



The regular meeting of the **City Planning Board** will be held on **Tuesday, February 11, 2020 at 2:00 P.M.** in the Hagler-Mason Conference Room, Mezzanine Level, City Hall, 222 West Main Street.

AGENDA

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
 1. **Vacation of Right-of-Way Request - Cevallos Street**
 2. **Preliminary Plat Review - Corta de La Rua**
 3. **License To Use Request - 2800 North 12th Avenue**
 4. **Discussion on the Proposed Amendment to the Tree Ordinance**
- Open Forum
- Adjournment

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



MINUTES OF THE PLANNING BOARD

January 14, 2020

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Kurt Larson, Board Member Grundhoefer, Board Member Murphy, Board Member Powell, Board Member Sampson

MEMBERS ABSENT: Board Member Wiggins

STAFF PRESENT: Assistant Planning Director Cannon, Planning Director Morris, Assistant City Attorney Lindsay, Senior Planner Statler, Transportation Planner-Complete Streets Ziarnek, Neighborhoods Administrator Powell, Network Engineer Johnston, Digital Media Coordinator Rose, Intern Mendillo

OTHERS PRESENT: Will Dunaway, Fred Gunther, Andrew Rothfeder, Diane Mack

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from December 10, 2019.
- **New Business:**
 1. **Consider Amendments to the City's Comprehensive Plan**
 2. **Discussion on the Proposed Amendment to the Tree Ordinance**

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Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:02 pm with a quorum present and explained the procedures of the Board meeting.

Approval of Meeting Minutes

Board Member Grundhoefer made a motion to approve the December 10, 2019 minutes, seconded by Board Member Powell, and it carried unanimously.

New Business

Consider Amendments to the City's Comprehensive Plan

Assistant Planning Director Cannon advised the City could amend the Comp Plan twice a year. Staff had spoken with the Florida Department of Economic Opportunity (DEO), and this was one of the first calendar amendments for this year to remove a certain level of specificity that is currently in the Comp Plan. She explained the Comp Plan should be a thin document, and since there was some duplication between the Comp Plan and the LDC, this would remove some of the confusion with that information in both places. Both documents explain how land is to be used and developed over time, with the Comp Plan being more about the future and long-term and the Land Development Code explains what is allowed in the present.

Chairperson Ritz explained the Future Land Use (FLU) was a master plan, looking at the broad picture across the city, whereas the LDC, specifically chapter 12, deals with all the specifics and techniques for changes. He noted some of the changes involved building heights, and the LDC had some of the same language. Removing the language from the Comp Plan, where it does not need to be, actually helps the Board in dealing with regular agenda items. Staff indicated today's consideration was for the strike-through language which was already in the LDC and was the tool used by the Board. Board Member Murphy questioned the items which were not a strike-through (numbers of dwelling units), and staff explained those would remain.

Mr. Gunther indicated this was not a criticism of the staff, the Mayor or Studer Properties, or the Maritime Park development, but he thought everyone should play by the same rules. Chairperson Ritz asked that the Maritime Park discussion be removed and to focus on the FLU map. Mr. Gunther indicated these changes made the WRD-1 changes comply with the Comp Plan, and if they had requested a variance, the Board would not have granted it; this effort really made them compliant. He felt this was not the proper way to accomplish this especially when only two changes were allowed per year. He explained the changes were not intended to grant exemptions for developers. He pointed out this Board's mandate was to ensure that the LDC was compliant with the Comp Plan. Chairperson Ritz noted that since Mr. Gunther's petition had gone to the State, he would have to let the legal process take its course. Staff confirmed that the WRD-1 zoning designation had been approved by Council.

Ms. Mack addressed residential districts on page 1-2 regarding building height limitation and was not opposed to the strike-through but asked that the Board consider adding language regarding scale within residential districts. She agreed there was a value to higher density buildings, but you do not want a 20-story building immediately adjacent to a one-story single family residence; she wanted to see some policy statement that building height for high density residential should not be excessively incompatible with adjacent shorter buildings. Chairperson Ritz explained there were places in Pensacola where single family structures were already built into commercial areas; he pointed out that he lives in a portion of East Hill which is zoned C-1. Ms. Mack advised she hoped there could be a discussion on incongruity.

Mr. Gunther explained the LDC was changed when it wasn't consistent with the Comp Plan, and it appeared to be done for one developer. Assistant Planning Director Cannon advised that the building height was changed along with other changes when the CRA Overlay was passed, and this was not just because of the WRD-1. Staff had made notes on items that would eventually need to be addressed when the time was right.

Mr. Rothfeder of Studer Properties stated they had completely followed the process and

procedures, and the research had been performed for a City-owned property. A private developer (Studer) has an option on that land which would expire in about 60 days, and they had no desire in investing or developing those parcels. They had hired DPZ and Jeff Speck to give their opinions for a mixed use property, and developers were not interested in investing without regulations in place to create predictability in the development. He pointed out exceptions were made when the CRA Overlay was developed, and one property owner had asked that his parcel be carved out.

Mr. Dunaway wanted to point out again that the Comp Plan revisions affected more districts than the WRD-1. The EAR report for the Comp Plan adjustment went through in 2019, and Council at that point had not made a determination on what they wanted to do with this parcel. The DEO had been informed and had no issues with the changes. He pointed out that the Comp Plan was the guiding principles. Council had put forth plans, and we were now getting caught up in the process. He emphasized these changes affected all districts. Chairperson Ritz stressed the Comp Plan was a far broader document and was city-wide. Board Member Grundhoefer indicated this was not superseding or eliminating the LDC which has its own restrictions. Staff also explained there were special districts which involved the Planning and Architectural Review Board as an extra layer for evaluation.

Mr. Gunther stated he had no problem with the way the Studer Properties proceeded but had a problem with how the City proceeded in changing the LDC; he felt it was not consistent with the Comp Plan. Chairperson Ritz advised he would let the petition under legal review take its course, but felt the changes were a broader application for city-wide changes and was in favor of this change. **Board Member Powell made a motion to approve, seconded by Board Member Sampson, and the motion carried unanimously.**

Discussion on the Proposed Amendment to the Tree Ordinance

Chairperson Ritz advised this was a discussion item with no vote at this meeting. Board Member Murphy removed herself from the Board discussion and approached the podium to give an update. She explained she would be going to Gainesville and would be in contact with several university professors, an arborist and others involved in the tree program for Gainesville. She would be working on getting these people to Pensacola for one week to participate in the workshops. She indicated because of the way the Planning Board workshops were set up, she did not feel this would give the best opportunity for public involvement. She distributed an updated tree list from Gainesville containing the non-native species.

Chairperson Ritz was curious on how to invite stakeholders to the workshops. Board Member Murphy explained having personnel from Gainesville would create excitement, and her organization would help facilitate this as an outside workshop and get a variety of information to bring back to the Board to create one document. Chairperson Ritz suggested giving a presentation to the Board under the discussion position with notification to the public; the public and the Board would be able to ask questions in this setting. Board Member Murphy felt the public was intimidated by the Board's setup versus being able to casually discuss the item in a workshop. Chairperson Ritz advised the Board would not be able to participate since that would be a future agenda item coming before the Board. Assistant Planning Director Cannon explained the presentation to the Board would take place at the culmination of the charrettes/workshops; the Board would then be making a recommendation to Council. She recommended staying with the regularly scheduled

Board meetings for the best public turnout. Chairperson Ritz stated from his experience, late afternoon meetings were more heavily attended. Staff recommended getting on the existing stakeholders' regularly scheduled meetings. Board Member Grundhoefer indicated DPZ had summarized the results from their charrettes and brought the presentation to the Board. Assistant City Attorney Lindsay advised Board members could attend the charrettes at the same time but could not speak to one another about the item. Board Member Murphy stated she would have more information at the next Board meeting to identify who was coming and how the charrettes were coming together.

Ms. Mack felt we were going to have a nice bit of education about this issue. She offered the Board a flyer indicating the Studer Group was bringing in a national caliber expert on tree ordinances and green infrastructure. This CivicCon presentation was tentatively scheduled for February 10 but could be changed to March. The private workshop the day after would be from 4 to 6 p.m.

Mr. Dunaway, Chairman of CivicCon, wanted to make sure it was understood that CivicCon was brought to the community by the Studer Group and the Pensacola News Journal, and they encouraged everyone to participate.

Open Forum – None

Adjournment – With no further business, Chairperson Ritz adjourned the meeting at 3:00 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon
Secretary to the Board



MEMORANDUM

TO: Planning Board Members

FROM: Cynthia R. Cannon, AICP, Assistant Planning Director

DATE: February 4, 2020

SUBJECT: Request for Vacation of Right-of-Way – 400 Block – Cevallos Street

A request has been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. The purpose is to restore the alignment of the property boundary with the existing sidewalk along Cevallos Street.

This request has been routed through the various City departments and utility providers and their comments are attached for your review.

Review Routing
Project: Cevallos ROW Vacation

Meeting: February 11, 2020
Comments Due: January 28, 2020

Department:	Comments:
FIRE	No objections.
PW/E	No objections.
InspSvcs	No objections.
ESP	Pensacola Energy has natural gas main within the north west R/W of Cevallos Street at the 400 Blk. While utility locates indicate the gas main is under the sidewalk, it would be best to reserve a utility easement for Pensacola Energy through this area.
ECUA	ECUA's facilities are located outside of the area requested to be vacated, therefore, ECUA has no comment or objections to the vacation request.
GPW	We do have underground primary running down that curve so we will need to retain our rights for that
ATT	No objections.

Cynthia Cannon

From: ST PIERRE, ROB A <RS634Y@att.com>
Sent: Wednesday, January 22, 2020 3:41 PM
To: Cynthia Cannon
Cc: brian@smp-arch.com
Subject: [EXTERNAL] FW: [EXTERNAL] Vacation of ROW - 400 Block - Cevallos St.
Attachments: Cevallos ROW Vacation Application.pdf

Cynthia,

AT&T has no objection to this Vacation of ROW.

Thanks,

Rob St. Pierre
Manager - OSP Plng & Eng
Technology Operations

AT&T
605 W Garden St. Pensacola, FL 32502
o 850.436.1701 | rs634y@att.com
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From: FENNER, KARL L
Sent: Wednesday, January 22, 2020 1:23 PM
To: ST PIERRE, ROB A <RS634Y@att.com>
Cc: SAUERS, BRAD <bs5403@att.com>
Subject: FW: [EXTERNAL] Vacation of ROW - 400 Block - Cevallos St.

Karl Fenner
Area Manager – OSP Plng and Eng
Technology Operations

AT&T
605 W Garden St, Pensacola, FL 32502
o 850.436.1485 | kf5345@att.com

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Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Thursday, January 30, 2020 1:42 PM
To: Cynthia Cannon
Subject: RE: CORRECTED - Cevallos St Vacation of ROW Application

Hi Cynthia,

Sorry about that! I must've missed this replying to this one. ECUA's facilities are located outside of the area requested to be vacated, therefore, ECUA has no comment or objections to the vacation request.

Thanks!

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Wednesday, January 29, 2020 12:31 PM
To: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Subject: FW: CORRECTED - Cevallos St Vacation of ROW Application

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Andre,

My apologies if I missed your comments on this one! Can you send again; I can't seem to find them.

Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



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Cynthia Cannon

From: Diane Moore
Sent: Tuesday, January 28, 2020 4:20 PM
To: Cynthia Cannon
Subject: Re: CORRECTED - Cevallos St Vacation of ROW Application

Cynthia,
Pensacola Energy has natural gas main within the north west R/W of Cevallos Street at the 400 Blk. While utility locates indicate the gas main is under the sidewalk, it would be best to reserve a utility easement for Pensacola Energy through this area.

Let me know if you need anything else,
Diane

Sent from my iPhone

On Jan 23, 2020, at 10:15 AM, Cynthia Cannon <CCannon@cityofpensacola.com> wrote:

Good Morning All,

Please note the new survey which identifies the area to be vacated along Cevallos St and the adjustment to the property boundary. The email I previously sent only included the original property survey.

Please don't hesitate to call with questions.

Thank you!

Cynthia Cannon, AICP
Assistant Planning Director
Visit us at <http://cityofpensacola.com><<http://cityofpensacola.com/>>
222 W Main St.
Pensacola, FL 32502
Office: 850.435-1670
ccannon@cityofpensacola.com<<mailto:youremail@cityofpensacola.com>>

[Pensacola-Logotype-w-Seal-Tag]

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<Cevallos ROW Vacation Application.pdf>

<Cevallos St ROW Vacation.jpg>

<Street view.jpg>

Cynthia Cannon

From: Annie Bloxson
Sent: Monday, January 27, 2020 7:48 AM
To: Cynthia Cannon
Subject: RE: CORRECTED - Cevallos St Vacation of ROW Application

Good Morning,

I do not oppose to the area of vacation on Cevallos Street.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



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From: Cynthia Cannon

Sent: Thursday, January 23, 2020 10:15 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

Subject: CORRECTED - Cevallos St Vacation of ROW Application

Cynthia Cannon

From: Johnson, Kenneth <Kenneth.Johnson2@nexteraenergy.com>
Sent: Thursday, January 23, 2020 9:16 AM
To: Cynthia Cannon; Simmons, Kellie
Subject: RE: [EXTERNAL] Vacation of ROW - 400 Block - Cevallos St.

Cynthia,

Thanks, that's what I was assuming.

We do have underground primary running down that curve so we will need to retain our rights for that

Let me know if you have any further questions

Thanks

Kenneth Johnson
Land Agent for Gulf Power
(850)429-2617
Kenneth.johnson2@nexteraenergy.com



From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Thursday, January 23, 2020 8:58 AM
To: Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>
Cc: Johnson, Kenneth <Kenneth.Johnson2@nexteraenergy.com>
Subject: RE: [EXTERNAL] Vacation of ROW - 400 Block - Cevallos St.

Kellie,

I should have included this the first time!! It's highlighted in yellow. Feel free to call if you have questions.

Thank you,

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



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Cynthia Cannon

From: Jonathan Bilby
Sent: Thursday, January 23, 2020 11:29 AM
To: Cynthia Cannon
Subject: RE: Vacation of ROW - 400 Block - Cevallos St.

No comments or issues from me.
Thanks,
Jonathan

Jonathan Bilby, MCP, CFM
Inspection Services Administrator
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435.1748
Fax: 850.595.1464
jbilby@cityofpensacola.com

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From: Cynthia Cannon
Sent: Wednesday, January 22, 2020 1:15 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Vacation of ROW - 400 Block - Cevallos St.

Good Afternoon All,

Please review and comment on the attached request before the Planning Board for a Vacation of Right of Way application. The applicant is requesting to align the property line along the northern property boundary for property located on the 400 Block of Cevallos Street.

Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon

From: Derrik Owens
Sent: Wednesday, January 22, 2020 4:20 PM
To: Cynthia Cannon
Cc: Brad Hinote; Ryan J. Novota
Subject: RE: Vacation of ROW - 400 Block - Cevallos St.

PW&F has no issue with the subject request...

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Wednesday, January 22, 2020 1:15 PM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Vacation of ROW - 400 Block - Cevallos St.

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Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

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Office: 850.435-1670

ccannon@cityofpensacola.com



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VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00
Rehearing/Rescheduling Planning Board: \$250.00
Rehearing/Rescheduling City Council: \$500.00

Applicant Information:

Name: BRIAN SPENCER / SHIP ARCHITECTURE

Address: 40 S. PALAFOX

Phone: 850-712-2617 Fax: N/A

Email: brian@ship-arch.com

Property Information:

Owner Name: ERIC & PEG NICKELSEN

Location/Address: 400 BLOCK / CEVALLOS ST.

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of vacation of city right of way/comments:

CREATE CONSISTENT RELATIONSHIP/CONDITION W/ ABUTTING PROPERTY (NORTHERN NEIGHBORING PROPERTY) AND TO RESTORE ALIGNMENT W/ EXISTING CURVE SIDEWALK ~~BE~~ ALONG RADIUS/CURVE STREET CONDITION.

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this vacation request and that no refund of these fees will be made. I have reviewed a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant: [Handwritten Signature]
(Owner of Property or Official Representative of Owner)

Date: 1/21/20

FOR OFFICE USE ONLY

District: _____

Date Received: _____

Case Number: _____

Date Postcards mailed: _____

Planning Board Date: _____

Recommendation: _____

Council Date: _____

Council Action: _____



REBOL-BATTLE & ASSOCIATES

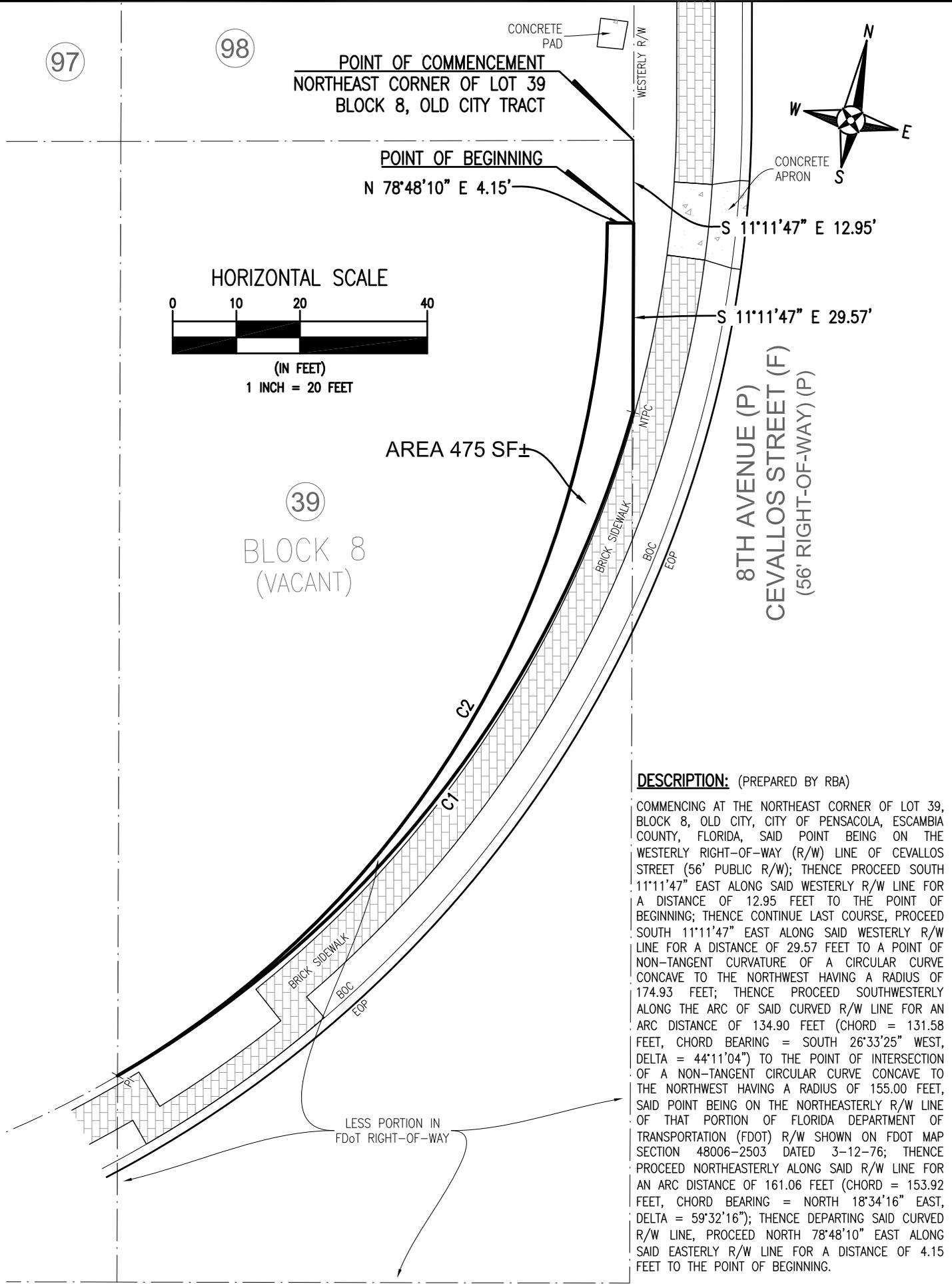
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB 7916

DESCRIPTION AND SKETCH

PREPARED FOR: SMP ARCHITECTURE

REQUESTED BY: SMP ARCHITECTURE

PROJECT:	2017.196
FIELD SURVEY DATE:	N/A
SECTION:	46
TOWNSHIP:	2 SOUTH
RANGE:	30 WEST
COUNTY:	ESCAMBIA



DESCRIPTION: (PREPARED BY RBA)

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56' PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING = SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

ZARRAGOSSA STREET
(36.5' RIGHT-OF-WAY) (CA)

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA ANGLE	CHORD	CHORD BEARING
C1	134.90'	174.93'	44°11'04"	131.58'	S 26°33'25" W
C2	161.06'	155.00'	59°32'16"	153.92'	N 18°34'16" E

CHECKED BY:	DFS
SCALE:	1" = 20'
F.B. N/A	PG N/A
DRAWN BY:	BTH
SHEET:	1 OF 1

CEVALLOS
PENACOLA HISTORIC DISTRICT
ZARAGOZA ST

68





MEMORANDUM

TO: Planning Board Members

FROM: Cynthia R. Cannon, AICP, Assistant Planning Director

DATE: February 4, 2020

SUBJECT: Preliminary Site Plan Approval - 117 East La Rua Street – Cort de La Rua

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St.

The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel.

- Per Sec. 12-2-76: Subdivision of 5 or more lots constitutes a major subdivision
- Setback requirements: 8" front, 5' side, 25' rear
- Building height max: 45'
- Lot coverage: 75% max
- There are no wetland areas, protected trees or heritage trees on the property

The combined preliminary/final plat has been routed through the various City departments and utility providers. The comments received to date have been provided within your packet.

Review Routing
Project: Court de LaRua

Meeting: February 11, 2020
Comments Due: January 28, 2020

Department:

Comments:

FIRE	No objections.	
PW/E	See attached report from PGA Associates	
InspSvcs	No objections.	
ESP	No objections.	
ECUA	ECUA has no specific concerns or objections to the Corte de La Rua subdivision as described in the request for comments. Once the homes are built, owners can contact ECUA Customer Service to set up a standard new residential service for sewer and water.	
GPW	No comments.	
ATT	No objections.	

Cynthia Cannon

From: Annie Bloxson
Sent: Friday, January 31, 2020 4:29 PM
To: Cynthia Cannon
Subject: Re: Corte de LaRua Subdivision Package

Good Afternoon,

I do not have any opposes at this time. Thank you.

Respectfully,

Chief Bloxson

Sent from my Verizon, Samsung Galaxy Tablet

----- Original message -----

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Date: 1/31/20 4:04 PM (GMT-06:00)
To: Annie Bloxson <ABloxson@cityofpensacola.com>
Subject: FW: Corte de LaRua Subdivision Package

Annie,

Just for the record, do you have any comments on this subdivision?

Thanks!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



FLORIDA'S FIRST & FUTURE

Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by

Corte De La Rua Subdivision Comments

1. *Need boundary Survey*
2. *State bearing basis*
3. *Wrong section and township*
4. *Add City of Pensacola in the title block and East King Tract*
5. *Prepare metes and bounds description of overall, show POC & POB*
6. *Bearings and distances around parent tract*
7. *What is Parcel "A"? It needs to be identified*
8. *Add legend for symbols and abbreviations*
9. *Need topo survey*
10. *Title opinion*
11. *Legal description does not describe entire parcel*
12. *Show parent parcel bearings and distances, label and show historic lot lines*

Cynthia Cannon

From: Jonathan Bilby
Sent: Thursday, January 16, 2020 4:08 PM
To: Cynthia Cannon
Subject: RE: Corte de LaRua Subdivision Package

No comments from me.

Jonathan Bilby, MCP, CFM
Inspection Services Administrator
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435.1748
Fax: 850.595.1464
jbilby@cityofpensacola.com

PENSACOLA

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From: Cynthia Cannon
Sent: Monday, January 13, 2020 9:23 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Corte de LaRua Subdivision Package

Good Morning All,

Please review and comment on the attached request before the Planning Board to develop the Corte de LaRua subdivision. All comments must be received by close of business on **Tuesday January 28, 2020**.

Thank you!

Cynthia Cannon, AICP
Assistant Planning Director
Visit us at <http://cityofpensacola.com>

Cynthia Cannon

From: Diane Moore
Sent: Monday, January 27, 2020 10:44 AM
To: Cynthia Cannon
Subject: RE: Corte de LaRua Subdivision Package

Cynthia,
Pensacola Energy has no comments on the Corte de LaRua package.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

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For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

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From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, January 13, 2020 9:23 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Corte de LaRua Subdivision Package

Good Morning All,

Please review and comment on the attached request before the Planning Board to develop the Corte de LaRua subdivision. All comments must be received by close of business on **Tuesday January 28, 2020**.

Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, January 28, 2020 7:54 AM
To: Cynthia Cannon
Cc: Mike Hamlin
Subject: RE: Corte de LaRua Subdivision Package

Good morning Cynthia,

ECUA has no specific concerns or objections to the Corte de La Rua subdivision as described in the request for comments. Once the homes are built, owners can contact ECUA Customer Service to set up a standard new residential service for sewer and water.

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Monday, January 13, 2020 9:23 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Corte de LaRua Subdivision Package

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Morning All,

Please review and comment on the attached request before the Planning Board to develop the Corte de LaRua subdivision. All comments must be received by close of business on **Tuesday January 28, 2020**.

Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Cynthia Cannon

From: ST PIERRE, ROB A <RS634Y@att.com>
Sent: Wednesday, January 22, 2020 12:46 PM
To: Cynthia Cannon
Subject: [EXTERNAL] FW: Corte de LaRua Subdivision Package
Attachments: Corte de LaRua subdivision Package.pdf

Cynthia,

AT&T has no objection to this subdivision development.

Thanks,

Rob St. Pierre
Manager - OSP Plng & Eng
Technology Operations

AT&T
605 W Garden St. Pensacola, FL 32502
o 850.436.1701 | rs634y@att.com
MOBILIZING **YOUR** WORLD

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From: FENNER, KARL L
Sent: Monday, January 13, 2020 10:54 AM
To: SAUERS, BRAD <bs5403@att.com>; ST PIERRE, ROB A <RS634Y@att.com>
Subject: FW: Corte de LaRua Subdivision Package

Brad/Rob,
See attached. It does not appear they are taking R/W.

Karl Fenner
Area Manager – OSP Plng and Eng
Technology Operations

AT&T
605 W Garden St, Pensacola, FL 32502
o 850.436.1485 | kf5345@att.com

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GECI & ASSOCIATES, INC.
E N G I N E E R S

December 20th, 2019

“Hand Delivered”

Ms. Leslie Statler
Planning Department
City of Pensacola
222 W Main Street
Pensacola, Florida 32502

RE: **Corte de La Rua**
Preliminary Plat & Construction Plan Review
G&A Reference No. 32501

Dear Leslie:

On behalf of aDoor Development LLC, we are submitting Corte de La Rua for review. With this letter, please find the following items:

1. One (1) signed Application for Subdivision Plat Approval
2. One (1) signed & notarized Power of Attorney
3. Two (2) signed & sealed copies of the Construction Plans
4. Eleven (11) signed & sealed copies of the Preliminary Plat
5. Two (2) signed & sealed copies of the Stormwater Management Plan
6. One (1) signed & sealed copy of the Geotech Report
7. Two (2) copies of the Boundary & Topographic Survey
8. One (1) check in the amount of \$2,000
9. One (1) CD containing all information listed above

If you need any additional information, please feel free to give us a call.

Sincerely,

GECI AND ASSOCIATES ENGINEERS, INC.

A blue ink signature of Clint Geci, consisting of a large, stylized 'C' followed by a series of loops and a long horizontal stroke.

Clint Geci, PE
Vice President

Cc: Mr. Brad Hinote
Mr. Austin Tenpenny
Ms. Kacee Bidnick



SUBDIVISION PLAT

Please Check Application Type:

- Minor Subdivision (< 4 lots) Preliminary & Final Plat Submission Fee: \$2,000.00
 - Subdivision (> 4 lots) Preliminary Plat Submission Fee: \$1,000.00 + \$25/lot
 - Final Plat Submission Fee: \$1,500.00 + \$25/lot
- [Resubmittal: 1/2 the initial fee; Rescheduling to Planning Board / City Council: \$250.00]

Applicant Information

Name: Geci & Associates Engineers, Inc.

Address: c/o - Clint Geci
2950 N 12th Ave, Pensacola, FL 32503

Phone: 850-432-2929

Fax: _____

Email: clint@geciengineering.com

Owner Information (if different from applicant)

Name: aDoor Development LLC

Address: 5041 Bayou Blvd
Pensacola, FL 32503

Phone: (850) 791-6825

Fax: _____

Email: austin.tenpenny@adoorproperties.com

Property Information

Location/Address: 117 EAST LA RUA STREET

Subdivision Name: Corte de LaRua

of Parcels to be Subdivided: 3 Parcel ID #(s): 00-0S-00-9010-011-086, 00-0S-00-9010-012-086, AND 00-0S-00-9010-014-086

of Existing Lots: 3 #of Proposed Lots: 5 Total Acreage: 0.31 AC

Legal Description: Please attach a full legal description from deed or survey

Type of Subdivision: Residential* Non-Residential
[*If residential, see reverse for open space requirement]

Will a Variance from the Subdivision Regulations be requested for the project (Sec. 12-8-7)? YES NO
If yes, specify exact variance requested: _____

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this plat and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning and subdivision requirements and understand that I must be present on the date of the Planning Board meeting.

[Signature]
Signature of Applicant
(Owner of Property or Official Representative of Owner)

12/19/19
Date

FOR OFFICE USE ONLY

Zone: _____ District: _____

Date Received: _____ Case Number: _____

Application Fee: _____ Receipt #: _____

Open Space Requirement (acres or \$): _____ Receipt #: _____

Planning Board Date: _____ Recommendation: _____

Council Date: _____ Action: _____

Recording Date: _____ Map Bk/Pg: _____

***Sec. 12-8-6. SITES FOR PUBLIC USE.**

(B) Sites for park and recreation or open space. Each subdivision plat shall be reviewed by the planning and leisure services departments in order to assess the following: park and recreational or open space needs for the recreation service area within which the subdivision is located and for the city as a whole; and characteristics of the land to be subdivided for its capability to fulfill park, recreation or open space needs. Based on this review the city staff shall recommend one of the following options:

(1) Dedication of land for park, recreation or open space needs. The subdivider(s) or owner(s) shall dedicate to the city for park and recreation or open space purposes

at least five (5) percent of the gross area of the residential subdivision. In no case shall the aggregate acreage donated be less than one-quarter (1/4) acre.

(2) Payment of money to an escrow account for park, recreation or open space needs in lieu of dedication of land. The subdivider(s) or owner(s) shall pay unto the city such sum of money equal in value to five (5) percent of the gross area of the subdivision thereof, which sum shall be held in escrow and used by the city for the purpose of acquiring parks and developing playgrounds and shall be used for these purposes and no others. The aforementioned value shall be the value of the land subdivided without improvements and shall be determined jointly by the city manager and the subdivider. If the city manager and subdivider cannot agree on a land value, then the land value shall be established by arbitration. The city manager shall appoint a professional land appraiser, the subdivider shall appoint a professional land appraiser, and these two (2) shall appoint a third.

***Open Space Requirement (only applicable to residential subdivision)**

Sec. 12-8-6 requires (a) the dedication of 5% of the gross area for open space purposes, or (b) a fee in lieu of land dedication. Please calculate and check preferred method of meeting requirement:

(a) Total Land Area: _____ acres

5% for land dedication*: _____ acres

[*may not equal less than 1/4 acre]

(b) Value of land (Esc. Co. Tax Assessor) \$ _____

Fee in lieu of land dedication (5% of value) \$ _____

[Payable to the City of Pensacola; Due after plat approval, prior to receiving signatures]

Sec. 12-8-3. Procedure for subdivision approval.

(A) Procedure for subdivision requiring a plat.

(1) Approval of preliminary plat by the planning board.

(a) Any person desiring to divide land into three (3) or more lots shall first file with the planning board a preliminary plat of the subdivision prepared in accordance with the requirements of section 12-8-8.

(b) Accompanying the preliminary plat shall be a general location sketch map showing the relationship of the proposed subdivision to existing community facilities which serve or influence it. On such sketch map, the main traffic arteries, shopping centers, schools, parks, and playgrounds, principal places of employment and other principal features should be noted.

(c) Where the preliminary plat submitted covers only a part of the total contiguous property under the subdivider's ownership, a sketch of the prospective future street system of the unsubdivided part shall be required if not shown on a previously approved conceptual plan or plans for the entire property. The street system of the unplatted portion shall be planned to coordinate and connect with the street system of the platted portion.

(d) A master drainage plan at a scale not smaller than one inch equals two hundred (200) feet, shall be prepared. The master drainage plan shall be for the entire property and shall be reviewed by the city engineer in relation to the entire drainage basin. It is the specific intent of this requirement that rights-of-way and easements of all drainage improvements including but not limited to, retention ponds, ditches, culverts, channels, and the like required for the drainage of the site for both on-site and off-site improvements, shall be provided for the master drainage plan. Instruments shall be submitted fully executed in sufficient form for recording for all off-site drainage rights-of-way and easements not included on the final plat. These instruments shall be submitted with the final plat for recordation.

(e) Eleven (11) copies of the preliminary plat shall be submitted to The Community Development Department at least thirty (30) calendar days prior to the meeting at which it is to be considered.

(f) Prior to the examination of the preliminary plat, the planning board shall be furnished with reports from the city engineer, traffic engineer, energy services, Escambia County Utilities Authority, fire department, and the secretary to the planning board to the effect that said plat does or does not conform to the comprehensive plan, the provisions of this chapter, and with sound principles and practices of planning and engineering and with such other items that may affect the health, safety and welfare of the people.

(g) When, after examination, the planning board finds as fact that the aforementioned requirements have been met, the preliminary plat may be approved; however, such approval shall not constitute an approval of the final plat. If the preliminary plat is rejected, the planning board shall provide the applicant in writing a detailed list of reasons for rejection.

(2) Approval of final plat by the planning board and city council.

(a) The final plat shall conform substantially to the preliminary plat. The applicant shall submit only that portion of the approved preliminary plat which he proposes to record and develop. Such portion shall conform to all requirements of this chapter. Such final plat shall be submitted within one year (three hundred sixty-five (365) days) of the date of the approval of the preliminary plat. If more than one year has elapsed since the approval of the preliminary plat, the preliminary plat must be resubmitted to the planning board for their review and approval prior to submission of the final plat.

(b) Eleven (11) copies of the final plat shall be submitted to The Community Development Department at least thirty (30) calendar days prior to the meeting of the planning board at which it is to be considered. Before granting final approval of the plat, the planning board shall receive reports from the secretary to the planning board, the city engineer, the traffic engineer, energy services of Pensacola, the Escambia County Utilities Authority and the fire department.

(c) After approval by the planning board, the final plat shall be transmitted to the city council for approval. Approval of the plat shall be granted by the city council upon its finding that all the requirements of this chapter have been met.

(3) *Approval of a combined preliminary/final plat of a subdivision by the planning board and city council.* Subdivisions containing no more than four (4) lots fronting on an existing public street, right-of-way or an access easement, not involving any new street or road, or the extension of governmental facilities, or the creation of any public improvements, and not adversely affecting the remainder of the parcel or adjoining property, and not in conflict with any provision of this code or the comprehensive plan, may be reviewed and approved through an abbreviated procedure which provides for the submittal of both the preliminary and final plat concurrently. All design standards, plat information and recording requirements as set forth in this chapter shall be complied with when exercising the abbreviated minor subdivision procedure.

(B) *Procedure for division of land requiring a boundary survey.* A division of land into no more than two (2) lots fronting on an existing public street, or an access easement not involving any new street or road, or the extension of governmental facilities, or the creation of any public improvements, and not adversely affecting the remainder of the parcel or adjoining property, and not in conflict with any provision of this code or the comprehensive plan, may be reviewed and approved by the city engineer, city surveyor and city planner through an abbreviated procedure which provides for the submittal of a metes and bounds description and a legal boundary survey of the property.

(1) *Submission requirements.*

(a) Any person desiring to divide land into no more than two (2) lots shall first submit three (3) copies of a metes and bounds description and a legal boundary survey of the property (equal to that required by F.S. § 472.27, pertaining to minimum technical standards for surveys, and having a minimum of four (4) concrete permanent reference monuments set) to The Community Development Department. The boundary survey shall be drawn at a scale of one hundred (100) feet to the inch, or less, and shall depict all information required by section 12-8-8(a) through (j).

(b) If an access easement is required for the subdivision, this document shall be attached to each of the three (3) copies of the boundary survey.

(c) All stormwater drainage requirements set forth in this chapter shall be complied with when exercising this procedure.

(2) *Final approval.*

(a) The Community Development Department shall notify the applicant of the approval or disapproval of the subdivision boundary survey within nine (9) working days from submission.

(b) If the subdivision boundary survey is rejected The Community Development Department shall provide the applicant, in writing, a detailed list of reasons for rejection.

(c) Upon submission of the corrected subdivision boundary survey the Community Development Department shall notify the applicant of the approval or disapproval of the corrected boundary survey within nine (9) days. If the subdivision boundary survey is not approved, the minor subdivision must be resubmitted.

(d) After the survey has been approved by city staff fourteen (14) blueprints and one (1) mylar of the survey shall be filed with The Community Development Department. In addition, one (1) copy each of any applicable recorded access easements shall be filed with The Community Development Department.

(e) Furthermore, no building permit shall be issued until the survey has been approved by city staff and any accompanying documentation has been recorded.

LIMITED POWER OF ATTORNEY

As the Owner showing sufficient real property interest of the property located at 117 East La Rua Street Pensacola, Florida, property reference number(s) 00-0S-00-9010-011-086, 00-0S-00-9010-012-086, AND 00-0S-00-9010-014-086, aDoor Development LLC hereby designates Clint Geci w/Geci & Associates Engineers, Inc. for the sole purpose of completing this Application and to act on behalf of the Owner during permit review processes on the above referenced property.

This Limited Power of Attorney is granted on this 20 day of December the year of 2019 and is effective until all decisions on permit requests and all appeal periods have expired. The Owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the permitting agencies.

[Signature] 12-20-19 JUSTIN G. WITKIN
Signature of Owner Date Printed Name of Owner

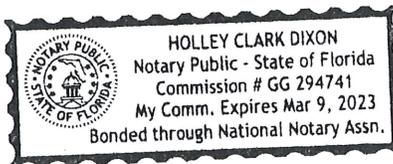
STATE of FLORIDA
COUNTY of ESCAMBIA

The forgoing instrument was acknowledged before me this 20 day of December, year of 2019 by JUSTIN G. WITKIN who () did () did not take an oath.

He/she is () personally known to me, () produced current Florida/Other driver's license, and/or () produced current _____ as identification.

[Signature] 12-20-19 Holley C. Dixon
Signature of Notary Public Date Printed Name of Notary

3-9-23 GG294741
My Commission Expires Commission No. (Notary seal must be affixed)



A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth herein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supersede the Manual listed above? Yes No. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on the Project.

OWNER/DEVELOPER:
ODOOR DEVELOPMENT LLC
5041 BAYOU BLVD
SUITE 302
PENSACOLA, FL 32503
PHONE: (850) 791-6825

ENGINEER:
GECI & ASSOCIATES ENGINEERS, INC.
2950 NORTH 12th AVENUE
PENSACOLA, FLORIDA 32503
PHONE: (850) 432-2929

SURVEYOR:
360 SURVEYING SERVICES, INC.
1801 CREIGHTON ROAD
PENSACOLA, FL 32504
PHONE: (850) 857-4400

UTILITY COMPANIES:

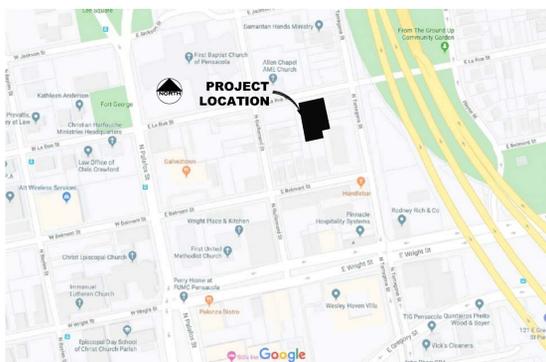
UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.

TELEPHONE – AT & T, INC., 605 WEST GARDEN STREET, PENSACOLA, FLORIDA 32501; (850) 436-1616

ELECTRIC – GULF POWER COMPANY, 9220 PINE FOREST ROAD, PENSACOLA, FLORIDA 32534; (850) 484-5770

SANITARY SEWER/WATER – EMERALD COAST UTILITY AUTHORITY, ELLYSON INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110

NATURAL GAS – PENSACOLA ENERGY, 16 SOUTH PALAFOX STREET, PENSACOLA, FLORIDA; (850) 474-5322



CONSTRUCTION PLANS FOR CORTE DE LA RUA

A 5 LOT TOWNHOME SUBDIVISION

CITY OF PENSACOLA, FLORIDA

G&A REFERENCE NO. 32501

GENERAL NOTES:

1. ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL OF THE EXISTING UTILITIES FIELD LOCATED BEFORE CONSTRUCTION AND TO PROTECT THESE DURING CONSTRUCTION. FOOTINGS & FOUNDATIONS BELOW NATURAL GROUND, ARE NOT LOCATED.
4. LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
5. ALL SANITARY SEWER AND POTABLE WATER CONSTRUCTION TO CONFORM TO THE EMERALD COAST UTILITY AUTHORITY STANDARDS.
6. ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.O.D.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
7. TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
8. THE CONTRACTOR SHALL NOTIFY THE CITY OF PENSACOLA, F.O.D.T., AND EMERALD COAST UTILITIES AUTHORITY AT LEAST TWO WORKING DAYS (48 HOURS MIN.) PRIOR TO CONSTRUCTION.
9. ALL SERVICE LATERALS ARE TO BE LAID TO THE RIGHT-OF-WAY LINE OR EASEMENT PROPERTY LINE. ALL SERVICE LATERALS ARE TO BE LAID AT A MINIMUM GRADE OF 1.0% FROM THE MAIN WHEN THE CUT IS FIVE FEET OR LESS AND TO DOWN HILL LOTS ALL SERVICE LATERALS TO UP HILL LOTS OR WHERE THE CUT IS GREATER THAN FIVE FEET ARE TO BE LAID WITH A MINIMUM OF 3% COVER ON THE PIPE AT THE POINT THE PIPE ENDS.
10. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH OFF THE SITE.
11. THE CONTRACTOR SHALL HAVE A COMPACTION TEST MADE BY AN INDEPENDENT TESTING LAB AT INTERVALS NOT TO EXCEED 300 LINEAR FEET, AND THESE TESTS SHALL INDICATE THAT THE BASE CONSTRUCTION IS IN ACCORDANCE WITH SECTION 240 OF THE D.O.T. SPECIFICATIONS. COPIES OF THESE SHALL BE FURNISHED TO THE ENGINEER.
12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST TWO WEEKS PRIOR TO THE PLACING OF THE BASE MATERIAL TO HELP THE ENGINEER COORDINATE THE OTHER UNDERGROUND UTILITIES.
13. THE CONTRACTOR SHALL GRASS AND MULCH ALL THE RIGHT-OF-WAY AND DISTURBED AREAS UNLESS AT A SLOPE OF 5 TO 1 OR GREATER AND THESE SHALL BE SODDED AND PINNED.
14. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
15. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
16. THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
17. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES IN PROJECT PLANS OR ON FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
18. NO DERIVATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY ANY DERIVATIONS MAY RESULT IN DELAYS IN THE CITY APPROVAL OF IMPROVEMENTS.
19. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
20. NOTIFY SUNSHINE STATE ONE CALL 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
21. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
22. ROUGH GRADE RIGHT-OF-WAYS MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT MINIMUM AND MAXIMUM DEPTHS.
23. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO THE CITY OF PENSACOLA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY THE CITY OF PENSACOLA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
24. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
25. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR MULCH (UNLESS SOD IS REQUIRED). SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105.
26. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY UNUSABLE, QUESTIONABLE MATERIAL, OR ANY THAT HAS A PUMPING ACTION OR PERCHED GROUNDWATER. THESE AREAS WILL BE EXCAVATED, REMOVED FROM THE PROJECT AND BACK FILL WITH CLEAN SAND.
27. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE CITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434. AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

SITE NOTES:

- a. SITE AREA: APPROXIMATELY 0.31 AC
- b. TOTAL LOTS: 5 (4 TOWNHOME LOTS + ONE COMMON PARCEL)
- c. PARCEL ID: 00-05-00-9010-011-086, 00-05-00-9010-012-086, AND 00-05-00-9010-014-086
- d. LATITUDE & LONGITUDE: 30°25'7.01"N, 87°12'52.46"W
- e. ZONING: C-3 / FLU: C
- f. PROJECT ADDRESS: 117 EAST LA RUA STREET
- g. BUILDING SETBACK REQUIREMENTS: 8' FRONT, 5' SIDE, 25' REAR. BUILDING HEIGHT IS 45' MAX.
- h. THIS SUBDIVISION LIES WITHIN FLOOD ZONE "X" ACCORDING TO FEMA'S NATIONAL FLOOD HAZARD MAP
- i. LOT COVERAGE: 75% MAXIMUM LOT COVERAGE AS PER ZONING REGULATIONS, OR THE LOT COVERAGE SHOWN ON THIS LOT GRADING PLAN, WHICHEVER IS LESS.
- j. THERE ARE NO WETLAND AREAS, PROTECTED TREES, OR HERITAGE TREES ON THIS PROPERTY.

CONTRACTOR'S EROSION AND SEDIMENT CONTROL NOTE:

SEDIMENT SHALL BE RETAINED ON THE SITE OF THE DEVELOPMENT. EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED BY CONTRACTOR AT ALL TIMES AS PER THE CITY, DEP, NPDES, AND EPA REQUIREMENTS.

THE CONTRACTOR SHALL AT ALL TIMES DURING THE CONSTRUCTION OF THIS PROJECT, PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, PONDING AREAS AND SEDIMENTATION CONTROL WALLS OF STRAW ALONG ALL THE STREET RIGHT-OF-WAY AND EASEMENTS TO CONTROL THE RUNOFF FROM THIS PROJECT. (NO DIRECT PAYMENT FOR THIS. PAYMENT FOR THIS TO BE INCLUDED IN THE ITEM OF BASE AND PRIME.)

CITY INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (595-3434). THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING THE CITY THE PROJECT HAS STARTED.

CONTRACTOR NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING STORMWATER DISCHARGE AND SOLELY RESPONSIBLE FOR ANY DAMAGES CAUSED BY EROSION ONTO PROPERTY OWNED BY OTHERS AND INDEMNIFIES THE OWNER AGAINST ANY CLAIMS OR REGULATORY PENALTIES DURING DEVELOPMENT.

RETENTION / DETENTION POND NOTE:

DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

FILL NOTES:

1. THE CONTRACTOR SHALL CLEAR ALL TRASH, VEGETATION AND ORGANIC OR UNSUITABLE MATERIALS IN THE FILL AREAS.
2. THE CONTRACTOR SHALL GRUB, GRADE AND SCARIFY, TO A DEPTH OF AT LEAST 4", THE FILL AREA BEFORE PLACING FILL IN ORDER TO ENSURE PROPER BOND AND PREVENT SLIPPING BETWEEN THE TWO LAYERS.
3. THE CONTRACTOR SHALL PLACE THE FILL IN 6" LAYERS COMPACTED CONTINUOUSLY UNTIL THE REQUIRED MAXIMUM DENSITY AT OPTIMUM MOISTURE IS ACHIEVED.
4. FILL MATERIAL SHALL BE CLEAN OF ALL VEGETATION AND FREE ROOTS AND ROCKS.
5. THE CONTRACTOR SHALL GRASS AND MULCH ALL AREAS CLEARED, FILLED OR DISTURBED UNLESS AT A SLOPE OF 5:1 OR GREATER AND THESE SHALL BE SODDED AND PINNED.

UTILITY NOTE:

THE ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE EASEMENT SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. ALL UNDERGROUND UTILITIES MUST MAINTAIN AT LEAST 30" OF GROUND COVER (AFTER ROUGH GRADING OF R/W)

LEGAL DESCRIPTION:

PARCEL 1: THE EAST 6 FEET OF LOT 11 AND THE WEST 15 FEET OF LOT 12, BLOCK 86, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBIA COUNTY, FLORIDA.

PARCEL 2: LOT 13 AND THE EAST 15 FEET OF LOT 12, BLOCK 86, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO A MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

SURVEY NOTES:

1. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 2-2-2016.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
3. ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. STATE AND FEDERAL COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED EITHER IN WHOLE OR IN PART, OR TO BE USED FOR ANY OTHER FINANCIAL TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER.
5. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF THE NORTH LINE OF THE SURVEYED PARCELS AS BEING N80°00'00"E.
6. FENCE LINES ARE EXAGGERATED FOR CLARITY.
7. ENCROACHMENTS ARE AS SHOWN.
8. ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD '88 DATUM OF FDOT BENCHMARK "48-00-101V", ELEVATION = 64.68'.
9. THE SURVEYED PROPERTY IS LOCATED IN FLOOD ZONE "X", BASED ON FIRM MAP PANEL 12033C03906, DATED SEPTEMBER 29, 2006.

CONSTRUCTION PLAN NOTE:

THESE PLANS ARE FOR THE CONSTRUCTION OF PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWERS WITHIN THE PROPOSED RIGHT-OF-WAYS, EASEMENTS AND PARCELS TO SERVE THIS DEVELOPMENT. THESE PLANS DO NOT COVER ANY CONSTRUCTION OR CLEARING ON ANY LOTS WITHIN THIS DEVELOPMENT UNLESS SHOWN AS A FILL AREA. DURING CONSTRUCTION, IF ANY AREA WITHIN THE LOTS ARE DISTURBED, THEY SHALL BE GRASSED AND MULCHED OR SODDED. FUTURE LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS, BY THE LOT BUILDER. ALL PERMITS FROM LOCAL, STATE AND FEDERAL AGENCIES PERTAINING TO THIS PROJECT COVER ONLY THOSE CONSTRUCTION ACTIVITIES CONTAINED WITHIN THESE PLANS. UNLESS SPECIFICALLY NOTED OTHERWISE, CONSTRUCTION ACTIVITIES WITHIN THE LOTS OF THE SUBDIVISION ARE NOT CONSIDERED PART OF THESE CONSTRUCTION PLANS. THE LOT GRADING PLAN IS TO SERVE ONLY AS A GUIDE IN THE EVALUATION OF THE DRAINAGE PLAN FOR THE INDIVIDUAL HOMES/LOTS.

EROSION AND SEDIMENT CONTROL NOTE:

THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

THE DEVELOPER SHALL REQUIRE THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT TO PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, HAY BALES, PONDING AREAS, SILT FENCES AND SEDIMENTATION CONTROLS ALONG ALL THE STREET RIGHTS-OF-WAY, EASEMENTS AND DETENTION/RETENTION AREAS TO CONTROL AND PREVENT EROSION RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION OF THIS PROJECT. EROSION AND SEDIMENTATION CONTROLS SHALL BE ESTABLISHED TO MEET OR EXCEED CITY OF PENSACOLA, DEP., NPDES., AND EPA. REQUIREMENTS. LOCATION AND DETAIL OF THE ABOVE TO BE INCLUDED ON THE CONSTRUCTION PLANS FOR THE PROJECT AND SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION CLEARING.

ON SITES GREATER THAN 1 ACRE, IF GREATER THAN 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWMD.

A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREA IS REQUIRED PRIOR TO CITY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAN APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOG (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.

INDEX OF DRAWING	
SHEET	DESCRIPTION
C000	COVER SHEET
C100	OVERALL PLAN
C110	EXISTING CONDITIONS & EROSION CONTROL PLAN
C130	GRADING & DRAINAGE PLAN
C140	UTILITY & TRAFFIC CONTROL PLAN
C500	DETAILS

NO.	DATE	REVISION	APPR.
1			
2			
3			
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5			

GECI & ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, SURVEYORS
2950 NORTH 12th AVENUE, PENSACOLA, FL 32503
PHONE (850) 432-2929 • FAX (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 000005149
E-Mail: geci@geciengineers.com

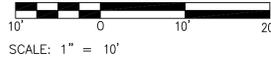
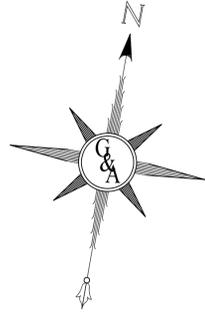
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FOR PERMITTING PURPOSES ONLY				CLINT A. GECI FLORIDA P.E.# 73924

SITWORK CONSTRUCTION PLANS FOR

CORTE DE LA RUA

PAVING, STORM DRAINAGE, POTABLE WATER, & SANITARY SEWER PLANS

PROJECT NO. 32501	SHEET NO. C000
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- SITE NOTES:**
- SITE AREA: APPROXIMATELY 0.31 AC
 - TOTAL LOTS: 5 (4 TOWNHOME LOTS + ONE COMMON PARCEL)
 - PARCEL ID: 00-05-00-9010-011-086, 00-05-00-9010-012-086, AND 00-05-00-9010-014-086
 - LATITUDE & LONGITUDE: 30°25'7.01"N, 87°12'52.46"W
 - ZONING: C-3 / FLU-C
 - PROJECT ADDRESS: 117 EAST LA RUA STREET
 - BUILDING SETBACK REQUIREMENTS: 8' FRONT, 5' SIDE, 25' REAR. BUILDING HEIGHT IS 45' MAX.
 - THIS SUBDIVISION LIES WITHIN FLOOD ZONE "X" ACCORDING TO FEMA'S NATIONAL FLOOD HAZARD MAP.
 - LOT COVERAGE: 75% MAXIMUM LOT COVERAGE AS PER ZONING REGULATIONS, OR THE LOT COVERAGE SHOWN ON THIS LOT GRADING PLAN, WHICHEVER IS LESS.
 - THERE ARE NO WETLAND AREAS, PROTECTED TREES, OR HERITAGE TREES ON THIS PROPERTY.

UTILITIES NARRATIVE

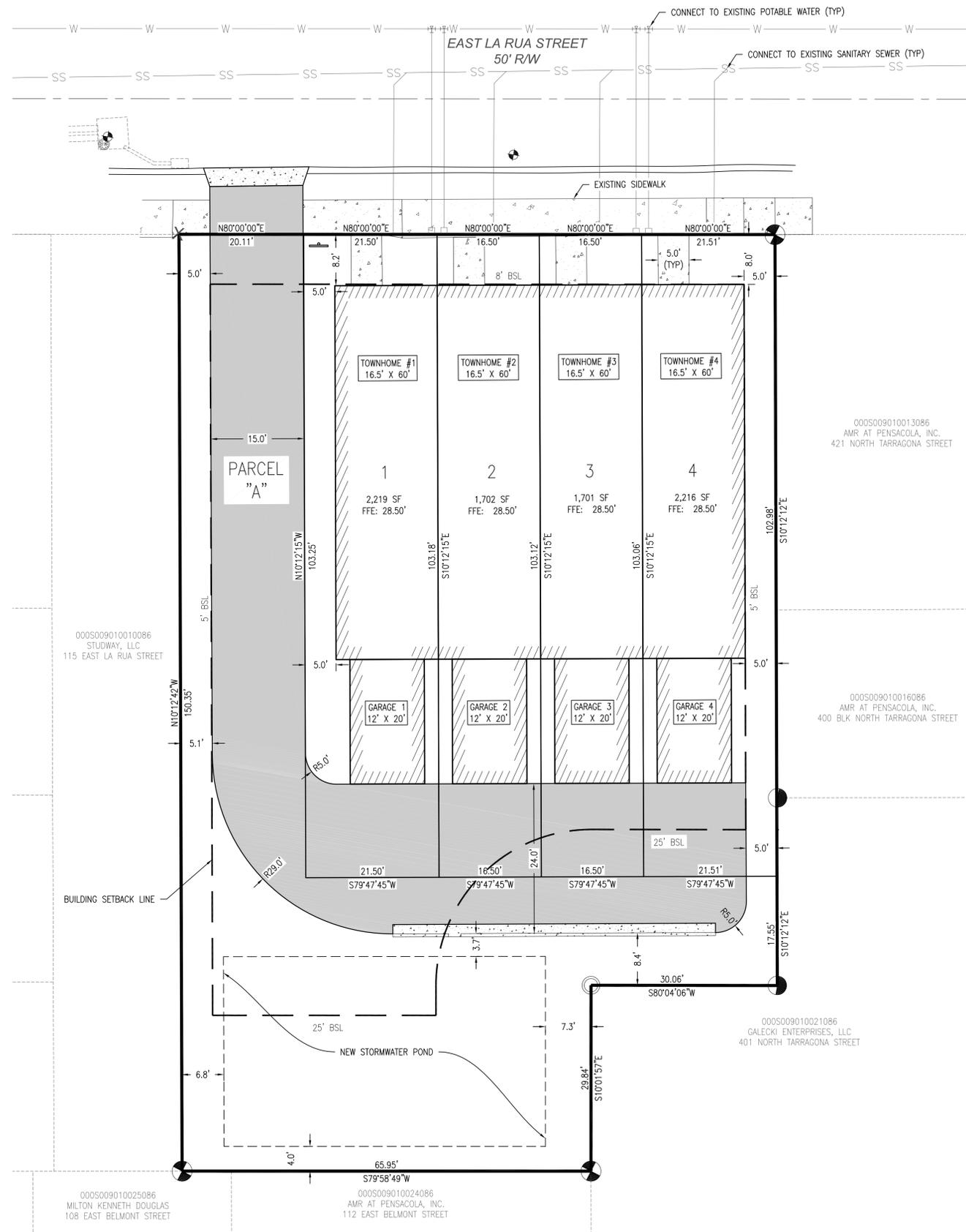
POTABLE WATER:
AFTER RECEIVING ECUA APPROVAL, THE DEVELOPER PLANS TO CONNECT TO EXISTING ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS, VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL THEN BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE.

SANITARY SEWER:
AFTER RECEIVING ECUA APPROVAL, THE DEVELOPER PLANS TO CONNECT TO EXISTING ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND SEWER LINES AND LATERALS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL BE TURNED OVER TO THE ECUA FOR OWNERSHIP AND MAINTENANCE.

STORM SEWER:
AFTER RECEIVING NFWMD AND CITY APPROVALS, THE DEVELOPER PLANS TO CONSTRUCT ALL NECESSARY STORMWATER PIPES AND STRUCTURES TO SERVE THIS DEVELOPMENT. THE ENGINEER WILL DESIGN THE STORM DRAINAGE SYSTEM TO COMPLY WITH CITY STANDARDS. THE ENTIRE NEW SYSTEM WILL REMAIN PRIVATE FOR OWNERSHIP AND MAINTENANCE. THE NEW DRAINAGE SYSTEM WILL DISCHARGE TO THE ADJACENT CITY OWNED AND MAINTAINED STORM POND.

ELECTRIC, GAS, TELEPHONE & TV CABLE:
THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.

FLOOD STATEMENT:
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). REFERENCE COMMUNITY PANEL NUMBER 12033003806. EFFECTIVE SEPTEMBER 29, 2006.



32501 CONSTRUCTION PLANS.DWG_12/19/19_1648

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

REVISION	NO.	DATE	APPR.	
	1			
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GEI & ASSOCIATES, INC.

ENGINEERS ARCHITECTS

299 N. 13th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 • Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geiengineering.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: CAG CHECKED: SAG DATE: 12/19/19

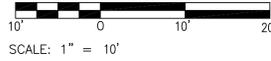
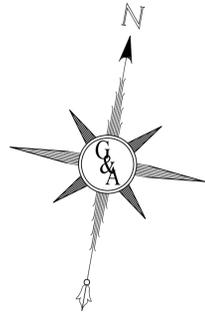
FOR PERMITTING PURPOSES ONLY

SITENETWORK CONSTRUCTION PLANS
FOR
CORTE DE LA RUA
OVERALL PLAN

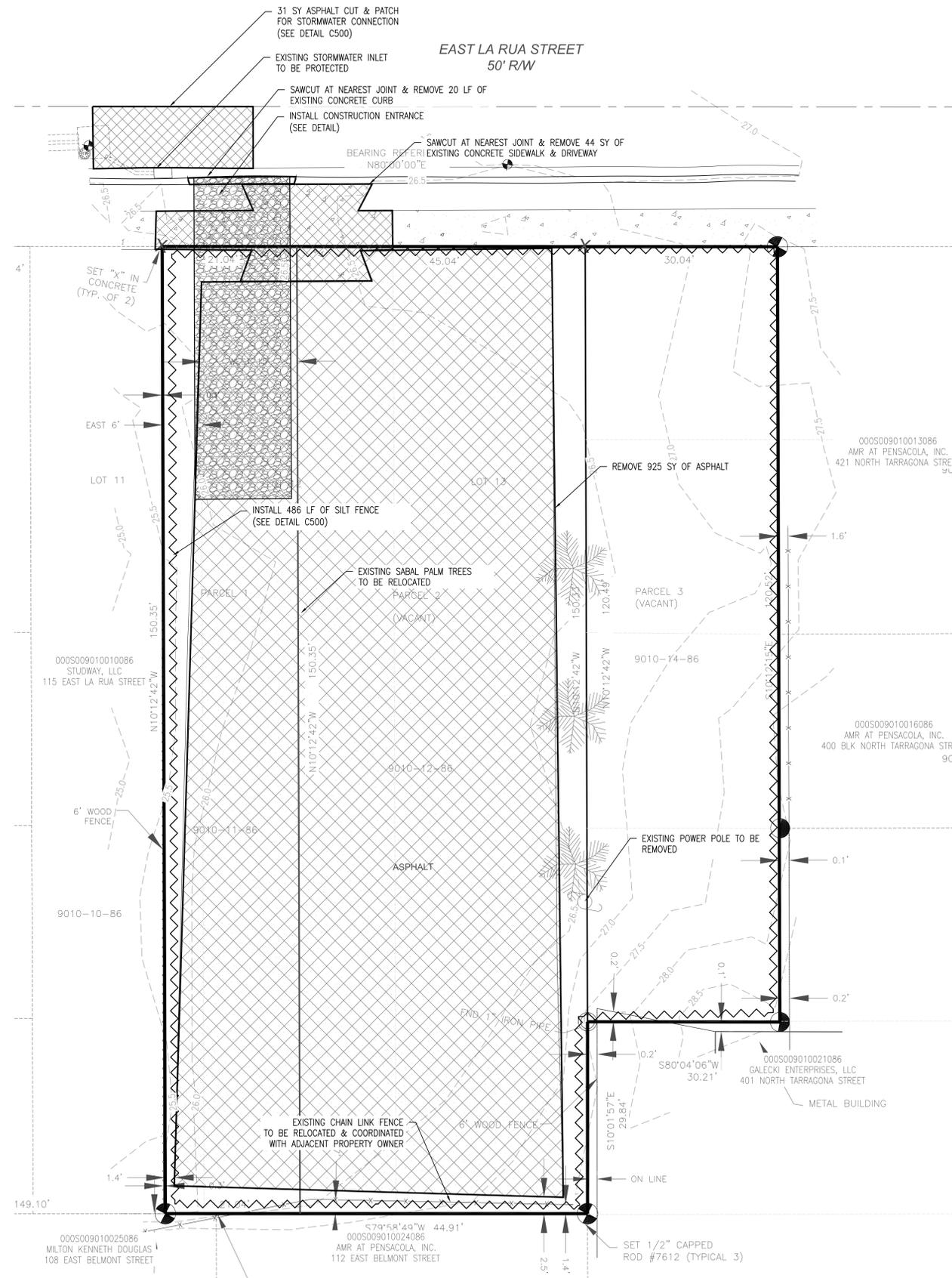
CLINT A. GEI
FLORIDA P.E.# 73924

PAVING, STORM DRAINAGE, POTABLE WATER, & SANITARY SEWER PLANS

PROJECT NO.	SHEET NO.
32501	C100



1. ALL UNSUITABLE MATERIAL EXCAVATED FROM THE SITE WILL BE HAULED OFF PREMISES.
2. REFER TO TOPO SURVEY FOR ADDITIONAL BENCHMARKS AND SPOT ELEVATIONS.
3. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE ACTIVITIES AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
4. THIS DRAWING DOES NOT CERTIFY THE EXISTING CONDITIONS SHOWN HEREON. SURVEY INFORMATION HAS BEEN PROVIDED BY WATSON/KILLANE SURVEY AND MAPPING, INC.
5. EXISTING CONDITIONS SHOULD BE VERIFIED BY THE MOST RECENT SURVEY INFORMATION AND FIELD VERIFIED FOR ACCURACY.
6. ALL DISTURBED AREAS TO BE SEEDED OR SODDED.
7. EROSION CONTROL MEASURES SHALL STAY IN PLACE AND SHALL BE IN GOOD CONDITION UNTIL THE SITE IS STABILIZED.
8. LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES. ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVING GRADES.
9. NO GRADING OR CLEARING BY HEAVY EQUIPMENT CAN TAKE PLACE WITHIN THE 50% DRIPLINE AREA AS MARKED OFF AND SCREENED FOR ALL TREES TO BE PROTECTED ON THIS SITE.
10. IF A SITE INSPECTION REVEALS ROOT DAMAGE WITHIN THE 50% DRIPLINE HAS OCCURRED TO THE PROTECTED TREE, REMOVAL AND MITIGATION FOR THE TREE WILL BE REQUIRED.
11. REMOVAL OF ANY EXISTING CURBS AND SIDEWALK SHALL BE SAWCUT TO THE NEAREST JOINT.

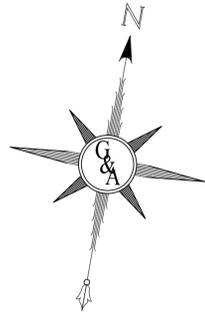


32501 CONSTRUCTION PLANS.DWG_12/19/19_1648

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

<p>FOR PERMITTING PURPOSES ONLY</p> <p>CLINT A. GECI FLORIDA PE# 73924</p>	<p>SITWORK CONSTRUCTION PLANS</p> <p>FOR</p> <p>CORTE DE LA RUA</p> <p>EXISTING CONDITIONS, DEMOLITION, & EROSION CONTROL PLAN</p> <p>PAVING, STORM DRAINAGE, POTABLE WATER, & SANITARY SEWER PLANS</p>
<p>GECI & ASSOCIATES, INC.</p> <p>ENGINEERS</p> <p>292 N. 13th Ave. PENSACOLA, FL 32503 Phone (850) 432-2929 • Fax (850) 432-2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail: geci@geciassociates.com</p>	<p>SCALE: AS SHOWN</p> <p>DESIGNED: CAG</p> <p>DRAWN: CAG</p> <p>CHECKED: SAG</p> <p>DATE: 12/19/19</p>
<p>NO. 1</p> <p>NO. 2</p> <p>NO. 3</p> <p>NO. 4</p> <p>NO. 5</p>	<p>REVISION</p> <p>DATE</p> <p>APPR.</p>
<p>PROJECT NO. 32501</p> <p>SHEET NO. C110</p>	



SCALE: 1" = 10'

GENERAL NOTES:

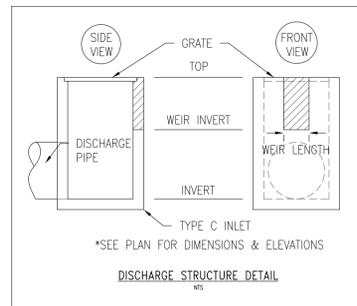
1. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING CITY ACCEPTANCE. SEEDED AREAS SHALL INCLUDE A BUSH MAT TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD INDEX 105.
2. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDING/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
3. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD.
4. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE & SMALL CONSTRUCTION SITES, SPECIFICALLY THE NODS PERMIT WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
5. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
6. ON INDIVIDUAL SUBDIVISION LOTS, ALL LAND CLEARING & TREE REMOVAL SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE UNCLING OR A SEPARATE LAND DISTURBING OR TREE REMOVAL PERMIT, PER CITY OF PENSACOLA LDC. LOTS SHOULD REMAIN IN THEIR NATURAL STATE UNTIL FURTHER PERMITTING ALLOWS FOR DEVELOPMENT, SITE DISTURBANCE &/OR TREE REMOVAL.
7. NO HERITAGE TREES EXIST ON-SITE.
8. CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE, INCLUDING LAND CLEARING & REMOVAL OF PROTECTED TREES ON-SITE WITHIN R/W OR POND PARCELS/AREAS WILL BE ALLOWED AT THE TIME OF CONSTRUCTION PLAN APPROVAL.

SITE FILL NOTES:

1. THE CONTRACTOR SHALL CLEAR ALL TRASH, VEGETATION AND ORGANIC OR UNSUITABLE MATERIALS IN THE FILL AREAS.
2. THE CONTRACTOR SHALL GRUB, GRADE AND SCARIFY, TO A DEPTH OF AT LEAST 4", THE FILL AREA BEFORE PLACING FILL IN ORDER TO ENSURE PROPER BOND AND PREVENT SLIPPING BETWEEN THE TWO LAYERS.
3. THE CONTRACTOR SHALL PLACE THE FILL IN 6" LAYERS COMPACTED CONTINUOUSLY UNTIL THE REQUIRED MAXIMUM DENSITY AT OPTIMUM MOISTURE IS ACHIEVED.
4. FILL MATERIAL SHALL BE CLEAN OF ALL VEGETATION AND FREE ROOTS AND ROCKS.
5. THE CONTRACTOR SHALL GRASS AND MULCH ALL AREAS CLEARED, FILLED OR DISTURBED UNLESS AT A SLOPE OF 3:1 OR GREATER AND THESE SHALL BE SOODED AND PINNED.

USDA SOIL CLASSIFICATION OF THE SITE'S ENTIRETY:

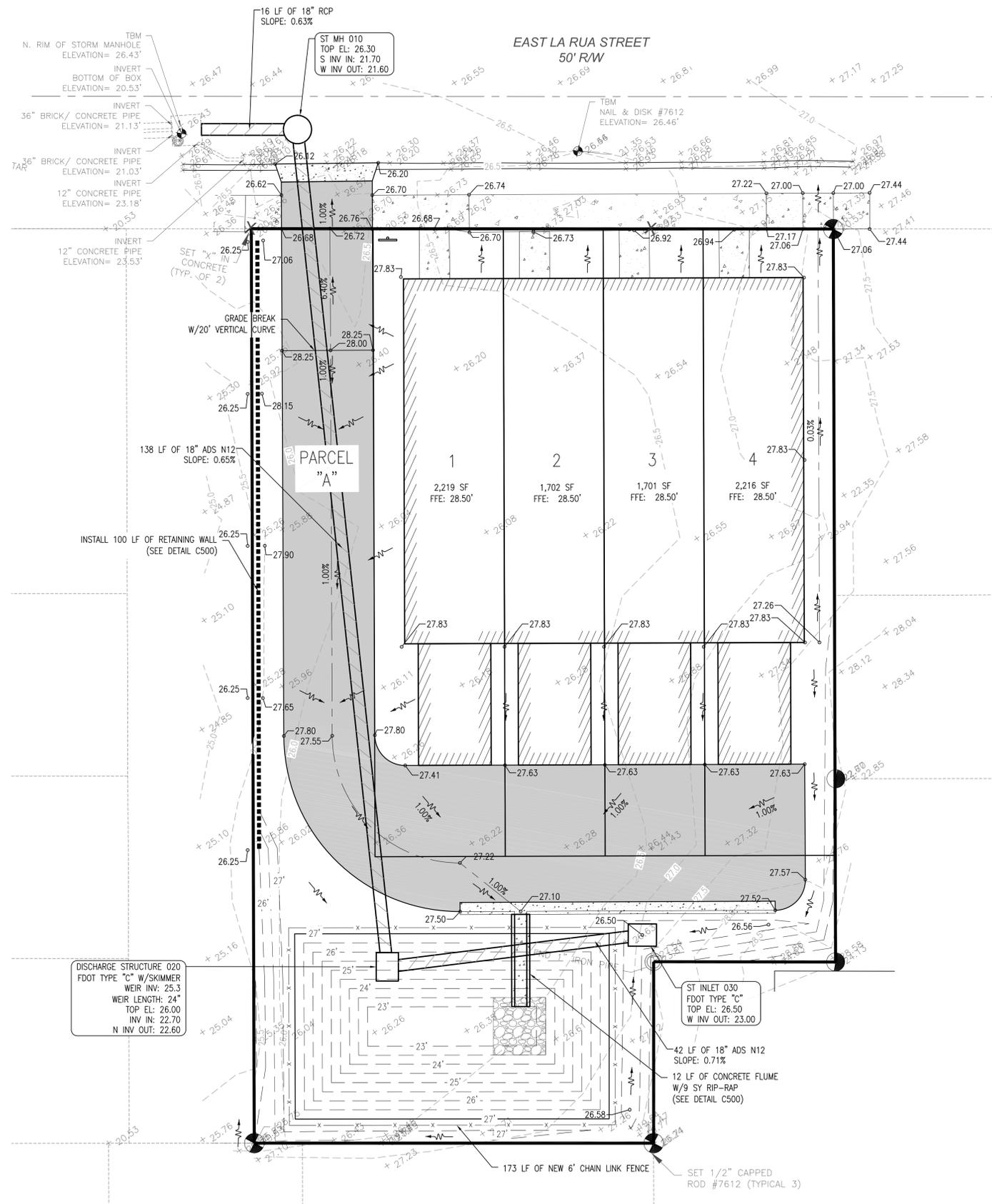
LAKELAND SAND, 0-5% SLOPES



DISCHARGE STRUCTURE 020
 FDOT TYPE "C" W/SKIMMER
 WEIR INV: 25.3
 WEIR LENGTH: 24'
 TOP EL: 26.00
 INV IN: 22.70
 N INV OUT: 22.60

ST INLET 030
 FDOT TYPE "C"
 TOP EL: 26.50
 W INV OUT: 23.00

42 LF OF 18" ADS N12
 SLOPE: 0.71%
 12 LF OF CONCRETE FLUME
 W/9 SY RIP-RAP
 (SEE DETAIL C500)



32501 CONSTRUCTION PLANS.DWG_12/19/19_1648

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

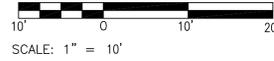
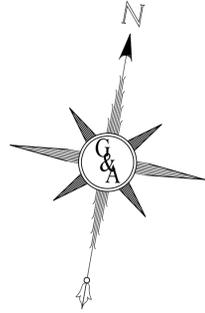
REVISION NO. 1 2 3 4 5	DATE		
	APPR.		
	GECI & ASSOCIATES, INC. ENGINEERS 290 N. 13th Ave. PENSACOLA, FL 32503 Phone: (850) 432-2929 • Fax: (850) 432-2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail: geci@geciengineering.com		
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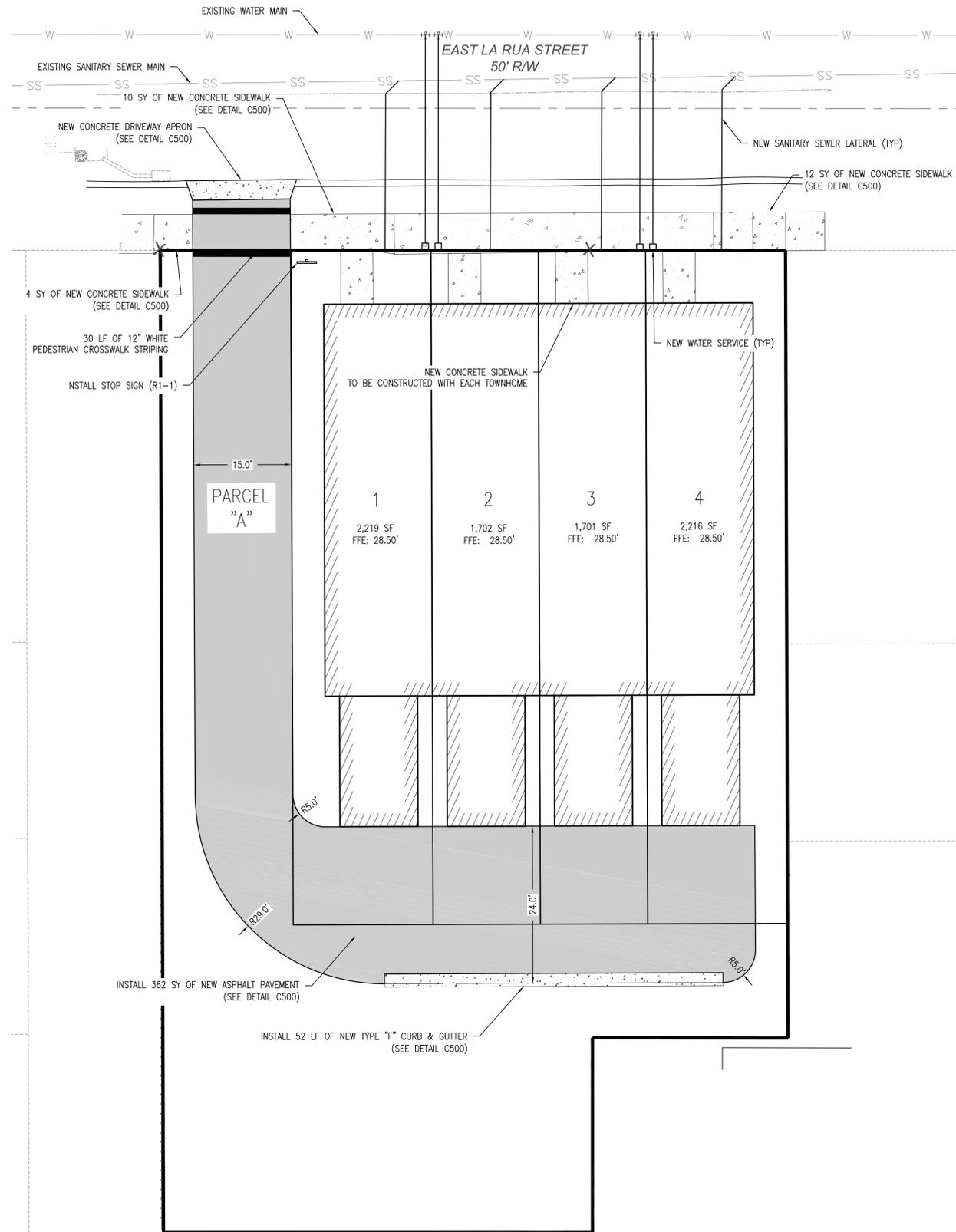
CLINT A. GECI
 FLORIDA P.E.# 73924

SITEMARK CONSTRUCTION PLANS
 FOR
CORTE DE LA RUA
GRADING & DRAINAGE PLAN
 PAVING, STORM DRAINAGE, POTABLE WATER, & SANITARY SEWER PLANS

PROJECT NO.	SHEET NO.
32501	C130



1. LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
2. MINIMUM 30" OF COVER ON ALL UTILITIES.
3. UTILITY PROVIDERS ARE TO BE PRESENT DURING CONNECTIONS TO THE EXISTING UTILITIES.
4. SEE ARCHITECTURAL PLANS BY OTHERS FOR BUILDING UTILITY CONNECTIONS.
5. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SOUTH SANTA ROSA UTILITY SYSTEM SPECIFICATIONS.
6. ALL WORK WITHIN THE RIGHT-OF-WAY OR FOR OWNERSHIP BY SSRUS SHALL BE PERFORMED BY AN CERTIFIED UNDERGROUND UTILITY CONTRACTOR.



32501 CONSTRUCTION PLANS.DWG_12/19/19_1648

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

<p>GECI & ASSOCIATES, INC. ENGINEERS, ARCHITECTS 290 N. 13th Ave. PENSACOLA, FL 32503 Phone: (850) 432-2929 Fax: (850) 432-2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail: geci@geciengineering.com</p>	<p>CLINT A. GECI FLORIDA P.E.# 73924</p>																		
<p>G&A</p>	<p>SCALE: AS SHOWN DESIGNED: CAG DRAWN: CAG CHECKED: SAG DATE: 12/19/19</p>																		
<p>FOR PERMITTING PURPOSES ONLY</p>																			
<p>SITework CONSTRUCTION PLANS FOR CORTE DE LA RUA UTILITY & TRAFFIC CONTROL PLAN</p>	<p>PAVING, STORM DRAINAGE, POTABLE WATER, & SANITARY SEWER PLANS</p>																		
<p>PROJECT NO. 32501</p>	<p>SHEET NO. C140</p>																		
<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 80%;">DATE</th> <th style="width: 10%;">APPR.</th> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> </table>	NO.	DATE	APPR.	1			2			3			4			5			
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PRELIMINARY PLAT OF CORTE DE LA RUA

A 5 LOT TOWNHOME SUBDIVISION
OF A PORTION OF
SECTION 33, T1S, R30W
ESCAMBIA COUNTY, FLORIDA
DECEMBER, 2019

OWNER/DEVELOPER:
GDOOR DEVELOPMENT LLC
5041 BAYOU BLVD, SUITE 302
PENSACOLA, FL 32503
PHONE: (850) 791-6825

ENGINEER:
GECI & ASSOCIATES ENGINEERS, INC.
2950 NORTH 12th AVENUE
PENSACOLA, FLORIDA 32503
PHONE: (850) 432-2929

SURVEYOR:
360 SURVEYING SERVICES, INC.
1801 CREIGHTON ROAD
PENSACOLA, FL 32504
PHONE: (850) 857-4400

PRELIMINARY PLAT NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO CITY OF PENSACOLA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY CITY OF PENSACOLA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE DEVELOPER/CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. "IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE CITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3475. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF PENSACOLA. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
- TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- THIS SUBDIVISION IS NOT LOCATED IN THE AIRPORT IMPACT DISTRICT.

CONTRACTOR'S EROSION AND SEDIMENT CONTROL NOTE:

SEDIMENT SHALL BE RETAINED ON THE SITE OF THE DEVELOPMENT. EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED BY CONTRACTOR AT ALL TIMES AS PER CITY OF PENSACOLA, DEP, NPDES, AND EPA. REQUIREMENTS.

THE CONTRACTOR SHALL AT ALL TIMES DURING THE CONSTRUCTION OF THIS PROJECT, PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, PONDING AREAS AND SEDIMENTATION CONTROL WALLS OF STRAW ALONG ALL THE STREET RIGHT-OF-WAY AND EASEMENTS TO CONTROL THE RUNOFF FROM THIS PROJECT. (NO DIRECT PAYMENT FOR THIS. PAYMENT FOR THIS TO BE INCLUDED IN THE ITEM OF BASE AND PRIME.)

UTILITIES NARRATIVE

- POTABLE WATER:** AFTER RECEIVING ECUA APPROVAL, THE DEVELOPER PLANS TO CONNECT TO EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS, VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT, UPON COMPLETION, THE ENTIRE SYSTEM WILL THEN BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE.
- SANITARY SEWER:** AFTER RECEIVING ECUA APPROVAL, THE DEVELOPER PLANS TO CONNECT TO EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND SEWER LINES AND LATERALS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL TURNED OVER TO THE ECUA FOR OWNERSHIP AND MAINTENANCE.
- STORM SEWER:** AFTER RECEIVING NWFMD AND CITY APPROVALS, THE DEVELOPER PLANS TO CONSTRUCT ALL NECESSARY STORMWATER PIPES AND STRUCTURES TO SERVE THIS DEVELOPMENT. THE ENGINEER WILL DESIGN THE STORM DRAINAGE SYSTEM TO COMPLY WITH CITY STANDARDS. THE ENTIRE NEW SYSTEM WILL REMAIN PRIVATE FOR OWNERSHIP AND MAINTENANCE. THE NEW DRAINAGE SYSTEM WILL DISCHARGE TO THE ADJACENT CITY OWNED AND MAINTAINED STORM POND.
- ELECTRIC, GAS, TELEPHONE & TV CABLE:** THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.

LEGAL DESCRIPTION:

PARCEL 1: THE EAST 6 FEET OF LOT 11 AND THE WEST 15 FEET OF LOT 12, BLOCK 86, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBIA COUNTY, FLORIDA.

PARCEL 2: LOT 13 AND THE EAST 15 FEET OF LOT 12, BLOCK 86, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO A MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

FLOOD STATEMENT:

THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND IS NOT IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). REFERENCE COMMUNITY PANEL NUMBER 12033C03806. EFFECTIVE SEPTEMBER 29, 2006.

CONSTRUCTION STANDARDS NOTE:

- ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE CITY OF PENSACOLA STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
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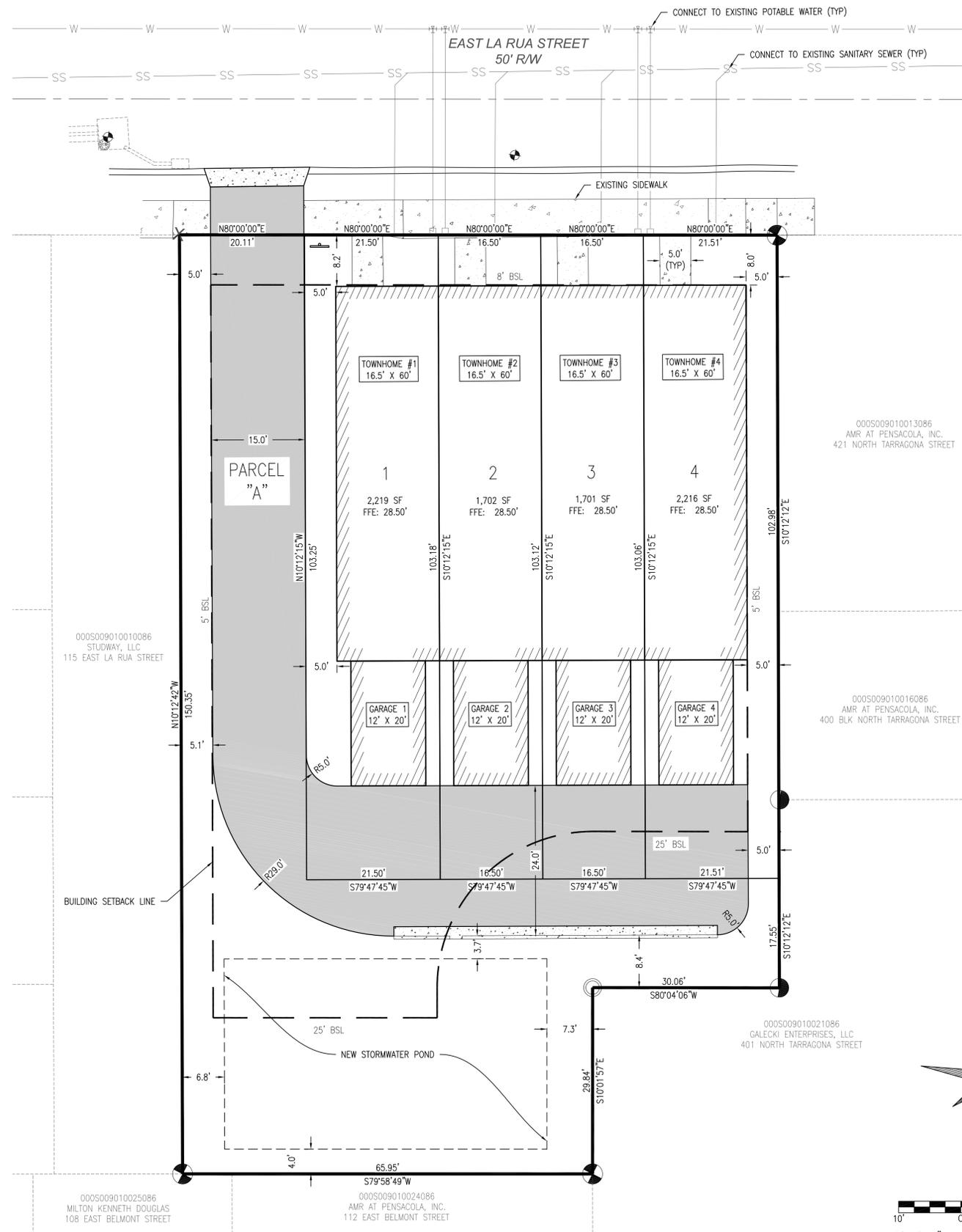
SITE NOTES:

- SITE AREA: APPROXIMATELY 0.31 AC
- TOTAL LOTS: 5 (4 TOWNHOME LOTS + ONE COMMON PARCEL)
- PARCEL ID: 00-05-00-9010-011-086, 00-05-00-9010-012-086, AND 00-05-00-9010-014-086
- LATITUDE & LONGITUDE: 30°25'7.01"N, 87°12'52.46"W
- ZONING: C-3 / FLU; C
- PROJECT ADDRESS: 117 EAST LA RUA STREET
- BUILDING SETBACK REQUIREMENTS: 8' FRONT, 5' SIDE, 25' REAR. BUILDING HEIGHT IS 45' MAX.
- THIS SUBDIVISION LIES WITHIN FLOOD ZONE "X" ACCORDING TO FEMA'S NATIONAL FLOOD HAZARD MAP.
- LOT COVERAGE: 75% MAXIMUM LOT COVERAGE AS PER ZONING REGULATIONS, OR THE LOT COVERAGE SHOWN ON THIS LOT GRADING PLAN, WHICHEVER IS LESS.
- THERE ARE NO WETLAND AREAS, PROTECTED TREES, OR HERITAGE TREES ON THIS PROPERTY.

ENGINEER'S STATEMENT:

ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS.

CLINT GECI, P.E.
LICENSE #73924



REVISION NO. 1 NO. 2 NO. 3 NO. 4 NO. 5	DATE	
	APPR.	
	FOR PERMITTING PURPOSES ONLY	
	GECI & ASSOCIATES, INC. ENGINEER 2950 NORTH 12th AVENUE, PENSACOLA, FL 32503 PHONE (850) 432-2929 • FAX (850) 432-2875 CERTIFICATE OF AUTHORIZATION NUMBER 000005149 E-Mail: gecia@geciengineers.com	DATE: 12/19/19 CHECKED: SAG DRAWN: CAG DESIGNED: CAG
	CLINT A. GECI FLORIDA P.E.# 73924	PROJECT NO. 32501 SHEET NO. 1 OF 1

STORMWATER MANAGEMENT PLAN

for

La Rua Townhomes

**117 East La Rua Street
Pensacola, FL**

Parcel #'s:

00-0S-00-9010-011-086

00-0S-00-9010-012-086

00-0S-00-9010-014-086

Escambia County, Florida

Engineer:

Geci & Associates Engineers, Inc.

2950 North 12th Avenue

Pensacola, Florida 32503

(850) 432-2929

G&A Reference No. 32501

December, 2019

Signature _____

Registration No.: 73924

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PROJECT NARRATIVE:

La Rua Townhomes is a proposed development located at 117 East La Rua Street, Pensacola, FL. The project includes a 4 unit townhouse development and associated onsite infrastructure. Currently, the site is developed with existing asphalt pavement covering a majority of the properties. A new stormwater pond and conveyance system is proposed to treat and attenuate runoff from the site. An outfall is proposed by connecting the new stormwater pond to the existing City storm structure under La Rua Street at the northwest corner of the site. There will not be any adverse impacts due to the drainage of the proposed development.

SCOPE:

The primary focus of this report is to provide information regarding the hydrological effects of the project and demonstrate compliance with the City of Pensacola and NFWMD stormwater regulations. Existing and proposed conditions are analyzed and compared to draw conclusions about the possible impacts from the project.

PROJECT AREAS:

Total Property Area	= 0.31ac
Total Project Area	= 0.31 ac
Pre & Post- Dev. Drainage Area	= 0.31 ac
Existing Impervious Area	= 0.19 ac
Proposed Impervious Area	= 0.19 ac*

* See "Post Development Conditions" section

DRAINAGE OUTFALL NARRATIVE:

An outfall for the development will be made by connecting a pipe from the proposed pond discharge structure to the nearby City storm inlet located at the northwest corner of the site; this storm sewer drains south into Pensacola Bay.

DRAINAGE BASIN BOUNDARY

The drainage area is approximately the property area. A small amount of offsite drainage area to the northeast is to be directed north to La Rua via a sideyard conveyance swale. Also, a portion of offsite drainage area to the southeast is to be intercepted by a new storm inlet and conveyed with the pond outfall pipe system.

SOIL CLASSES:

According to the NRCS Web Soil Survey, the following soil is found on site:

13 Lakeland Sand

*See Appendix for Soils Map.

EXISTING COVERAGE:

Currently, the site is developed with existing asphalt pavement covering a majority of the properties.

WATER TABLE:

Groundwater was encountered at a depth of 14-15' below existing grade in the location of the new storm pond (see Geotechnical Report by Tierra, Appendix). For design purposes, the seasonal high groundwater table (SHGWT) is assumed to be at a depth of 12' below existing grade which corresponds to elevation 14.5'.

PRE - DEVELOPMENT CONDITIONS

Given the existing coverage, the pre-development runoff coefficient has been provided below:

$$\text{Imp}_{\text{Existing}} = 8,319 \text{ sf} = 0.191 \text{ ac}$$

$$C_{\text{Pre}} = \frac{(0.25)(0.310 - 0.191) + (0.90)(0.191)}{0.31} = 0.65$$

POST - DEVELOPMENT CONDITIONS

The following describes post-developed conditions...

$$\text{Imp}_{\text{Proposed}} = 8,297 \text{ sf} = 0.190 \text{ ac}$$

$$\text{Pond} = 748 \text{ sf} = 0.017 \text{ ac}$$

$$\text{Pervious} = 0.310 - 0.190 - 0.017 = 0.103 \text{ ac}$$

$$C_{\text{Post}} = \frac{(0.25)(0.103) + (0.90)(0.190) + (1.00)(0.017)}{0.31} = 0.69$$

TIME OF CONCENTRATION (Tc):

The Time of Concentration for pre-development assumes the minimum allowable for use of FDOT IDF curves:

$$T_c = 8 \text{ min}$$

* Time of Concentration calculations are provided in the “Appendix”.

TREATMENT VOLUME:

The treatment volume for the drainage area is provided in the following calculation:

$$TV = (1'')(0.31)(1'/12'')(43,560 \text{ sf / ac}) = 1,126 \text{ cf}$$

Treatment volume recovery calculations have been provided in the “Appendix”.

DESIGN STORMS:

The design storms for this project are all storm events up to and including the 100 YR / 24 HR storm. FDOT IDF curves were used for the rainfall information.

TAILWATER CONDITIONS:

The tailwater elevation is assumed to be below the weir elevation and therefore, does not control the hydraulics of the pond discharge. All pipes are oversized for additional capacity for flood conditions.

STORMWATER RETENTION / DETENTION POND:

A dry retention/detention pond has been designed for this project. The following table illustrates important elevations associated with the storm pond:

<u>Elevation</u>	<u>Description</u>
27.00	Top of Pond
26.00	Discharge structure overflow
25.65	High Water Elevation (100 yr/1 hr Storm)
25.30	Weir Elevation / Elevation at Treatment Volume
23.00	Bottom of Pond
14.50	Groundwater (SHGWT)

MAINTANANCE & OPERATION:

The Maintenance Entity for this project will be the Home Owner's Association (HOA), which will be set in place by the Declaration of Covenants & Restrictions upon Final Plat recording. The HOA is responsible for all stormwater facilities not located on a townhome lot except within a private drainage easement. Home owners of Lots 1-4 are responsible for the drainage swale adjacent to their back patio; however, the off-site swale along the rear lot line is within a drainage easement and is to be maintained by the HOA.

The following items are required of the proper operation and maintenance to keep the stormwater facilities in safe and operable condition during the life of the system. The HOA is responsible for seeing that the stormwater system is maintained to operate as designed for the life of the system.

Embankment - Inspect semi-annually (March and September) and repair cut and fill slopes as needed. Replace eroded material and re-vegetate eroded areas. Keep the flumes free of shrubs, woody plants, fences, building, etc. to preserve the design capacity.

Weed and Brush Control - Mow three (3) times annually {late spring (May), midsummer (July) and fall (September)} or as needed to control weeds, briars and bushes on the embankment slopes. On areas inaccessible to power moving equipment, control of large-growing shrubs, trees and undesirable vegetation can be done by hand or chemicals. When using chemicals, care should be taken to follow all manufacturers' directions for use and observe all safety precautions.

Liming and Fertilization For Grassing - In the spring of each year 500 pounds per acre of 8-8-8 or equivalent fertilizer should be applied or as needed as determined by a soil test. Use a granular form with high organic content and spread evenly. Apply agricultural lime at the rate of one (1) ton per acre every five (5) years or as needed as determined by a soil test.

Revegetation - Should any areas become bare or have vegetation destroyed, make needed repairs as soon as possible.

The following recommendations are given as a guide for revegetating any disturbed or eroded areas:

If soil is exposed - pulverize by spading or roto-tilling. Fill the low or washed out areas with natural material. One inch layer of natural material will require 3.1 cubic yards per 1,000 square feet.

Fertilize with 8-8-8 or similar fertilizer at the rate or 20 pounds per 1,000 square feet. Lime with dolomite at the rate of 46 pounds per 1,000 square feet. Incorporate into the upper six (6) inches of soil.

After final grading, distribute bahia grass seed uniformly over the area with a drop-type fertilizer spreader or cyclone type broadcast spreader. Cover an area in one direction and then at right angles in the other direction criss-crossing the entire area. Cover the seed

lightly one-fourth (1/4) inch deep. Firm the seed into the soil with a roller. Plant 2-3 pounds of bahia grass per 1,000 square feet. After seeding, apply a mulch of one (1) inch or more of close fitting material, or up to four (4) inches of loose fitting material, so that about 25 percent of the ground is visible. Disk or spade in lightly at or near vertical angle. Starting four to six weeks after the seed has germinated, apply ammonium nitrate at the rate of three (3) pounds per 1,000 square feet every month until grass is well established.

Sod can be used instead of seed and will obviously revegetate the area quicker than seeding. The site preparation, liming, and fertilization is the same for seeding. Lay pieces of sod over the entire area on the contour with snug, even joints. Stagger the joints from strip to strip. Roll or tamp sod immediately following placement. Do not overlap the sod. On steep slopes secure sod to surface with wooden pegs or wire staples.

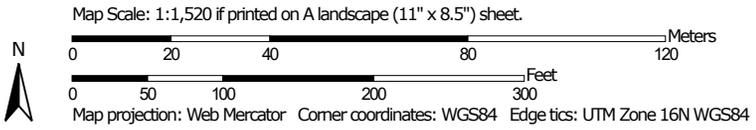
Failure to Comply and continually maintain all approved elements of approved Construction Plans for the ponds shall be a violation of County ordinances subject to enforcement and penalties.

STORMWATER MODELING:

Supra computer software was used for stormwater modeling (see Appendix for Supra outputs). All storms up to and including the 100-yr / 24-hr storm have been analyzed.

APPENDIX

Soil Map—Escambia County, Florida



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
13	Lakeland sand, 0 to 5 percent slopes	8.0	71.9%
21	Lakeland sand, 8 to 12 percent slopes	0.8	7.0%
22	Urban land	2.4	21.1%
Totals for Area of Interest		11.2	100.0%

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LA RUA TOWNHOMES

OUTPUT SUMMARY

FREQUENCY	RESULTS	DURATION				
		1-HR	2-HR	4-HR	8-HR	24-HR
2-YR	Q-pre	1.21	1.21	1.21	1.21	1.21
	Q-post	.73	.63	.53	.35	.14
	E-max	25.43	25.41	25.40	25.36	25.32
5-YR	Q-pre	1.37	1.37	1.37	1.37	1.37
	Q-post	1.20	.92	.49	.39	.19
	E-max	25.52	25.47	25.39	25.37	25.33
10-YR	Q-pre	1.48	1.48	1.48	1.48	1.48
	Q-post	1.33	1.35	.62	.55	.20
	E-max	25.54	25.54	25.41	25.40	25.34
25-YR	Q-pre	1.71	1.71	1.71	1.71	1.71
	Q-post	1.56	1.43	.88	.70	.20
	E-max	25.58	25.56	25.46	25.43	25.34
50-YR	Q-pre	1.81	1.81	1.81	1.81	1.81
	Q-post	1.77	1.55	1.03	.91	.26
	E-max	25.62	25.58	25.49	25.46	25.35
100-YR	Q-pre	1.96	1.96	1.96	1.96	1.96
	Q-post	1.92	1.63	1.05	1.04	.30
	E-max	25.65	25.59	25.49	25.49	25.35

CRITICAL DURATION : **** 1-HOUR,100-YEAR STORM ****

Q-pre (cfs) = 1.96
 Q-post (cfs) = 1.92
 E-max (ft) = 25.65

□

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LA RUA TOWNHOMES

***** WEIR STRUCTURE *****

NUMBER OF WEIRS = 1
WEIR COEFFICIENT = 3.3
EXPONENTIAL CONSTANT = 1.5
WEIR ELEVATION (ft) = 25.30
WEIR LENGTH (ft) = 2.00

**** STAGE/STORAGE/DISCHARGE DATA ****

STAGE (ft)	STORAGE (ac-ft)	PERCOLATION FLOW	CONNECTED OUTFLOW	TOTAL OUTFLOW
23.00	.000	.00	.00	.00
24.00	.007	.00	.00	.00
25.00	.020	.00	.00	.00
25.30	.026	.00	.00	.00
26.00	.042	.00	3.87	3.87
27.00	.074	.00	14.63	14.63

□

SUPRA-3 (VERSION 3.01) 12-18-2019
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LA RUA TOWNHOMES

**** 1-HOUR,100-YEAR STORM ****

PRE-DEVELOPMENT CONDITION:
DRAINAGE AREA (acres) = .31
CURVE NUMBER = .0
RUNOFF COEFFICIENT = .650
TIME OF CONCENTRATION (min.) = 8.0
RAINFALL INTENSITY (in/hr) = 9.75
PEAK FLOW RATE (cfs) = 1.96
POST-DEVELOPMENT CONDITION:
DRAINAGE AREA (acres) = .31
CURVE NUMBER = .0
RUNOFF COEFFICIENT = .690
RAINFALL ZONE NUMBER = 1
TOTAL RAINFALL DEPTH (inches) = 4.54

TIME (hrs)	I/Ptotal RATIO	INFLOW (cfs)	STAGE (ft)	TOTAL OUTFLOW	PERCOLATION FLOW	CONNECTED OUTFLOW
.0	.000	.00	23.00	.00	.00	.00
.1	.200	.19	23.11	.00	.00	.00
.2	.600	.58	23.57	.00	.00	.00
.3	1.200	1.17	24.33	.00	.00	.00
.4	2.100	2.04	25.22	.00	.00	.00
.5	2.150	2.09	25.64	1.88	.00	1.88
.6	1.800	1.75	25.65	1.92	.00	1.92
.7	1.100	1.07	25.56	1.41	.00	1.41
.8	.700	.68	25.46	.87	.00	.87
.9	.100	.10	25.37	.39	.00	.39
1.0	.000	.00	25.31	.05	.00	.05

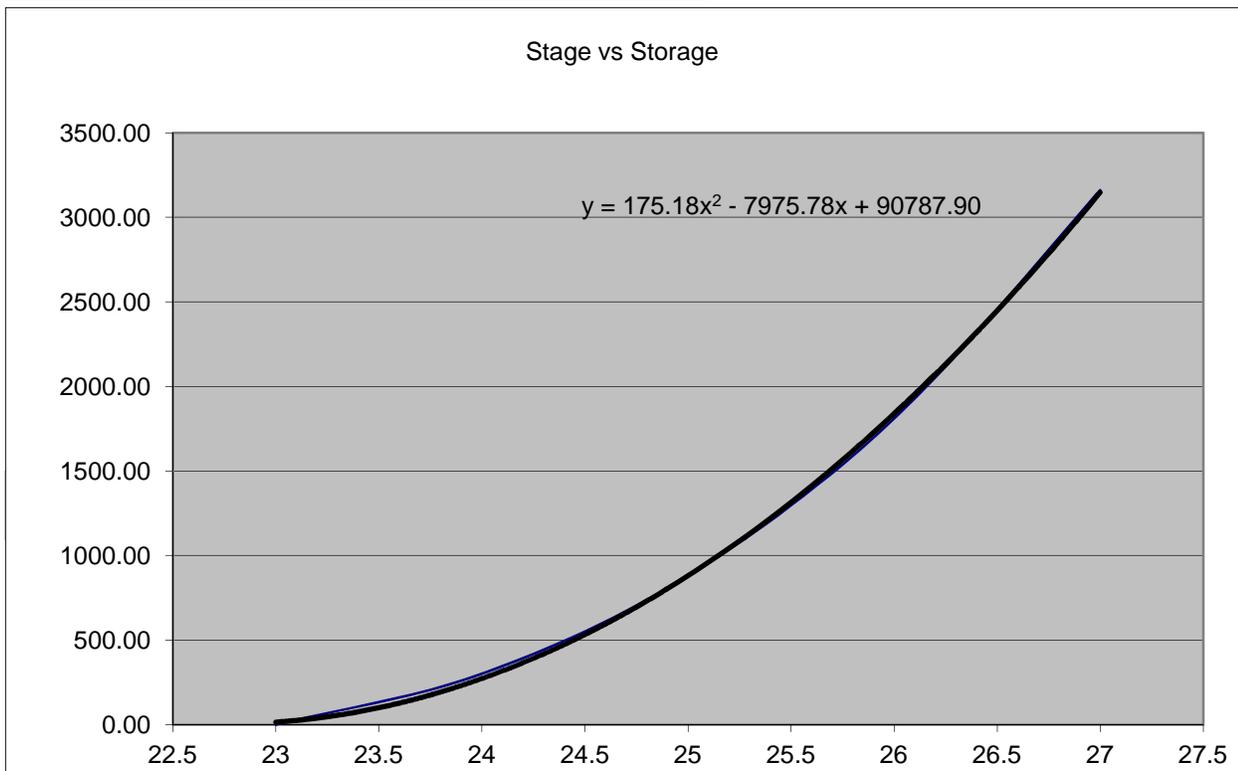
OUTPUT SUMMARY

PEAK FLOW (cfs)	=	1.92
PEAK STAGE (ft)	=	25.65
PEAK STORAGE (ac-ft)	=	.034
TIME TO PEAK (hrs)	=	.60

Pond Stage vs Storage

12/19/2019

Elevation (ft)	Area (ft ²)	Volume (ft ³)	Volume (ac-ft)
23	180	0.00	0.000
24	422	301.00	0.007
25	736	880.00	0.020
26	1123	1809.50	0.042
27	1581	3161.50	0.073



BASIN INFORMATION

#	AREA (ac)	AVG. SLOPE (%)	DISTANCE (ft)	C	tc (min)	I (in/hr)	Q (cfs)
PRE	0.31	1.42	88	0.65	6.8	8.9	1.80
030	0.17	1.00	97	0.80	5.3	9.5	1.29

Pipe Capacity

12/19/2019

Input
Output

Pipe Between...		Diameter (in)	Upstream Inv. Elev. (ft)	Downstream Inv. Elev. (ft)	Length (ft)	Slope (ft/ft)	Upstream Flow (cfs)	Additional Flow (cfs)	Total Flow (cfs)	Maximum Allowable Flow (cfs)	Within Capacity ?
030	020	18.00	21.60	21.50	16.00	0.0063	0.00	1.29	1.29	9.00	yes
020	010	18.00	22.60	21.70	138.00	0.0065	1.29	1.92	3.21	9.19	yes
010	Existing	18.00	23.00	22.70	42.00	0.0071	3.21	0.00	3.21	9.62	yes

Maximum Allowable Flow

Pipe Between...		n	Diameter (ft)	Area (ft^2)	Slope (ft/ft)	R (ft)	$Q = (1.486/n) \cdot (R^{2/3}) \cdot (S^{0.5}) \cdot (A)$ (cfs)	Velocity Full Flow (fps)
030	020	0.012	1.50	1.767	0.0063	0.375	9.00	5.09
020	010	0.012	1.50	1.767	0.0065	0.375	9.19	5.20
010	Existing	0.012	1.50	1.767	0.0071	0.375	9.62	5.44
0	0	0.012	0.00	0.000	0.0000	0.000	0.00	#DIV/0!
0	0	0.012	0.00	0.000	0.0000	0.000	0.00	#DIV/0!
0	0	0.012	0.00	0.000	0.0000	0.000	0.00	#DIV/0!

MODRET

SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

PROJECT NAME : La Rua
POLLUTION VOLUME RUNOFF DATA USED
UNSATURATED ANALYSIS EXCLUDED

Pond Bottom Area	177.00 ft ²																														
Pond Volume between Bottom & DHWL	1,834.50 ft ³																														
Pond Length to Width Ratio (L/W)	5.00																														
Elevation of Effective Aquifer Base	6.50 ft																														
Elevation of Seasonal High Groundwater Table	14.50 ft																														
Elevation of Starting Water Level	23.00 ft																														
Elevation of Pond Bottom	23.00 ft																														
Design High Water Level Elevation	26.00 ft																														
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.30																														
Unsaturated Vertical Hydraulic Conductivity	12.20 ft/d																														
Factor of Safety	2.00																														
Saturated Horizontal Hydraulic Conductivity	18.30 ft/d																														
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.30																														
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00																														
Hydraulic Control Features:																															
	<table border="1" style="margin: auto; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;"></th> <th style="width: 25%;">Top</th> <th style="width: 25%;">Bottom</th> <th style="width: 25%;">Left</th> <th style="width: 25%;">Right</th> </tr> </thead> <tbody> <tr> <td>Groundwater Control Features - Y/N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> </tr> <tr> <td>Distance to Edge of Pond</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> </tr> <tr> <td>Elevation of Water Level</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> </tr> <tr> <td>Impervious Barrier - Y/N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> <td style="text-align: center;">N</td> </tr> <tr> <td>Elevation of Barrier Bottom</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> <td style="text-align: center;">0.00</td> </tr> </tbody> </table>		Top	Bottom	Left	Right	Groundwater Control Features - Y/N	N	N	N	N	Distance to Edge of Pond	0.00	0.00	0.00	0.00	Elevation of Water Level	0.00	0.00	0.00	0.00	Impervious Barrier - Y/N	N	N	N	N	Elevation of Barrier Bottom	0.00	0.00	0.00	0.00
	Top	Bottom	Left	Right																											
Groundwater Control Features - Y/N	N	N	N	N																											
Distance to Edge of Pond	0.00	0.00	0.00	0.00																											
Elevation of Water Level	0.00	0.00	0.00	0.00																											
Impervious Barrier - Y/N	N	N	N	N																											
Elevation of Barrier Bottom	0.00	0.00	0.00	0.00																											

MODRET

TIME - RUNOFF INPUT DATA

PROJECT NAME: LA RUA

STRESS PERIOD NUMBER	INCREMENT OF TIME (hrs)	VOLUME OF RUNOFF (ft³)
Unsat	0.00	0.00
1	1.00	1,126.00
2	8.88	0.00
3	8.88	0.00
4	8.88	0.00
5	8.88	0.00
6	8.88	0.00
7	8.88	0.00
8	8.88	0.00
9	8.88	0.00

MODRET

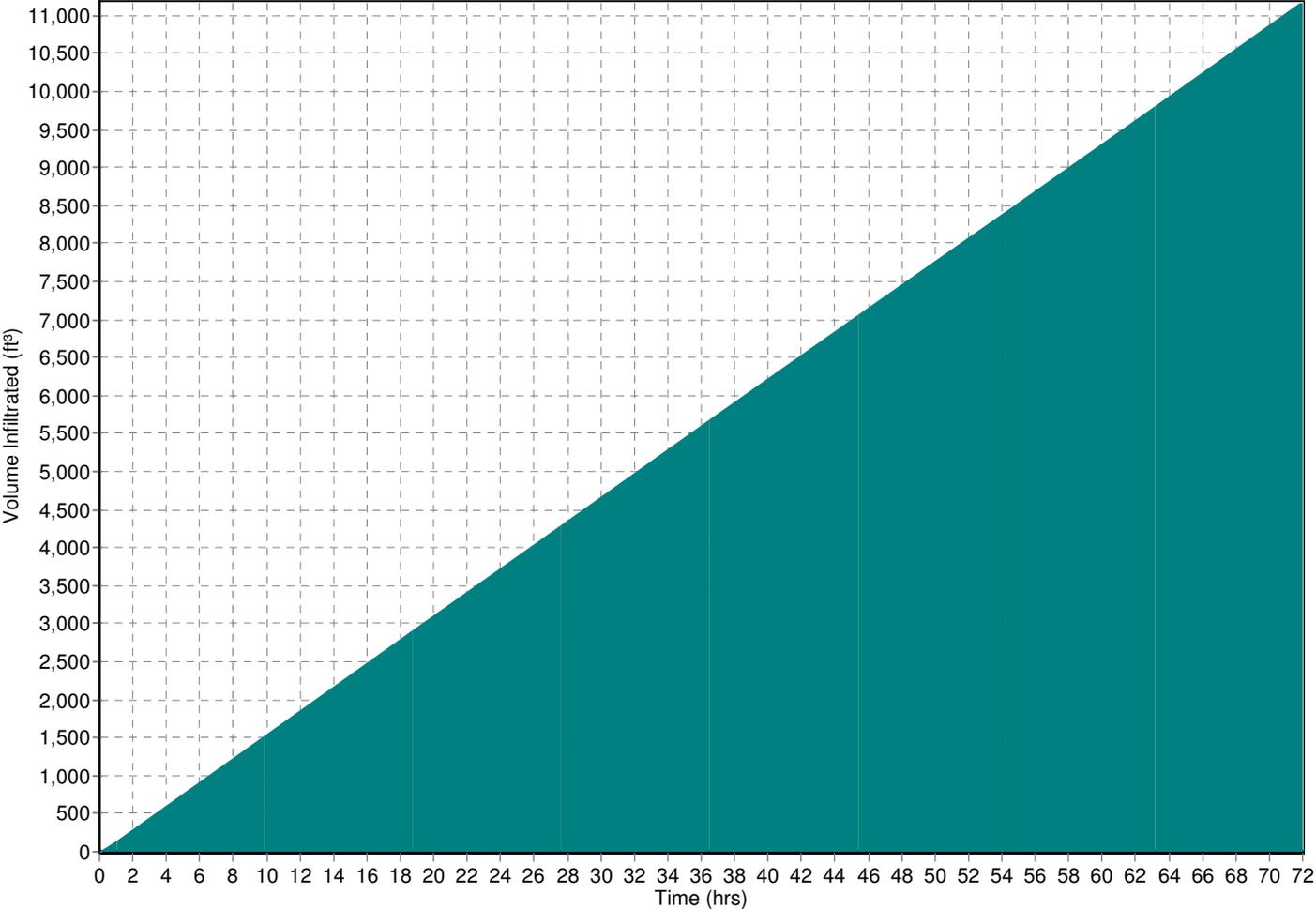
SUMMARY OF RESULTS

PROJECT NAME : La Rua

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft ³)
00.00 - 0.00	14.500	0.000 *		
			0.00000	
0.00	14.500	0.04317		
			0.04317	
1.00	24.587	0.04317		0.00
			0.04317	
9.88	23.000	0.04317		0.00
			0.04317	
18.75	23.000	0.04317		0.00
			0.04317	
27.63	23.000	0.04317		0.00
			0.04317	
36.50	23.000	0.04317		0.00
			0.04317	
45.38	23.000	0.04317		0.00
			0.04317	
54.25	23.000	0.04317		0.00
			0.04317	
63.13	23.000	0.04317		0.00
			0.04317	
72.00	23.000			0.00

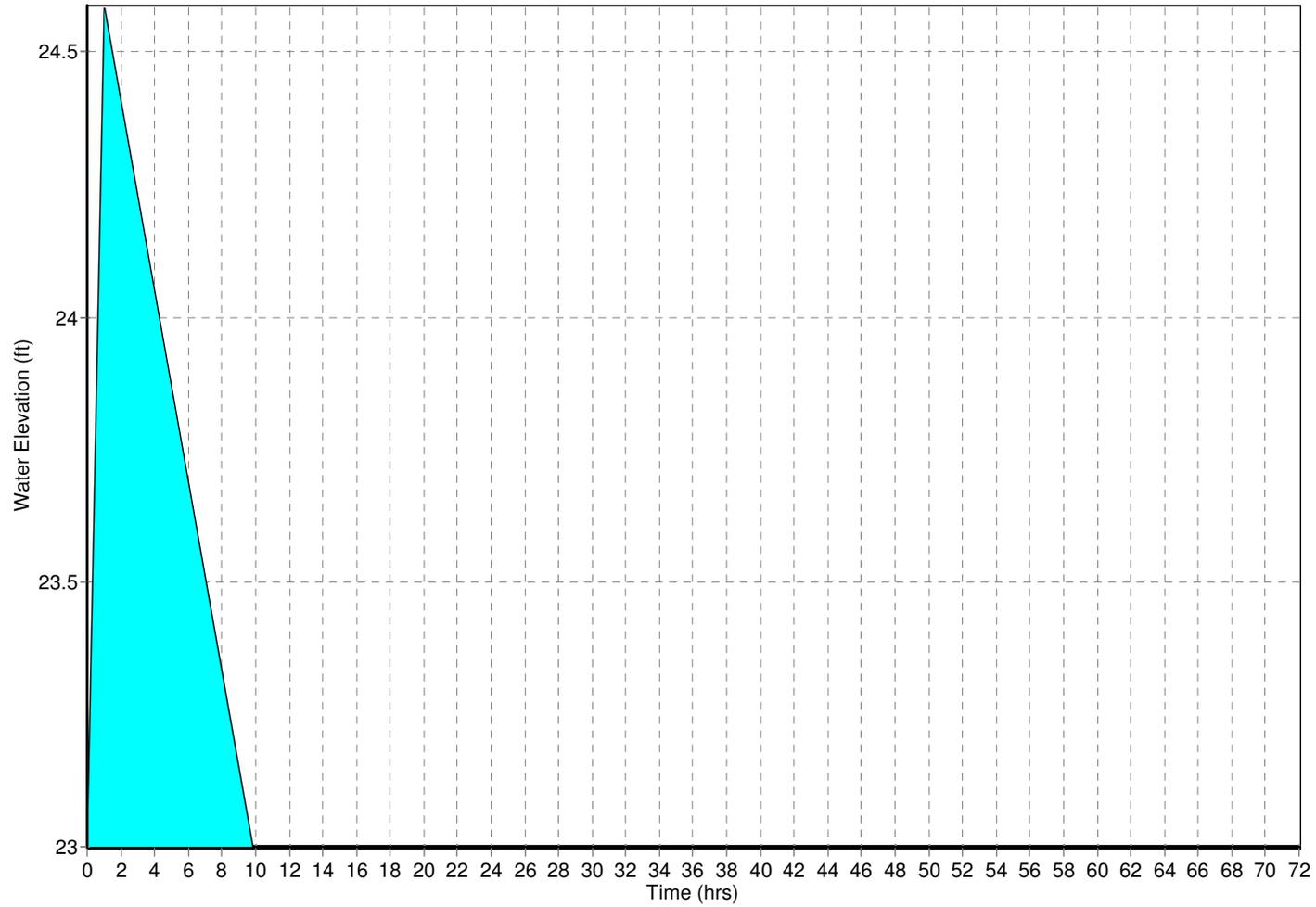
Maximum Water Elevation: 24.587 feet @ 1.00 hours * Time increment when there is no runoff Maximum Infiltration Rate: 6.100 ft/day	Recovery @ 72.000 hours
--	-------------------------

INFILTRATION : LA RUA



Total Volume Infiltrated = 11,190 ft³

INFILTRATION : LA RUA



Max Water Elevation = 24.59 ft

TIERRA

REPORT OF GEOTECHNICAL EXPLORATION

**La Rua Townhomes
Escambia County, Florida**

Tierra Project No. 4511-19-032

Prepared for:

**aDoor Properties
5041 Bayou Blvd. Suite 302
Pensacola, Florida 32503
Attn: Mr. Austin Tenpenny**

Prepared by:

**Tierra, Inc.
1300 West Main Street
Pensacola, Florida 32502**

December 13, 2019



**1300 West Main Street • Pensacola, FL 32502
Phone (850) 462-8774 • Fax (850) 462-8784
Florida Certificate No. 6486**

TIERRA

December 13, 2019

Mr. Austin Tenpenny
aDoor Properties
5041 Bayou Blvd. Suite 302
Pensacola, FL 32503

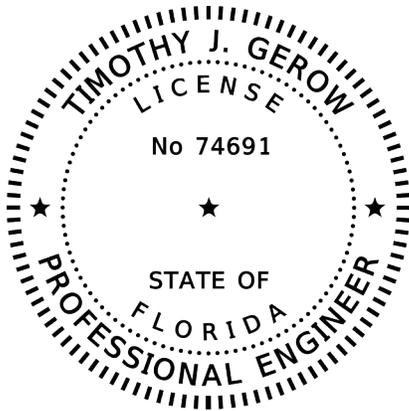
Subject: La Rua Townhomes
Escambia County, Florida
Tierra Project No. 4511-19-032

Mr. Tenpenny:

Thank you for choosing Tierra, Inc. (Tierra) as your Geotechnical consultant. Per your authorization, we have completed the Geotechnical exploration for the subject project. The results of the study are discussed in this report.

Should you have any questions regarding the enclosed report or the project in general, please do not hesitate to contact us at (850) 462-8774.

Sincerely,
TIERRA, INC.



Timothy J. Gerow, PE
Sr. Project Engineer
Florida License No. 74691

*THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY:*

ON THE DATE ADJACENT TO THE SEAL

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TIERRA, INC.
1300 WEST MAIN STREET
PENSACOLA, FLORIDA 32502
CERTIFICATE OF AUTHORIZATION 6486
TIMOTHY J. GEROW, P.E. NO. 74691

Mitchell L. Smith, PE
Principal Geotechnical Engineer
Florida License No. 43416



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APPENDIX A

Sheet 1 – Boring Location Plan

Sheet 2 – Soil Profiles

1.0 PROJECT INFORMATION

1.1 Project Authorization

Authorization to proceed on this project was issued by Mr. Austin Tenpenny with aDoor Properties (aDoor) via acceptance of our Geotechnical Engineering Services Proposal No. 45-19-090 dated November 20, 2019. A formal contract has been executed between Tierra, Inc. (Tierra) and aDoor for these services.

1.2 Project Description

Based on the information provided, we understand that the project will include approximately 180 linear feet of paved driveway and a stormwater pond. Finished grades in the roadway are expected to be within 2 feet of existing grades.

The pond will be less than 0.1 acre in size and will be located in the southwestern portion of the site. We have assumed that the pond will be on the order of 3 feet to 5 feet deep.

If any of the project information noted above is incorrect or has changed, please inform Tierra so that we may amend the recommendations presented in this report, if necessary.

1.3 Purpose and Scope of Services

The purpose of this exploration was to evaluate the subsurface conditions present in the subject areas and to render site preparation and pavement recommendations for the proposed driveway area, and Geotechnical parameters for use in design of the stormwater pond.

The exploration consisted of two 5 foot deep auger borings and two 20 foot deep Standard Penetration Test borings; laboratory soil testing including natural moisture content tests, wash #200 sieve tests, and a falling head permeability test; and a site visit, visual classification of the soil samples, and analysis by our engineering staff.

2.0 SITE AND SUBSURFACE CONDITIONS

2.1 Site Location and Description

The site is located at 119 East La Rua Street in Pensacola, Escambia County, Florida.

At the time of our exploration, an existing asphalt driveway was present on the site. Vegetation consisted of grasses and trees. Based on review of USGS and Google Earth topographic information, the site is relatively flat with elevations ranging from approximately elevation +25 feet to +30 feet.

2.2 Subsurface Conditions

The Boring Location Plan and the Soil Profiles of the borings drilled for this study can be found on in Appendix A. The borings were field located and staked using a Garmin GPSMap 64ST Global Positioning System (GPS) unit with a reported accuracy of ± 1 meter. Therefore, the boring locations should be considered approximate.

The driveway borings (AB-1 and AB-2) generally encountered sand and slightly silty sand from the ground surface to the bottom of the 5 foot deep borings.

The pond borings (PBS-1 and PBS-2) generally encountered sand and slightly silty sand from the ground surface to the bottom of the 20 foot deep borings. Note that boring PBS-2 encountered a seam of clayey sand from approximately 9 feet to 12 feet below existing grade.

The above subsurface description is of a generalized nature, provided to highlight the major soil stratum encountered. The Soil Profiles should be reviewed for specific subsurface conditions at each boring location. The stratification shown on the Soil Profiles represents the subsurface conditions at the actual boring locations only, and variations in the subsurface conditions can and may occur between boring locations and should therefore be expected. The stratification represents the approximate boundary between subsurface materials, and the transitions between strata may be gradual.

2.3 Groundwater Conditions

Groundwater was encountered in the pond borings (PBS-1 and PBS-2) approximately 14 feet to 15 feet below exiting grade at the time of drilling. The borings were performed during a period of

below normal seasonal rainfall. Groundwater will be discussed in greater detail in Section 3.4 below.

2.4 Laboratory Soil Testing

Laboratory soil testing consisted of natural moisture content tests, wash #200 sieve tests, and a falling head permeability test. The results of the moisture content and wash #200 sieve tests can be found on the Soil Profiles opposite the samples tested.

The falling head permeability test was performed on remolded bulk sample of the predominate soil type encountered in the pond borings, that being light brown sand. The density to which the sample was remolded was based on the N_f values obtained from the SPT tests. The results of this test are summarized in Table 1 below.

TABLE 1						
LABORATORY FALLING HEAD PERMEABILITY TEST RESULTS						
Soil Stratum	Boring	Sample Depth, ft.	Sample Description	% Fines	Dry Density, pcf	Vertical Permeability, ft/day
1	PBS-2	2 to 7	Light Brown SAND (SP)	4	109	12.2

3.0 EVALUATION AND RECOMMENDATIONS

3.1 General Comments

The subsurface conditions encountered in the pavement areas are suitable for the typical pavement section used in the subject area - limerock base and asphaltic concrete over stabilized subgrade (minimum LBR = 40). Pavement recommendations are presented in Section 3.3 below.

The subsurface conditions encountered in the pond borings are favorable for a conventional dry pond. Geotechnical parameters/recommendations for the stormwater pond are presented in Section 3.4 below.

3.2 Site Preparation Recommendations

The proposed pavement areas should be cleared, grubbed, and stripped of topsoil, debris and other deleterious material. Remnants from prior development, including pavement, foundations and subsurface utilities (e.g. septic tanks and drainfields, if present), should be removed from beneath and to a minimum distance of 5 feet from proposed pavement areas. Excavations made to remove significant root systems or remnant structures/features should be backfilled with soils compacted to a minimum soil density of 93% of the Modified Proctor test (ASTM D1557).

Prior to placing fill soils, where applicable, the top of the ground surface should be proof-rolled with a loaded dump truck to identify potentially soft areas and/or shallow debris from prior development(s) of the site. Proof-rolling should be performed under the direction of an engineer or his/her representative, with test pits/borings performed where yielding conditions are identified.

Soft areas or areas with unsuitables (if encountered) should be undercut to firmer native soils and backfilled with soils placed in maximum 8 inch (loose thickness) lifts and compacted with non-vibratory compaction equipment to a minimum soil density of 95% of the modified Proctor test (ASTM D1557). Vibratory compaction equipment is not recommended due to the proximity of the projects to existing structures.

Structural fill soils in the pavement areas should be placed in maximum 8 inch (loose thickness) lifts and compacted to a minimum soil density of 95% of the Modified Proctor test (ASTM D1557).

The top 12 inches of subgrade in the proposed pavement areas should consist of a soil having a minimum LBR value of 40. The native slightly silty sands may not meet this criteria, so if testing of

the native soils shows this to be the case, sufficient strength subgrade material will need to be imported to construct the pavement sections. Stabilized subgrade should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557).

3.3 Pavement Recommendations

Based on the subsurface conditions encountered and our understanding of finished grades, a flexible pavement section consisting of asphaltic concrete and limerock base should be suitable for the proposed pavement section.

The base course should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557). Stabilized subgrade having a minimum LBR of 40 should be installed beneath flexible and rigid pavements, and should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557). The native silty and clayey sands should meet this LBR requirement, but should be tested to confirm.

While designing the pavement section(s) for the proposed development was beyond the scope of our service, typical light duty flexible pavement sections for developments of this type in the local area consist of a minimum of 6 inches of base and a minimum of 1½ inches of Superpave SP-12.5 asphaltic concrete. Moderate duty pavement sections typically consist of a minimum of 8 inches of base and a minimum of 2 inches of Superpave SP-12.5 asphaltic concrete, while heavy duty pavement sections typically consist of a minimum of 8 inches of base and a minimum of 3½ inches of Superpave SP-12.5 asphaltic concrete. Typical rigid pavement sections for developments of this type in the local area consist of a minimum of 6 inches of concrete having a minimum flexural strength of 650 lbs./in². Joints should be doweled, the details of which should be provided by a licensed structural engineer.

The above sections represent minimum thicknesses representative of typical, local construction practices, and as such periodic maintenance should be anticipated. All pavement materials and construction procedures should conform to FDOT and/or appropriate city or county requirements.

3.4 Stormwater Pond Recommendations

The subsurface conditions encountered in the pond borings are suitable for on-site disposal of stormwater runoff from a conventional shallow dry pond. Note that a seam of clayey sand was encountered in boring PBS-2 from approximately 9 feet below existing grade to 12 feet below

existing grade. Due to the fact that this clayey sand layer was only encountered in one of the pond borings, it would be reasonable to assume that it will not significantly inhibit the vertical infiltration of stormwater as water will take the path of least resistance through the more permeable sand soils.

Geotechnical design parameters for stormwater pond recovery analysis are provided below based on the design information provided at the time of this report, the field data collected from the site, the results of the laboratory tests noted above, and our experience with the subsurface conditions in the subject area.

- **Effective Base Depth:** A confining unit, which would hydrogeologically define the thickness of the surficial aquifer, was not encountered in the 20 foot deep pond borings. Therefore, we recommend setting the aquifer base at a depth no deeper than 20 feet below existing grade. This corresponds to the depth of the borings.
- **Seasonal High Groundwater Level:** Groundwater was encountered in the pond borings (PBS-1 and PBS-2) at a depth of approximately 14 feet to 15 feet below exiting grade at the time of drilling. Rainfall data from several nearby weather stations was analyzed and compared to historical rainfall data from Pensacola International Airport for six months preceding the time of this study. The data is summarized below.

RAINFALL DATA – KPNS WEATHER STATION						
	June 2019	July 2019	Aug 2019	Sept 2019	Oct 2019	Nov 2019
Actual	6.83	4.33	10.11	0.13	5.26	2.13 (thru 11/29/19)
Normal	6.60	7.41	6.76	5.98	5.24	4.57 (prorated for 29 days)

Cumulative rainfall over the 1 month preceding the date of drilling was 2.44 inches below normal and the cumulative rainfall over the 4 months preceding the date of drilling was 4.92 inches below normal. Therefore, it is reasonable to assume that the groundwater levels measured at the time of drilling were reflective of below normal seasonal levels. Based on this information and considering the permeability of the soils comprising the surficial aquifer, we estimate the “normal” seasonal high water table to be approximately 12 feet to 13 feet below existing grade as shown on the Soil Profiles in Appendix A.

- **Vertical Permeability:** A laboratory falling head permeability test was performed to evaluate vertical permeability of the predominate soils comprising the surficial aquifer. The results of the permeability test are presented above in Section 2.4. To summarize, the vertical permeability of the soil sample obtained from Stratum 1 (brown sand) was 12.2 ft/day.
- **Horizontal Permeability:** The horizontal permeabilities of the soils encountered in the test borings have been estimated based on the results of the vertical permeability tests and extensive experience with similar soils from field permeability tests. While horizontal permeabilities have generally been found to range from 3 to 10 times higher than vertical permeabilities of regional deposits, we recommend that a multiplier of 3 with a factor of safety of 2 be used for design (effectively, a 1.5 multiplier). Therefore, the horizontal permeability of the sands (Stratum 1) is estimated to be approximately 18.3 ft/day.
- **Effective Porosity:** Based on the fines contents of the soils encountered in the test boring, an effective porosity of 0.30 would be reasonable for modeling Stratum 1.

4.0 REPORT LIMITATIONS

The recommendations submitted are based on the available soil information obtained by Tierra, Inc. and design details furnished by aDoor for the subject project. If there are any revisions to the plans for this project or if deviations from the subsurface conditions noted in this report are encountered during construction, Tierra should be notified immediately to determine if changes in the foundation, or other, recommendations are required. If Tierra is not retained to perform these functions, we cannot be responsible for the impact of such conditions on the performance of the project.

The findings, recommendations, specifications, and professional advice contained herein have been made in accordance with generally accepted professional Geotechnical engineering practices in the local area.

After the plans and specifications are more complete, the Geotechnical engineer should be provided the opportunity to review the final design plans and specifications to assure our engineering recommendations have been properly incorporated into the design documents. At that time, it may be necessary to submit supplementary recommendations. This report has been prepared for the exclusive use of aDoor for the specific application to the subject project.

APPENDIX A

Sheets 1 - Boring Location Plan

Sheets 2 - Soil Profiles



BORING LOCATION PLAN



LEGEND

- ⊕
APPROXIMATE LOCATION OF AUGER BORING
- ⊕
APPROXIMATE LOCATION OF SPT BORING

DRAWN BY:
SW

CHECKED BY:
TJG

APPROVED BY:
TJG

DATE:
DEC 2019

ENGINEER OF RECORD:
TIMOTHY J. GEROW, P.E.
FLORIDA LICENSE NO.:
74691



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1300 West Main Street
Pensacola, Florida 32502
Phone: 850-462-8774 Fax: 850-462-8784
FL Cert. No.: 6486

SCALE:
NOTED

PROJECT NUMBER:
4511-19-032

GEOTECHNICAL ENGINEERING SERVICES
LA RUA TOWNHOMES
ESCAMBIA COUNTY, FLORIDA

SHEET 1

SOIL PROFILES

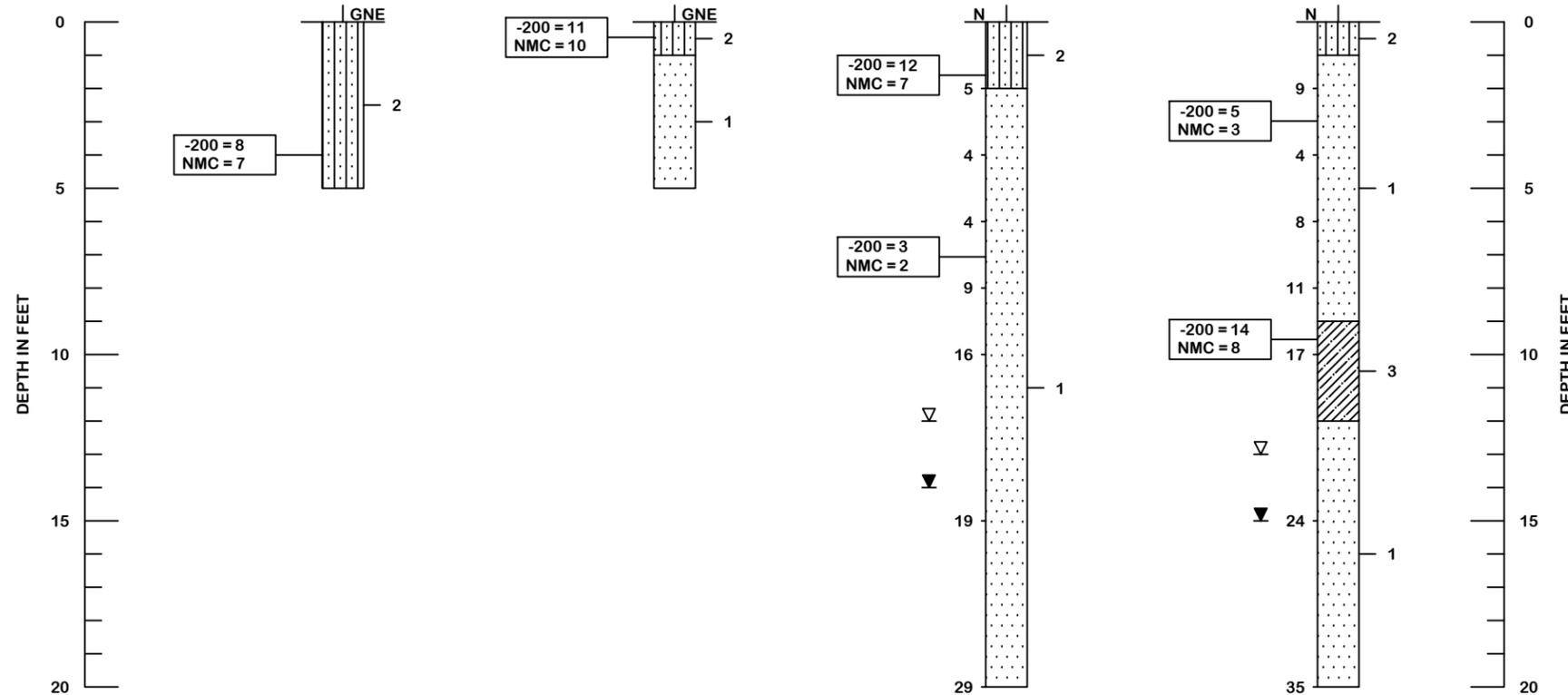
LEGEND

BOR # AB-1
EASTING 1112912
NORTHING 526142.2
DATE 11/29/2019
DRILLER ERG
RIG D-50

BOR # AB-2
EASTING 1112996
NORTHING 526075.8
DATE 11/29/2019
DRILLER ERG
RIG D-50

BOR # PBS-1
EASTING 1112931
NORTHING 526015.6
DATE 11/29/2019
DRILLER ERG
HAMMER SAFETY
RIG D-50

BOR # PBS-2
EASTING 1112966
NORTHING 526041.6
DATE 11/29/2019
DRILLER ERG
HAMMER SAFETY
RIG D-50



- 1 LIGHT BROWN, ORANGE, YELLOW, WHITE SAND (SP)
- 2 BROWN, ORANGE SLIGHTLY SILTY SAND (SP-SM)
- 3 ORANGE, RED CLAYEY SAND (SC)

- GROUNDWATER LEVEL ENCOUNTERED DURING INVESTIGATION
- ESTIMATED SEASONAL HIGH GROUNDWATER TABLE
- N** SPT N-VALUE IN BLOWS/FOOT FOR 12 INCHES OF PENETRATION (UNLESS OTHERWISE NOTED)
- SP** UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D 2488) GROUP SYMBOL AS DETERMINED BY VISUAL REVIEW AND LABORATORY TESTING ON SELECTED SAMPLES FOR CONFIRMATION OF VISUAL REVIEW.
- GNE** GROUNDWATER TABLE NOT ENCOUNTERED
- 200** PERCENT PASSING #200 SIEVE
- NMC** NATURAL MOISTURE CONTENT (%)
- EASTING** EASTING COORDINATE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA NORTH ZONE, N.A.D. 83
- NORTHING** NORTHING COORDINATE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA NORTH ZONE, N.A.D. 83

	SAFETY HAMMER	AUTOMATIC HAMMER
GRANULAR MATERIALS-RELATIVE DENSITY	SPT N-VALUE (BLOWS/FT.)	SPT N-VALUE (BLOWS/FT.)
VERY LOOSE	LESS THAN 4	LESS THAN 3
LOOSE	4 to 10	3 to 8
MEDIUM DENSE	10 to 30	8 to 24
DENSE	30 to 50	24 to 40
VERY DENSE	GREATER THAN 50	GREATER THAN 40
SILTS AND CLAYS CONSISTENCY	SPT N-VALUE (BLOWS/FT.)	SPT N-VALUE (BLOWS/FT.)
VERY SOFT	LESS THAN 2	LESS THAN 1
SOFT	2 to 4	1 to 3
FIRM	4 to 8	3 to 6
STIFF	8 to 15	6 to 12
VERY STIFF	15 to 30	12 to 24
HARD	GREATER THAN 30	GREATER THAN 24

DRAWN BY:
SW

CHECKED BY:
TJG

APPROVED BY:
TJG

DATE:
DEC 2019

ENGINEER OF RECORD:
TIMOTHY J. GEROW, P.E.
FLORIDA LICENSE NO.:
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SCALE:
NOTED

PROJECT NUMBER:
4511-19-032

GEOTECHNICAL ENGINEERING SERVICES
LA RUA TOWNHOMES
ESCAMBIA COUNTY, FLORIDA

SHEET 2

TIERRA

REPORT OF GEOTECHNICAL EXPLORATION

**La Rua Townhomes
Escambia County, Florida**

Tierra Project No. 4511-19-032

Prepared for:

**aDoor Properties
5041 Bayou Blvd. Suite 302
Pensacola, Florida 32503
Attn: Mr. Austin Tenpenny**

Prepared by:

**Tierra, Inc.
1300 West Main Street
Pensacola, Florida 32502**

December 13, 2019



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Florida Certificate No. 6486**

TIERRA

December 13, 2019

Mr. Austin Tenpenny
aDoor Properties
5041 Bayou Blvd. Suite 302
Pensacola, FL 32503

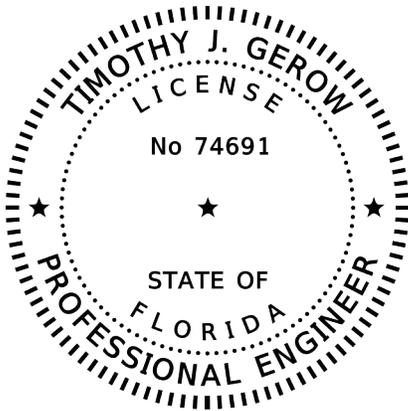
Subject: La Rua Townhomes
Escambia County, Florida
Tierra Project No. 4511-19-032

Mr. Tenpenny:

Thank you for choosing Tierra, Inc. (Tierra) as your Geotechnical consultant. Per your authorization, we have completed the Geotechnical exploration for the subject project. The results of the study are discussed in this report.

Should you have any questions regarding the enclosed report or the project in general, please do not hesitate to contact us at (850) 462-8774.

Sincerely,
TIERRA, INC.



Timothy J. Gerow, PE
Sr. Project Engineer
Florida License No. 74691

*THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY:*

ON THE DATE ADJACENT TO THE SEAL

*PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.*

TIERRA, INC.
1300 WEST MAIN STREET
PENSACOLA, FLORIDA 32502
CERTIFICATE OF AUTHORIZATION 6486
TIMOTHY J. GEROW, P.E. NO. 74691

Mitchell L. Smith, PE
Principal Geotechnical Engineer
Florida License No. 43416



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APPENDIX A

Sheet 1 – Boring Location Plan

Sheet 2 – Soil Profiles

1.0 PROJECT INFORMATION

1.1 Project Authorization

Authorization to proceed on this project was issued by Mr. Austin Tenpenny with aDoor Properties (aDoor) via acceptance of our Geotechnical Engineering Services Proposal No. 45-19-090 dated November 20, 2019. A formal contract has been executed between Tierra, Inc. (Tierra) and aDoor for these services.

1.2 Project Description

Based on the information provided, we understand that the project will include approximately 180 linear feet of paved driveway and a stormwater pond. Finished grades in the roadway are expected to be within 2 feet of existing grades.

The pond will be less than 0.1 acre in size and will be located in the southwestern portion of the site. We have assumed that the pond will be on the order of 3 feet to 5 feet deep.

If any of the project information noted above is incorrect or has changed, please inform Tierra so that we may amend the recommendations presented in this report, if necessary.

1.3 Purpose and Scope of Services

The purpose of this exploration was to evaluate the subsurface conditions present in the subject areas and to render site preparation and pavement recommendations for the proposed driveway area, and Geotechnical parameters for use in design of the stormwater pond.

The exploration consisted of two 5 foot deep auger borings and two 20 foot deep Standard Penetration Test borings; laboratory soil testing including natural moisture content tests, wash #200 sieve tests, and a falling head permeability test; and a site visit, visual classification of the soil samples, and analysis by our engineering staff.

2.0 SITE AND SUBSURFACE CONDITIONS

2.1 Site Location and Description

The site is located at 119 East La Rua Street in Pensacola, Escambia County, Florida.

At the time of our exploration, an existing asphalt driveway was present on the site. Vegetation consisted of grasses and trees. Based on review of USGS and Google Earth topographic information, the site is relatively flat with elevations ranging from approximately elevation +25 feet to +30 feet.

2.2 Subsurface Conditions

The Boring Location Plan and the Soil Profiles of the borings drilled for this study can be found on in Appendix A. The borings were field located and staked using a Garmin GPSMap 64ST Global Positioning System (GPS) unit with a reported accuracy of ± 1 meter. Therefore, the boring locations should be considered approximate.

The driveway borings (AB-1 and AB-2) generally encountered sand and slightly silty sand from the ground surface to the bottom of the 5 foot deep borings.

The pond borings (PBS-1 and PBS-2) generally encountered sand and slightly silty sand from the ground surface to the bottom of the 20 foot deep borings. Note that boring PBS-2 encountered a seam of clayey sand from approximately 9 feet to 12 feet below existing grade.

The above subsurface description is of a generalized nature, provided to highlight the major soil stratum encountered. The Soil Profiles should be reviewed for specific subsurface conditions at each boring location. The stratification shown on the Soil Profiles represents the subsurface conditions at the actual boring locations only, and variations in the subsurface conditions can and may occur between boring locations and should therefore be expected. The stratification represents the approximate boundary between subsurface materials, and the transitions between strata may be gradual.

2.3 Groundwater Conditions

Groundwater was encountered in the pond borings (PBS-1 and PBS-2) approximately 14 feet to 15 feet below exiting grade at the time of drilling. The borings were performed during a period of

below normal seasonal rainfall. Groundwater will be discussed in greater detail in Section 3.4 below.

2.4 Laboratory Soil Testing

Laboratory soil testing consisted of natural moisture content tests, wash #200 sieve tests, and a falling head permeability test. The results of the moisture content and wash #200 sieve tests can be found on the Soil Profiles opposite the samples tested.

The falling head permeability test was performed on remolded bulk sample of the predominate soil type encountered in the pond borings, that being light brown sand. The density to which the sample was remolded was based on the N_f values obtained from the SPT tests. The results of this test are summarized in Table 1 below.

TABLE 1						
LABORATORY FALLING HEAD PERMEABILITY TEST RESULTS						
Soil Stratum	Boring	Sample Depth, ft.	Sample Description	% Fines	Dry Density, pcf	Vertical Permeability, ft/day
1	PBS-2	2 to 7	Light Brown SAND (SP)	4	109	12.2

3.0 EVALUATION AND RECOMMENDATIONS

3.1 General Comments

The subsurface conditions encountered in the pavement areas are suitable for the typical pavement section used in the subject area - limerock base and asphaltic concrete over stabilized subgrade (minimum LBR = 40). Pavement recommendations are presented in Section 3.3 below.

The subsurface conditions encountered in the pond borings are favorable for a conventional dry pond. Geotechnical parameters/recommendations for the stormwater pond are presented in Section 3.4 below.

3.2 Site Preparation Recommendations

The proposed pavement areas should be cleared, grubbed, and stripped of topsoil, debris and other deleterious material. Remnants from prior development, including pavement, foundations and subsurface utilities (e.g. septic tanks and drainfields, if present), should be removed from beneath and to a minimum distance of 5 feet from proposed pavement areas. Excavations made to remove significant root systems or remnant structures/features should be backfilled with soils compacted to a minimum soil density of 93% of the Modified Proctor test (ASTM D1557).

Prior to placing fill soils, where applicable, the top of the ground surface should be proof-rolled with a loaded dump truck to identify potentially soft areas and/or shallow debris from prior development(s) of the site. Proof-rolling should be performed under the direction of an engineer or his/her representative, with test pits/borings performed where yielding conditions are identified.

Soft areas or areas with unsuitables (if encountered) should be undercut to firmer native soils and backfilled with soils placed in maximum 8 inch (loose thickness) lifts and compacted with non-vibratory compaction equipment to a minimum soil density of 95% of the modified Proctor test (ASTM D1557). Vibratory compaction equipment is not recommended due to the proximity of the projects to existing structures.

Structural fill soils in the pavement areas should be placed in maximum 8 inch (loose thickness) lifts and compacted to a minimum soil density of 95% of the Modified Proctor test (ASTM D1557).

The top 12 inches of subgrade in the proposed pavement areas should consist of a soil having a minimum LBR value of 40. The native slightly silty sands may not meet this criteria, so if testing of

the native soils shows this to be the case, sufficient strength subgrade material will need to be imported to construct the pavement sections. Stabilized subgrade should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557).

3.3 Pavement Recommendations

Based on the subsurface conditions encountered and our understanding of finished grades, a flexible pavement section consisting of asphaltic concrete and limerock base should be suitable for the proposed pavement section.

The base course should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557). Stabilized subgrade having a minimum LBR of 40 should be installed beneath flexible and rigid pavements, and should be compacted to a minimum soil density of 98% of the Modified Proctor test (ASTM D1557). The native silty and clayey sands should meet this LBR requirement, but should be tested to confirm.

While designing the pavement section(s) for the proposed development was beyond the scope of our service, typical light duty flexible pavement sections for developments of this type in the local area consist of a minimum of 6 inches of base and a minimum of 1½ inches of Superpave SP-12.5 asphaltic concrete. Moderate duty pavement sections typically consist of a minimum of 8 inches of base and a minimum of 2 inches of Superpave SP-12.5 asphaltic concrete, while heavy duty pavement sections typically consist of a minimum of 8 inches of base and a minimum of 3½ inches of Superpave SP-12.5 asphaltic concrete. Typical rigid pavement sections for developments of this type in the local area consist of a minimum of 6 inches of concrete having a minimum flexural strength of 650 lbs./in². Joints should be doweled, the details of which should be provided by a licensed structural engineer.

The above sections represent minimum thicknesses representative of typical, local construction practices, and as such periodic maintenance should be anticipated. All pavement materials and construction procedures should conform to FDOT and/or appropriate city or county requirements.

3.4 Stormwater Pond Recommendations

The subsurface conditions encountered in the pond borings are suitable for on-site disposal of stormwater runoff from a conventional shallow dry pond. Note that a seam of clayey sand was encountered in boring PBS-2 from approximately 9 feet below existing grade to 12 feet below

existing grade. Due to the fact that this clayey sand layer was only encountered in one of the pond borings, it would be reasonable to assume that it will not significantly inhibit the vertical infiltration of stormwater as water will take the path of least resistance through the more permeable sand soils.

Geotechnical design parameters for stormwater pond recovery analysis are provided below based on the design information provided at the time of this report, the field data collected from the site, the results of the laboratory tests noted above, and our experience with the subsurface conditions in the subject area.

- **Effective Base Depth:** A confining unit, which would hydrogeologically define the thickness of the surficial aquifer, was not encountered in the 20 foot deep pond borings. Therefore, we recommend setting the aquifer base at a depth no deeper than 20 feet below existing grade. This corresponds to the depth of the borings.
- **Seasonal High Groundwater Level:** Groundwater was encountered in the pond borings (PBS-1 and PBS-2) at a depth of approximately 14 feet to 15 feet below exiting grade at the time of drilling. Rainfall data from several nearby weather stations was analyzed and compared to historical rainfall data from Pensacola International Airport for six months preceding the time of this study. The data is summarized below.

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Cumulative rainfall over the 1 month preceding the date of drilling was 2.44 inches below normal and the cumulative rainfall over the 4 months preceding the date of drilling was 4.92 inches below normal. Therefore, it is reasonable to assume that the groundwater levels measured at the time of drilling were reflective of below normal seasonal levels. Based on this information and considering the permeability of the soils comprising the surficial aquifer, we estimate the “normal” seasonal high water table to be approximately 12 feet to 13 feet below existing grade as shown on the Soil Profiles in Appendix A.

- **Vertical Permeability:** A laboratory falling head permeability test was performed to evaluate vertical permeability of the predominate soils comprising the surficial aquifer. The results of the permeability test are presented above in Section 2.4. To summarize, the vertical permeability of the soil sample obtained from Stratum 1 (brown sand) was 12.2 ft/day.
- **Horizontal Permeability:** The horizontal permeabilities of the soils encountered in the test borings have been estimated based on the results of the vertical permeability tests and extensive experience with similar soils from field permeability tests. While horizontal permeabilities have generally been found to range from 3 to 10 times higher than vertical permeabilities of regional deposits, we recommend that a multiplier of 3 with a factor of safety of 2 be used for design (effectively, a 1.5 multiplier). Therefore, the horizontal permeability of the sands (Stratum 1) is estimated to be approximately 18.3 ft/day.
- **Effective Porosity:** Based on the fines contents of the soils encountered in the test boring, an effective porosity of 0.30 would be reasonable for modeling Stratum 1.

4.0 REPORT LIMITATIONS

The recommendations submitted are based on the available soil information obtained by Tierra, Inc. and design details furnished by aDoor for the subject project. If there are any revisions to the plans for this project or if deviations from the subsurface conditions noted in this report are encountered during construction, Tierra should be notified immediately to determine if changes in the foundation, or other, recommendations are required. If Tierra is not retained to perform these functions, we cannot be responsible for the impact of such conditions on the performance of the project.

The findings, recommendations, specifications, and professional advice contained herein have been made in accordance with generally accepted professional Geotechnical engineering practices in the local area.

After the plans and specifications are more complete, the Geotechnical engineer should be provided the opportunity to review the final design plans and specifications to assure our engineering recommendations have been properly incorporated into the design documents. At that time, it may be necessary to submit supplementary recommendations. This report has been prepared for the exclusive use of aDoor for the specific application to the subject project.

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Sheets 2 - Soil Profiles



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LEGEND

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APPROXIMATE LOCATION OF AUGER BORING
- ⊕
APPROXIMATE LOCATION OF SPT BORING

DRAWN BY:
SW

CHECKED BY:
TJG

APPROVED BY:
TJG

DATE:
DEC 2019

ENGINEER OF RECORD:
TIMOTHY J. GEROW, P.E.
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GEOTECHNICAL ENGINEERING SERVICES
LA RUA TOWNHOMES
ESCAMBIA COUNTY, FLORIDA

SHEET 1

SOIL PROFILES

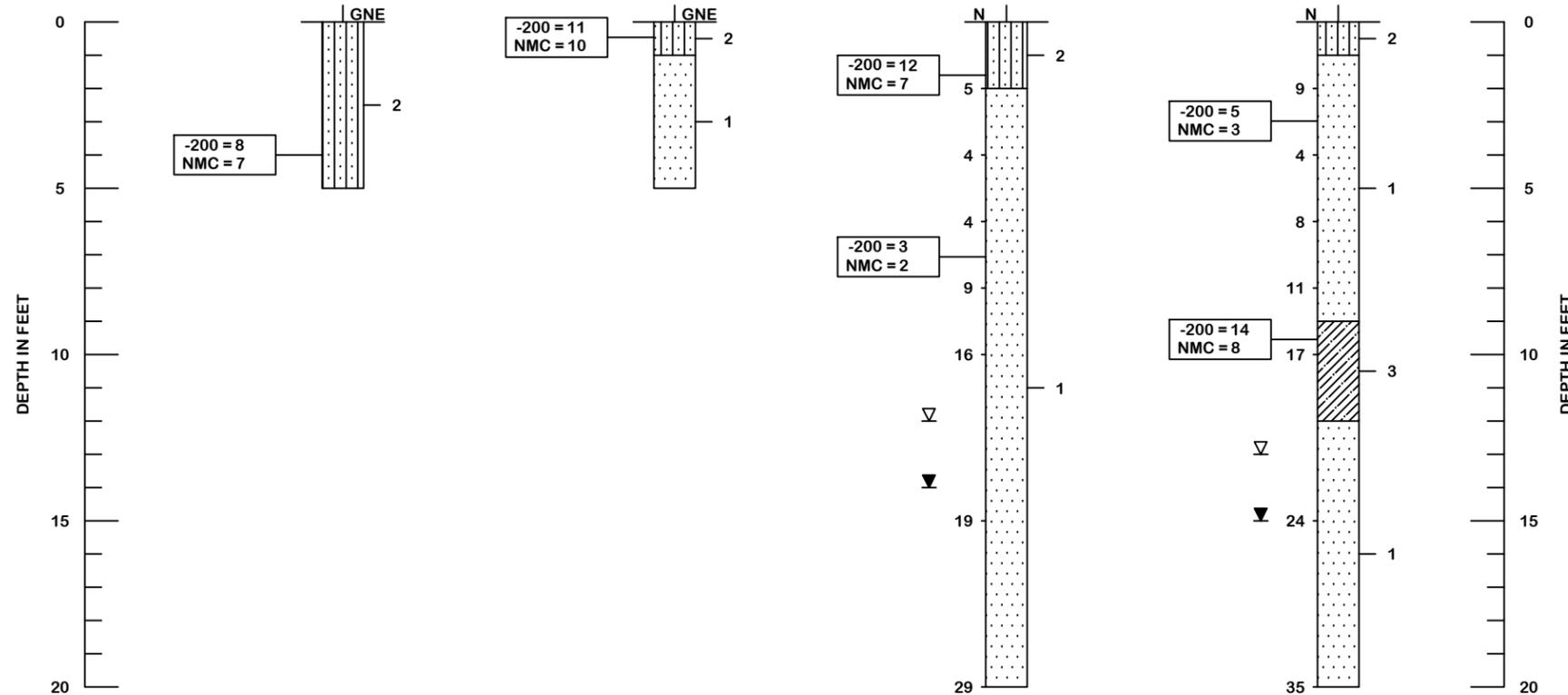
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STIFF	8 to 15	6 to 12
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DRAWN BY:
SW

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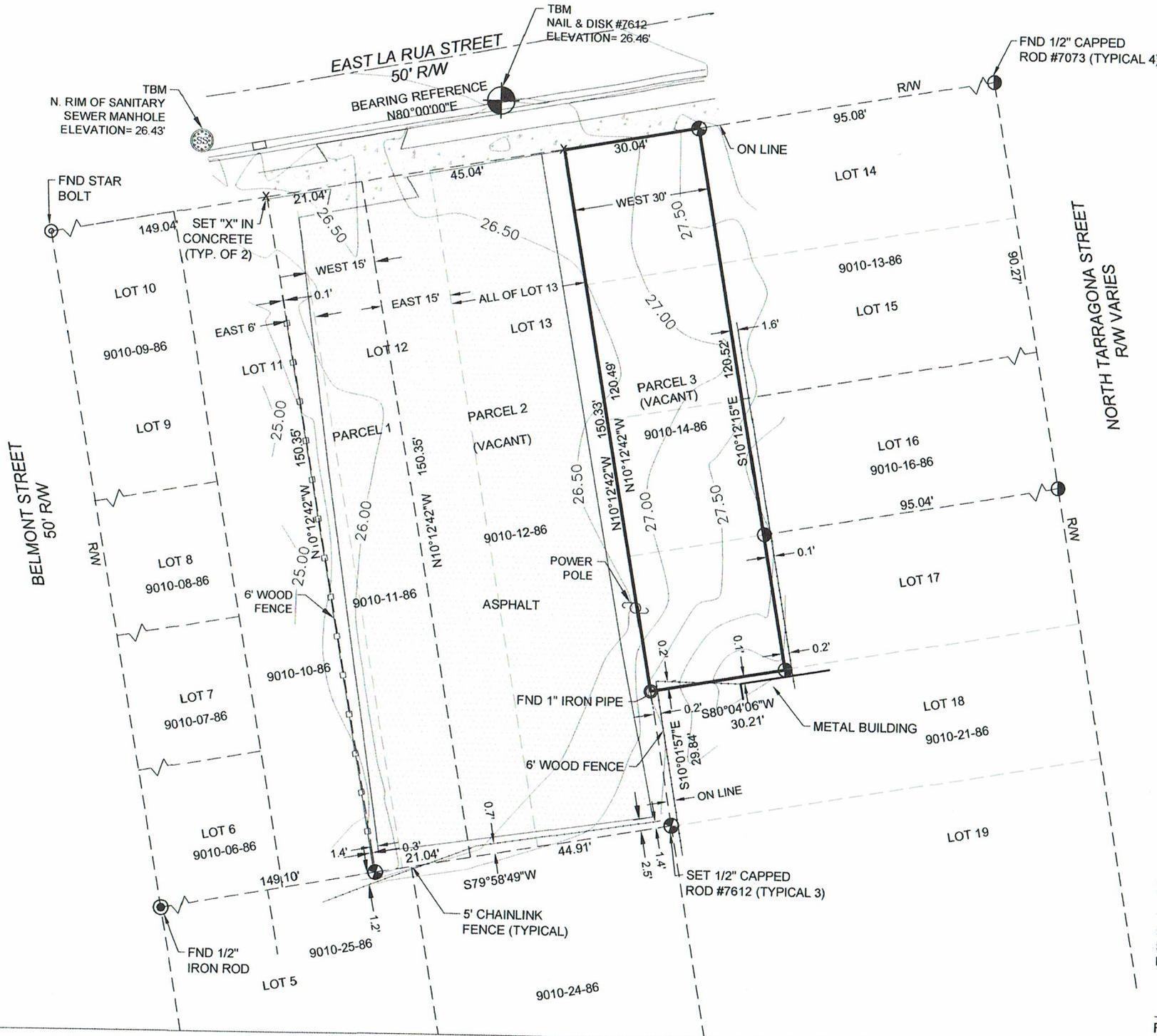
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Phone: 850-462-8774 Fax: 850-462-8784
FL Cert. No.: 6486

SCALE:
NOTED

PROJECT NUMBER:
4511-19-032

GEOTECHNICAL ENGINEERING SERVICES
LA RUA TOWNHOMES
ESCAMBIA COUNTY, FLORIDA

SHEET 2



LEGAL DESCRIPTION: (PROVIDED BY CLIENT)

PARCEL 3: THE WEST THIRTY (30) FEET OF LOTS FOURTEEN (14), FIFTEEN (15), SIXTEEN (16) AND SEVENTEEN (17), BLOCK EIGHTY-SIX (86), EAST KING TRACT, BELMONT NUMBERING, ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, ESCAMBIA COUNTY, FLORIDA.

NOTES:

1. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 2-2-2016.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
3. ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. STATE AND FEDERAL COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED EITHER IN WHOLE OR IN PART, OR TO BE USED FOR ANY OTHER FINANCIAL TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER.
5. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF THE NORTH LINE OF THE SURVEYED PARCELS AS BEING N80°00'00"E.
6. FENCE LINES ARE EXAGGERATED FOR CLARITY.
7. ENCROACHMENTS ARE AS SHOWN.
8. ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD '88 DATUM OF FDOT BENCHMARK "48-00-101V", ELEVATION = 64.68'.
9. THE SURVEYED PROPERTY IS LOCATED IN FLOOD ZONE "X", BASED ON FIRM MAP PANEL 12033C0390G, DATED SEPTEMBER 29, 2006.

LEGEND:

- (F) FIELD MEASUREMENT
- (P) PLAT MEASUREMENT
- R/W RIGHT-OF-WAY
- FND FOUND BOUNDARY CORNER

CERTIFICATIONS:

A BAYOU CHIROPRACTIC CENTER PA
ANCHOR TITLE
STEWART TITLE INSURANCE COMPANY

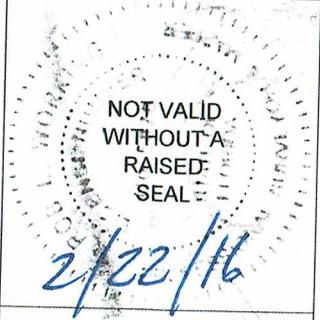
SURVEYORS CERTIFICATE

The survey shown hereon is true and correct and in compliance with the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, Florida Administrative Code pursuant to Section 472.027, Florida Statutes.

Rob L. Working
ROB L. WORKING P.L.S. FLORIDA REGISTRATION NO. 5878



360 SURVEYING SERVICES
1801 CREIGHTON RD.
PENSACOLA, FL 32504
850.857.4400



TOPOGRAPHIC SURVEY

ADDRESS:
121 LA RUA STREET
PENSACOLA, FLORIDA 32501
PROJECT NUMBER: 160175
DATE: 2-15-2016
FIELD BOOK: 54 **PAGE:** 31
DRAWN BY: AC
APPROVED BY: ROB L. WORKING



SCALE: 1"=30'

SHEET 1 OF 1



MEMORANDUM

TO: Planning Board Members

FROM: Cynthia R. Cannon, AICP, Assistant Planning Director

DATE: February 4, 2020

SUBJECT: Request for License to Use Right-of-Way – 2800 North 12th Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12th Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk.

This request has been routed through the various City departments and utility providers and those comments are attached for your review.

Department:

Comments:

FIRE	We do not oppose to the relocation of the sidewalk.	
PW/E	PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.	
InspSvcs	No objections.	
ESP	No objections.	
ECUA	ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined). If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.	
GPW	No comments.	
ATT	AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.	

Cynthia Cannon

From: ST PIERRE, ROB A <RS634Y@att.com>
Sent: Wednesday, January 22, 2020 1:51 PM
To: Cynthia Cannon
Subject: [EXTERNAL] FW: License to Use - Parking - 2800 N 12th Ave
Attachments: 2800 N 12th Ave_LTU Application.pdf

Cynthia,

AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.

Thanks,

Rob St. Pierre
Manager - OSP Plng & Eng
Technology Operations

AT&T
605 W Garden St. Pensacola, FL 32502
o 850.436.1701 | rs634y@att.com
MOBILIZING **YOUR** WORLD

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From: FENNER, KARL L
Sent: Wednesday, January 22, 2020 12:16 PM
To: ST PIERRE, ROB A <RS634Y@att.com>
Cc: SAUERS, BRAD <bs5403@att.com>
Subject: FW: License to Use - Parking - 2800 N 12th Ave

Karl Fenner
Area Manager – OSP Plng and Eng
Technology Operations

AT&T
605 W Garden St, Pensacola, FL 32502
o 850.436.1485 | kf5345@att.com

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From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, January 28, 2020 8:37 AM
To: Cynthia Cannon <CCannon@cityofpensacola.com>
Cc: Mike Hamlin <mike.hamlin@ecua.fl.gov>
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Good morning Cynthia,

ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined).

If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822, | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Wednesday, January 22, 2020 9:01 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power)

Cynthia Cannon

From: Diane Moore
Sent: Monday, January 27, 2020 10:48 AM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Cynthia,
Pensacola Energy has no comments or objections to the license to use request.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

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Subject: License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12th Avenue.

Cynthia Cannon

From: Annie Bloxson
Sent: Wednesday, January 22, 2020 12:50 PM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Good Afternoon,

I do not oppose to the relocation of the sidewalk.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



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Sent: Wednesday, January 22, 2020 9:01 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

Subject: License to Use - Parking - 2800 N 12th Ave

Cynthia Cannon

From: Jonathan Bilby
Sent: Wednesday, January 22, 2020 10:25 AM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

I have no issues with this license to use.

Jonathan Bilby, MCP, CFM
Inspection Services Administrator
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435.1748
Fax: 850.595.1464
jbilby@cityofpensacola.com

PENSACOLA

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Subject: License to Use - Parking - 2800 N 12th Ave

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Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon, AICP

Cynthia Cannon

From: Derrik Owens
Sent: Wednesday, January 22, 2020 2:50 PM
To: Cynthia Cannon
Cc: Brad Hinote; Ryan J. Novota
Subject: RE: License to Use - Parking - 2800 N 12th Ave

PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.

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Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



License To Use City Right-Of-Way

Residential License To Use

Application Fee: \$500.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: N/A
Insurance Coverage: \$300,000.00

Commercial License To Use

Application Fee: (Minor) \$500.00
(Major) \$1,000.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: (Minor) \$500.00
(Major) \$1,000.00
Insurance Coverage: \$1,000,000.00

Pensacola Neighborhood Challenge Grant

Application Fee: N/A

Applicant: David Sharuff

Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550

Email: d_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

** If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information **

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379

Location Address: 2800 N. 12th Ave., Pensacola, Fl.

Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: _____
Additional parking area for proposed development of restaurant

Please attach a map indicating the actual dimensions of the requested license.

For Office Use Only		
District: _____	Zoning: _____	
Date Received: <u>1/21/2020</u>	Case Number: _____	Annual Fee: _____
Planning Board date: _____	Recommendation: _____	Amount of Insurance Coverage: _____
City Council date: _____	Council Action: _____	

License To Use City Right-Of-Way

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
 - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
 - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
 - (3) No application shall be considered complete until all of the following has been submitted:
 - (a) The application shall be submitted on a form provided by the Board Secretary.
 - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
 - 1. Accurate site plan drawn to scale;
 - 2. Reason for license to use request.
 - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
 - (5) Any party may appear in person, by agent, or by attorney.
 - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
 - (1) Public Notice for license to use right-of-way.
 - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
 - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
 - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:

Full legal name of the Corporation: _____

Official Corporate Address: _____

President or Vice-President:

Name & Title – _____

Corporate Secretary: Name – _____

Limited Liability Company (LLC):

Full legal name of company: _____

Official Address: _____

Managing Member or member:

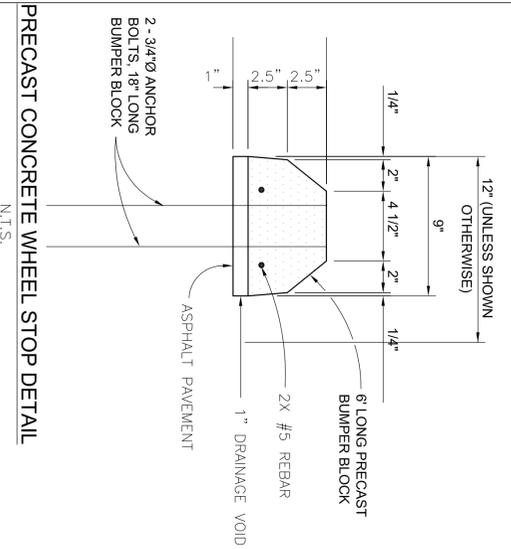
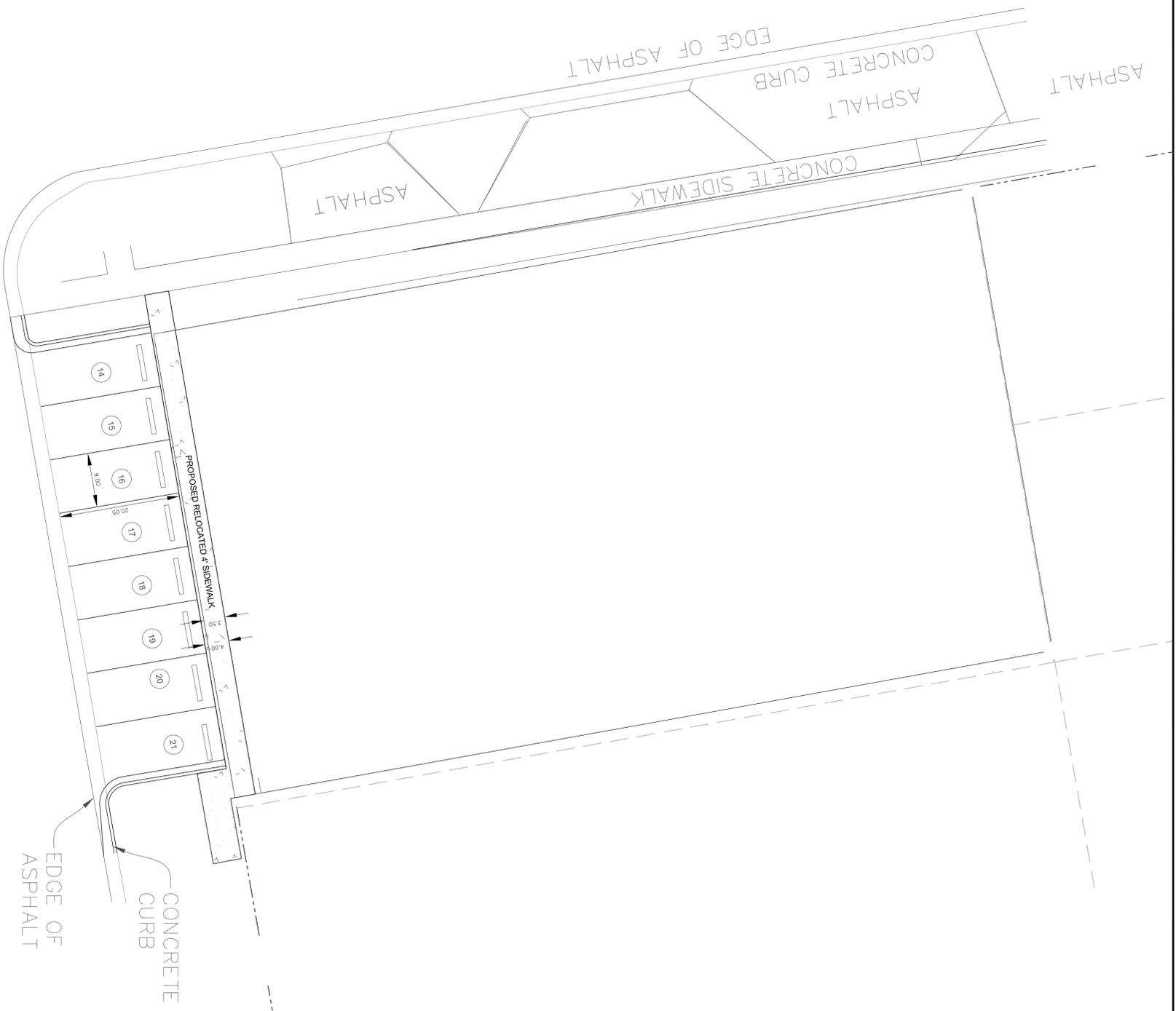
Name & Title – _____



Sharuff, LLC

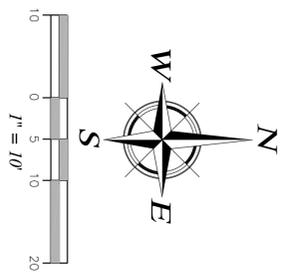
638 Shore Drive, Miramar Beach, Fl. 32550

David Sharuff, MGR



PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.

LEGAL DESCRIPTION OF PARKING
TO BE PROVIDED BY SURVEYOR



SITE DATA SUMMARY

LEGAL DESCRIPTION:

PARCEL ID NUMBERS:
00-05-00-0025-019-380
LEGAL DESCRIPTION:
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM U FISHER..

SITE DATA:

CURRENT LAND USE: COMMERCIAL (C-1)	FUTURE USE: RETAIL COMMERCIAL (C-1)
FUTURE LAND USE: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
ZONING: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
CURRENT USE: NORTH: COMMERCIAL	RETAIL COMMERCIAL (C-1)
SOUTH: MIXED USE	RETAIL COMMERCIAL (C-1)
EAST: VACANT	RETAIL COMMERCIAL (C-1)
WEST: SINGLE FAMILY RESIDENCE	RETAIL COMMERCIAL (C-1)

SETBACK SUMMARY:

FRONT: 0' REQUIRED	7' PROVIDED
SIDE: 0' REQUIRED	2.3' PROVIDED ON NORTH SIDE
REAR: 0' REQUIRED	14' PROVIDED ON SOUTH SIDE
	18.5' PROVIDED

SITE SUMMARY:

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

PROPOSED BUILDING HEIGHT:
TOTAL BUILDING AREA = 2,074 S.F.
COVERED PORCH AREA = 712 S.F.

TABULATION OF REQUIRED PARKING SPACES:

PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =	21 SPACES REQUIRED
SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =	5 SPACES
TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT =	26 SPACES REQUIRED
TOTAL ADA SPACES PROVIDED = 1 SPACE	21 SPACES PROVIDED

Sec. 12-2-1 A.6.
The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

FLOOD ZONE INFORMATION:

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION. ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

architect of record :

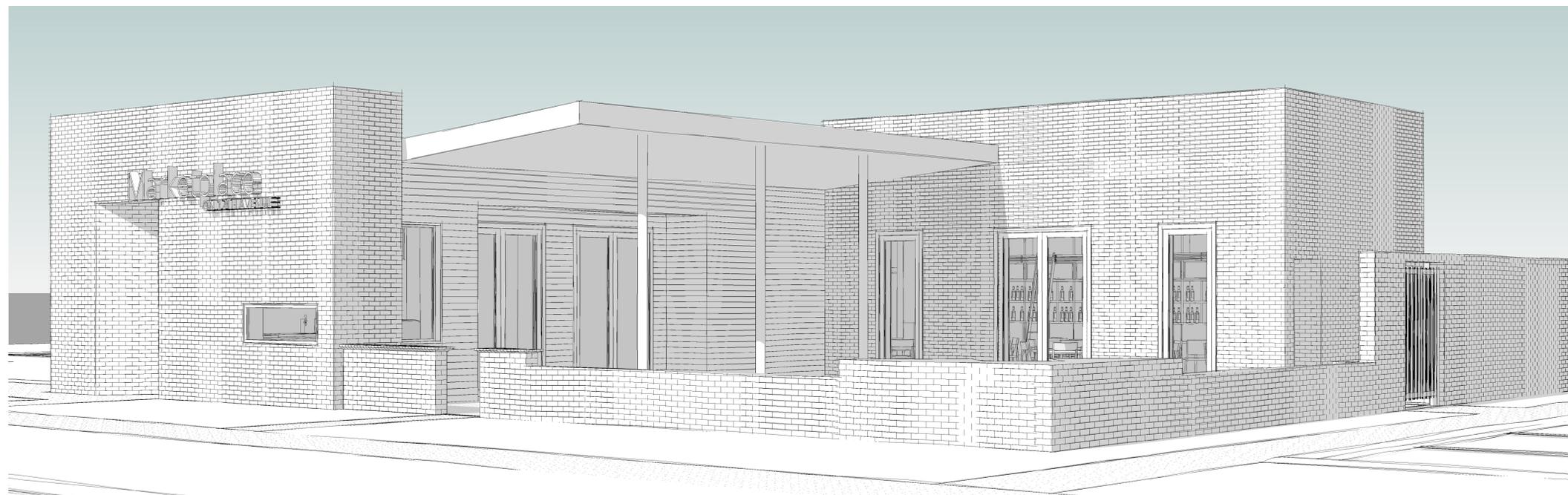
**McWhorter
Vallee Design**

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect
seal: AR95108



12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name

MARKETPLACE

project address:

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parcel:

26-25-21-42000-001-0052

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Revision Schedule

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APPLICABLE CODES:

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

FIRE MARSHAL NOTES:

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OR EGRESS, TYP.

LEGEND

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXT'R PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

FIRE SAFETY NOTES:

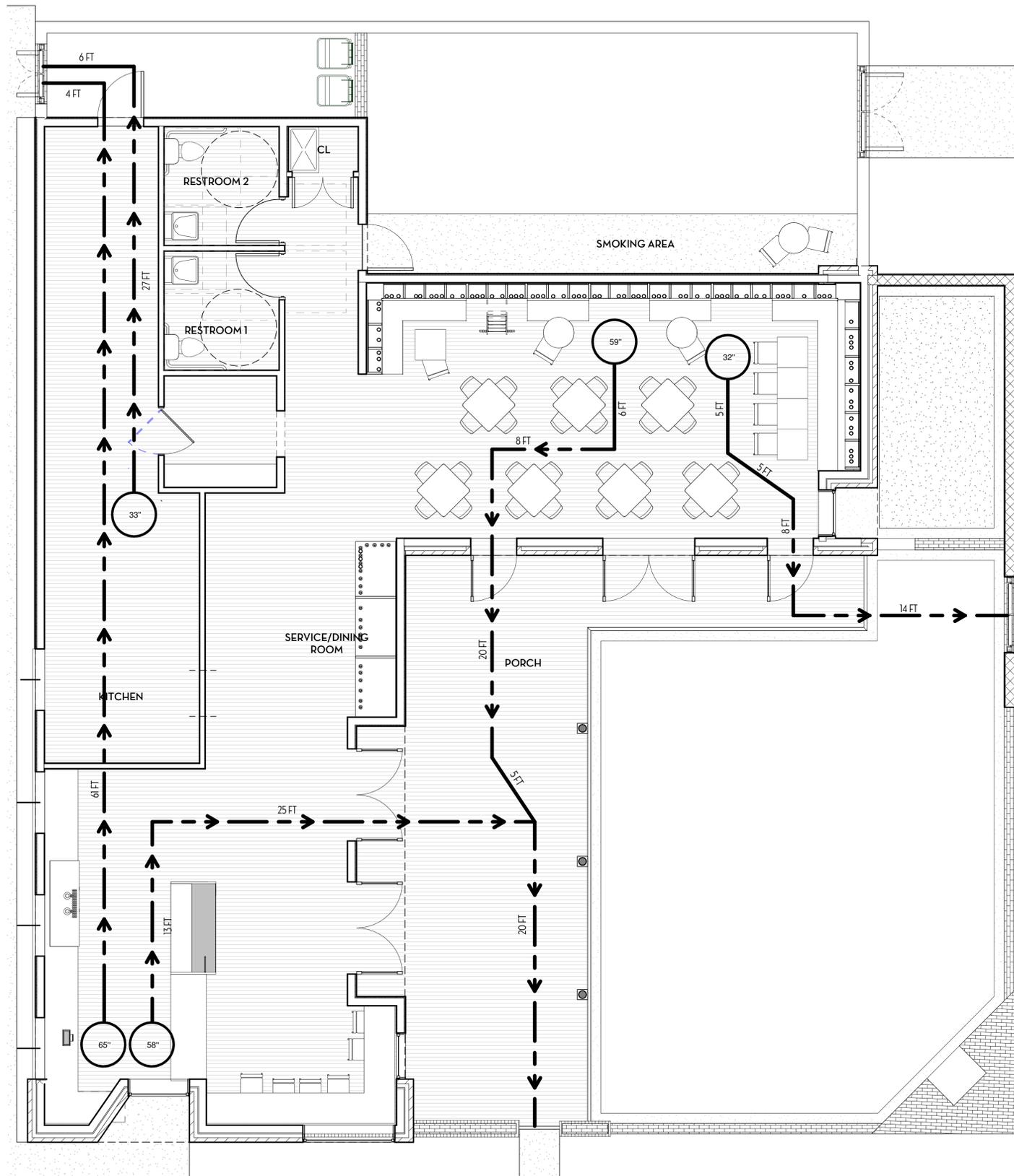
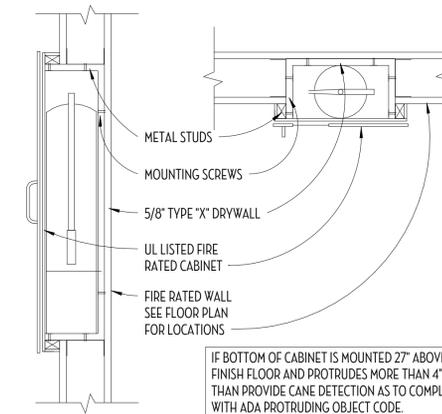
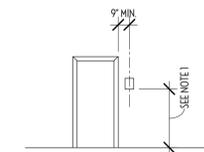
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

FIRE EXTINGUISHERS:

- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

SIGNAGE NOTES:

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



4 LIFE SAFETY PLAN
1/4" = 1'-0"

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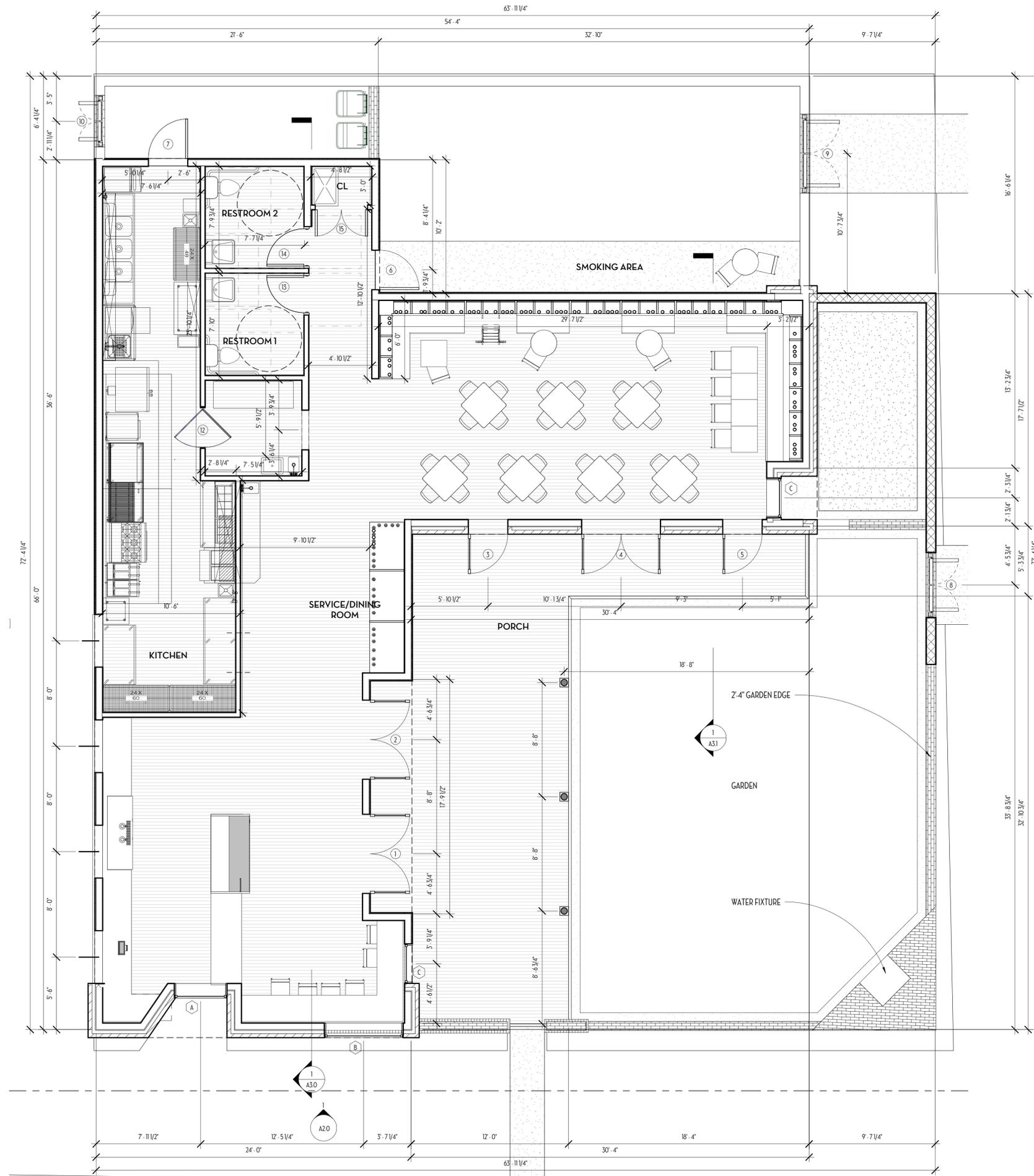
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Revision Schedule

NO.	DATE	DESCRIPTION

LIFE SAFETY PLAN

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1 FLOOR PLAN
1/4" = 1'-0"

architect of record :

McWhorter Vallee Design

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37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

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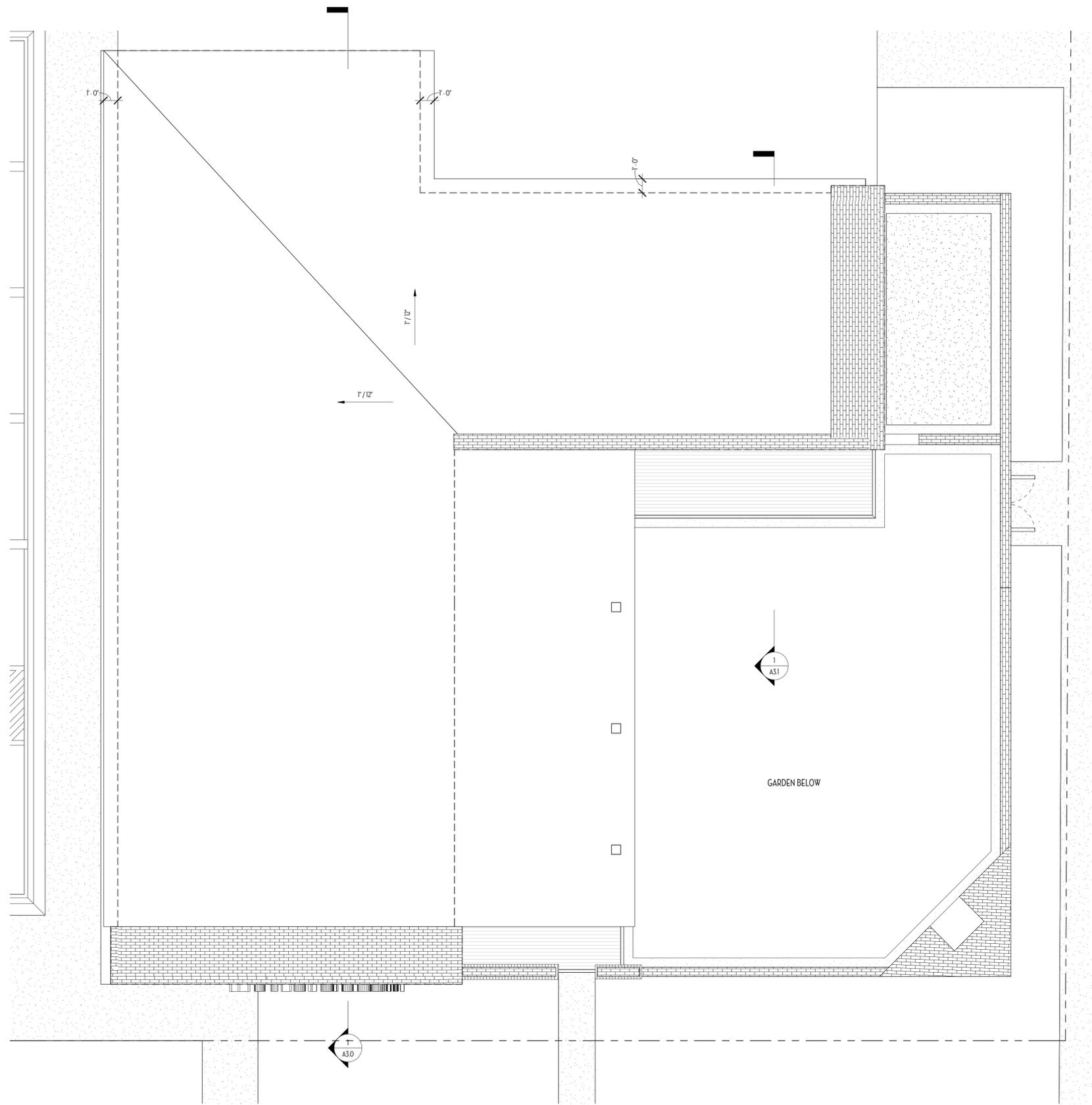
Revision Schedule

FLOOR PLAN

A1.1

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1 ROOF PLAN
 1/4" = 1'-0"

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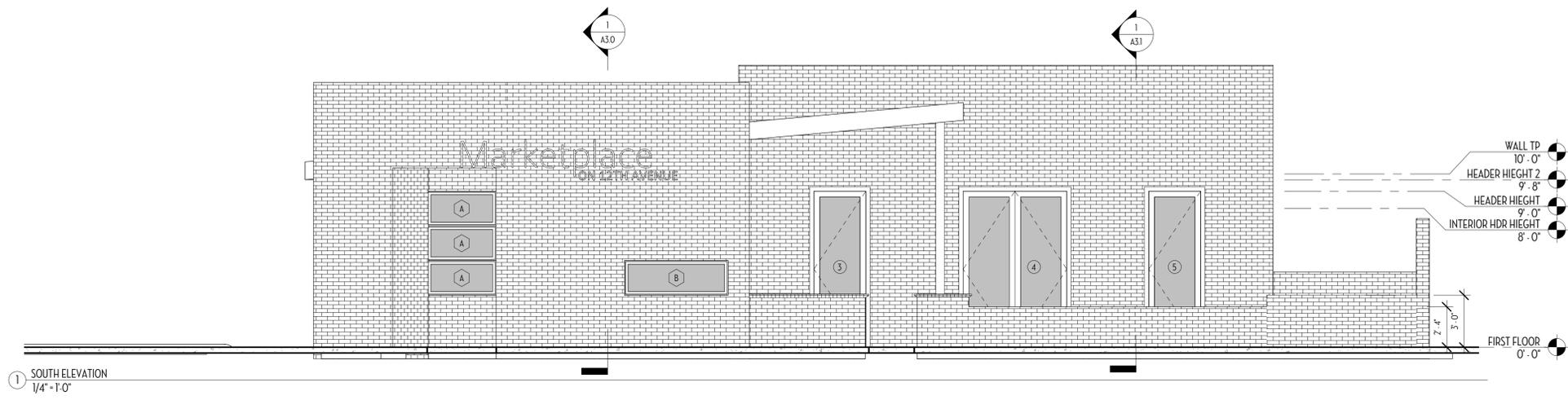
Revision Schedule

ROOF PLAN

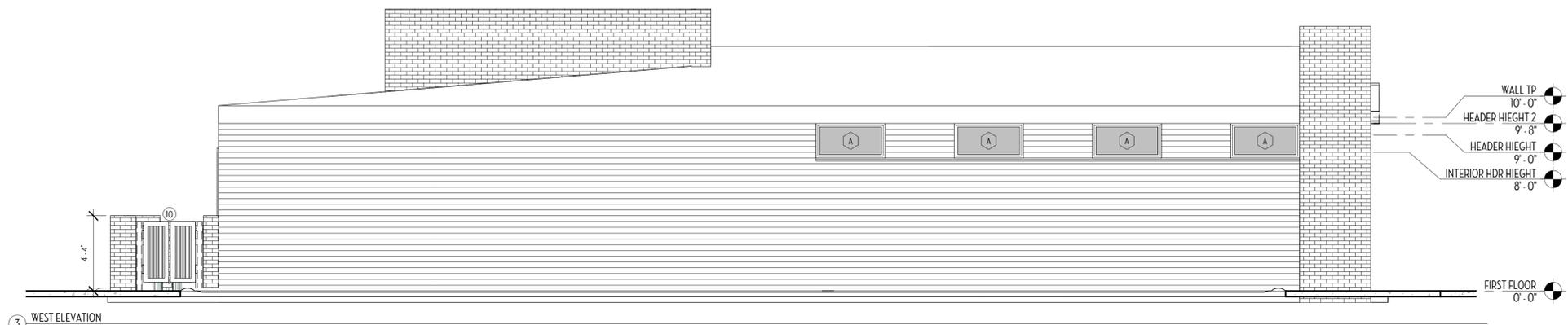
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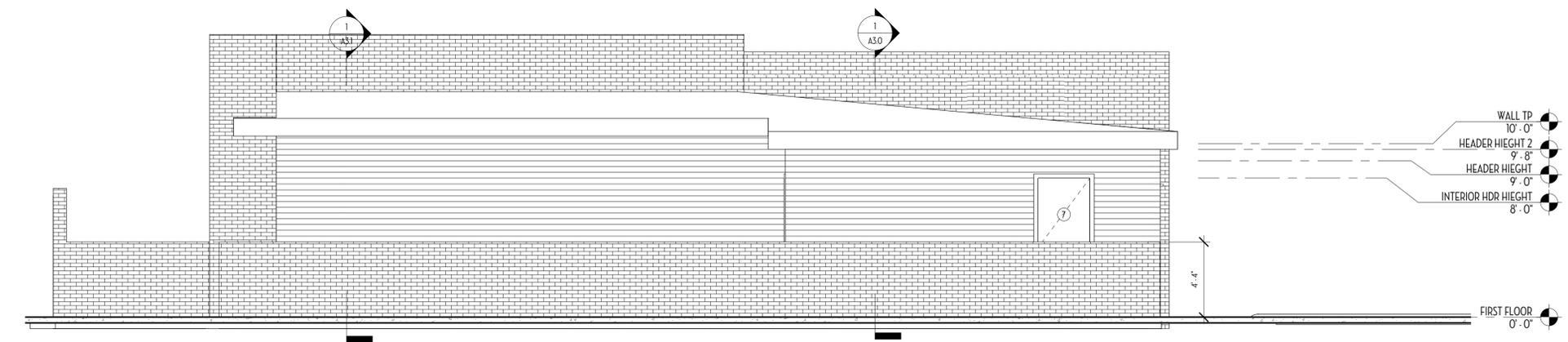
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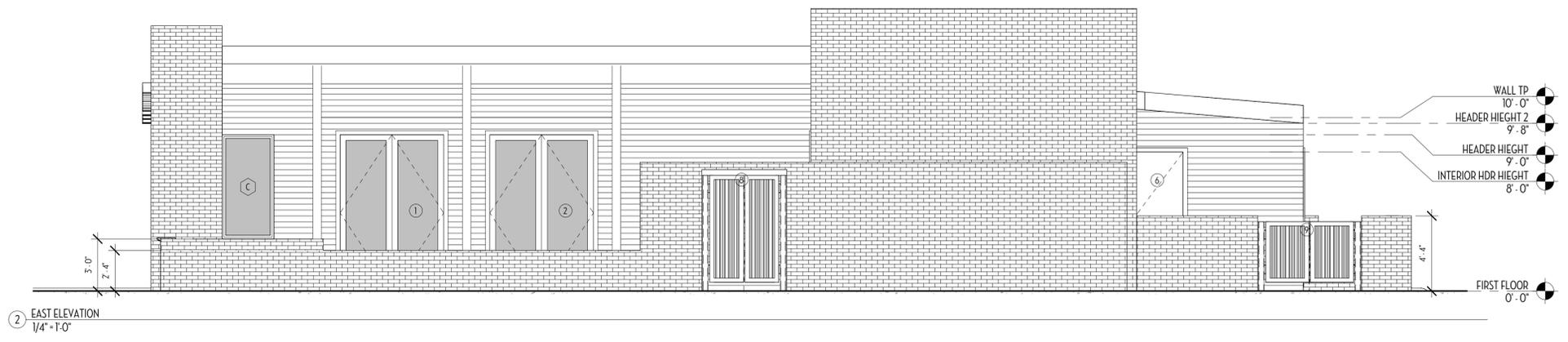
1 SOUTH ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"



4 NORTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"

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ELEVATIONS

A2.0

architect of record :

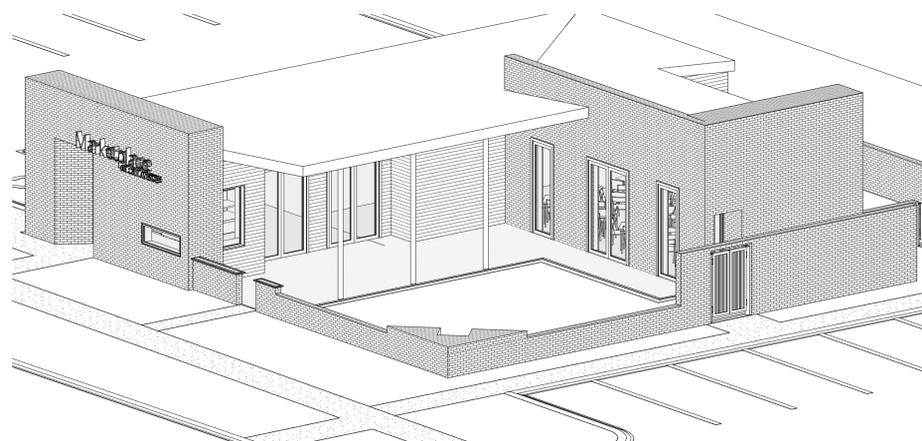
McWhorter Vallee Design

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

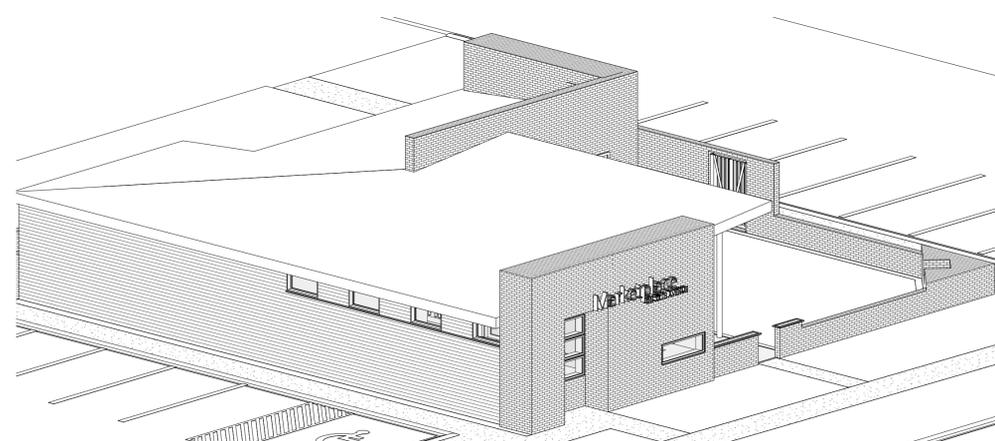
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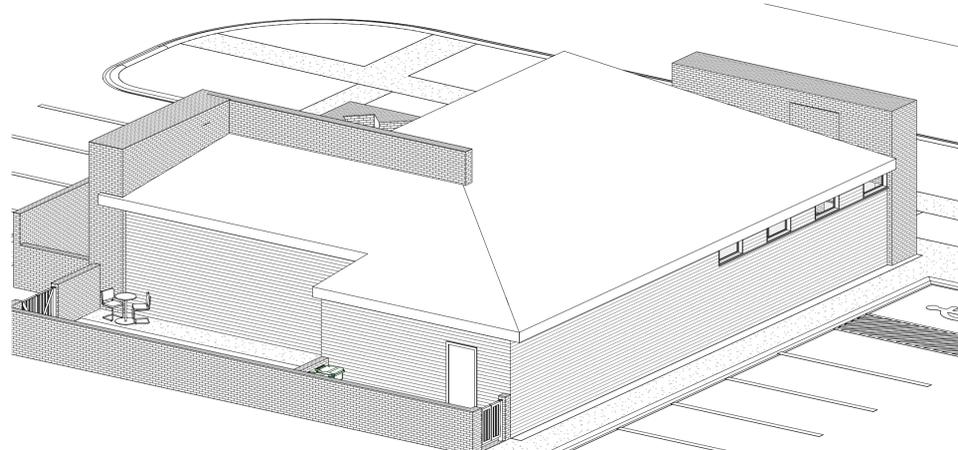
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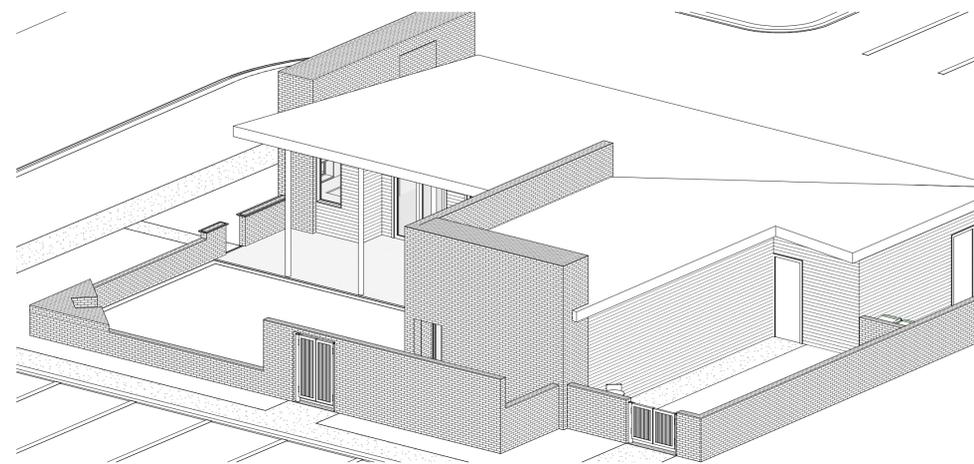
1 Isometric 1



2 Isometric 2



3 Isometric 3



4 Isometric 4

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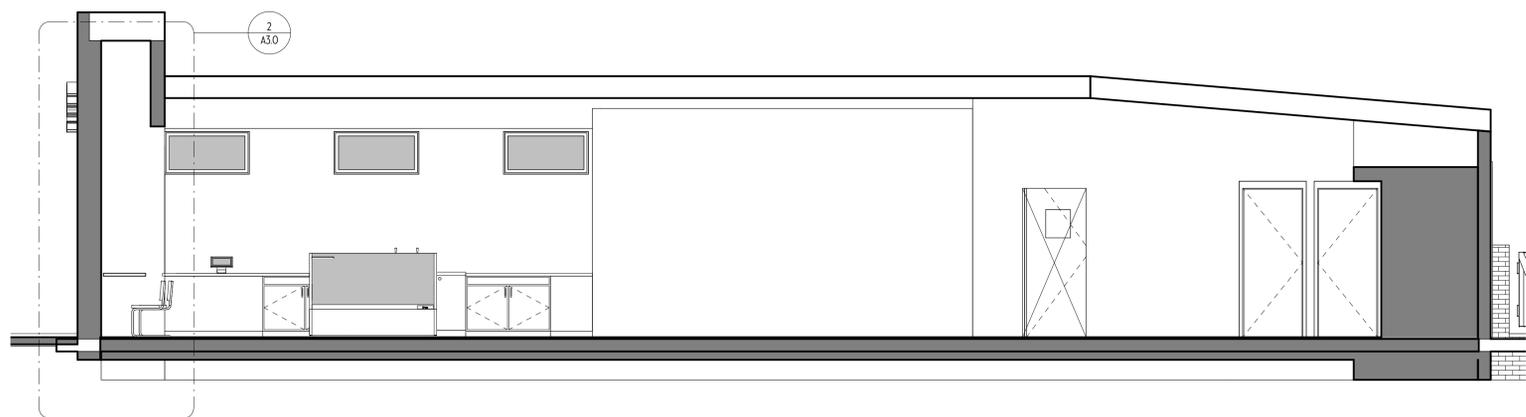
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3D VIEWS

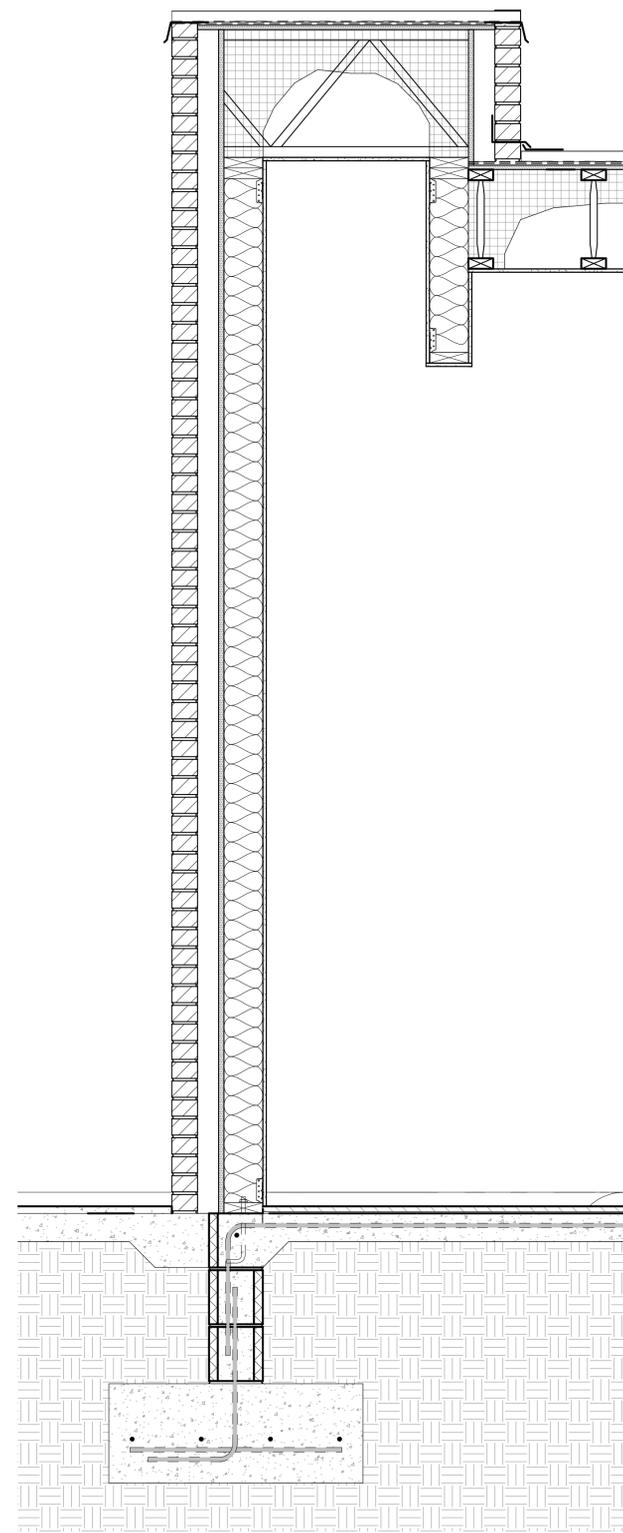
A2.2

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1 BUILDING SECTION 1
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION
 1" = 1'-0"

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BUILDING
 SECTION
A3.0

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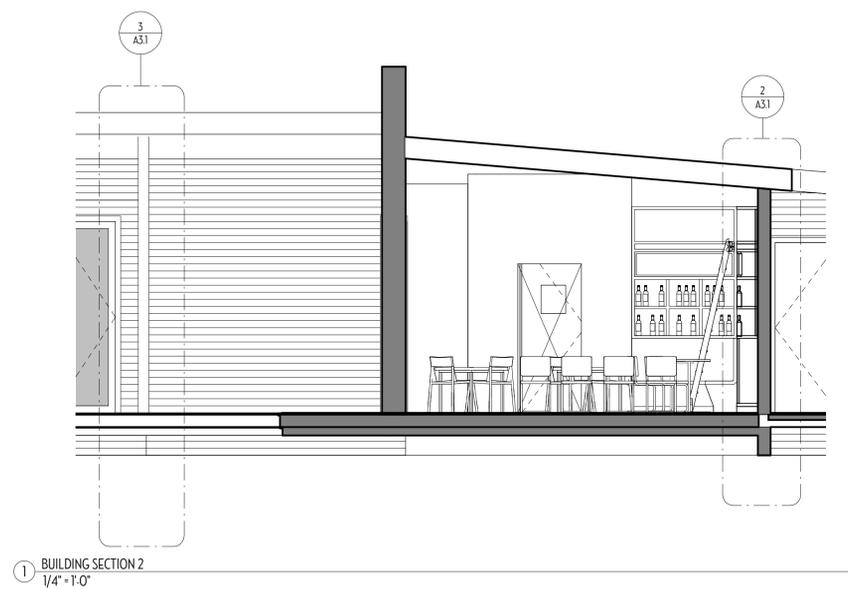
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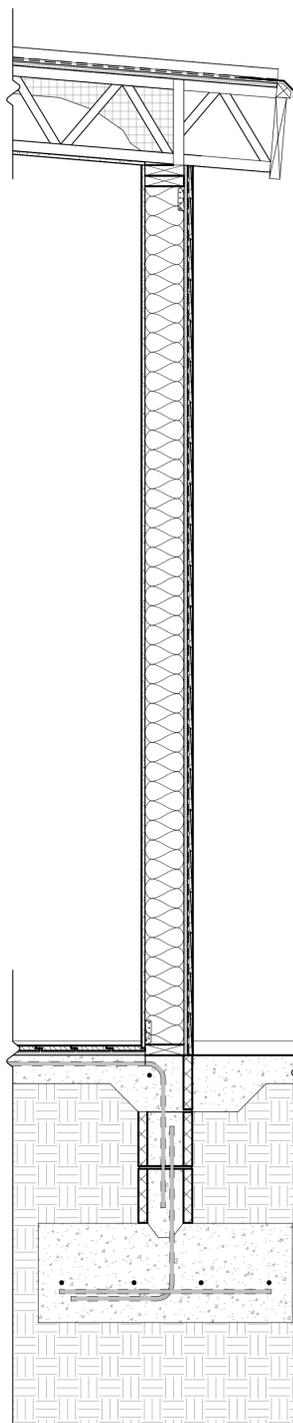
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BUILDING
 SECTION

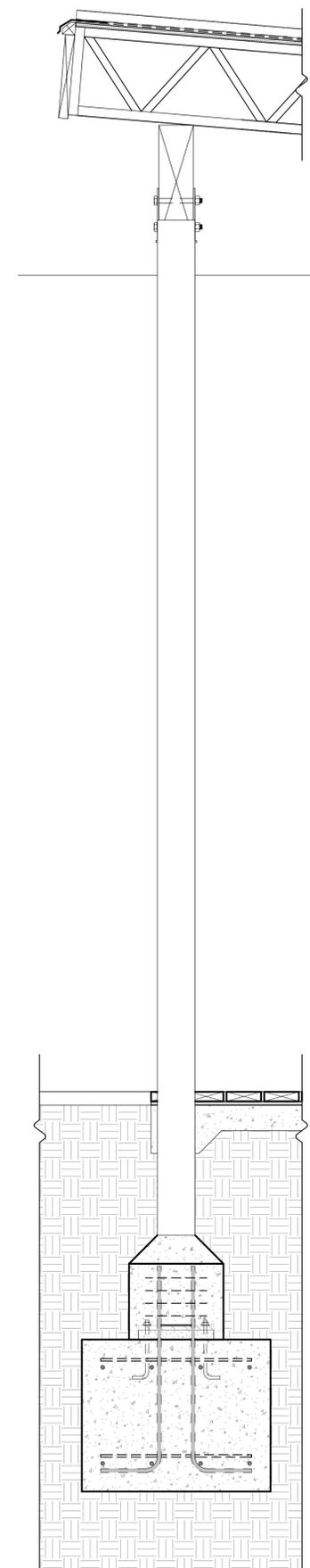
A3.1



① BUILDING SECTION 2
 1/4" = 1'-0"



② TYPICAL WALL SECTION
 1" = 1'-0"



③ BUILDING SECTION 2 - Callout 1
 1" = 1'-0"

seal:

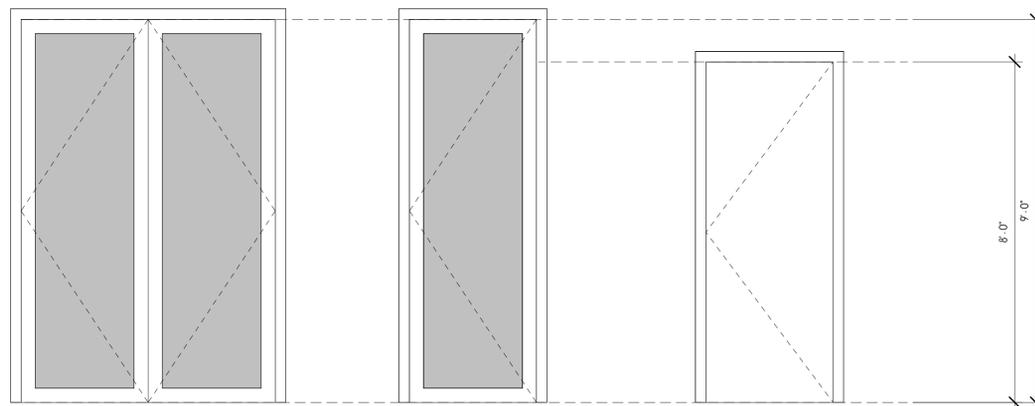
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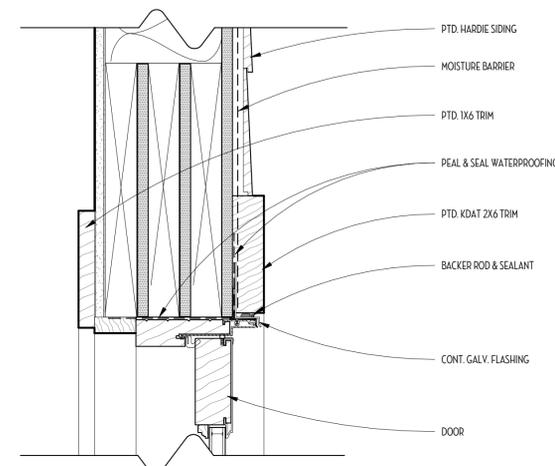
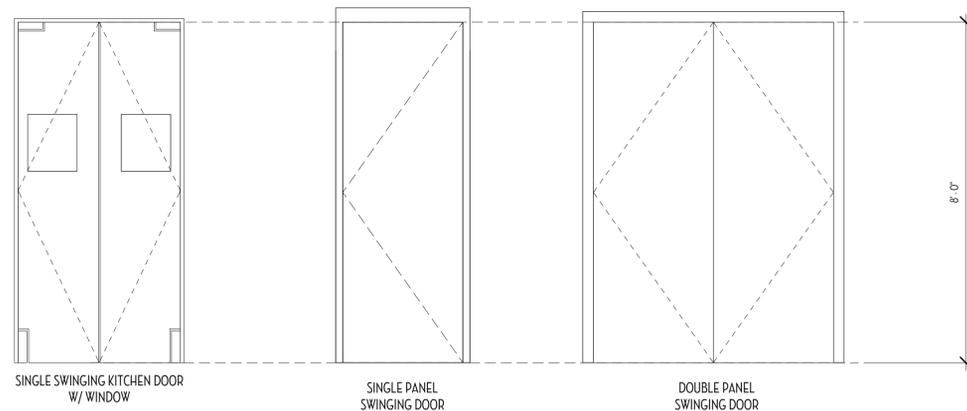
DOOR SCHEDULE					
UNIT	HEIGHT	WIDTH	DESCRIPTION	FINISH	COMMENTS
1	9'-0"	6'-0"			
2	9'-0"	6'-0"			
3	9'-0"	3'-0"			
4	9'-0"	6'-0"			
5	9'-0"	3'-0"			
6	8'-0"	3'-0"			
7	8'-0"	3'-0"			
8	6'-8"	4'-0"			
9	4'-0"	5'-1"			
10	4'-0"	3'-0"			
12	8'-0"	3'-0"	DUAL SWING KITCHEN DOOR WITH WINDOW		
13	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
14	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
15	8'-0"	4'-0"			
X34	0'-0"	0'-0"			

GENERAL NOTES:	GENERAL DOOR HARDWARE PERFORMANCE NOTES:
<ol style="list-style-type: none"> DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL. ALL GLASS TO BE INSULATED LOW-E. UNITS TO BE IMPACT RATED. SEE DOOR STYLES FOR MUNTIN PATTERNS. INSTALL DOOR PER MFR. INSTRUCTIONS. EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION). INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS. DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS & SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS. 	<ul style="list-style-type: none"> PRIVACY HARDWARE SET: ALL BEDROOMS & BATHS TO HAVE TURN PIECE & EMERGENCY RELEASE. KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT. NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE. HALF DUMMY HARDWARE SET: ALL CLOSET DOORS. PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS. ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF. ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS. GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC. THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.

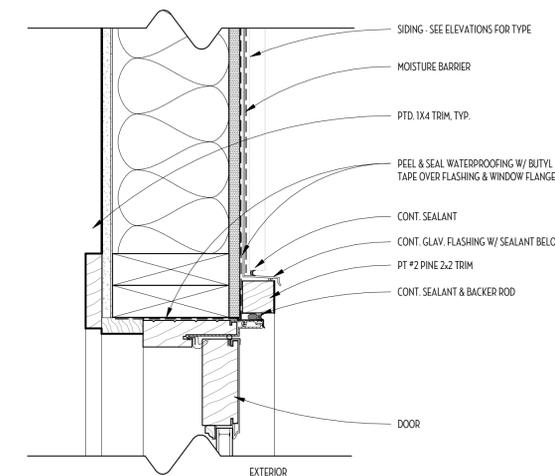
EXTERIOR DOOR TYPES



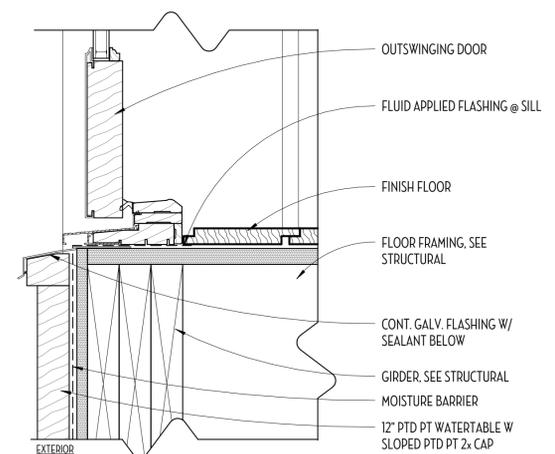
INTERIOR DOOR TYPES



1 TYP. DR. HDR. WOOD
3'-1.0"



2 TYP. DR. JAMB. WOOD
3'-1.0"



3 TYP. DR. SILL. WOOD
3'-1.0"

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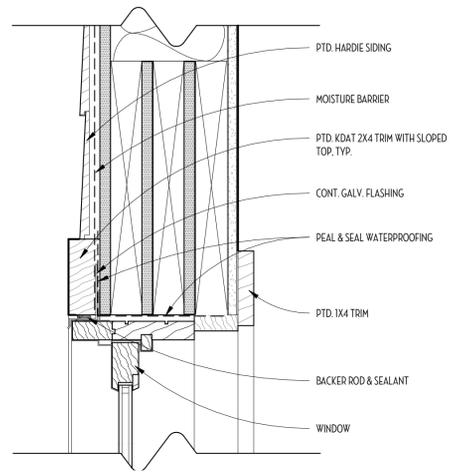
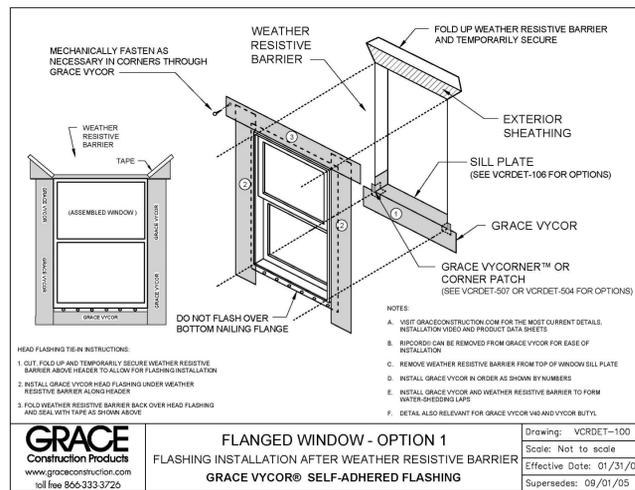
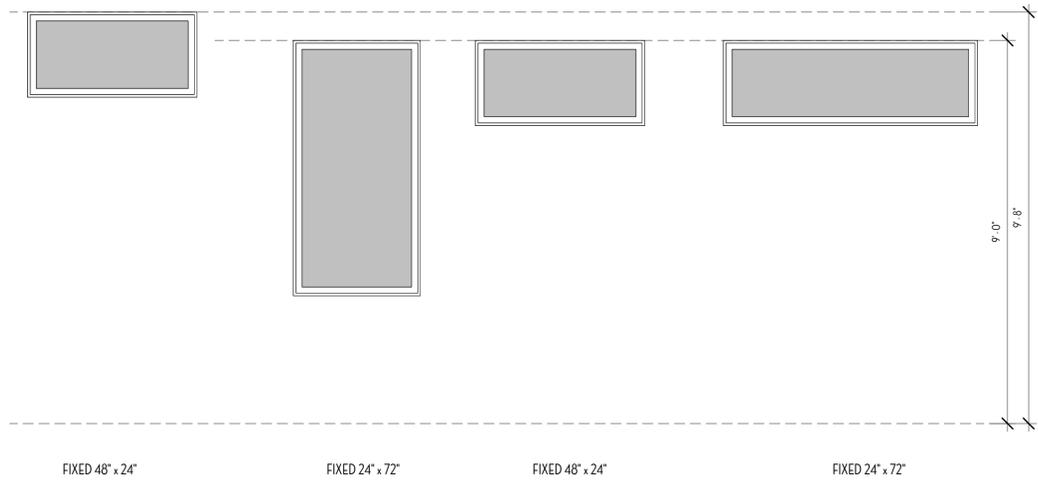
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DOOR SCHEDULE

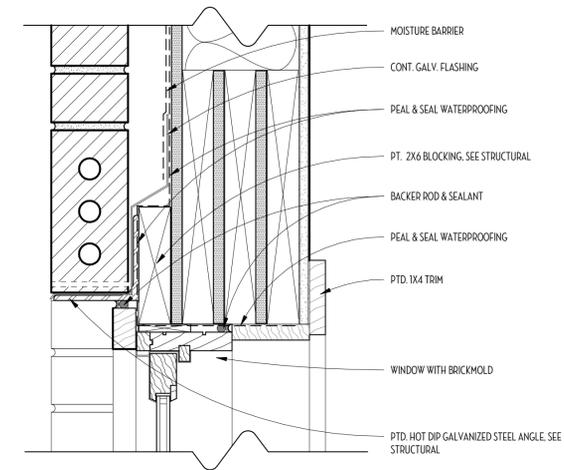
WINDOW SCHEDULE				
UNIT	WIDTH	HEIGHT	DESCRIPTION	NOTES
A	4'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
B	6'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
C	3'-0"	6'-0"	SINGLE CLAD FIXED WINDOW	

GENERAL NOTES:

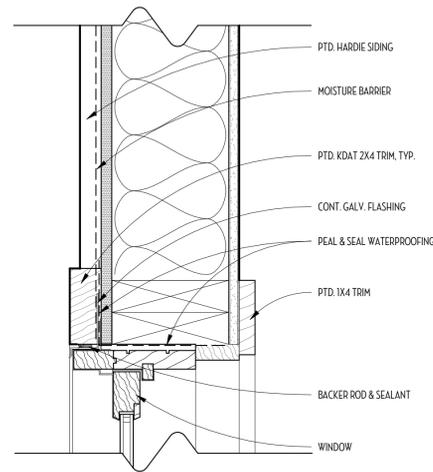
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



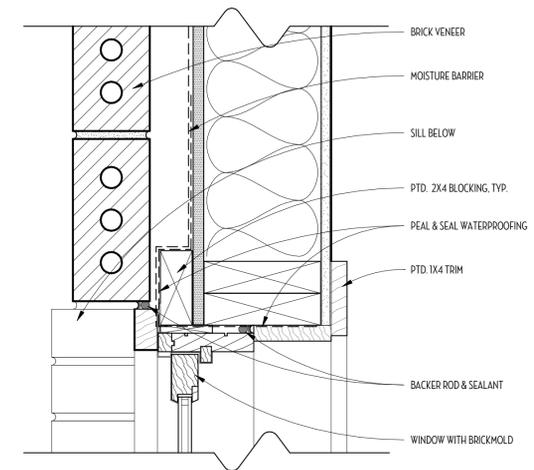
3 TYP. WIN. HDR. WOOD
3'-1-0"



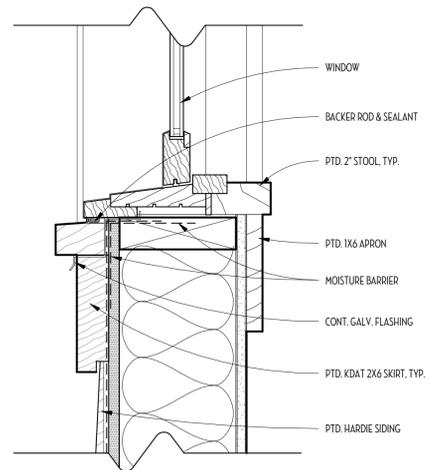
2 TYP. WIN. HDR. BRICK
3'-1-0"



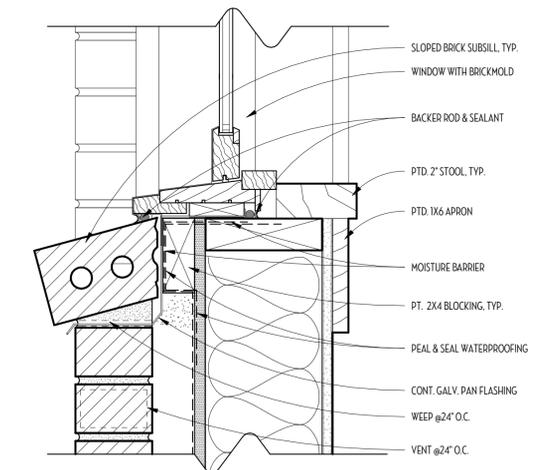
5 TYP. WIN. JAMB. WOOD
3'-1-0"



4 TYP. WIN. JAMB. BRICK
3'-1-0"



7 TYP. WIN. SILL. WOOD
3'-1-0"



6 TYP. WIN. SILL. BRICK
3'-1-0"

architect of record :

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**WINDOW
SCHEDULE**

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