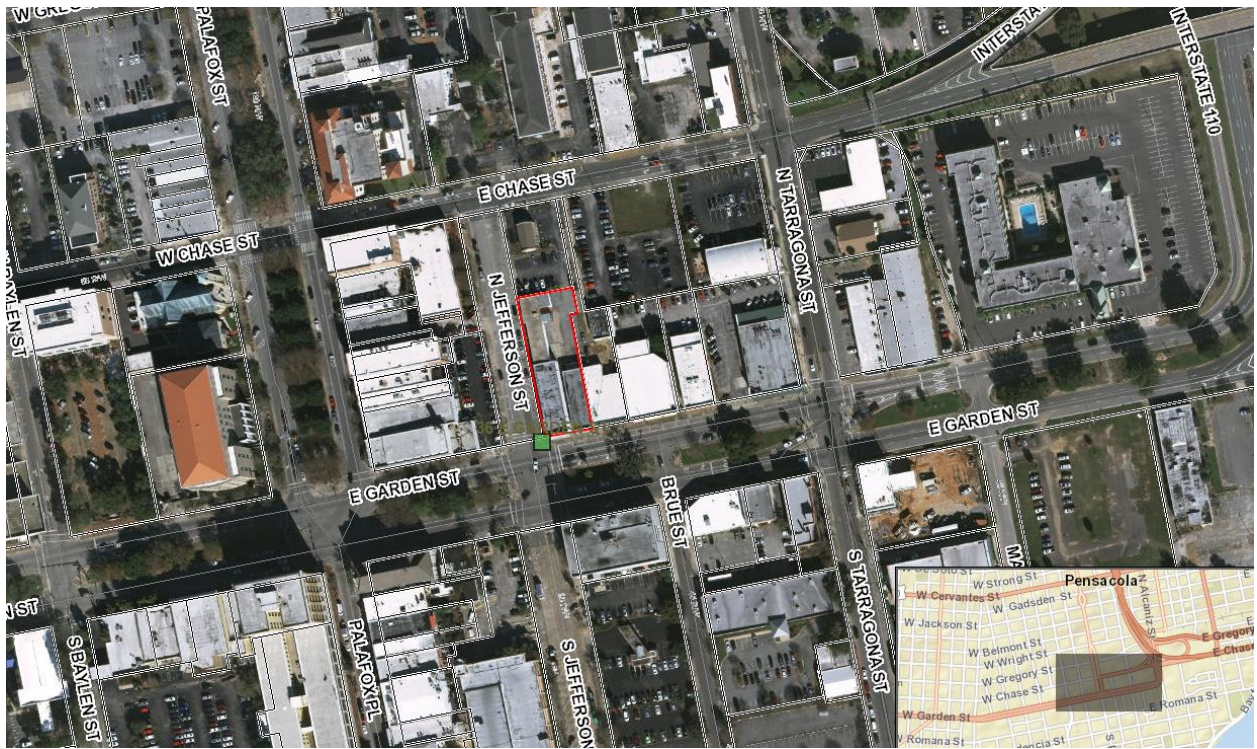
Photographic Records Numbers HPPB P.83.7 Frame 34

860 = =

Contact Print



36 E. Garden Street



**Architectural Review Board Application
Full Board Review**



Application Date: 1/30/20

Project Address: 36 East Garden St. Pensacola FL

Applicant: Philip Partington, AIA

Applicant's Address: 40 S. Palafox Place, Pensacola, FL.

Email: Philip@smp-arch.com **Phone:** 432-7772-ext 216

Property Owner: 90 East Garden Street LLC

(If different from Applicant)

District: **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD** ☐

Application is hereby made for the project as described herein:

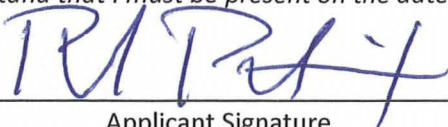
- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

**The project is the renovation of the existing building known as the "Reynolds Music House" to
serve as the home for Cast restaurant .**

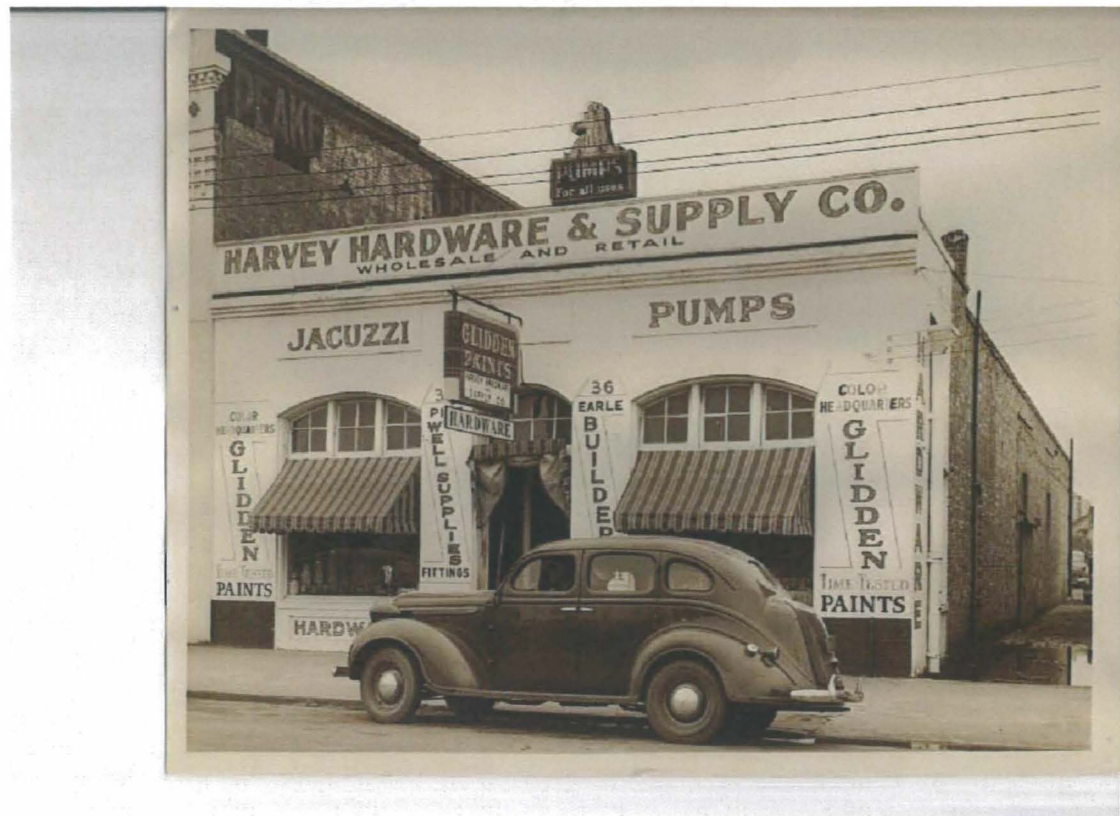
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

1/30/20
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521





1 SOUTH ELEVATION (GARDEN STREET AROUND 1943)
A-202 SCALE: NO SCALE



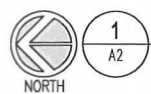
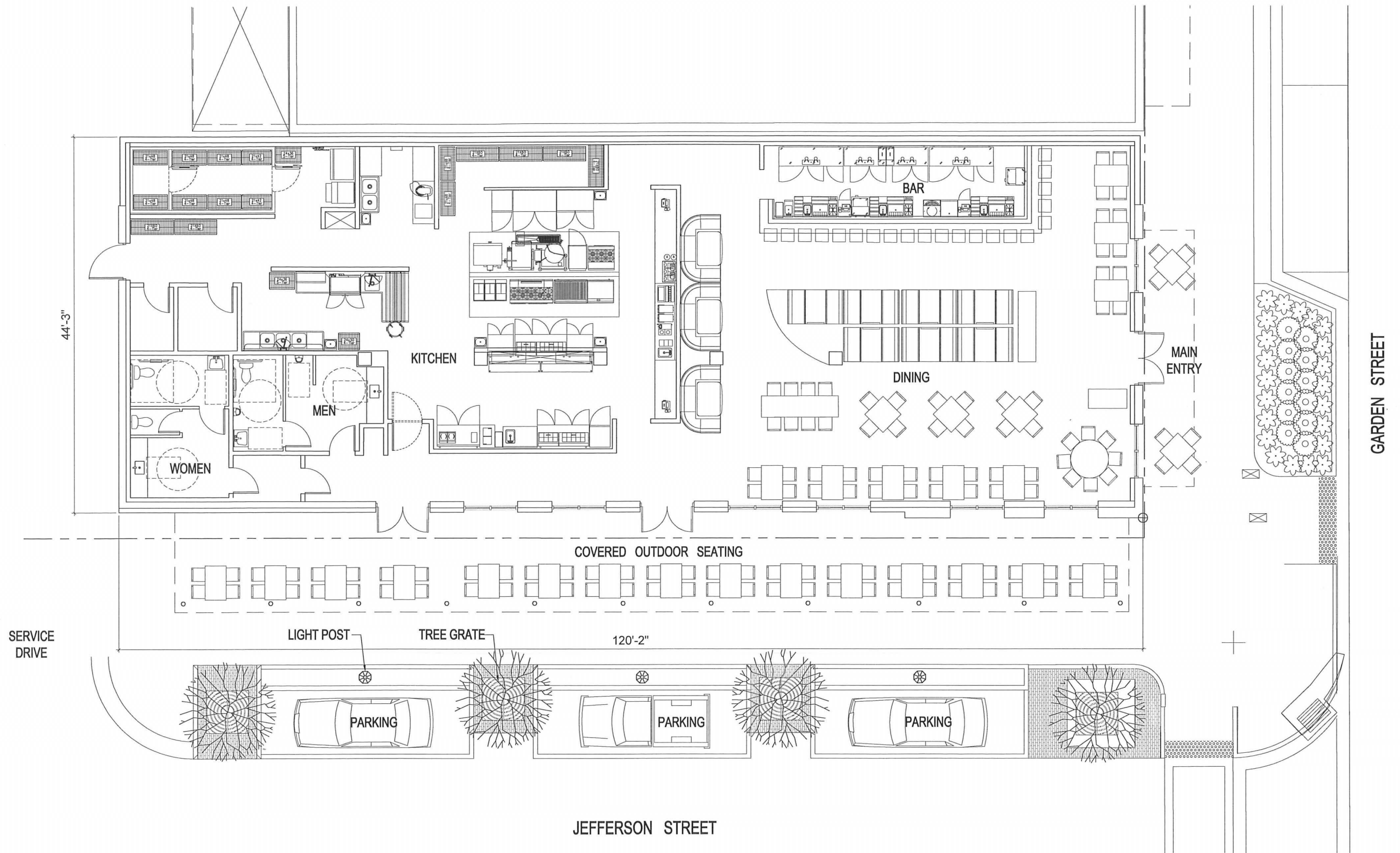
2 EXISTING SOUTH ELEVATION (GARDEN STREET)
A-101 SCALE: NO SCALE



3 EXISTING WEST ELEVATION (JEFFERSON STREET)
A-202 SCALE: NO SCALE



3 EXISTING NORTH ELEVATION
A-101 SCALE: 3/16" = 1'-0"

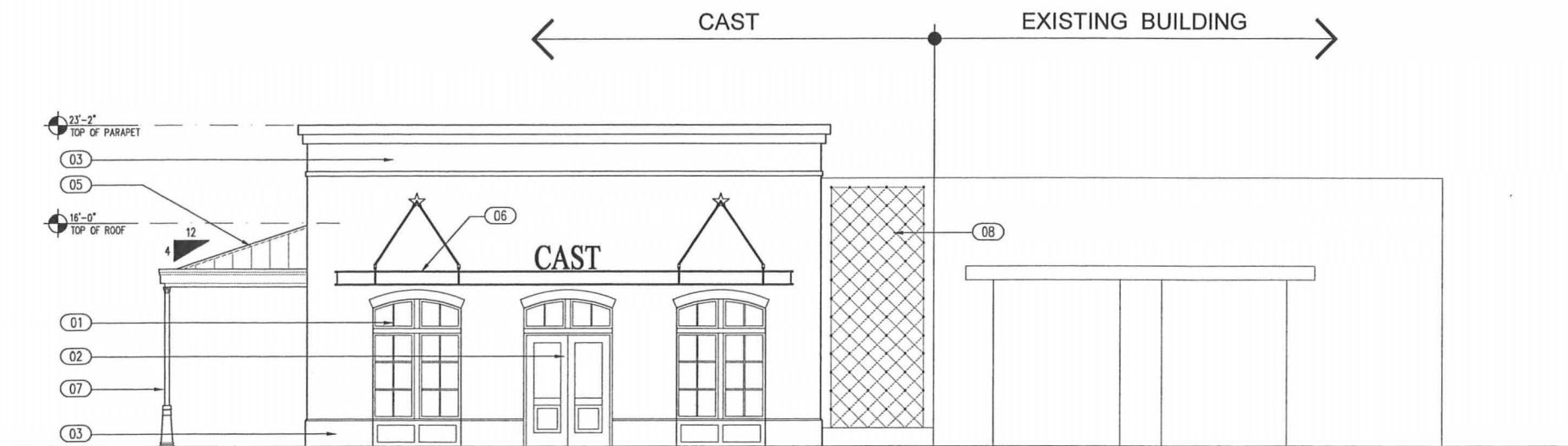


1
A2 ARCHITECTURAL SITEPLAN

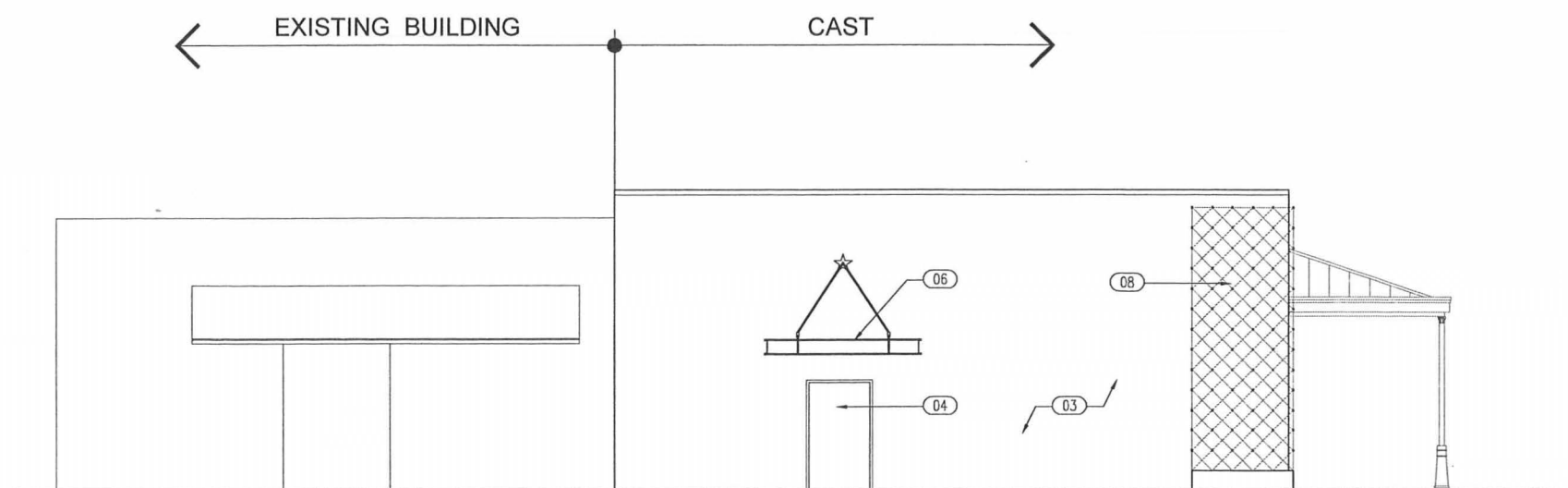
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION (JEFFERSON STREET)
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION (GARDEN STREET)
SCALE: 3/16" = 1'-0"



3 NORTH REAR ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES :

- 01 ALUMINUM WINDOW SYSTEM.
- 02 ALUMINUM ENTRY DOOR SYSTEM.
- 03 STUCCO SYSTEM WALL & BASE
- 04 HOLLOW METAL DOOR & FRAME.
- 05 PRE-FINISHED ALUMINUM STANDING SEAM METAL ROOF SYSTEM.
- 06 PRE-FINISHED ALUMINUM METAL CANOPY SYSTEM.
- 07 PRE-FINISHED ALUMINUM CAST IRON COLUMNS.
- 08 GREEN WALL SYSTEM.



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 12**
18 and 20 E. Garden Street
PHBD / C-2A
Contributing Structures

BACKGROUND

Scott Sallis is requesting approval to renovate the storefronts of two retail spaces. The scope of work will include the installation of a metal garage door, storefront, sconce lighting and metal canopy to 18 E. Garden and a new storefront system, sconce lighting, canopy, and metal planters to 20 E. Garden. New metal doors will also be added to the side and rear of the work area. Please note that any signage will be reviewed at a later time and by Abbreviated Review.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==

Site No. ES 1088
Site Name 830 == Survey Date 8210 820 ==
Address of Site: 18 E. Garden St., Pensacola, FL 32501 905 ==
Instruction for locating N. Side E. Garden St. between N. Palafox St. and
Jefferson St. extension 813 ==
Location: Old city tract Arpent lts. Port. 54 868 ==
subdivision name block no. lot no.
County: Escambia 808 ==
Owner of Site: Name: McGraw, Artice L.
Address: 26 E. Garden Street
Pensacola, FL 32501 902 ==
Type of Ownership Private 848 == Recording Date 832 ==
Recorder:
Name & Title: Marcille, Ruth
Address: HPPB

818 ==
Condition of Site: Integrity of Site: Original Use Commercial 838 ==
Check One Check One or More
☐ Excellent 863 == ☒ Altered 858 ==
☒ Good 863 == ☐ Unaltered 858 ==
☐ Fair 863 == ☒ Original Site 858 ==
☐ Deteriorated 863 == ☐ Restored () (Date:) 858 ==
☐ Moved () (Date:) 858 ==
Present Use Commercial 850 ==
Dates: Beginning C +1910 844 ==
Culture/Phase American 840 ==
Period 20th Century 845 ==

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More
☐ Zoning () 878 == ☐ Transportation () 878 ==
☐ Development () 878 == ☐ Fill () 878 ==
☐ Deterioration () 878 == ☐ Dredge () 878 ==
☐ Borrowing () 878 ==
☐ Other (See Remarks Below): 878 ==

Areas of Significance: Architecture, Commerce 910 ==

Significance:

This modest masonry vernacular structure dates to about 1910 when J.M. Muldon acquired this valuable real estate. It was originally occupied by a tailor and an ice cream company.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 ==

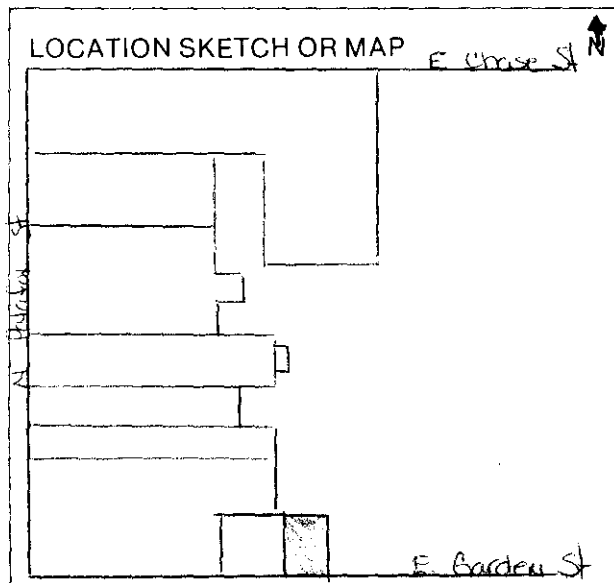
ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Masonry vernacular 964 ==
 PLAN TYPE Rectangular 966 ==
 EXTERIOR FABRIC(S) Stucco: smooth # brick: running # stucco: textured 854 ==
 STRUCTURAL SYSTEM(S) Masonry: brick 856 ==
 PORCHES

942 ==
 FOUNDATION: Continuous: stucco & brick 942 ==
 ROOF TYPE: Flat: built up with parapet - gable 942 ==
 SECONDARY ROOF STRUCTURE(S) (Marquee) flat: metal 942 ==
 CHIMNEY LOCATION: 942 ==
 WINDOW TYPE: Fixed 942 ==
 CHIMNEY: 882 ==
 ROOF SURFACING: Built up 882 ==
 ORNAMENT EXTERIOR: Tile: (indented) 882 ==
 NO. OF CHIMNEYS 0 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==

Map Reference (incl. scale & date) USGS 7.5 min. Pensacola 1970 809 ==

Latitude and Longitude: 800 ==

Site Size (Approx. Acreage of Property): 1.1 833 ==



Township	Range	Section	
2S	30W	46	812 ==

UTM Coordinates:

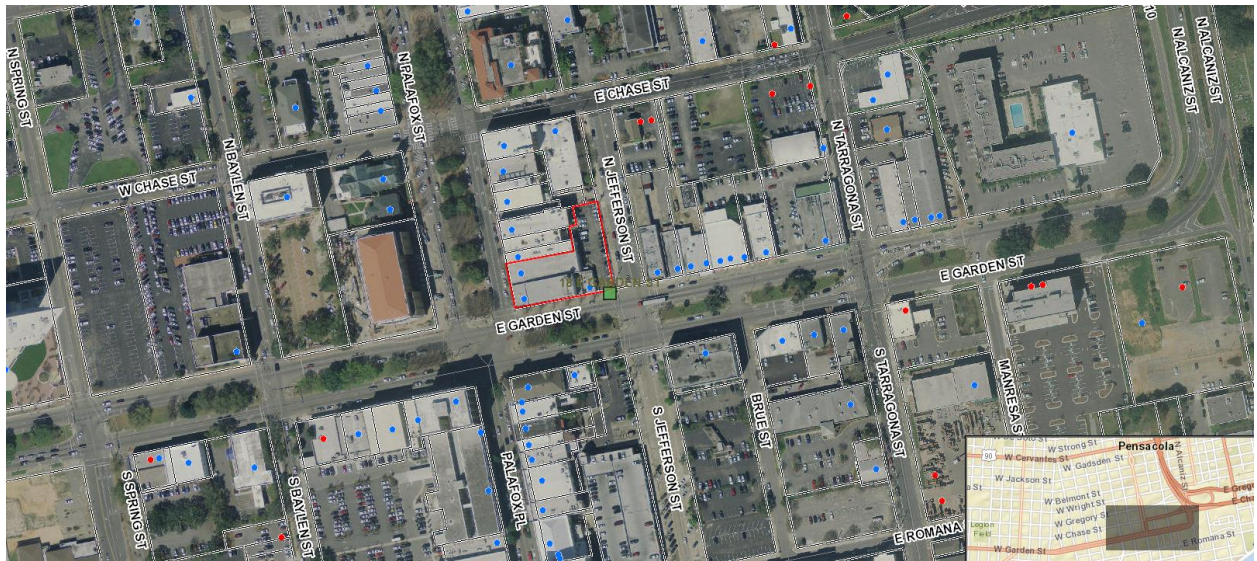
Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P. 83.7 Frame 33 860 ==

Contact Print



18 and 20 E. Garden Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: **01-30-2020**

Project Address: 18 & 20 E. GARDEN ST.

Applicant: Dalrymple Sallis Architecture

Applicant's Address: 503 E. Government Street, Pensacola, Florida 32502

Email: scott@dalsal.com **Phone:** 850-470-6399

Property Owner: Chad Henderson

(If different from Applicant)

District: PHD ☐ NHDP ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The work consists of storefront renovation for two retail spaces on E. Garden St.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Matthew Sallis

Applicant Signature

01/30/2020

Date

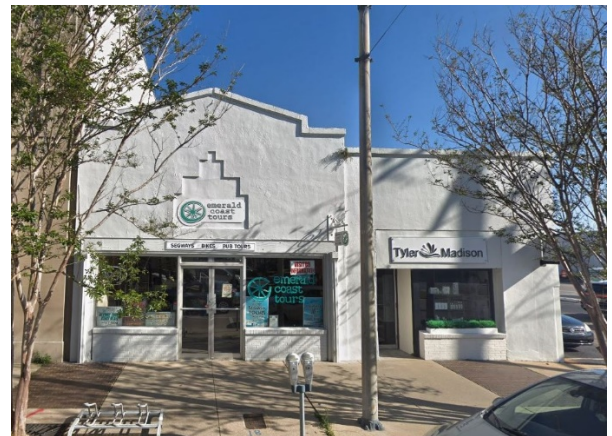
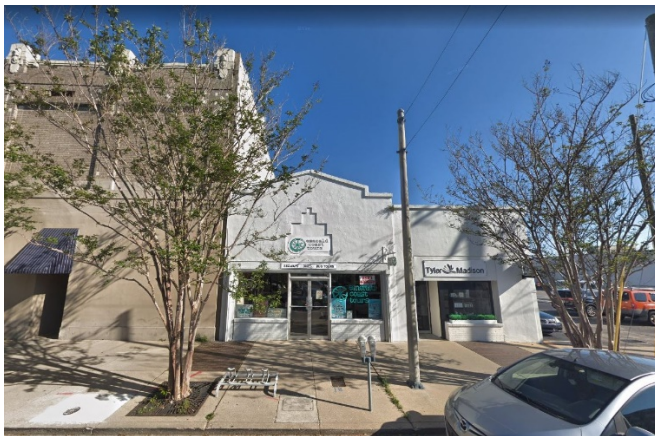
Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Date: Thursday, January 30, 2020

Project: 18 & 20 East Garden Shell
18-20 E. GARDEN ST.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions





Exterior Color Schedule – 18 E. Garden

Date: Thursday, January 30, 2020

Project: 18 E. Garden St. Shell
18 E. Garden St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
GLASS GARAGE DOOR	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL CANOPY	TBD	POWDER COATED STEEL CAOPY DARK BRONZE
SCONCES	EATON LIGHTING	SATIN DARK BRONZE
DESCRIPTIVE SIGN	TBD	FUTURE SUBMITAL BY TENANT
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT

Exterior Color Schedule – 20 E. Garden

Date: Thursday, January 30, 2020

Project: 20 E. Garden St. Shell
20 E. Garden St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
STOREFRONT WINDOWS	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL AWNING	TBD	POWDER COATED STEEL AWNING DARK BRONZE
SCONCES	HINKLEY	OIL RUBBED BRONZE
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT

18 E. GARDEN: PAINT COLORS

SW 0059
Frostwork
Interior / Exterior

SW 6700
Daybreak
Interior
Locator Number: 269-C5

MAIN COLOR

RECESSED PORTION OF FACADE

20 E. GARDEN: PAINT COLORS

SW 7078
Minute Mauve
Interior / Exterior
Locator Number: 227-C1

MAIN COLOR

18 E. GARDEN: COLOR – MATERIALS

POWDER COATED METAL CANOPY



DARK BRONZE

METAL CANOPY – HANGER SUPPORTED



DARK BRONZE
17'-0" long x 3'-6" wide

GARAGE STOREFRONT AND ENTRANCE DOOR



DARK BRONZE ALUMINUM FRAME
GARAGE DOOR: 10'-0" x 8'-0"
ENTRANCE DOOR: 3'-0" x 8'-0"

SCONCE



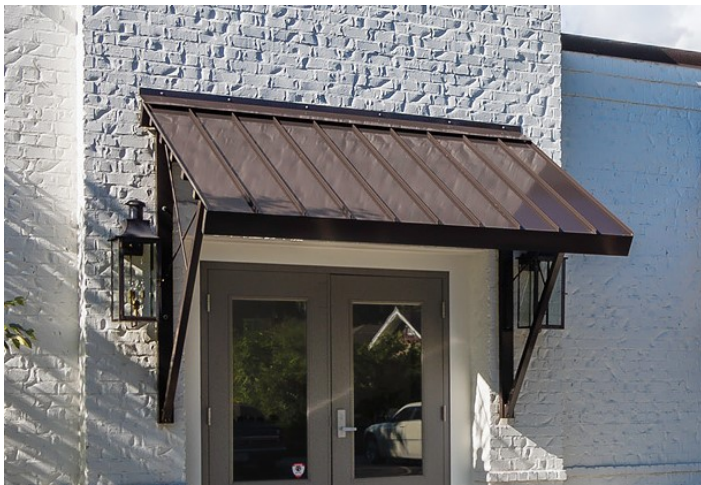
Eaton 674-WP Series
Shaper 31 inch Satin Dark Bronze Aluminum frame with a Matte White Acrylic Diffuser

20 E. GARDEN: COLOR – MATERIALS

METAL AWNING



OIL RUBBED BRONZE



OIL RUBBED BRONZE
11'0" long x 4'-6" wide

STORFRONT SYSTEM AND ENTRANCE DOOR



OIL RUBBED BRONZE ALUMINUM FRAME

SCONCES



Hinkley 2324OZ-LED
Manhattan LED 15 inch Oil Rubbed Bronze Outdoor Wall Mount

RENDERINGS

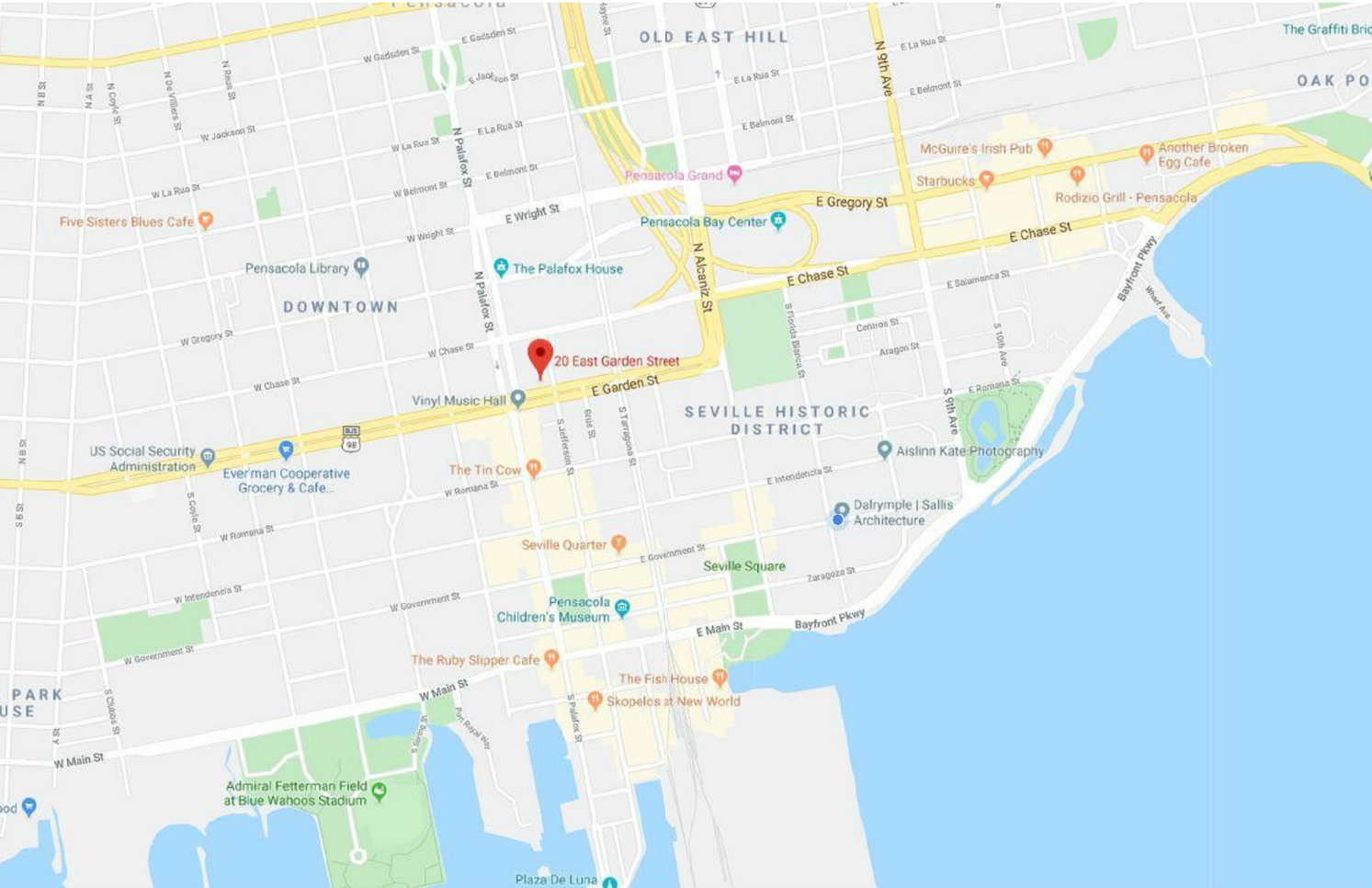




18 | 20 East Garden Shell

AN EXTERIOR SHELL RENOVATION FOR 18 AND 20 EAST GARDEN

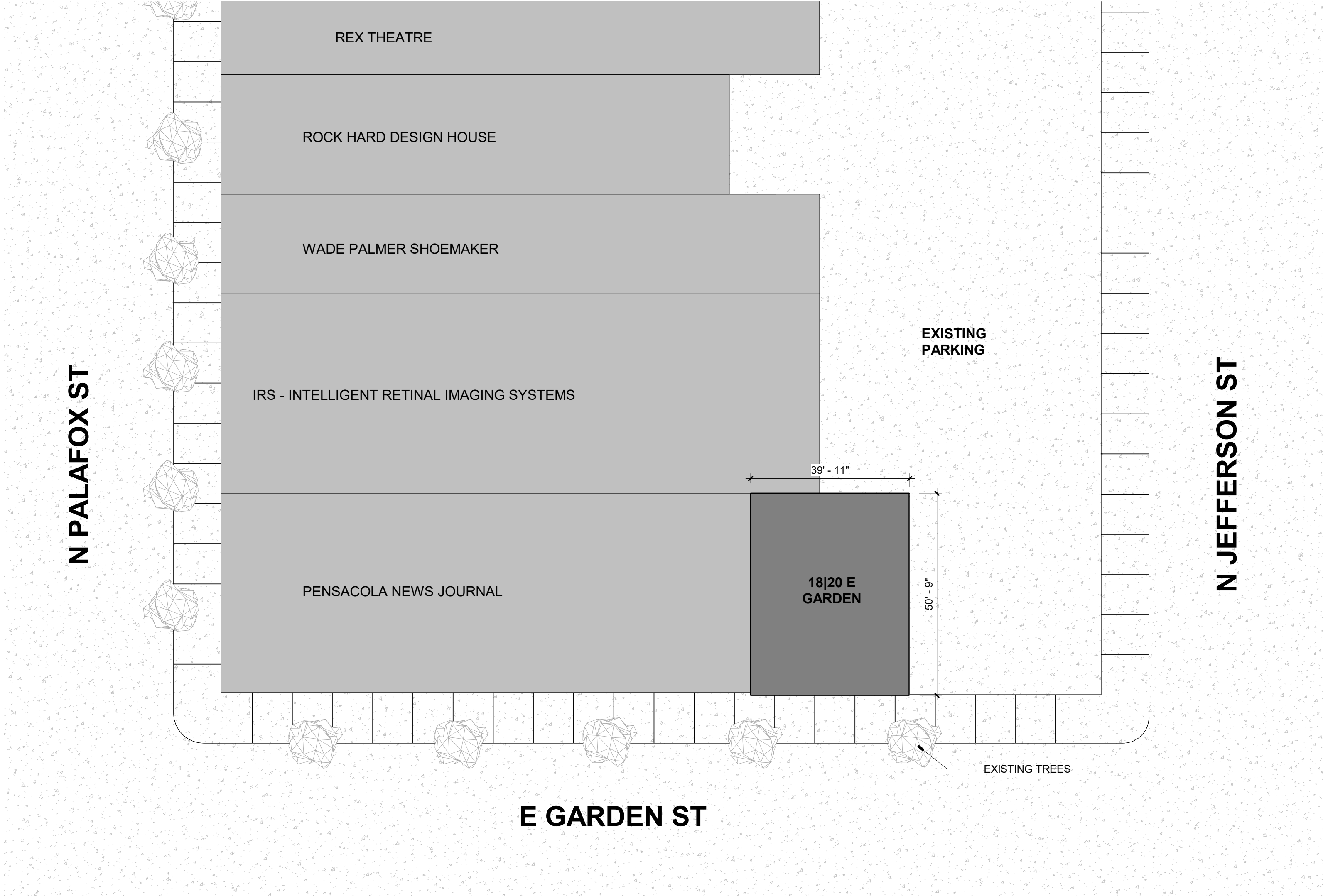
18 & 20 East Garden St, Pensacola, FL



VICINITY MAP



SITE MAP



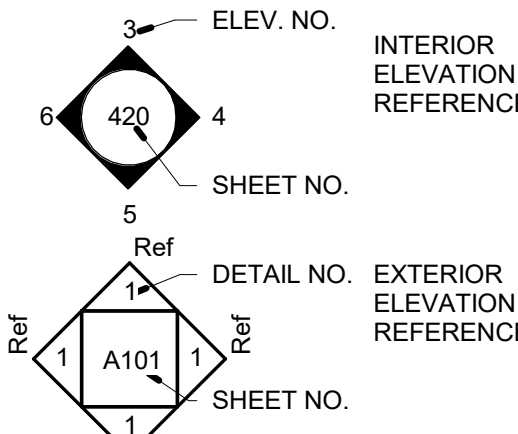
2 KEY PLAN
1" = 20'-0"

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A101	DEMO AND NEW WORK PLANS	
A201	EXTERIOR ELEVATIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

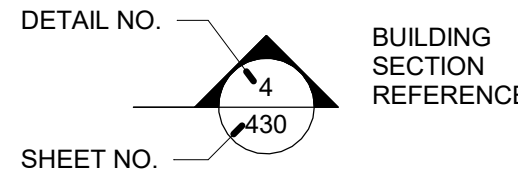
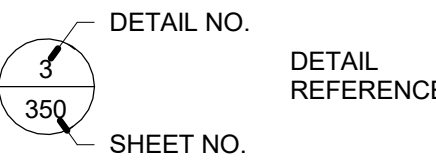
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEVED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

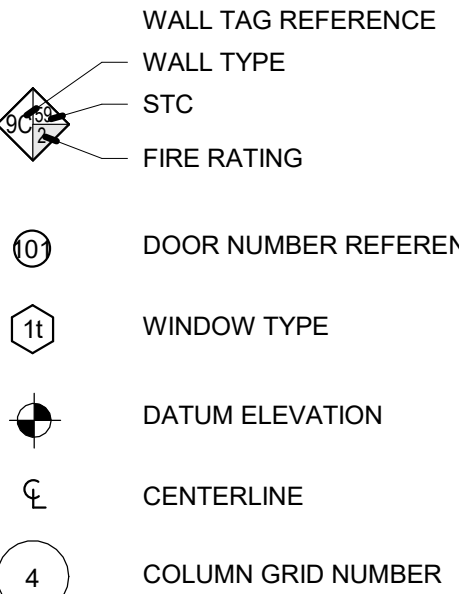
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



Room name ROOM TAG

REVISION NUMBER REFERENCE



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR
CONSTRUCTION

18 | 20 East Garden Shell

18 & 20 East Garden St, Pensacola, FL

DRAWN BY: HH
CHECKED BY: JSS

ISSUE DATE:
01/30/2020

REVISIONS:
No. Desc. Date

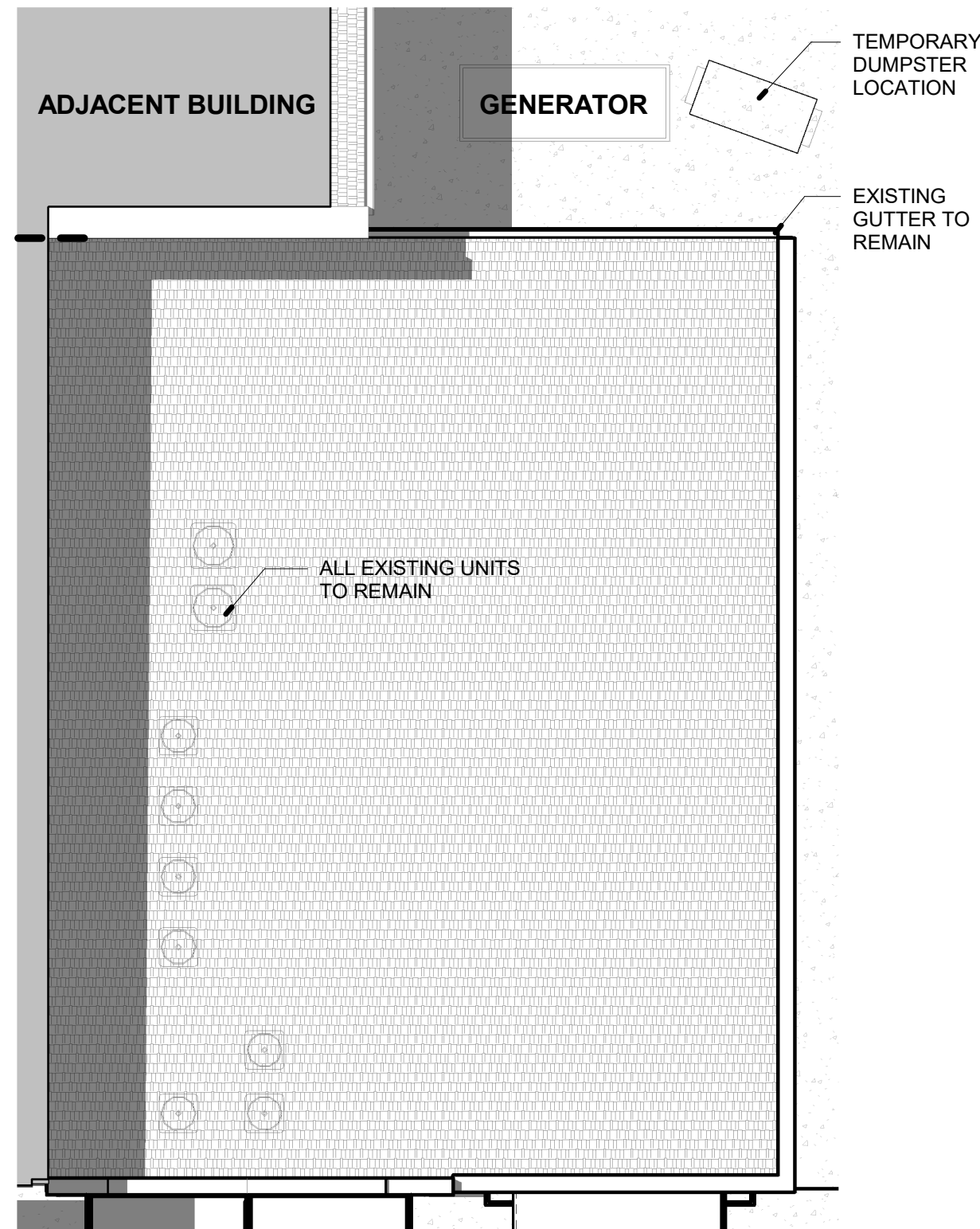
SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

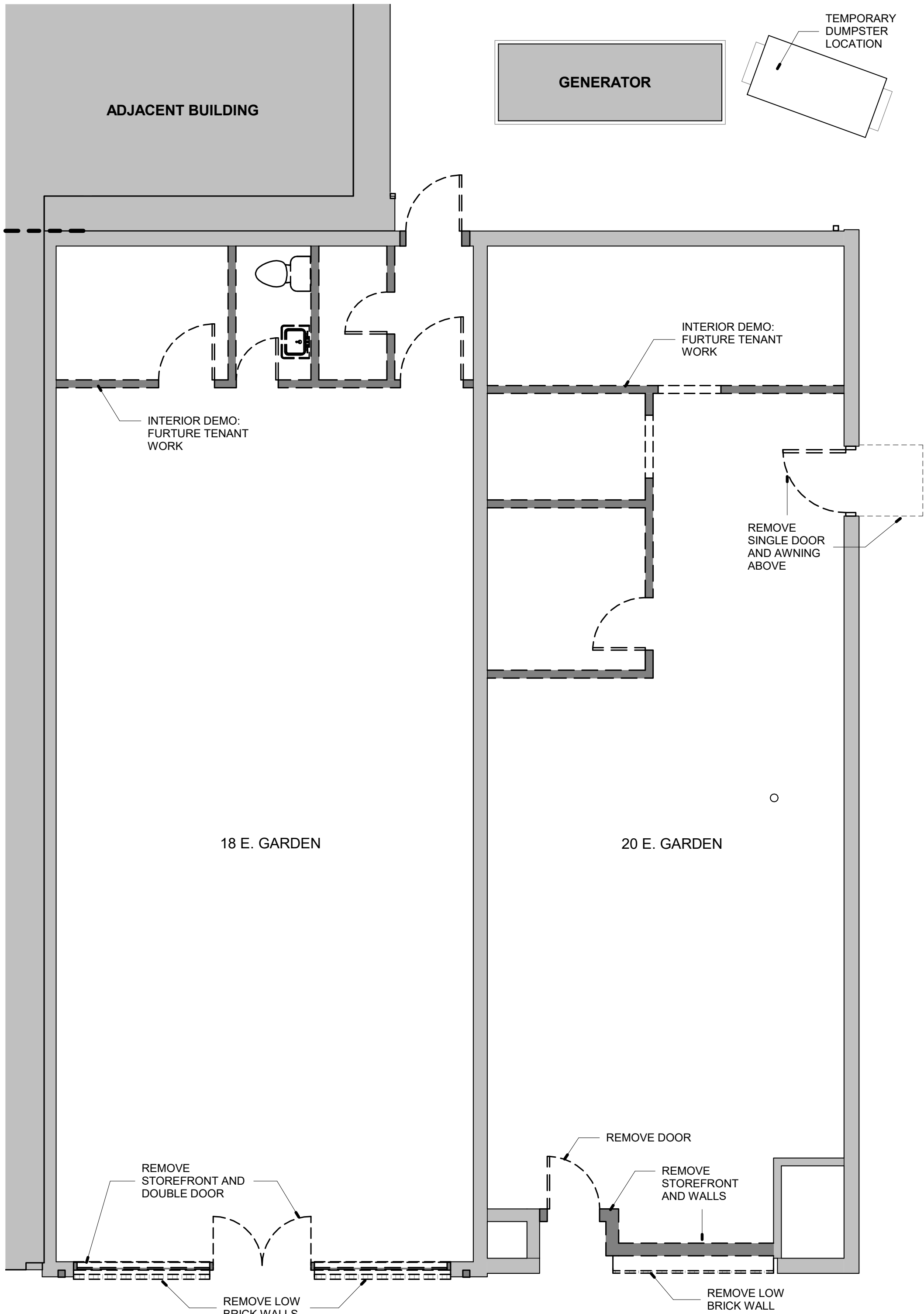
PROJECT NO:
Project Number



3 ROOF PLAN
1/8" = 1'-0"

DEMOLITION NOTES

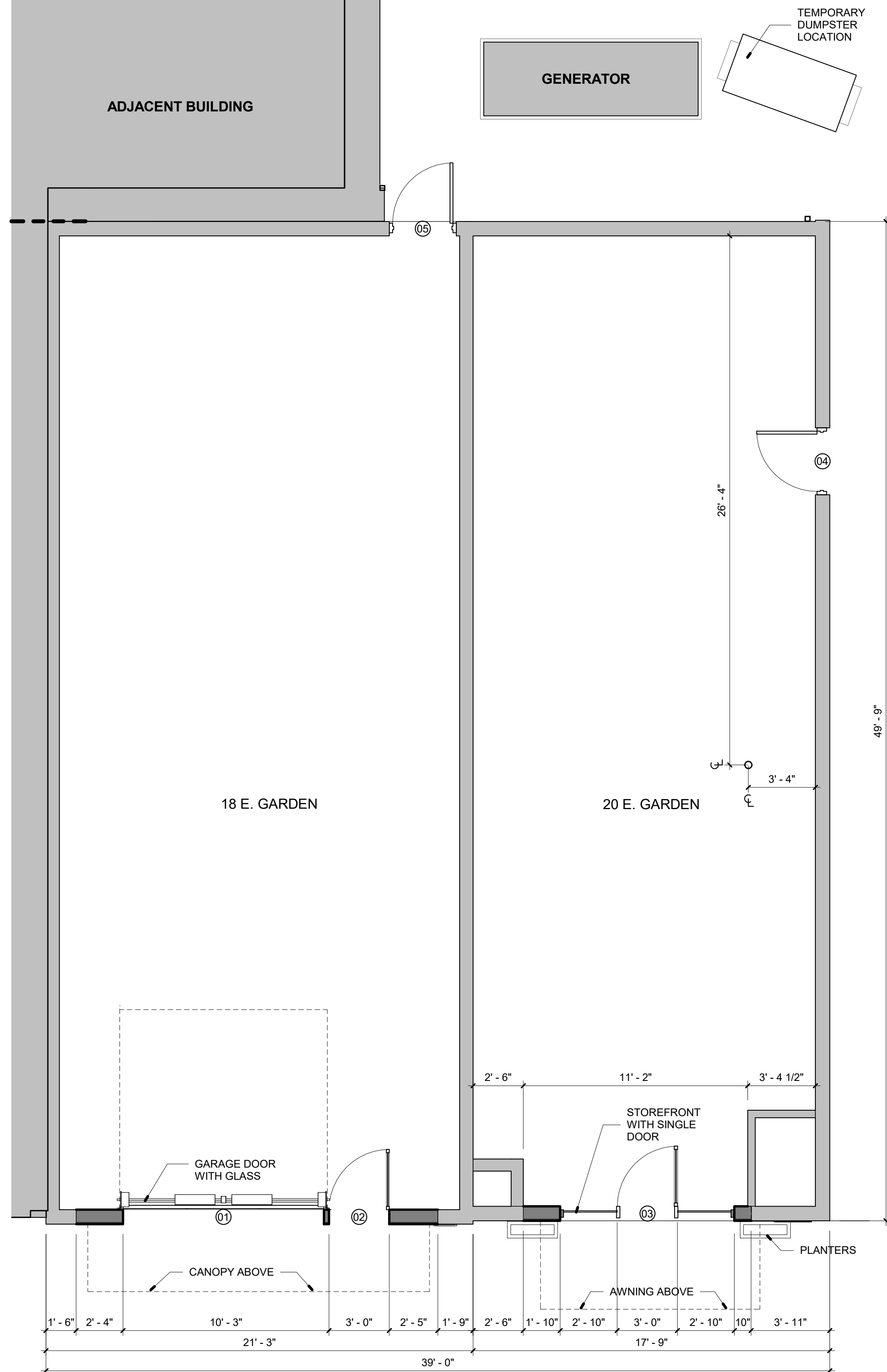
1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
4. REMOVE EXISTING STOREFRONT SYSTEMS FROM BUILDING 18 AND 20.
5. REMOVE EXISTING FRONT ENTRANCE DOORS FROM BUILDING 18 AND 20.
6. REMOVE LOW BRICK WALLS FROM BUILDING 18 AND 20.
7. REMOVE EAST DOOR FROM BUILDING 20 AND AWNING ABOVE DOOR.



2 DEMOLITION PLAN
1/4" = 1'-0"

NEW WORK NOTES

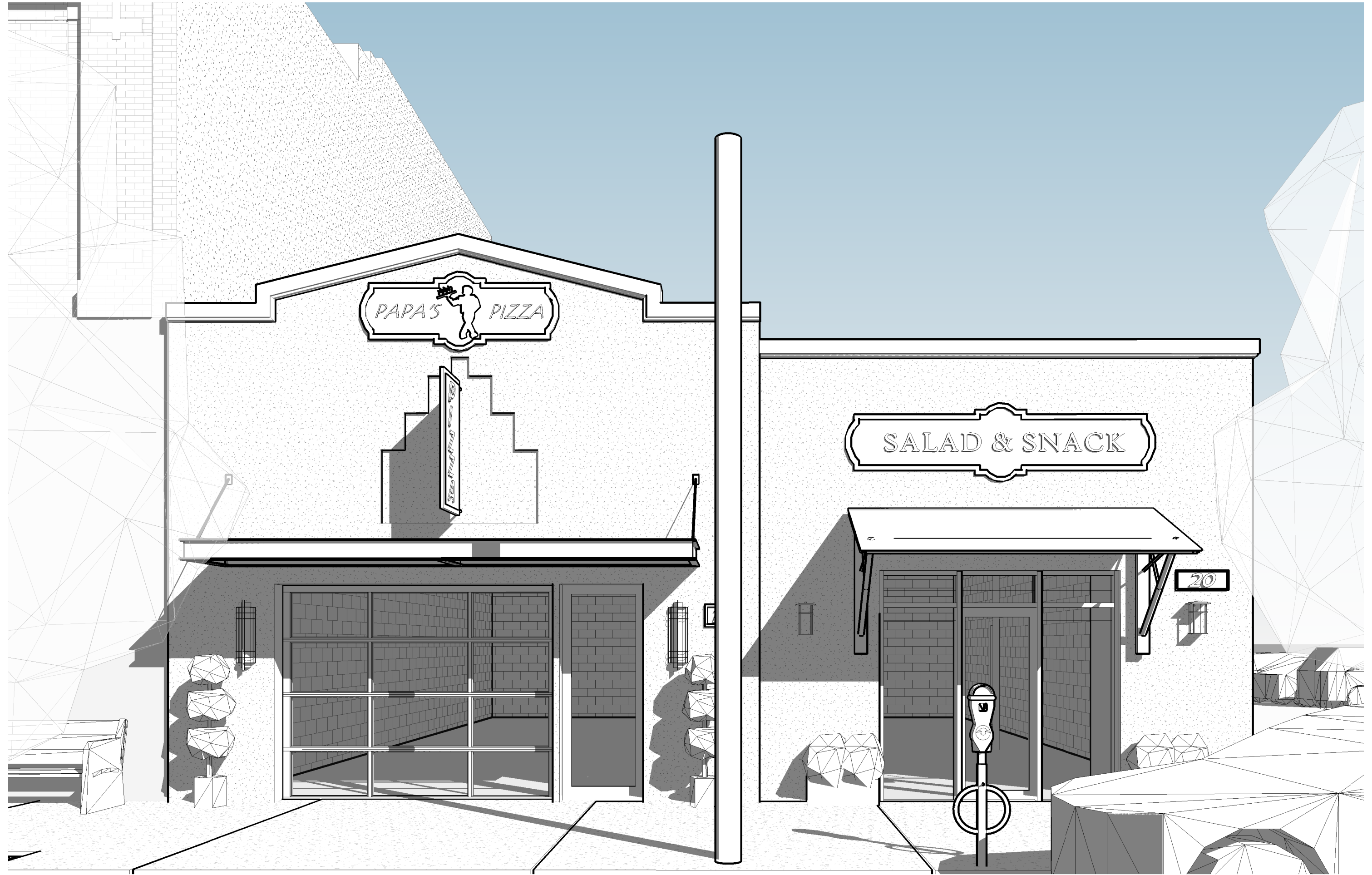
1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
5. INSTALL NEW DOORS AND ALUMINUM STOREFRONT AS INDICATED ON PLAN.



1 NEW WORK PLAN
1/4" = 1'-0"



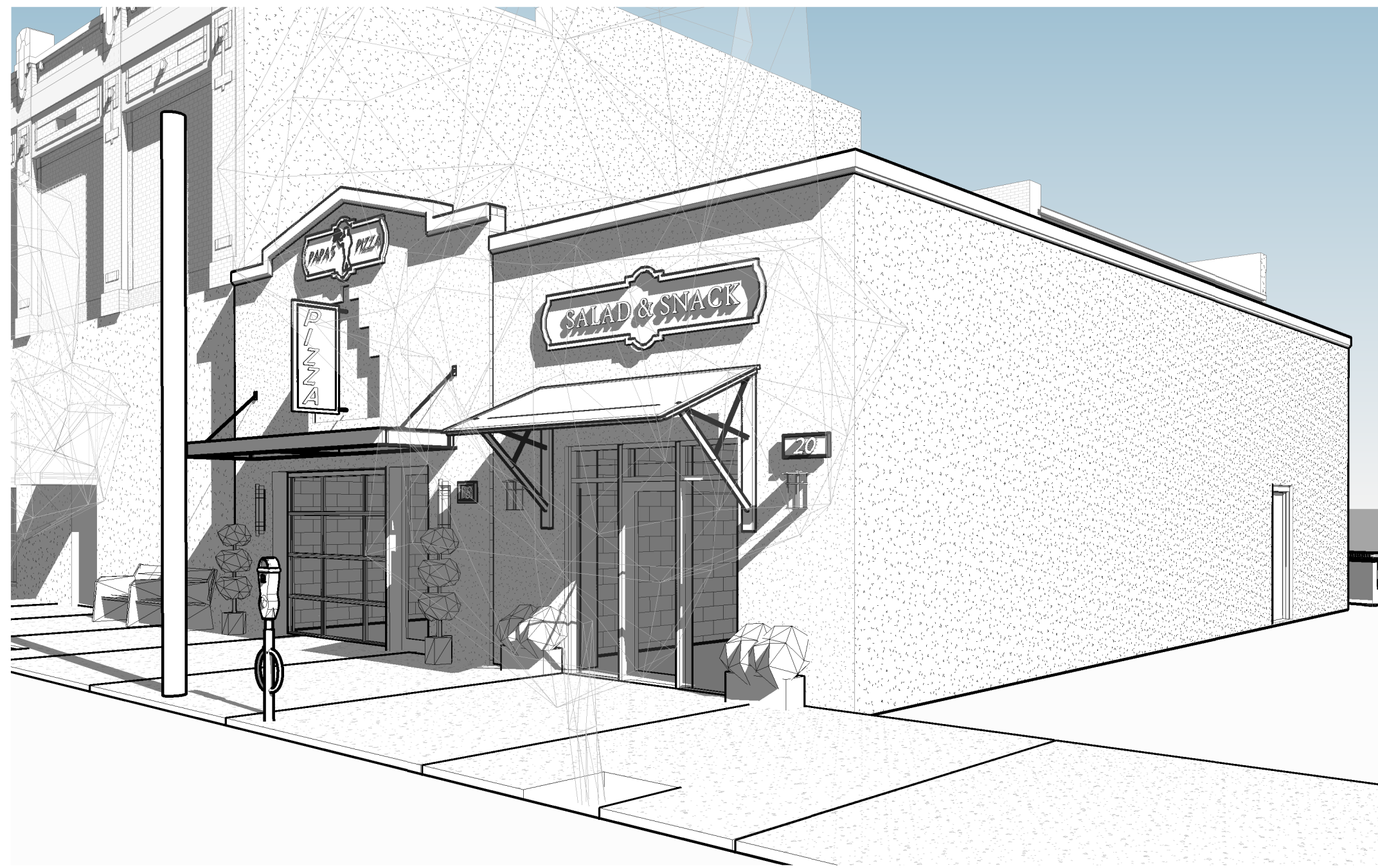
4 3D View 1



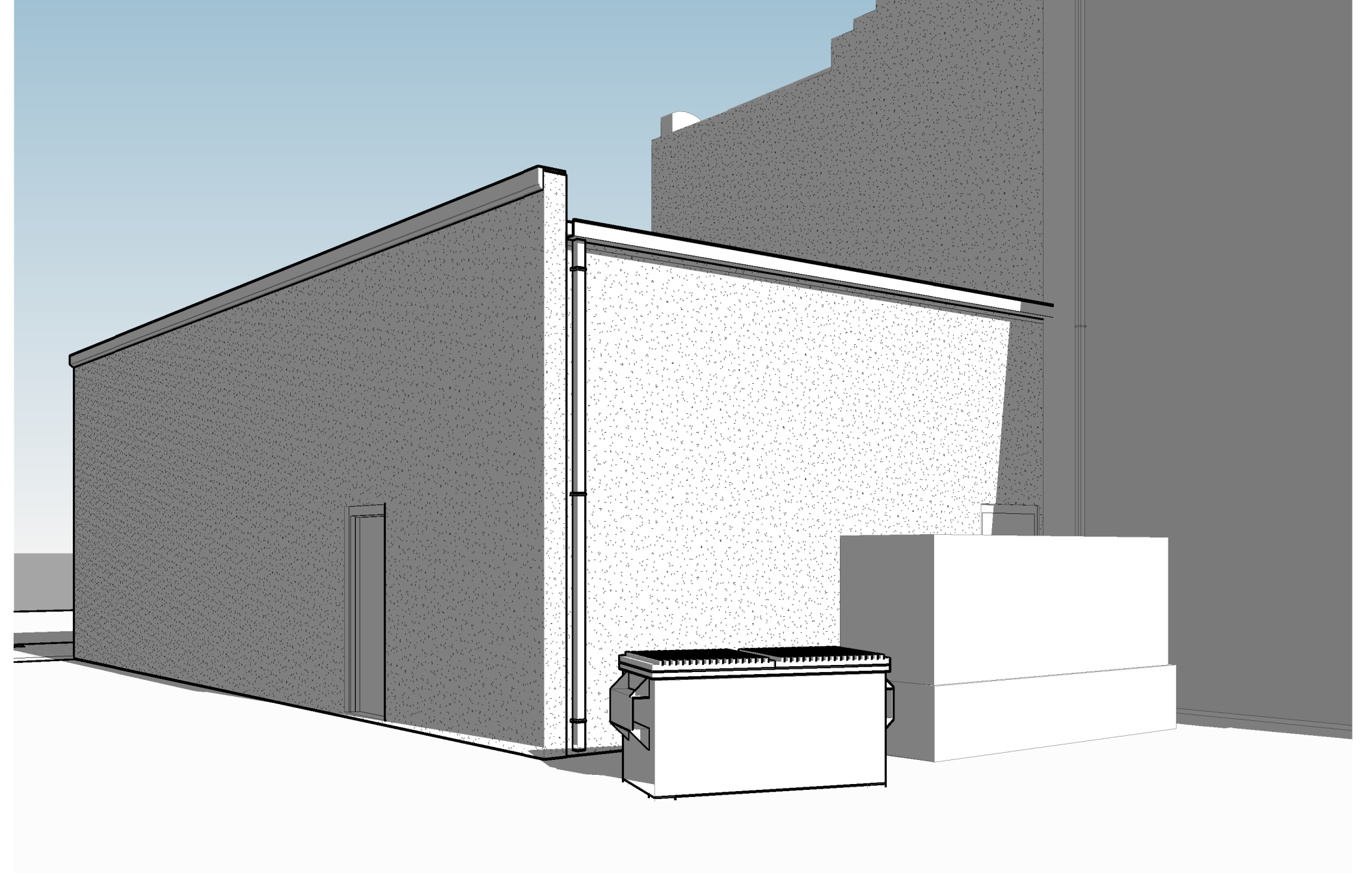
1 EXTERIOR 1



5 3D View 2



2 EXTERIOR 2



3 EXTERIOR 3

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



dalrymple | sallis
architecture

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CERTIFICATION

**NOT FOR
CONSTRUCTION**

18 | 20 East Garden Shell

18 & 20 East Garden St, Pensacola, FL

DRAWN BY: HH
CHECKED BY: JSS

ISSUE DATE:
01/30/2020

REVISIONS
No. Des. Date

SHEET TITLE:
**3D EXTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A701

PROJECT NO:
Project Number



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 13**
121 S. Palafox Place
PHBD / C-2A
Contributing Structures

BACKGROUND

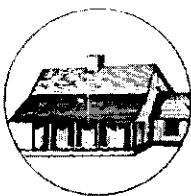
Scott Sallis is seeking approval to remove and modify the front and rear facades. This work will push the existing ground floor out to be relatively flush with the adjoining buildings and new doors, windows and decorative tile will be added. Balconies supported by steel columns and lined with aluminum railing will be added to both sides of the building. Standing seam metal roofing will also be installed. Modifications to the southern rear portion of the building was approved in December 2019. Although the December motion only included details on the southern rear space, a conceptual design of the full building was provided to the Board at that time.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site #8 **ES03704**
 Field Date 8-21-2011
 Form Date 9-20-2011
 Recorder # _____

Site Name(s) (address if none) 115-121 S. Palafox St Pensacola FL 32502 Multiple Listing (DHR only) _____
 Survey Project Name Downtown Pensacola Historic Business District Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☐ structure ☒ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 115-121 Direction S Street Name Palafox (Place) Street Type Street Suffix Direction _____
 Address: 115-121 S Palafox (Place) Street
 Cross Streets (nearest / between) W side between E Intendencia St and E Romana St
 USGS 7.5 Map Name PENSACOLA USGS Date 2009 Plat or Other Map _____
 City / Town (within 3 miles) Pensacola In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 46 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 000S009001006199 Landgrant _____
 Subdivision Name Old City Tract Block 26 Lot 175-177
 UTM Coordinates: Zone ☒ 16 ☐ 17 Easting 479349 Northing 3364394
 Other Coordinates: X: 30.4114137 Y: -87.2150133 Coordinate System & Datum NAD83/WGS84
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Department store From (year): _____ To (year): _____
 Current Use Commercial From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature _____
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): R.H. Turner
 Ownership History (especially original owner, dates, profession, etc.) This building was built in 1959 by J.C. Penny's.

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe HPBD Architecture Review Board

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. Concrete block 3. ceramic tiles
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. parapet
 Roof secondary strucs. (domers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Fixed
 Distinguishing Architectural Features (exterior or interior ornaments) _____

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)		

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Metal skeleton 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) _____

Porch Descriptions (types, locations, roof types, etc.) W. and S. recessed entry w/ round columns covered w/variegated ceramic tile.

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Built in 1959 to house J.C. Penny's department store and is typical of mid-century commercial architecture

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☒ Sanborn maps
☐ FL State Archives/photo collection ☒ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) WFHPI and PHBD Architectural Review Files

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Photographic reference numbers:

HPPB P.81.26 frames 31 and 32 and P.83.8 frames 13.

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Commercial vernacular structure typical in size and scale

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization _____
 Document description PHBD Architectural Review Files File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Cynthia A. Catellier 850-288-0189 Affiliation City of Pensacola/University of West Florida

Recorder Contact Information 222 Main ST Donald W Kelly Planning Services Coordinator (850) 436-5655
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: **01-17-20**

Project Address: 121 Palafox Pl.

Applicant: Dalrymple | Sallis Architecture

Applicant's Address: 503 E. Government St.

Email: scott@dalsal.com **Phone:** 850-470-6399

Property Owner: 121 Palafox Place Inc.

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Removing existing building's front and rear facades to create new facades.

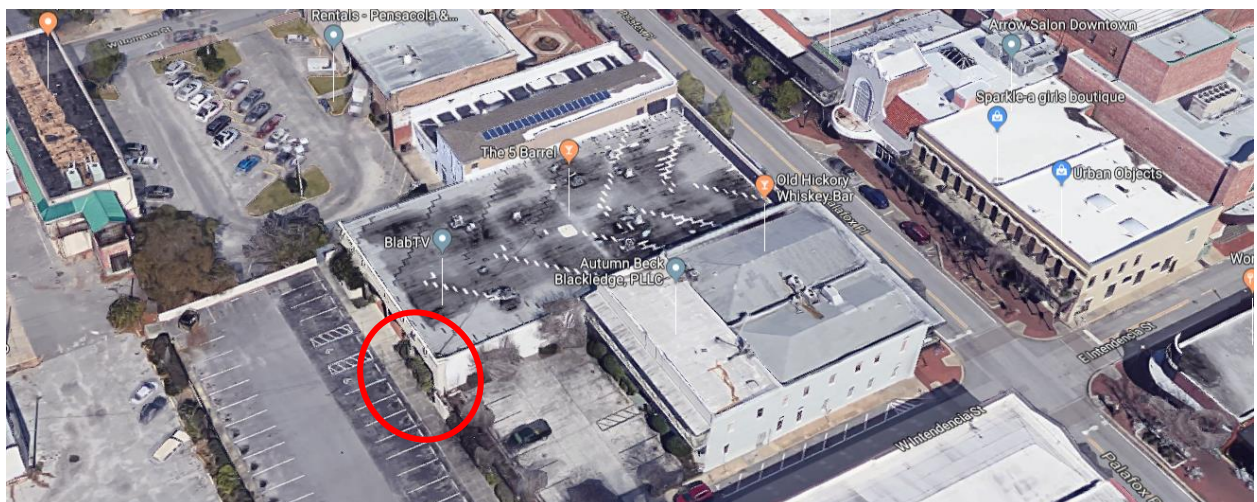
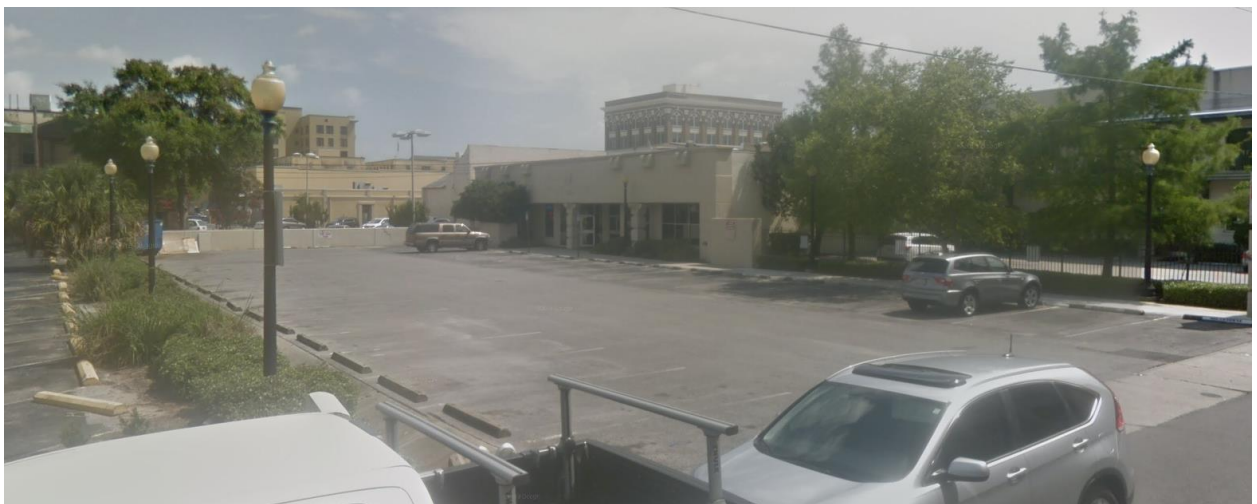
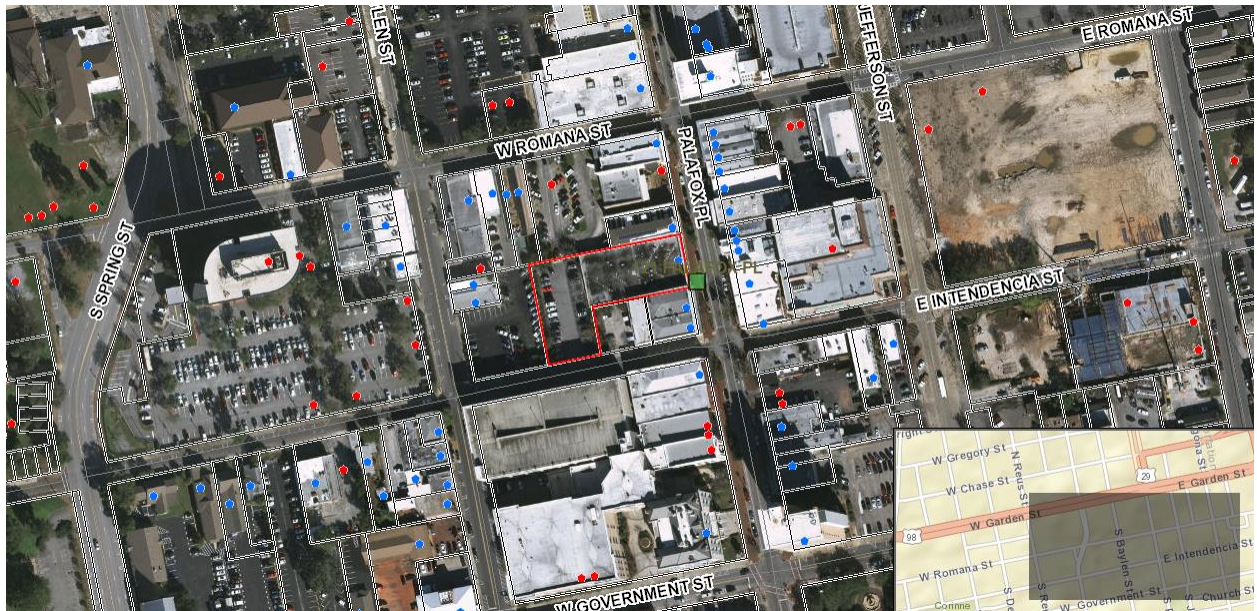
Addition of second story balconies, beer garden, and rentable residential units.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

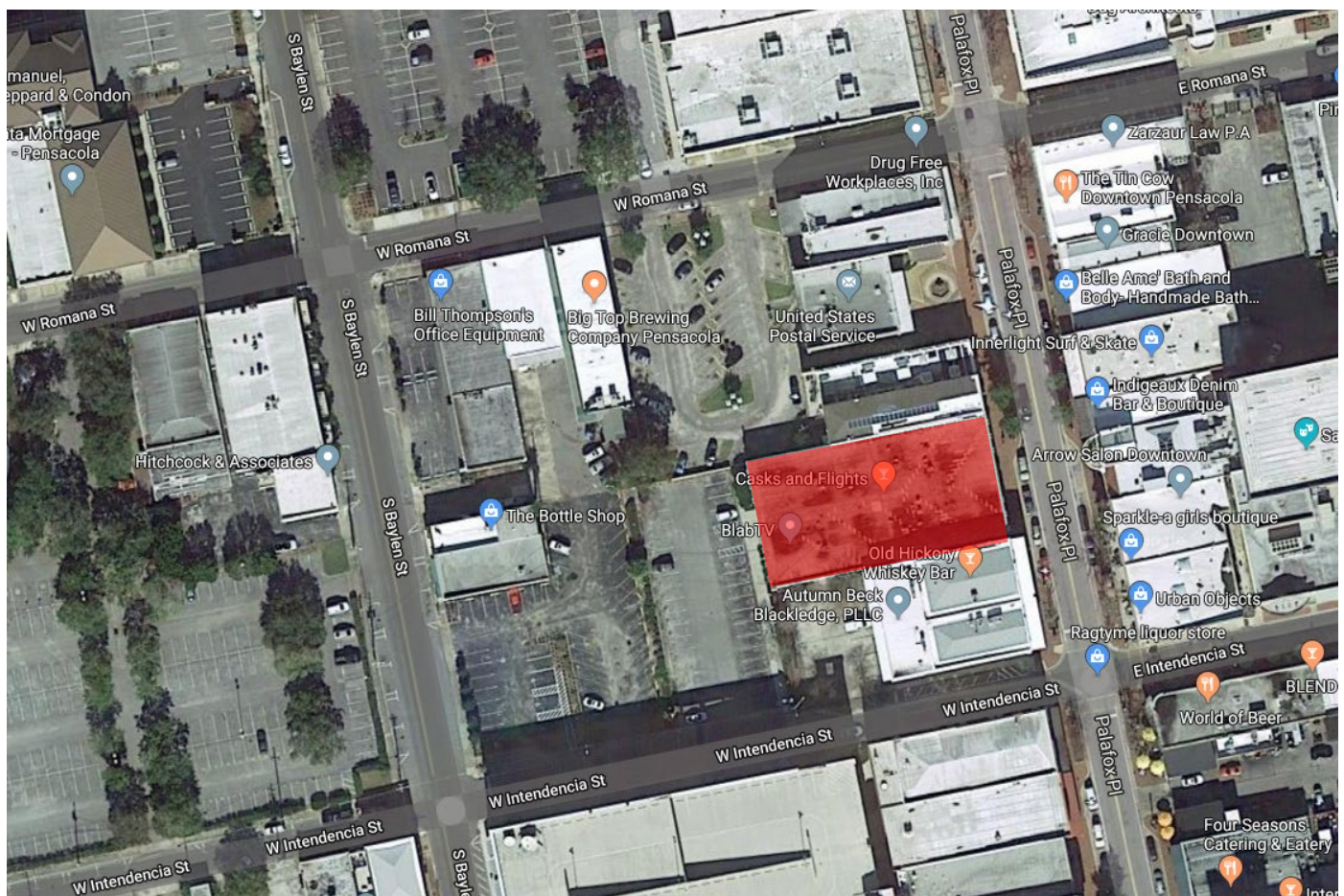
01/30/20
Date

121 S. Palafox Place



Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



Project Location



View of Existing Front



View of Existing Rear





View of Existing North Side



View of Existing South Side

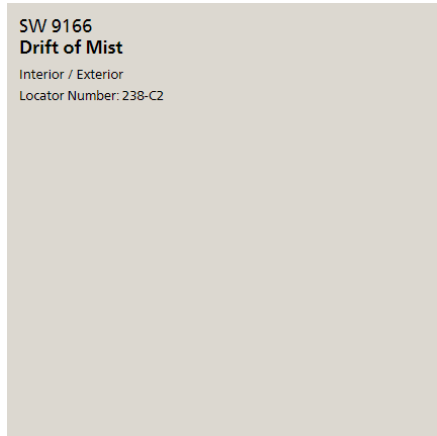


View of Existing Roof

Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Stucco	TBD	SW "Drift of Mist"
Trim	Sherwin Williams	SW "Gray Matters"
Storefront Windows/Doors	TBD	Dark Bronze Aluminum
Façade Tile	LiLi Tile	Bali 3: 1000, 2020, 7008
Water Table	TBD	Precast Concrete
Cornice	Sherwin Williams	SW "Cityscape"
Columns/Brackets	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Skirt	Sherwin Williams	SW "Roycroft Bottle Green"
Railing	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Fascia	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Framing	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Deck	TBD	Cast Concrete
Balcony Ceiling	Sherwin Williams	SW "Hawthorn"
Balcony Roofing	Metal Sales	Galvalume
Shutters	Contractor Made	SW "Cityscape"
Flower Box	Pre-manufactured PVC	SW "Cityscape"
Entry Ceiling	Sherwin Williams	SW "Hawthorn"
Entry Paving	Brick Paver	Color to match existing sidewalk
Lighting	TBD	Black or Dark Bronze Metal

PAINT COLORS



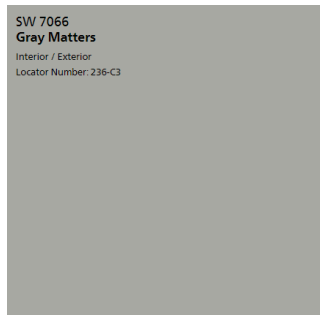
Stucco

Sherwin Williams: "Drift of Mist"



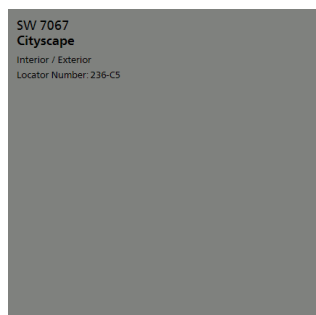
Balcony Columns/Trimwork/Railings

Sherwin Williams: "Roycroft Bottle Green"



Façade Extrusion/ Trim Bands

Sherwin Williams:
"Gray Matters"



Accent Color (Cornice, Shutters, Flower Boxes)

Sherwin Williams: "Cityscape"

TILE



Façade Base/Window Transoms

Lili Tile
"Bali 3"

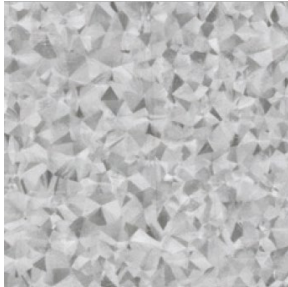
STAIN



Tongue and Groove Ceilings

Sherwin Williams: "Hawthorn"
Exterior Transparent Stain

ROOFING



Metal Sales

Standing Seam Metal: Galvalume

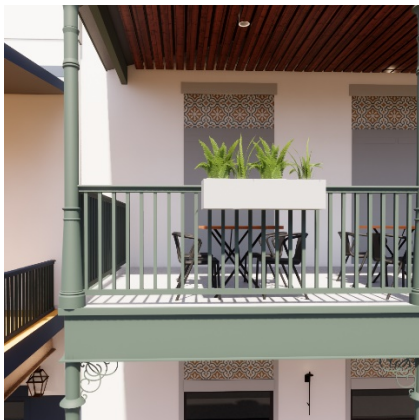
SHUTTERS



Composite Board and Batten

Color: SW "Cityscape"

RAILINGS



Powder Coated Metal

Color: SW "Roycroft Bottle Green"

COLUMNS



LIGHTING



Sconces

Finish: Bronze Metal



Chandelier

Okholm Lighting – Gren Chandelier
Finish: Bronze Metal

PLANTING



PVC Planters

42" Length

Painted SW "Cityscape"



Foxtail Fern

Planters and Flower Bed



Silver Saw Palmetto

Flower Bed

Renderings



Views of Front



View at Dusk



View of Sidewalk



View of Interior Corridor



View of Balcony



View of Beer Garden



View of Outdoor Hall



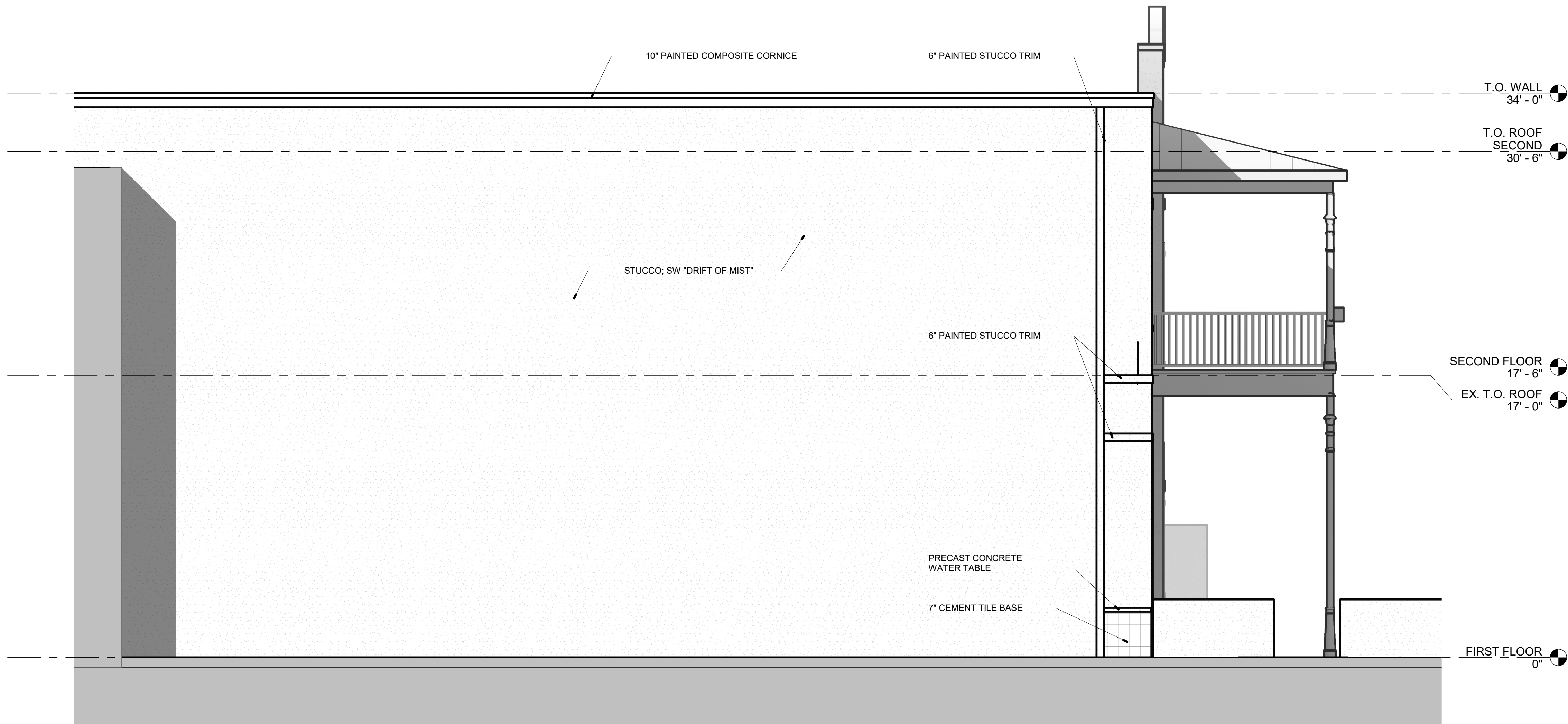
Views of Rear



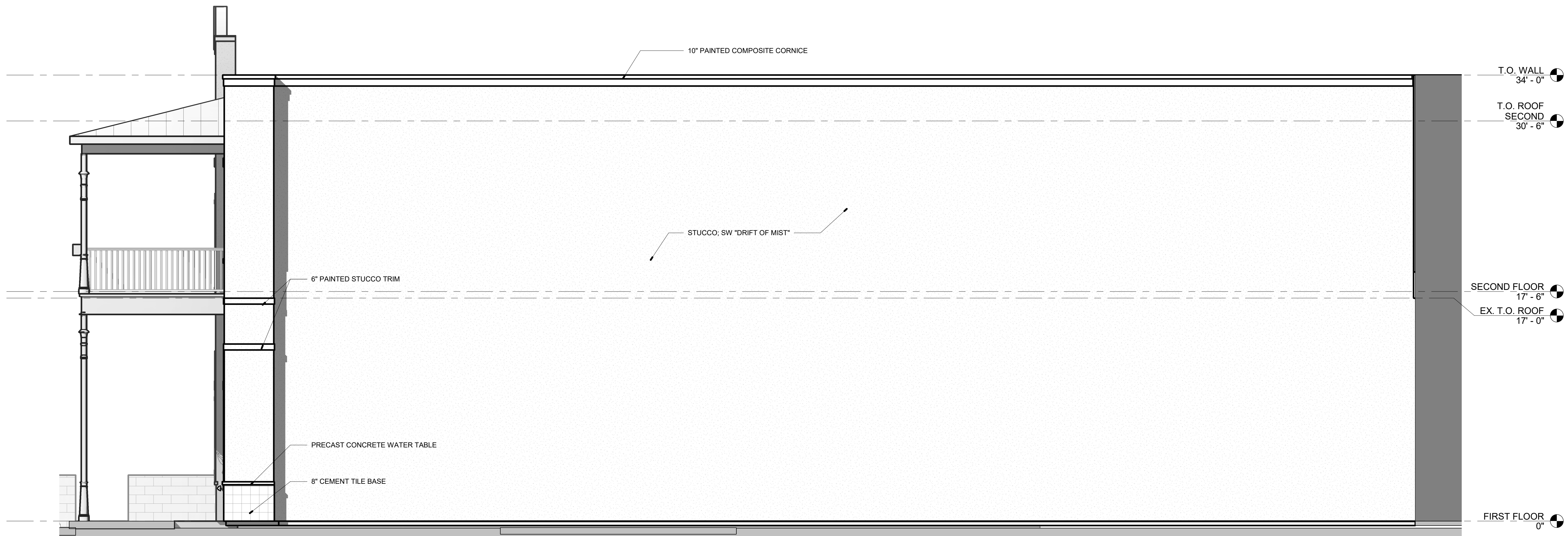
1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



1 NORTH (SIDE) ELEVATION
1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION
1/4" = 1'-0"



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR
CONSTRUCTION

121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

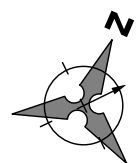
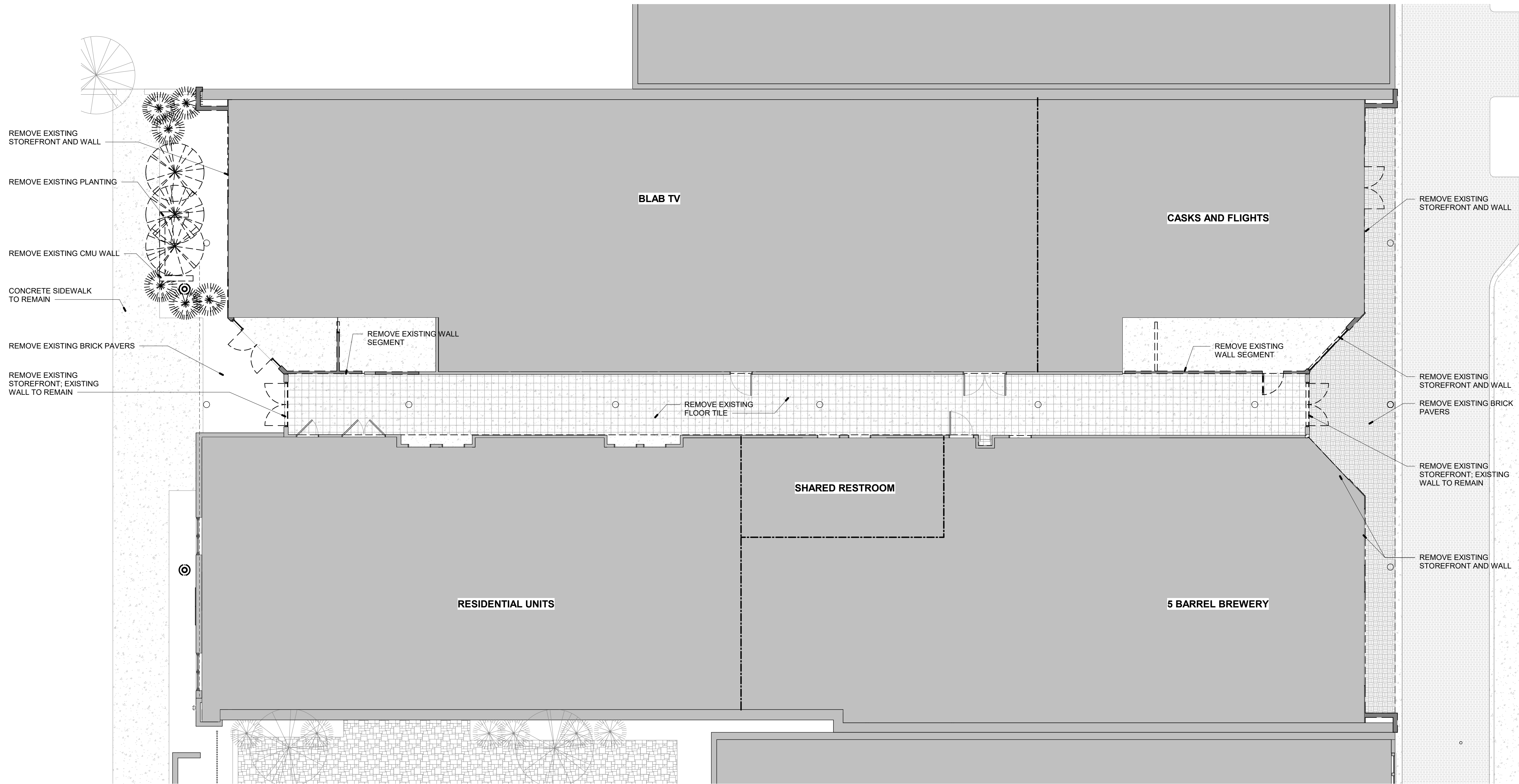
DRAWN BY:	CHECKED BY:
MH	JSS

ISSUE DATE:
01/30/20

REVISIONS	No.	Des.	Date
-----------	-----	------	------

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SHEET NO:
A202
PROJECT NO:
19028



1

FIRST FLOOR DEMO PLAN

1/8" = 1'-0"



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CONSTRUCTION**

121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: SRJ/MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

REVISIONS	No.	Des.	Date
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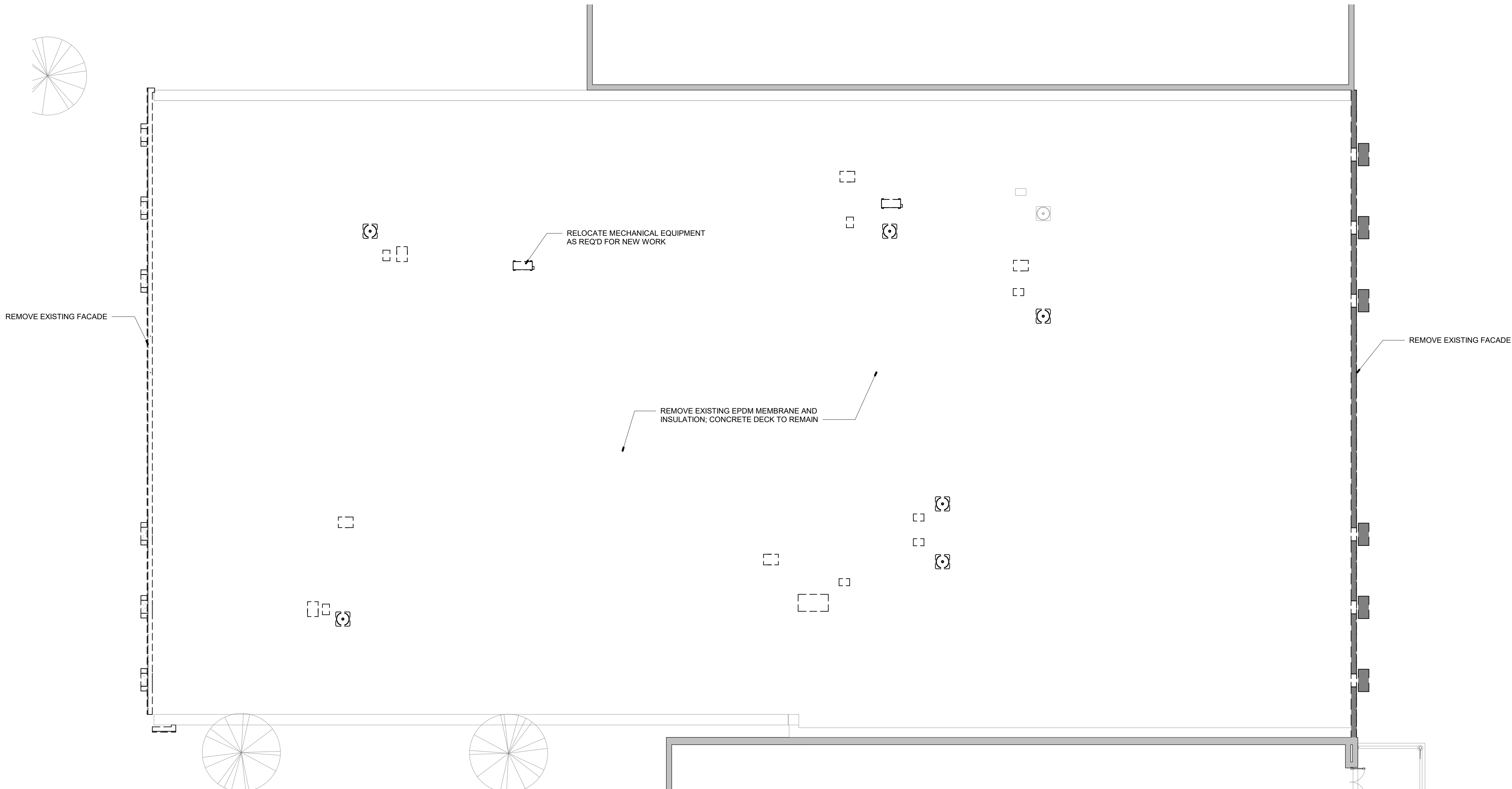
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**FIRST FLOOR
DEMO PLAN**

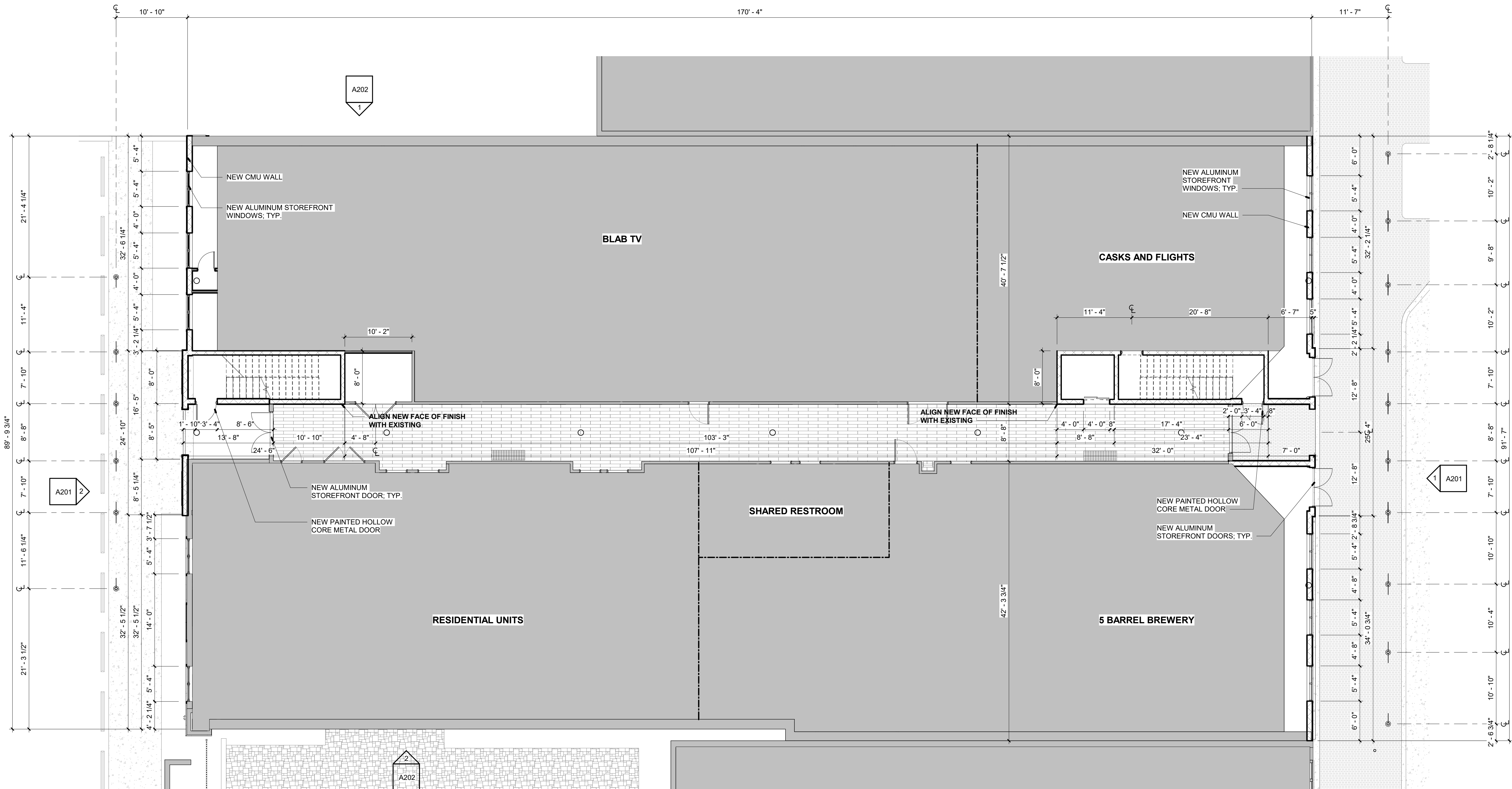
SHEET NO:

A001

PROJECT NO:
19028



1 ROOF DEMO PLAN
1/8" = 1'-0"



1 FLOOR PLAN
1/8" = 1'-0"



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121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

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CHECKED BY: JSS

ISSUE DATE:
01/30/20

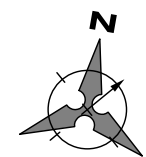
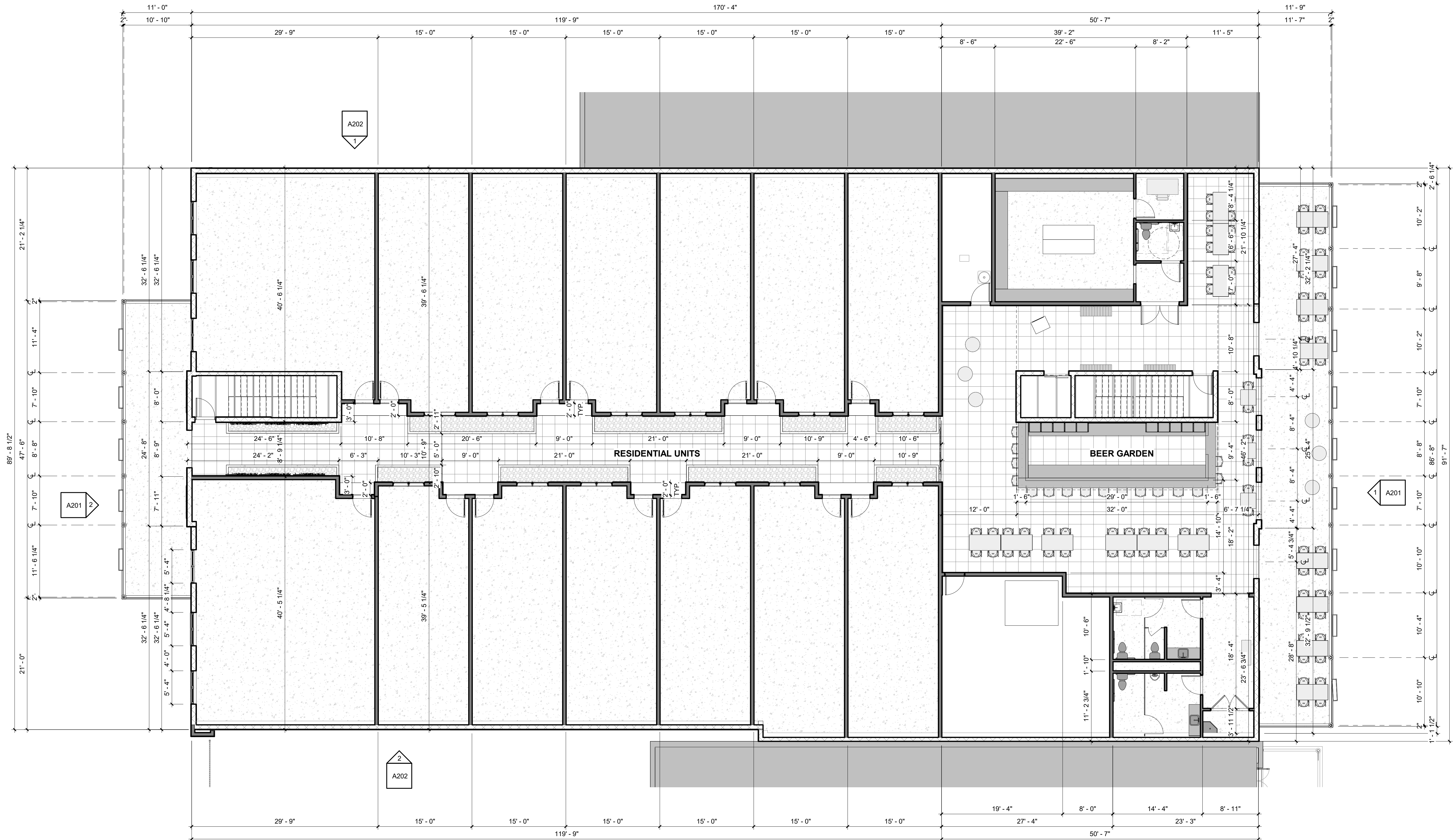
REVISIONS
No. Des. Date

SHEET TITLE:
**NEW WORK
FIRST FLOOR
PLAN**

SHEET NO:

A101

PROJECT NO:
19028



1

SECOND FLOOR PLAN

1/8" = 1'-0"



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CERTIFICATION

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CONSTRUCTION**

121 Palafax Place Phase 2

121 S. Palafax St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

REVISIONS
No. Des. Date

SHEET TITLE:
**NEW WORK
SECOND
FLOOR PLAN**

SHEET NO:

A102

PROJECT NO:
19028



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 14**
100 BLK S. Spring Street
GCD / C-2
New Construction

BACKGROUND

Rimmer Covington is requesting final approval for a 14-unit townhome development with rooftop terraces. The façade will consist of a contemporary mix of painted brick and FRC panels with battens and steel balconies. The roof materials will consist of galvalume with exposed rafters. The doors and windows will be contemporary with clear panels on the windows and dark gray panels on the garage doors. The color palette is neutral with Sherwin Williams “Individual White” on the brick, “Imagine” on the FR panels, and “Browse Brown” on the doors, downspouts, and rails.

This item received conceptual approval at the February 2018 ARB meeting and final approval at the March 2018 meeting. Since then, there have been several design modifications which require ARB approval to proceed with construction permitting. These items include design changes to the entranceways, patio areas, windows, and the addition of lighting.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS
Sec. 12-2-22 GCD

AGUADA CREEK TOWNHOMES

SPRING STREET AT INTENDENCIA STREET

PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

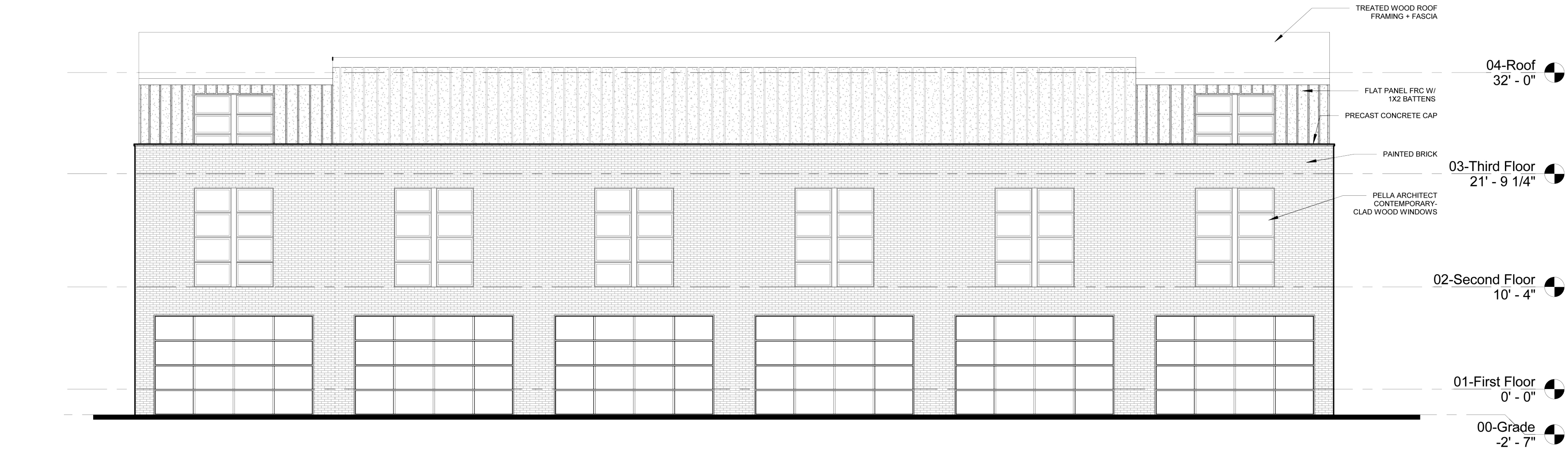
22 FEBRUARY 2018

Intendencia and Spring Street Exterior Elevations



INTENDENCIA STREET ELEVATION

SCALE: 1/8" = 1'-0"



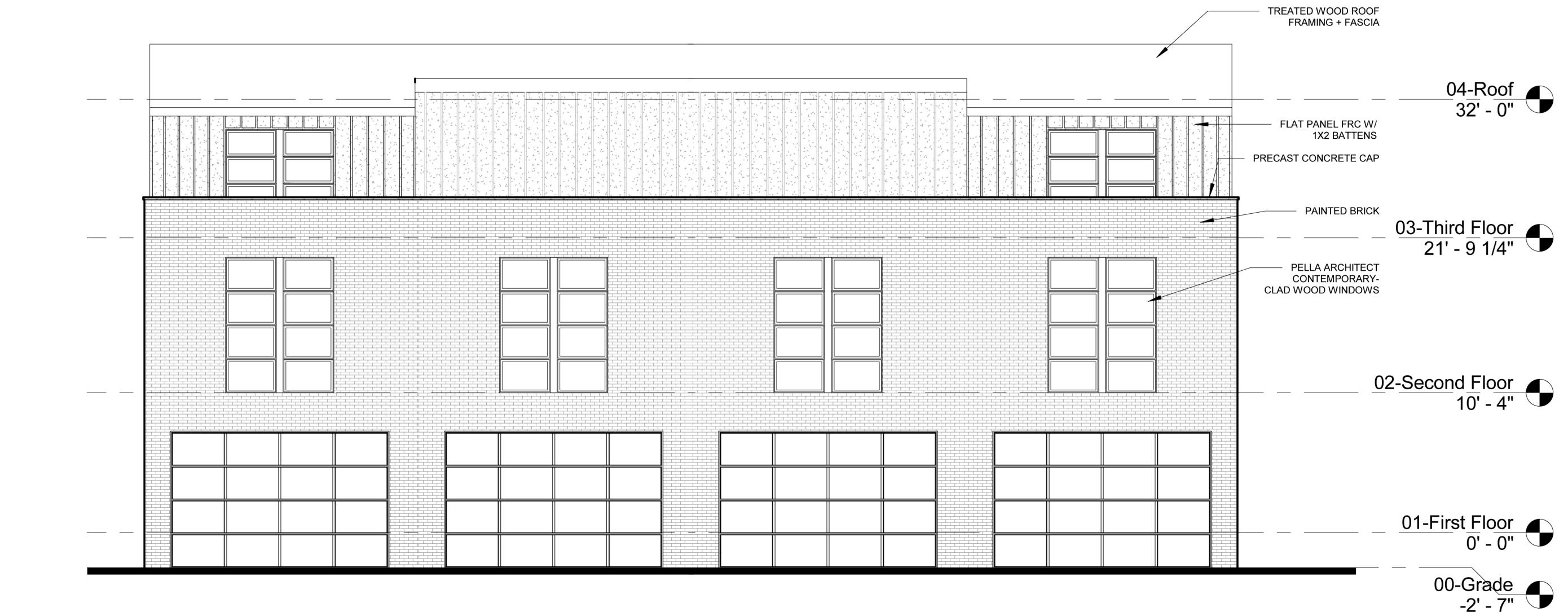
INTENDENCIA PARKING COURT ELEVATION

SCALE: 1/8" = 1'-0"



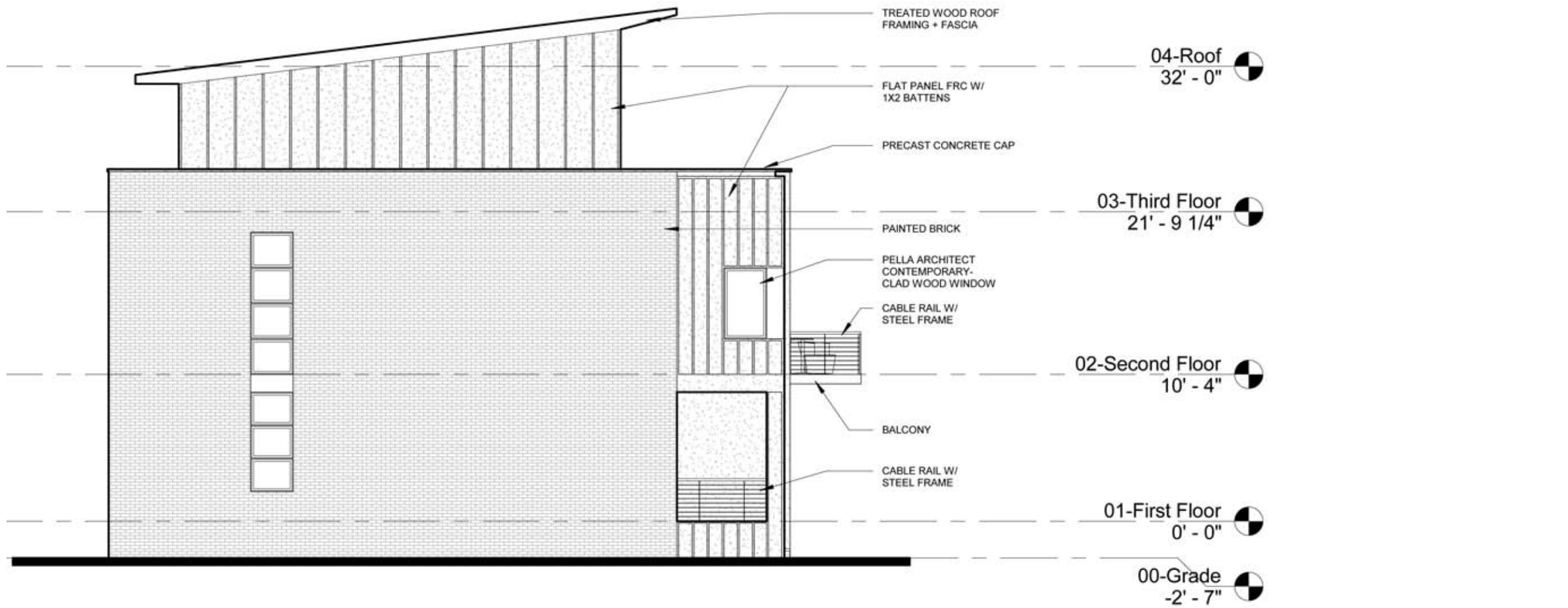
SPRING STREET ELEVATION

SCALE: 1/8" = 1'-0"



SPRING PARKING COURT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL END ELEVATION

SCALE: 1/8" = 1'-0"

AGUADA CREEK TOWNHOMES

SPRING STREET AT INTENDENCIA STREET

PENSACOLA, FLORIDA

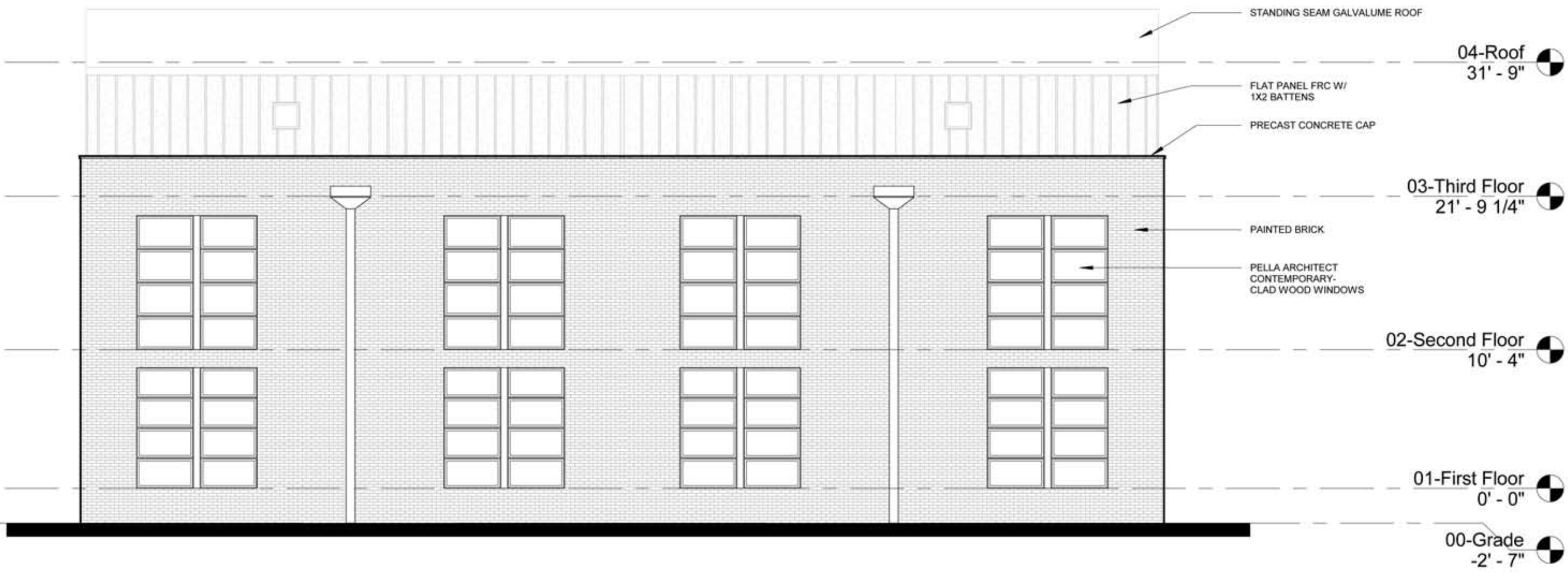
FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

22 FEBRUARY 2018

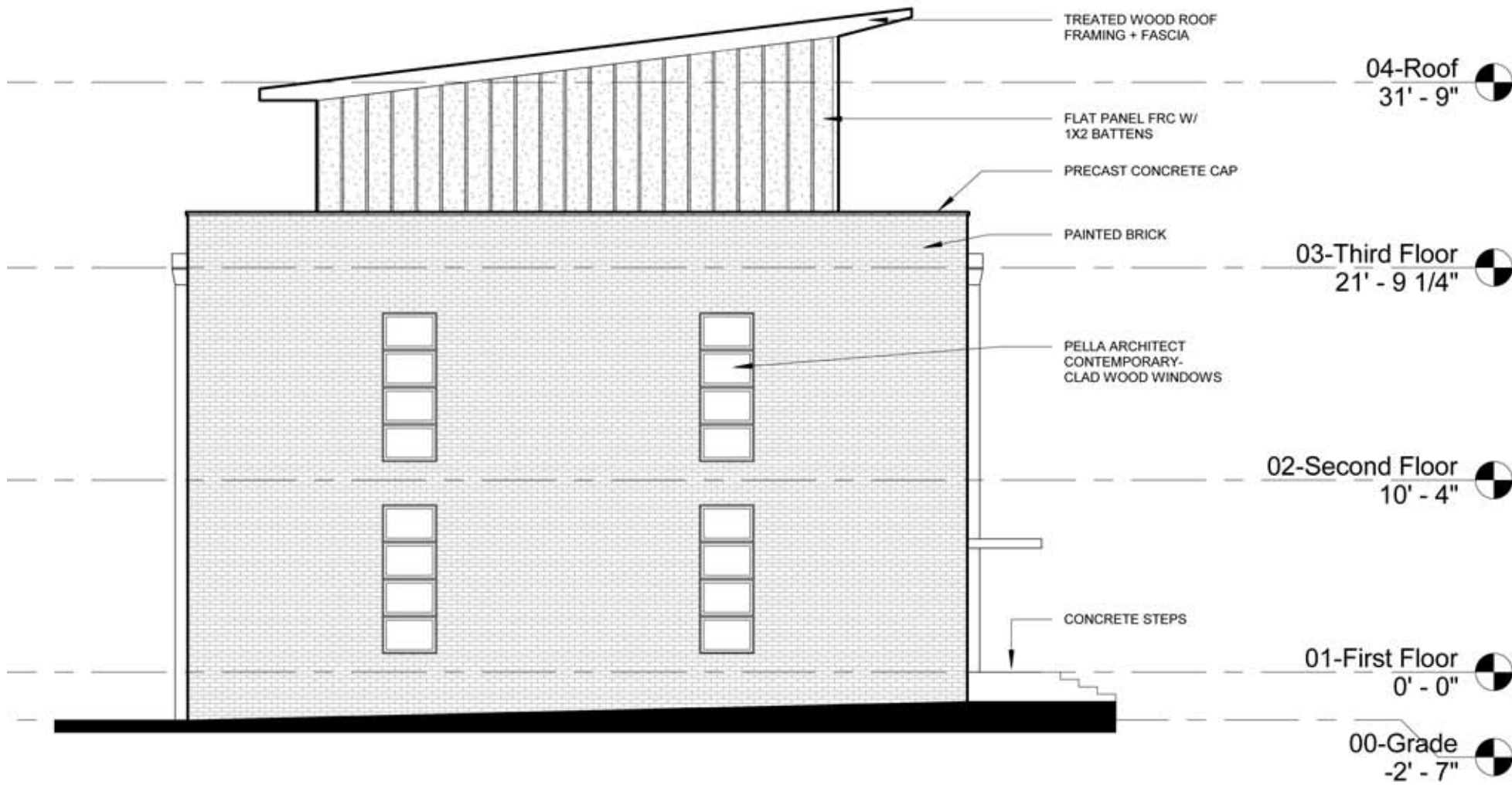
Interior Units Exterior Elevations



INTERIOR UNIT PARKING COURT ELEVATION (east)
SCALE: 1/8" = 1'-0"



INTERIOR UNIT GARDEN ELEVATION (west)
SCALE: 1/8" = 1'-0"



TYPICAL INTERIOR UNIT END ELEVATION (south)
SCALE: 1/8" = 1'-0"

100 BLK S. Spring Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 31 January 2020

Project Address: Aguada Creek Townhomes, 111 S. Spring Street. Pensacola FL 32502

Applicant: Rimmer Covington

Applicant's Address: 1215 E. Beach Blvd, Pass Christian MS, 39571

Email: rimmer@shaggys.biz **Phone:** 601.951.3981

Property Owner: Ahi Esta Inc.

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☒

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

14 unit townhome development, 3 stories, wood frame construction, brick and Hardi Board exterior cladding.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

31 Jan 2020

Date

*John Anderson, Architect
unbridged Architecture
for Mr. Rimmer Covington*

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521



1 00-FIRST FLOOR SITE
4.1 | 3/32" = 1'-0"



ALLISON H. ANDERSON FAIA
JOHN M. ANDERSON AIA
443 MAIN STREET
BAY ST LOUIS, MS 39520
228.467.1149

**AGUADA CREEK
TOWNHOMES**

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18-101.01

PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION
DOCUMENTS



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A Professional Limited Liability Company

The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

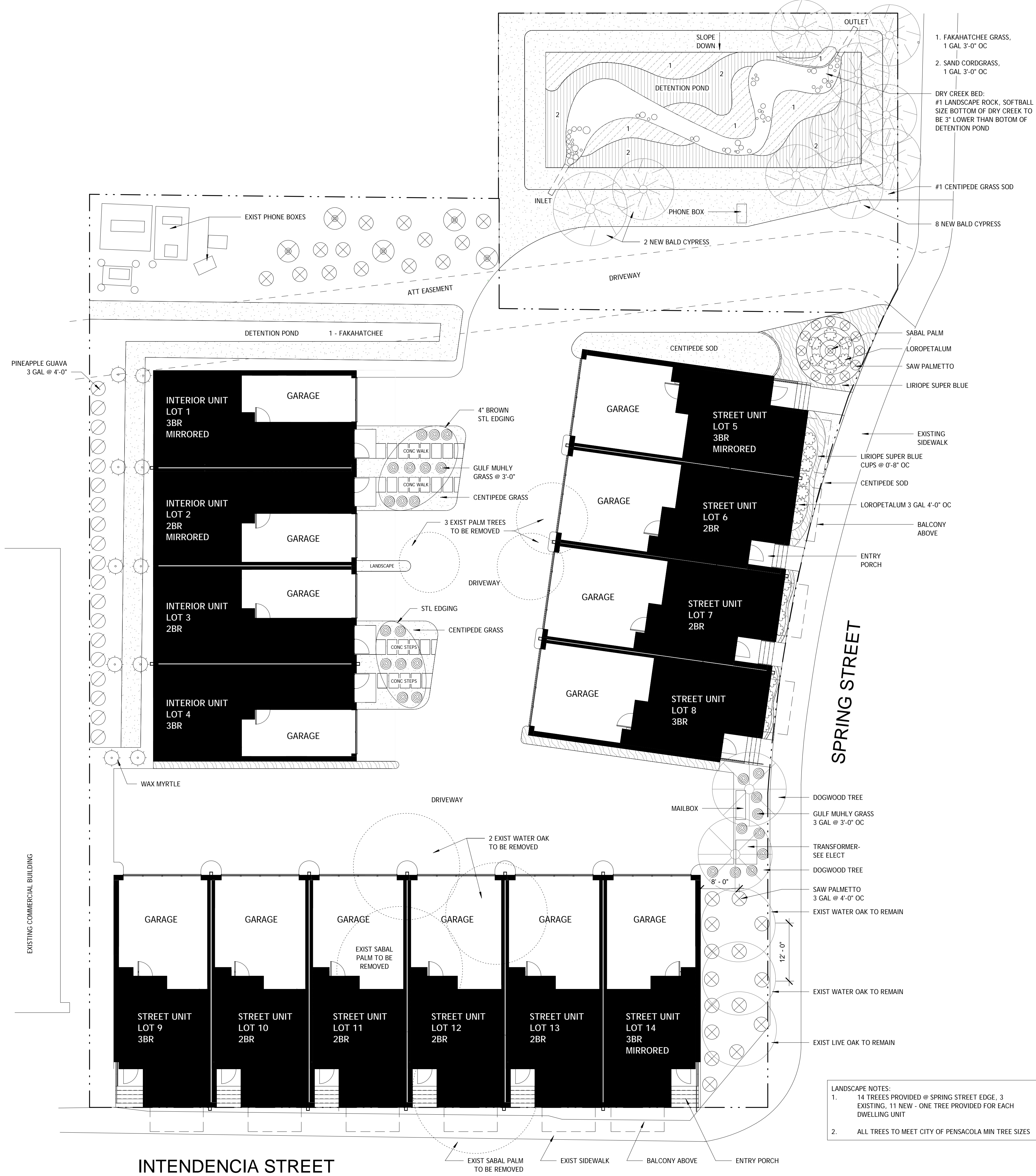
REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

REVISION 2
3 APRIL 2019
BUILDING DEPARTMENT COMMENTS

SITE PLAN

DRAWN BY | DPG



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Architecture

ALLISON H. ANDERSON FAIA
JOHN M. ANDERSON AIA

443 MAIN STREET
BAY ST LOUIS, MS 39520
228.467.1149

CENTIPEDE GRASS SOD

LIRIOPE SUPER BLUE

FAKAHATCHEE GRASS (1)

SAND CORDGRASS (2)

SABAL PALM

MEXICAN FAN PALM

SAW PALMETTO

LOROPETALUM

GULF MUHLY GRASS

WAX MYRTLE

PINEAPPLE GUAVA

DOGWOOD TREE

BALD CYPRESS TREE

AGUADA CREEK
TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18-101.01

PROJECT ISSUE DATE | 22 JUNE 2018

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REVISIONS

- 1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS
- 2 - 25 MAR 19 - LANDSCAPE REVISIONS

LANDSCAPE SITE PLAN

DRAWN BY | DPG



1 SPRING STREET ELEVATION
1/4" = 1'-0"



2 SPRING PARKING COURT ELEVATION
1/4" = 1'-0"

**AGUADA CREEK
TOWNHOMES**

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18-101.01

PROJECT ISSUE DATE | 22 JUNE 2018

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DOCUMENTS



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REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS



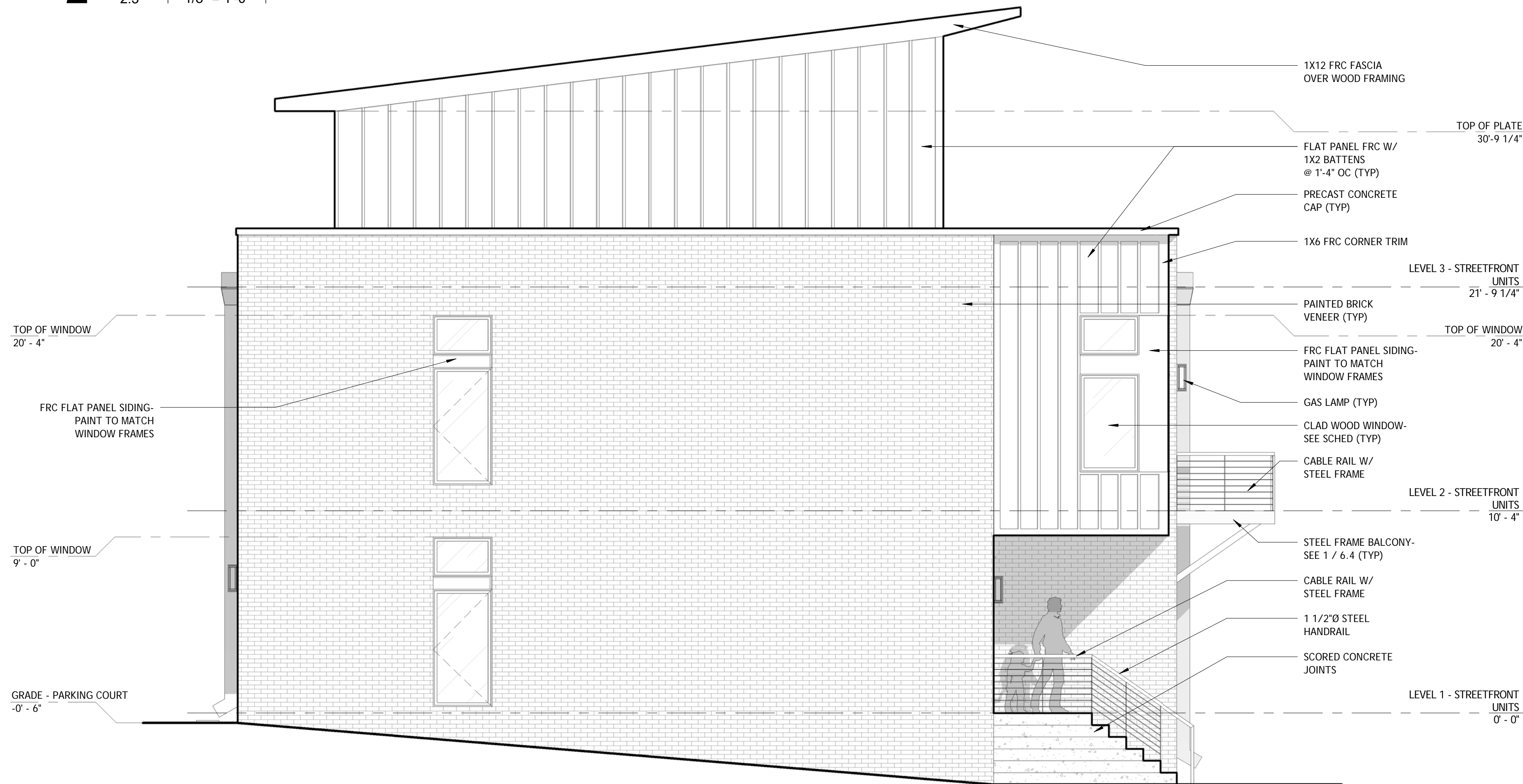
1 INTENDENCIA STREET ELEVATION

2.3 | 1/8" = 1'-0" |



2 INTENDENCIA PARKING COURT ELEVATION

2.3 | 1/8" = 1'-0" |



3 TYPICAL END ELEVATION

2.3 | 1/4" = 1'-0" |

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18-101.01

PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION
DOCUMENTS

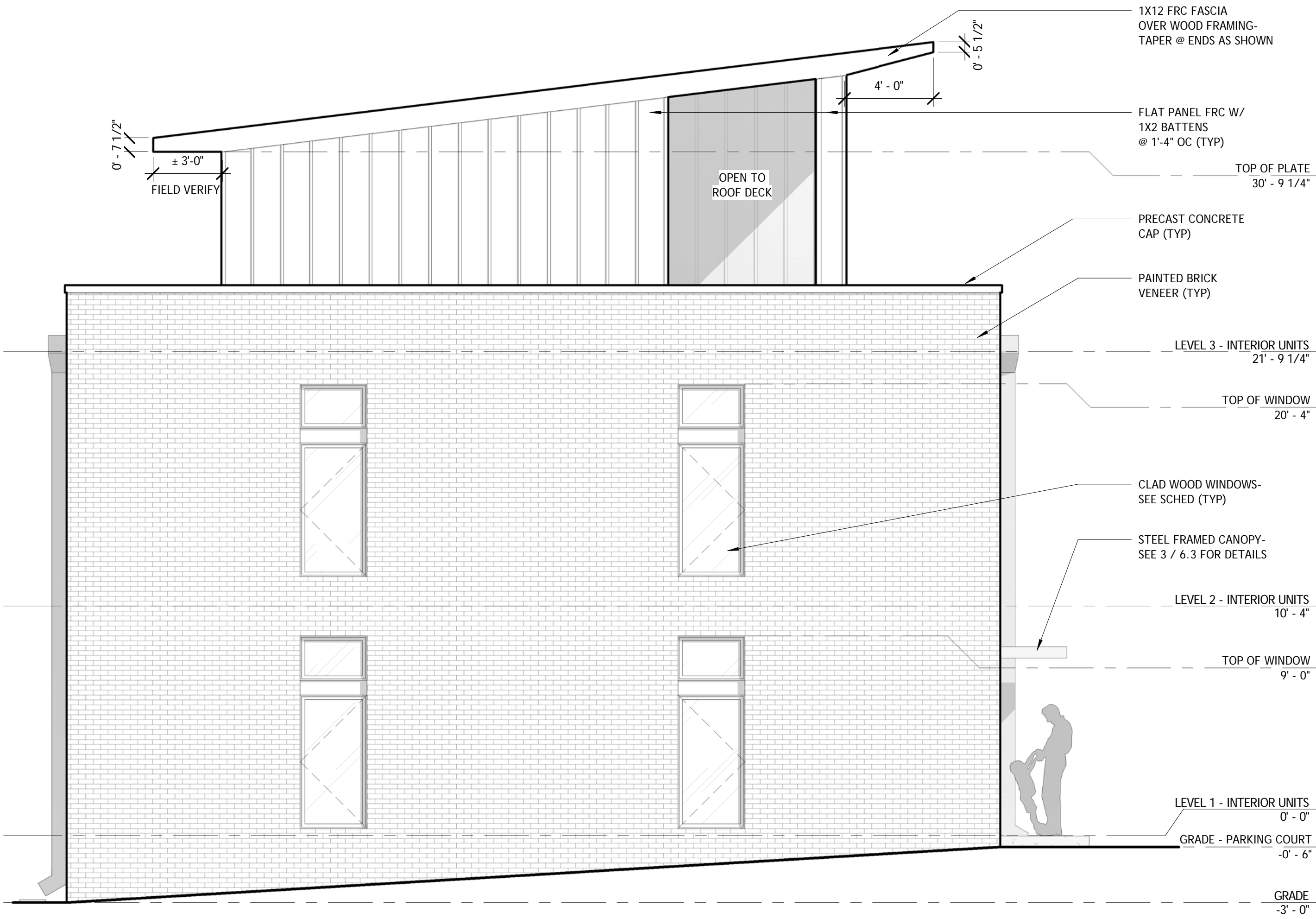
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REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS



1 TYPICAL INTERIOR UNIT END ELEVATION - SOUTH (NORTH SIM)
1/4" = 1'-0" |



ALLISON H. ANDERSON FAIA
JOHN M. ANDERSON AIA
443 MAIN STREET
BAY ST LOUIS, MS 39520
228.467.1149

AGUADA CREEK
TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01

PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION
DOCUMENTS



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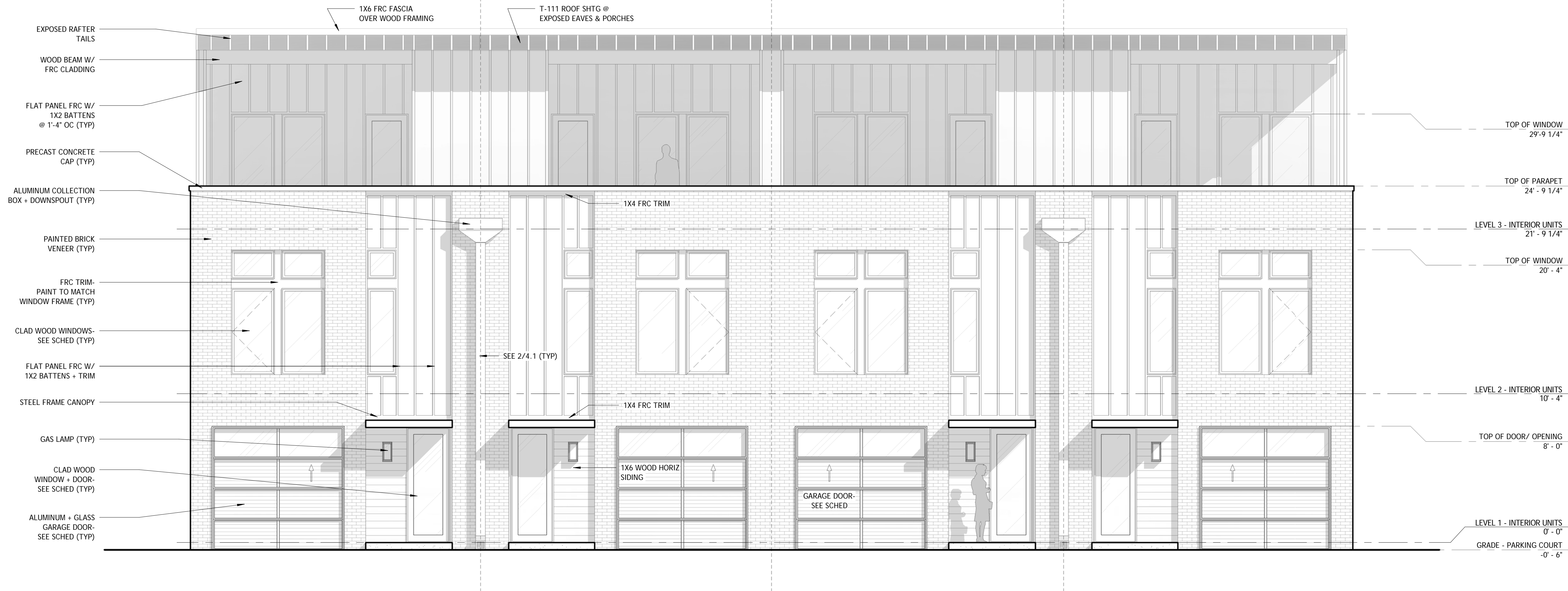
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REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS

DRAWN BY | DPG



1 INTERIOR UNIT PARKING COURT ELEVATION - EAST

1/4" = 1'-0" |



2 INTERIOR UNIT GARDEN ELEVATION - WEST

1/4" = 1'-0" |

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01

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The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS

DRAWN BY | DPG

4.1

SPRING STREET AT INTENDENCIA STREET PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

30 JANUARY 2020

MATERIALS SELECTIONS



WINDOW, DOOR,
DOWNSPOUT AND RAIL
PAINT COLOR

FRC PAINT COLOR

BRICK PAINT COLOR

PAINT COLORS



WOOD STAIN COLOR - TREATED PINE STAINED
TO MATCH MEDIUM LIGHT OAK



MAILBOX - CUSTOMIZE WITH
STREET ADDRESS



METAL ROOF FINISH
NATURAL GALVALUME

SPRING STREET AT INTENDENCIA STREET PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

30 JANUARY 2020

MATERIALS SELECTIONS



WINDOW TYPE - WINDSOR PINNACLE SERIES - GLASS TO BE INSULATING, LOW-E, CLEAR, FRAME COLOR BLACK OR SABLE

GARAGE DOORS - LIGHT GRAY FRAME, DARK GRAY PANELS, RECTANGULAR GLASS PANELS AT TOP, RAYNOR ASPEN SERIES



Hi Greg, sorry I forgot to include these with the original package. The wall mounted gas lamp will be the Flambeaux Lakeview, 16" high x approx. 7" wide x approx. 7" deep. See attached picture. The finish will be aged copper as seen in the Manhattan photo attached. Dark, almost black color to match windows and other metal elements.

Web page for the fixture below:

<https://www.flambeauxlighting.com/product/lakeview-bracket-mount/>

John M. Anderson AIA, LEED-AP





Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 15**
1217 E. Mallory Street 1/2
R-1AA / New City Tract
Historic Structures Demolition Review

BACKGROUND

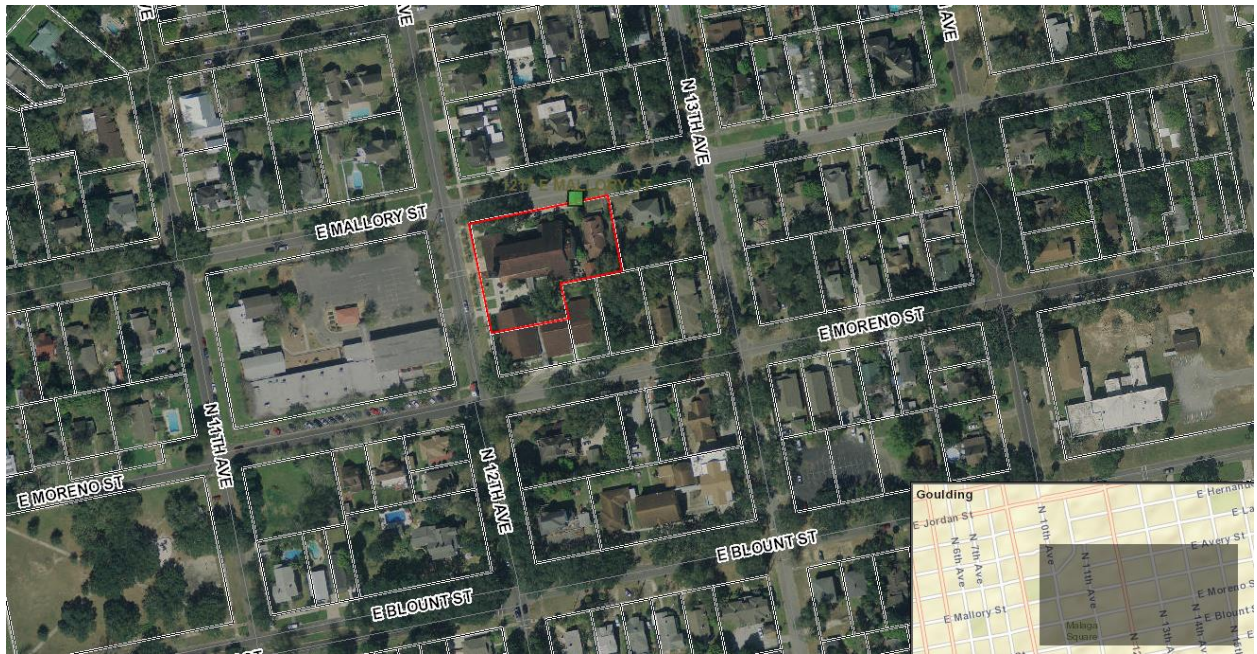
Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to their architecture and/or its association with persons significant to local, regional or national history. Per the ordinance, the Board is tasked with determining whether or not these structures meet criteria for listing in the National Register of Historic Places. If eligible and deemed historically significant by those criteria, the Board must determine if the buildings are subject to a demolition delay of no more than 60 days. To determine that a historically significant building is subject to the demolition delay, the ARB must find that, in the public interest, it is preferable that the building(s) be preserved or rehabilitated rather than demolished.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-5(E), *City of Pensacola's Historic Building Demolition Review*

1217 E. Mallory Street ½





City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Abbreviated Review for Historic Structure
Demolition**

Application Date: 1.24.2020

Project Address: 1217 E MALLORY STREET 1/2

Applicant: MORETTE COMPANY

Applicant's Address: _____

Email: _____ Phone: 850.432.4084

Property Owner: DIOCESE OF PENSACOLA / TALLAHASSEE
(If different from Applicant)

(Office Use)

Construction year 1903 per FMSF.

Construction Year: 1955, EFFECTIVE YEAR 1965

Current Use: USED BY CATHEDRAL OF THE SACRED HEART

Ownership History: DEED RESEARCH BEING INVESTIGATED AS OF 1.30.20
BY UWFHT

Meets NRHP criteria: POSSIBLY - SEE UWFHT'S COMMENTS BELOW 2.3.20
BASED ON CRITERIA 2 (SIG. PERSONS) + 3 (ARCHITECTURE)

Notes: MUST BE REVIEWED BY FULL BOARD PER
SEC. 12-12-5(E)(5)(b) PARAGRAPH 2 - 2.3.20

Historical significance determination based on National Register of Historic Places criteria (see Sec. 12-12-5(E)(5)(c)).
If applicable, provide photographs of all elevations and a completed FMSF Historical Structures Form.

This request was reviewed by the following member of Planning Staff.

[Signature]
ARB Secretary Signature

1.30.2020
Date

This request was reviewed by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

[Signature] 1-30-2020
UWFHT Representative Signature / Date

Comments: Architecture and connection
to significant person. Condition of House
is good and the property should be considered
for salvage or moved. send to ARB

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

ES 873

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DASH Form AAAA Rev 3/79

FLORIDA MASTER SITE FILE

Site Inventory Form

FDAHRM 802 ==
1009 ==

Site Name 1217 E. Mallory St. 830 == Site No. 9025-001-204
Address of Site: 1217 E. Mallory St. 820 ==
Instruction for locating On S side E Mallory between N 12th Ave 905 ==
and N 13th Ave 813 ==
Location: New City Tract 204 Lts 1-6 & w 10' 7 868 ==
subdivision name block no. lot no.
County: Escambia 808 ==
Owner of Site: Name: Church Diocese of Pensacola, Tallahassee ;
Address: (Rene H. Gracida, Bishop) PO Box 2248
Pensacola, Fl. 32503 902 ==
Type of Ownership private 848 == Recording Date 8011 832 ==
Recorder:
Name & Title: Hawley, Nancy; Wells, Merrily ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use residence 818 ==
838 ==
Check One Check One or More Present Use Church diocese 850 ==
Excellent 863 == ☒ Altered 858 == Dates: Beginning c+ 1903 844 ==
Good 863 == ☐ Unaltered 858 == Culture/Phase American 840 ==
☒ Fair 863 == ☒ Original Site 858 == Period 20th Century 845 ==
Deteriorated 863 == ☐ Restored () (Date: X) 858 ==
☐ Moved () (Date: X) 858 ==

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More
Continued (X) 878 == ☐ Transportation (X) 878 ==
Development (X) 878 == ☐ Fill (X) 878 ==
Deterioration (X) 878 == ☐ Dredge (X) 878 ==
Borrowing (X) 878 ==
Other (See Remarks Below): 878 ==

Areas of Significance: Architecture 910 ==

Significance: Built in 1903 by Pensacola contractor A.V. Clubbs, this house was owned by the Born family from 1903 to 1952, when it was purchased by the Catholic Church.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

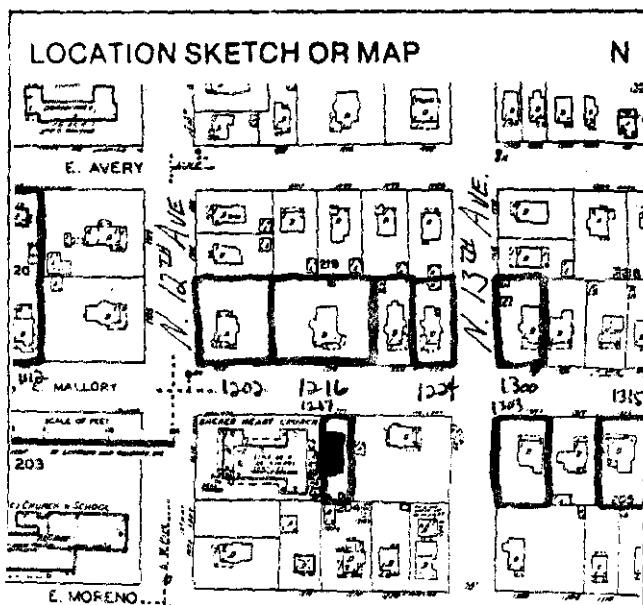
911 ==

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Frame Vernacular 964 = =
 PLAN TYPE rectangle 966 = =
 EXTERIOR FABRIC(S) Wood: novelty siding 854 = =
 STRUCTURAL SYSTEM(S) wood frame 856 = =
 PORCHES N/ 1-story veranda, 5-bay, curved roof
 942 = =
 FOUNDATION: pier: brick 942 = =
 ROOF TYPE: gable 942 = =
 SECONDARY ROOF STRUCTURE(S): roof dormer 942 = =
 CHIMNEY LOCATION: 2 center ridge; 1 east lateral slope 942 = =
 WINDOW TYPE: casement single light; DHS, 1/1, wood 942 = =
 CHIMNEY: Brick 882 = =
 ROOF SURFACING: composition shingle; butt 882 = =
 ORNAMENT EXTERIOR: - 882 = =
 NO. OF CHIMNEYS 3 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 1 954 = =
 Map Reference (Incl. scale & date) USGS 7.5 min, Pensacola, 1970
 809 = =

Latitude and Longitude:

Site Size (Approx. Acreage of Property):

LT 1



Township	Range	Section
2S	32 W	22

UTM Coordinates:

Zone Easting Northing

Photographic Records Numbers

HPPB P. 80.19-G.5

Contact Print

1217 E. Mallory Street – ¼

Front elevation, facing south



Front elevation, facing south



Front elevation, facing southeast



Front porch area, facing up and south



Front porch / entrance area, facing south



Front porch, facing west



Front porch, facing east



Front porch window



Northeast corner of house, facing southwest



East side of house, facing southwest



East side gable



South portion of east side, facing southwest



East elevation, facing northwest



Rear of structure, facing north



Rear of structure, facing northwest



Rear porch, facing west



Rear porch, facing west



South portion of west side, facing northeast



Southwest corner of house, facing northeast



North portion of west side, facing southeast

