

# **CRA: Urban Design & Code Amendment City of Pensacola**

**Final Charrette Presentation  
February 15, 2018**

**DPZ**  
CODESIGN

with

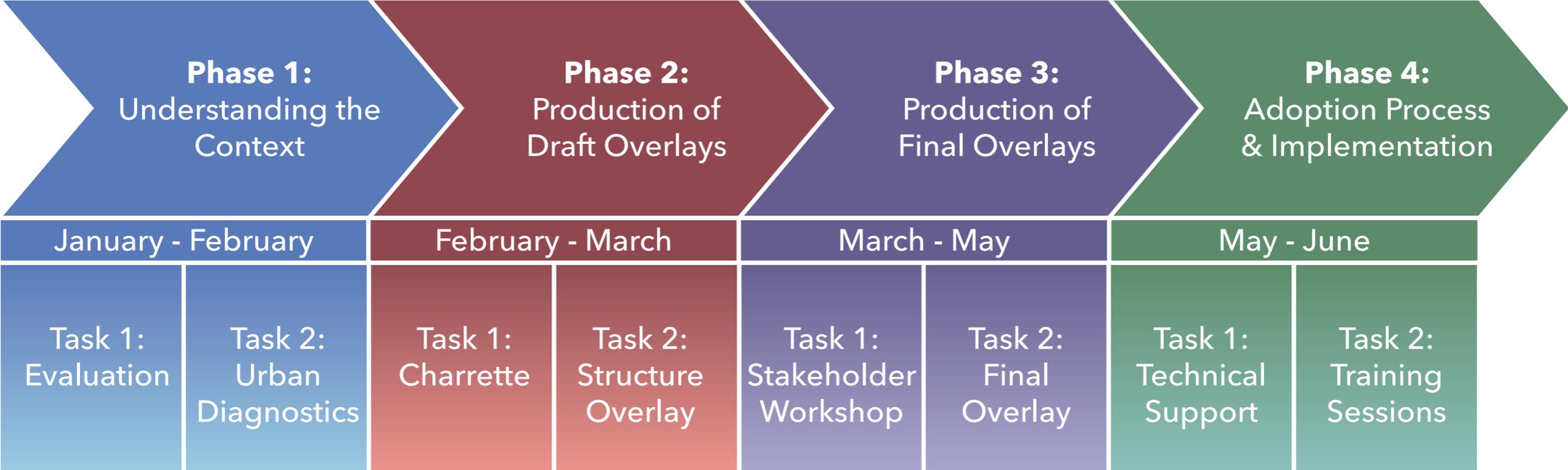
**Hall Planning & Engineering**

# Today's Presentation

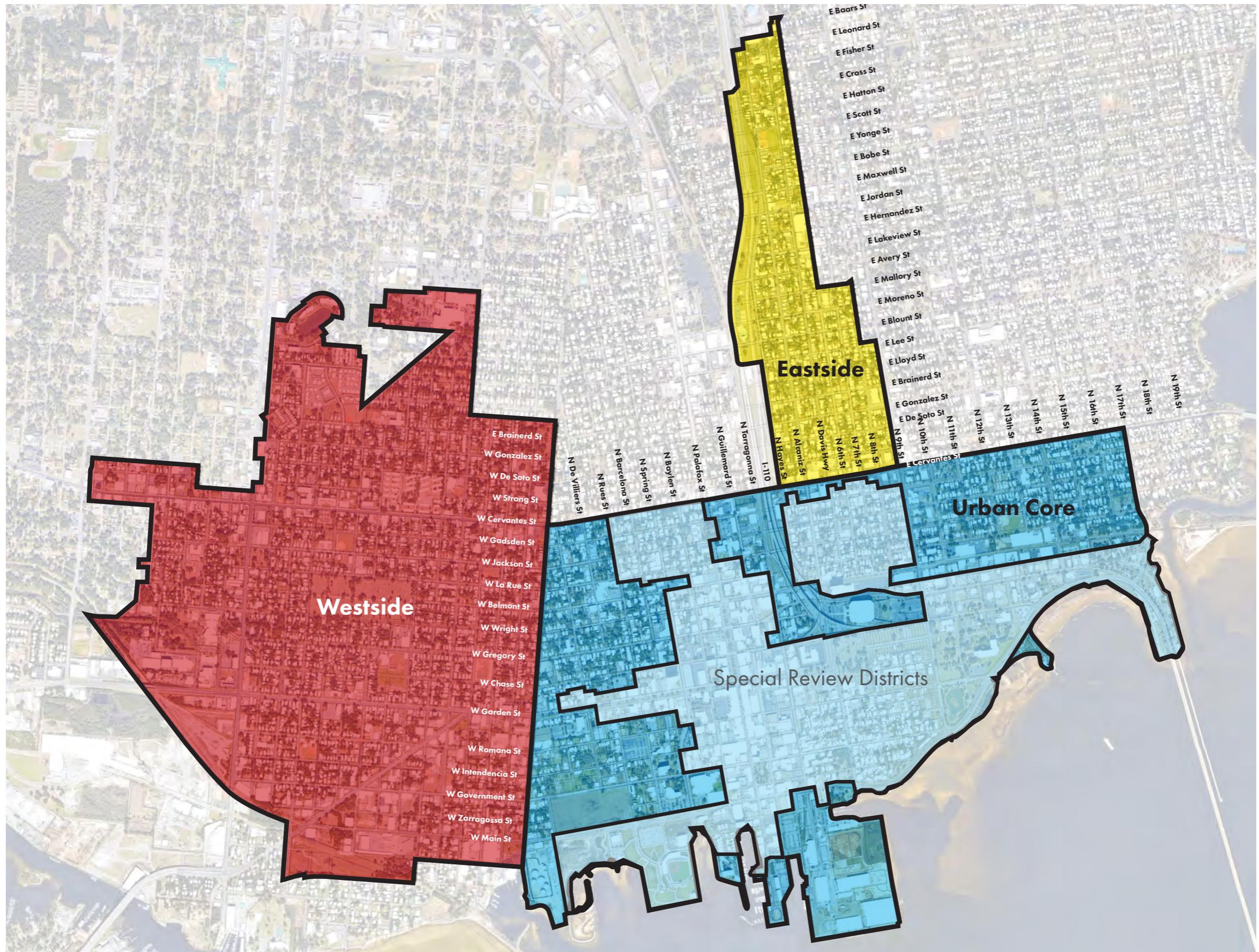
1. The current conditions & goals of the CRA
2. Understanding context & zoning
3. Residential Zones
4. R-NC Zones
5. Commercial & Mixed-Use Zones
6. Open Space
7. Transportation

**The Current Condition  
&  
Goals of the CRA**

# Project Schedule



# CRA Study Area



Understanding  
Context  
&  
Zoning

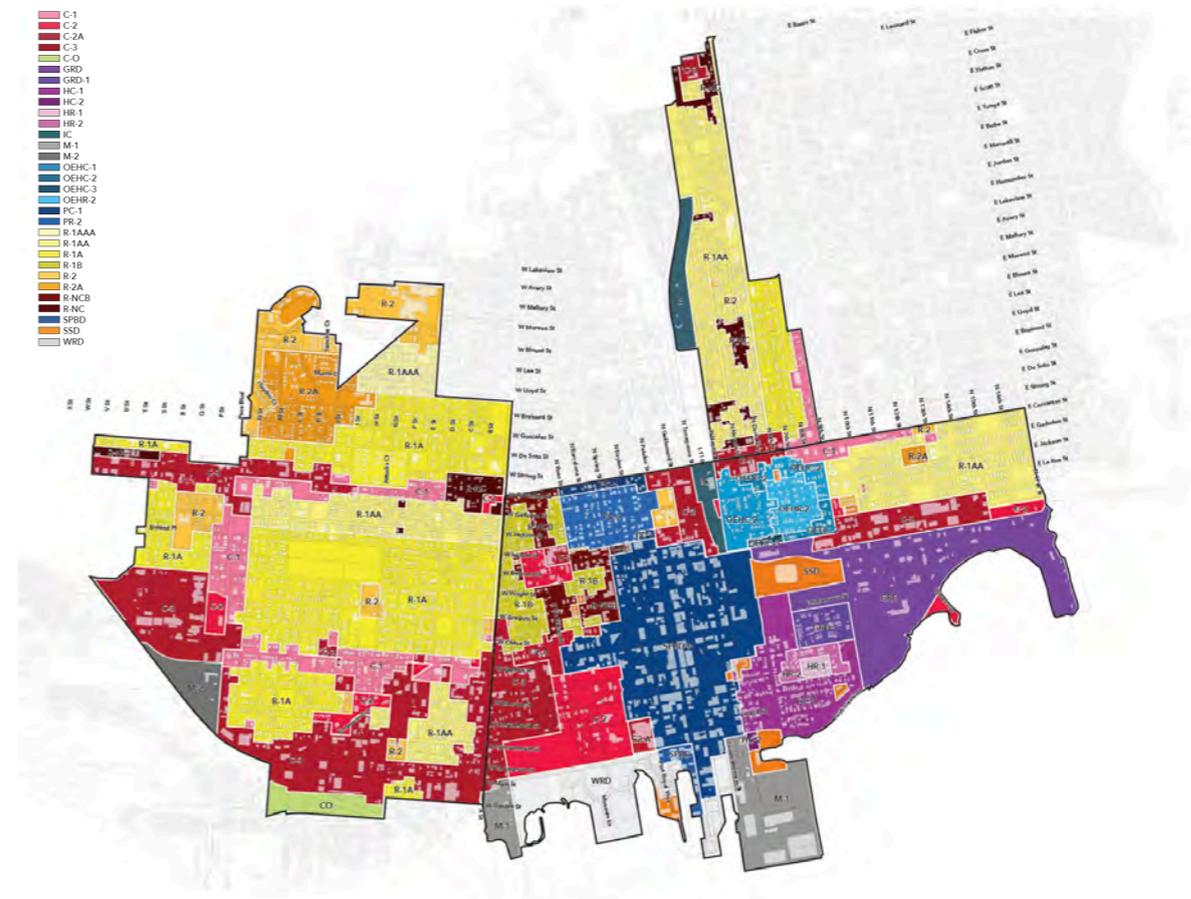
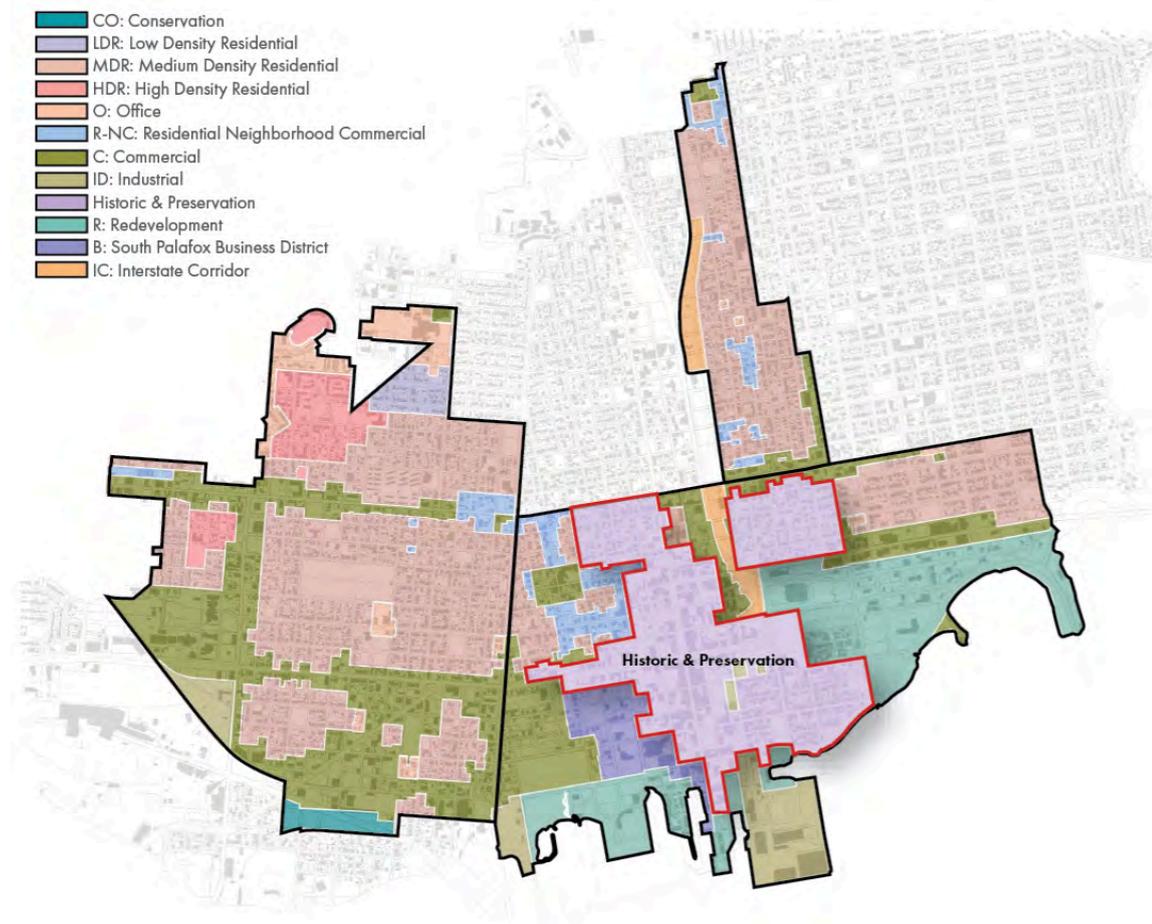
# What this Project is NOT about

- Modifying your Comprehensive Plan or Future Land Uses
- Rewrite of your zoning and land development regulations
- Modifying your Special Review Districts
- Imposing inappropriate architectural regulations
- Complicating the approvals process
- Bypassing the public process

# What this Project IS about

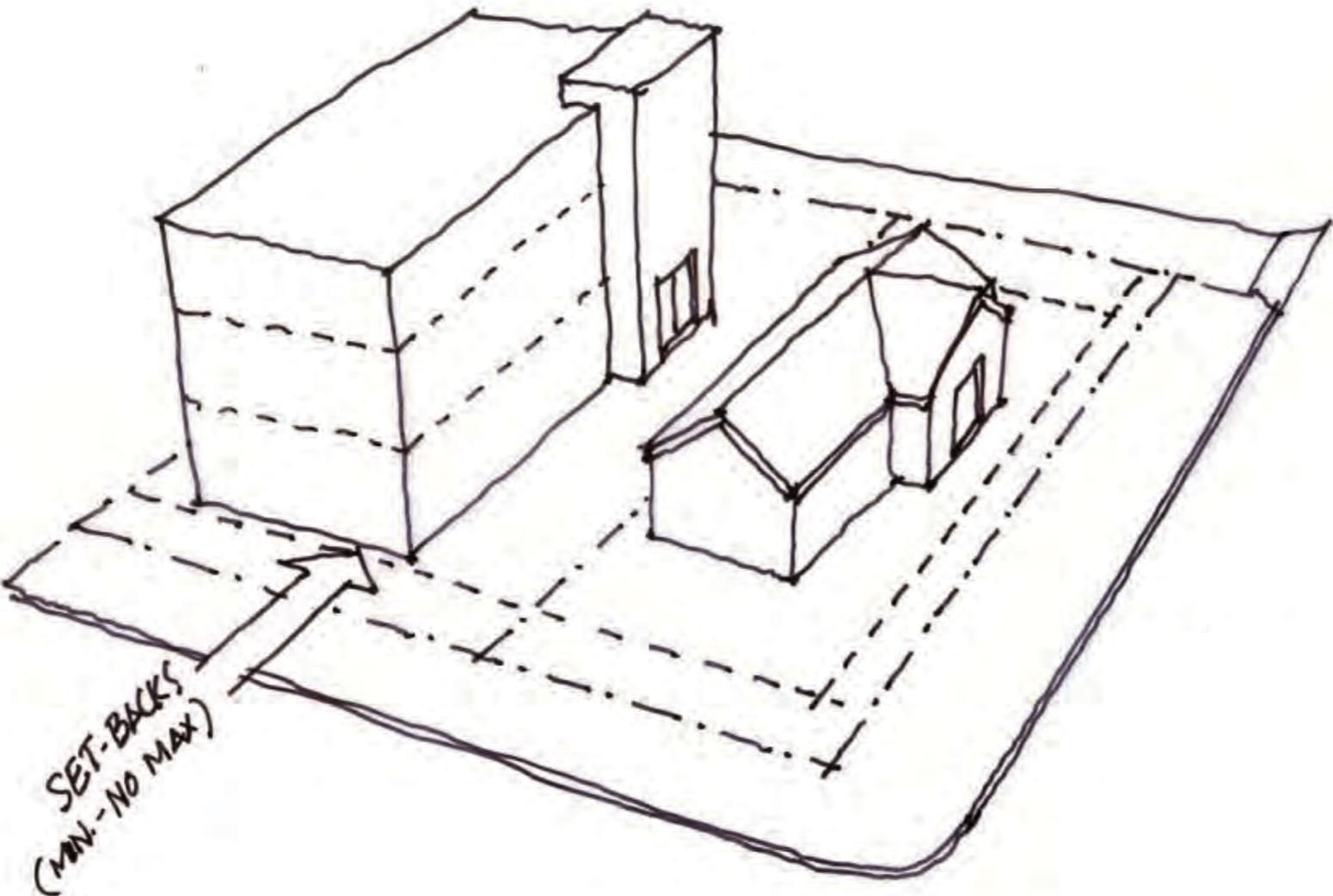
- Proposing overlay design standards to:
  - better align zoning to community goals;
  - create more predictable results;
  - improve the character of your neighborhoods; and
  - strike an appropriate balance between preservation and new development.
- Making your streets walkable, where possible
- Providing opportunity for key stakeholder input and engagement throughout process; and
- Streamlining the approval process

# Existing FLU & Zoning





# Current Zoning



- Minimum setbacks
- Building height
- Landscape buffers
- No form standards

= UNPREDICTABLE OUTCOME

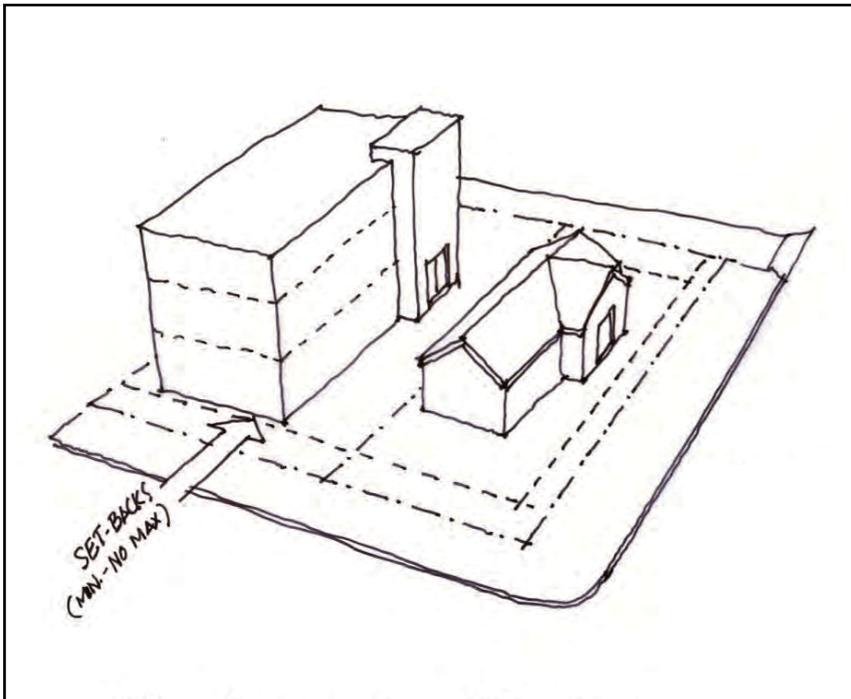
# Special Review District Zoning



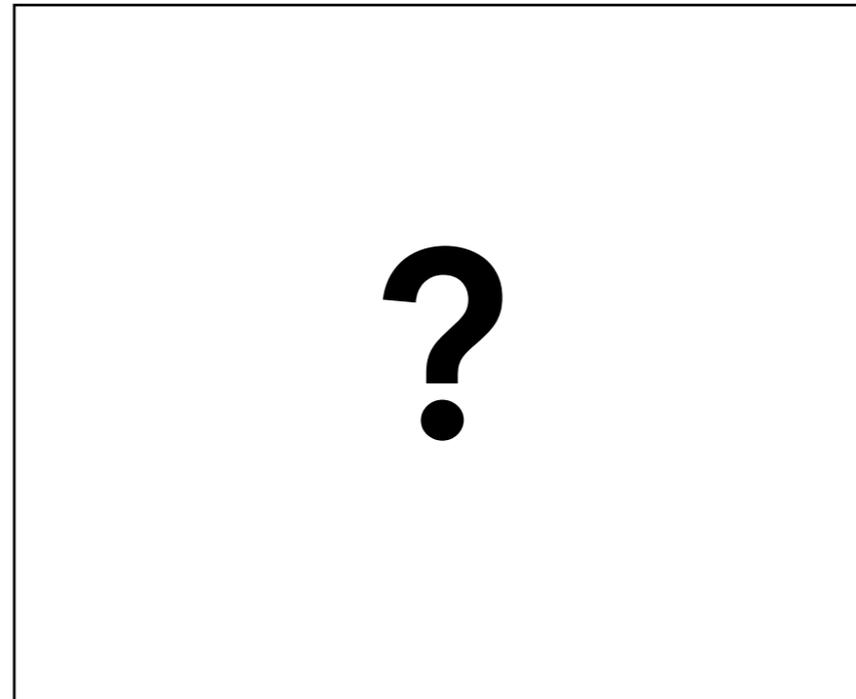
- Parking placement
- Parking screening
- Site and fences
- Paint colors
- Building form regulations
- Materials
- Lighting
- Special character defining elements (doors, windows, shutters,, chimneys, trim and roofs)

= PREDICTABLE OUTCOME

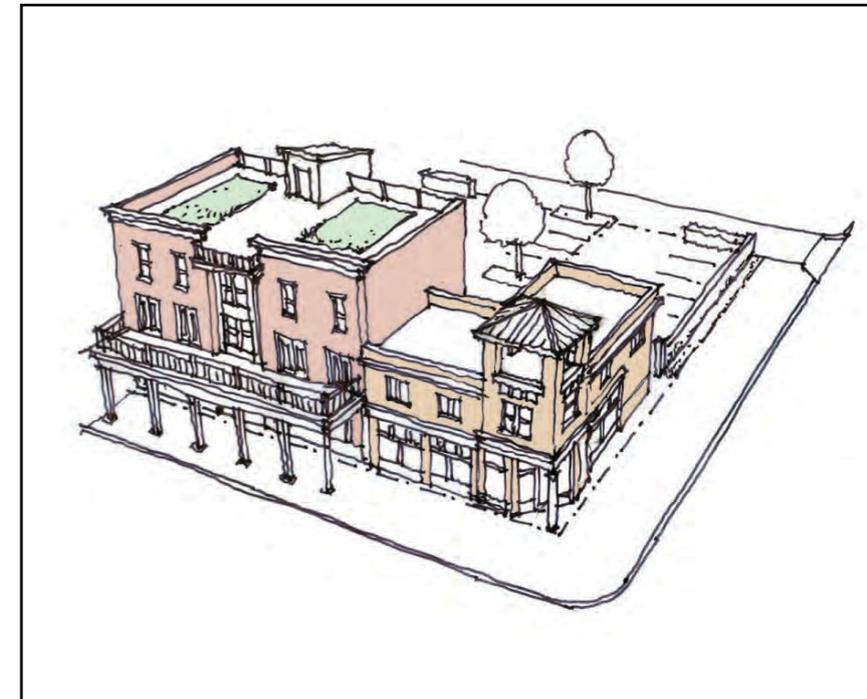
# Urban Design Guidelines Overlay



Level 1

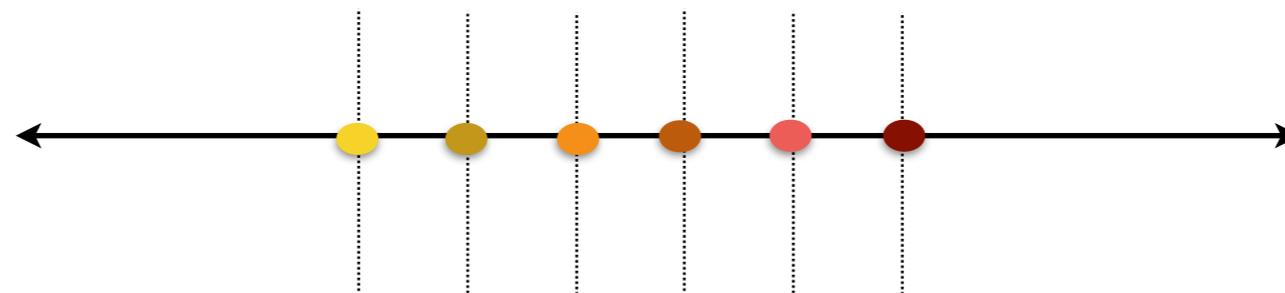


Level (tbd)



Level 10

Least prescriptive



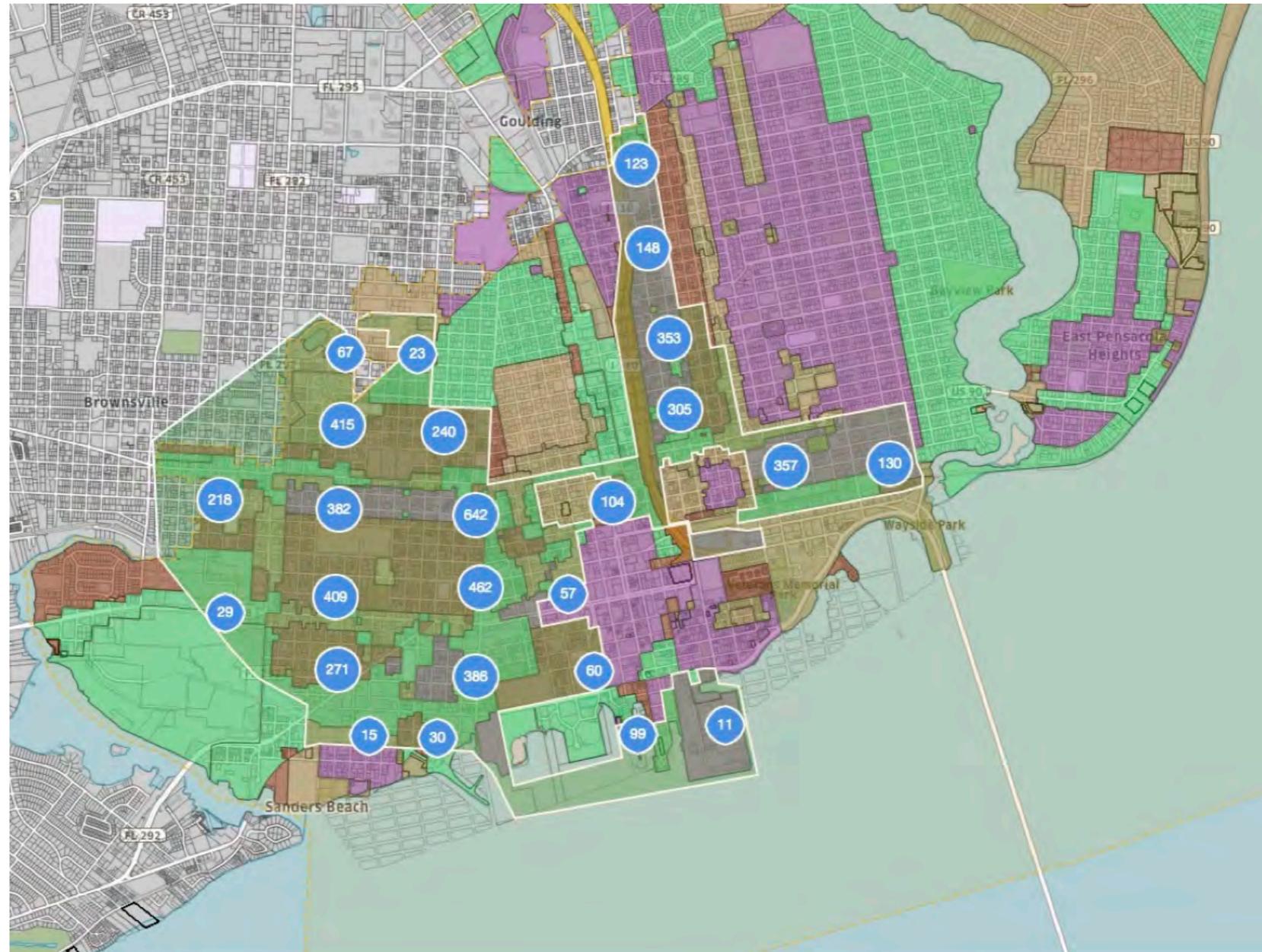
Most prescriptive

Each community decides

# Pensacola Strengths

1. Great heritage buildings - "power of uniqueness"
2. Great WALKABLE street /block grid
3. Traditional neighborhood character, naturally mixed-use
4. Narrow right-of-ways for streets
5. Highly degree of diversity
6. Humane-scaled city
7. Natural amenities
8. Desire to protect your character
9. Local champions supporting redevelopment
10. "Cool factor"

# Property Counts



## PROPERTY RECORD BREAKDOWN

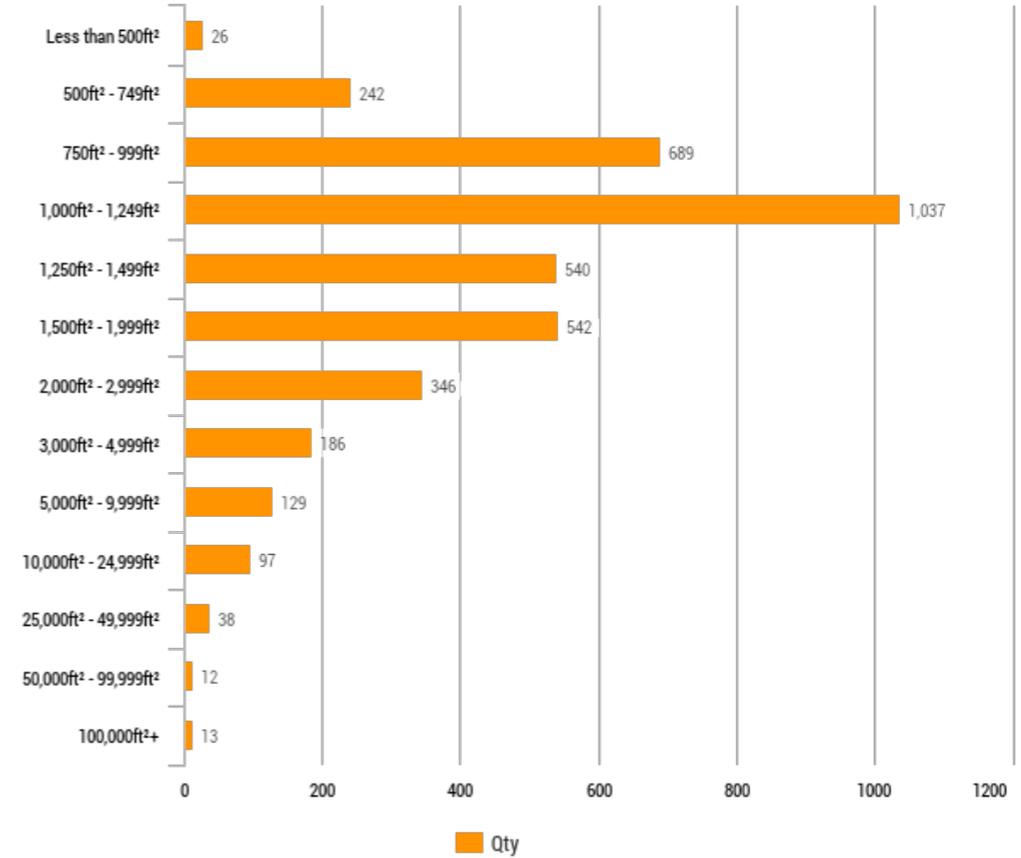
|                                |                           |
|--------------------------------|---------------------------|
| Qty                            | 5,265                     |
| Qty of Distinct Primary Owners | 4,067                     |
| Qty of Homesteads              | 0                         |
| Avg Property Size              | 3,114ft <sup>2</sup>      |
| Largest Property Size          | 453,112ft <sup>2</sup>    |
| Total Property Size            | 12,134,699ft <sup>2</sup> |
| Avg Lot Size                   | 15,495ft <sup>2</sup>     |
| Total Lot Size                 | 81,490,075ft <sup>2</sup> |
| Avg Full Baths                 | 2.1                       |
| Qty of DOR Land Uses           | 52                        |

# Properties by size and by Zone

Properties per Zone

|               | Total Properties | less than 3,600 ft2 | 3,600 to 10,000 ft2 | 10,000 to 15,000 ft | 15,000 to 45,000 ft2 | larger than 45,000 ft2 |
|---------------|------------------|---------------------|---------------------|---------------------|----------------------|------------------------|
| <b>R-1AAA</b> | 90               | 3                   | 62                  | 18                  | 6                    | 1                      |
| <b>R-1AA</b>  | 1,430            | 172                 | 996                 | 161                 | 60                   | 41                     |
| <b>R-1A</b>   | 1,484            | 182                 | 954                 | 211                 | 109                  | 28                     |
| <b>R-2</b>    | 219              | 12                  | 129                 | 31                  | 31                   | 16                     |
| <b>R-2A</b>   | 188              | 14                  | 139                 | 12                  | 11                   | 12                     |
| <b>R-NC</b>   | 220              | 21                  | 130                 | 27                  | 22                   | 20                     |
| <b>R-NCB</b>  | 181              | 17                  | 112                 | 24                  | 26                   | 2                      |
| <b>C-1</b>    | 354              | 15                  | 187                 | 62                  | 69                   | 21                     |
| <b>C-2</b>    | 259              | 50                  | 145                 | 25                  | 22                   | 17                     |
| <b>C-3</b>    | 633              | 83                  | 251                 | 79                  | 147                  | 73                     |
| <b>C-2A</b>   | 49               | 10                  | 19                  | 4                   | 9                    | 7                      |
| <b>M-1</b>    | 20               | 0                   | 1                   | 2                   | 7                    | 10                     |
| <b>M-2</b>    | 3                | 0                   | 0                   | 0                   | 0                    | 3                      |
| <b>SSD</b>    | 107              | 13                  | 19                  | 3                   | 1                    | 71                     |
| <b>IC</b>     | 22               | 4                   | 4                   | 1                   | 5                    | 8                      |
| <b>CO</b>     | 6                | 0                   | 0                   | 0                   | 4                    | 2                      |
| <b>Totals</b> | 5,265            | 596                 | 3,148               | 660                 | 529                  | 332                    |
|               | 100%             | 11%                 | 60%                 | 13%                 | 10%                  | 6%                     |

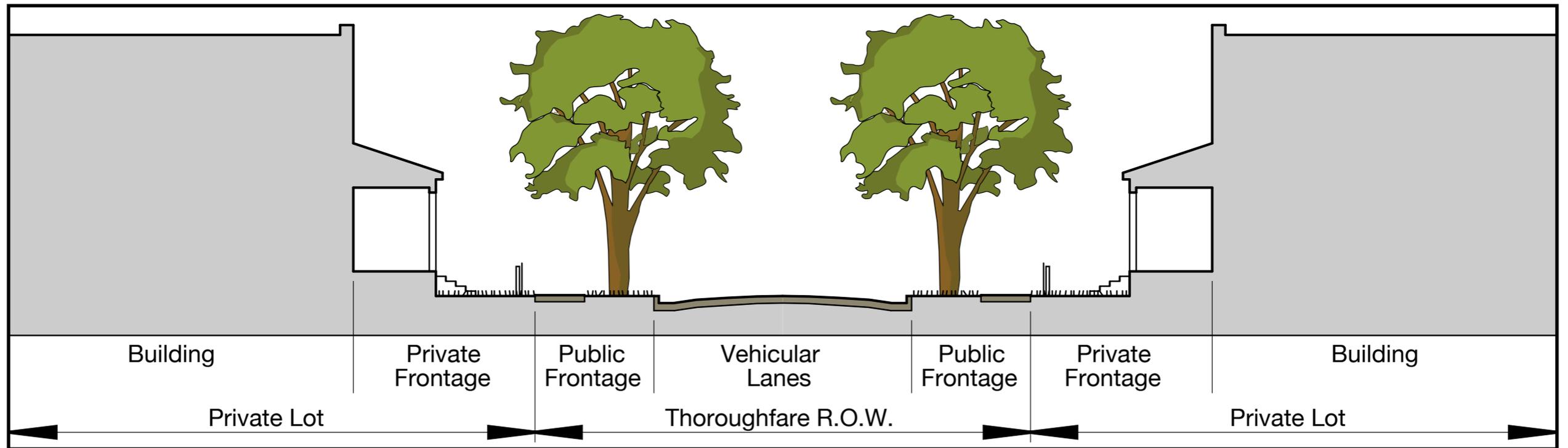
Property Size Breakdown



# Dimensional Analysis of Zoning Categories

| Zoning Category   | Principal Building |                  |                 |                       |  |  |                  | Density (max.) |
|---|--------------------|------------------|-----------------|-----------------------|--|--|------------------|----------------|
|   | Height (max.)      | Lot Width (min.) | Lot Area (min.) | Lot Coverage % (max.) | Setbacks   |  |                  |                |
|   |                    |                  |                 |                       | Front Yard (min.)  | Side Yard (min.)   | Rear Yard (min.) |                |
| <b>CRA: Urban Core</b>  |                    |                  |                 |                       |  |  |                  |                |
| <b>R-1AA: Medium Density Residential (MDR)</b>                    |                    |                  |                 |                       |  |  |                  |                |
| SF Detached   | 35 ft.             | 40               | 5000            | none                  | 30   | 6  | 30               | 8.7            |
| Duplex  |                    | 60               | 7500            |                       |  |  |                  | 11.6           |
| SF Attached   |                    | 30               | 3750            |                       |  |  |                  | 11.6           |
| <b>R-1B MDR</b>   |                    |                  |                 |                       |  |  |                  |                |
| SF Detached   | 45 ft.             | 30               | 3500            | 50*                   | 10   | 5  | 10               | 8.7            |
| Duplex  |                    | 50               | 5000            |                       |  |  |                  | 11.6           |
| SF Attached   |                    | 25               | 2500            |                       |  |  |                  | 17.4           |
| <b>R-2A: High Density (HDR) - Multiple-family zoning district</b> |                    |                  |                 |                       |  |  |                  |                |
| < 100 of SF Zone or Zero-Lot-Line-Zone                            | 35 ft.             | 100              | 20000           | 75*                   | 20   | 5  | 25               | 350 sq.ft.     |
| > 100 of SF Zone or Zero-Lot-Line-Zone                            |                    |                  |                 |                       | 15   | 5  | 20               |                |
| <b>R-2: Office (O) - Residential/office zoning district</b>       |                    |                  |                 |                       |  |  |                  |                |
| < 100 of Residential Zone   | 45ft               | -                | -               | 50*                   | 15   | 5  | 15               | -              |
| > 100 of Residential Zone   |                    |                  |                 |                       | 10   | 5  | 10               |                |
| <b>R-NC: Residential/neighborhood commercial zoning district</b>  |                    |                  |                 |                       |  |  |                  |                |
| < 100 of Residential Zone   | 35ft/varies        | -                | -               | 50*                   | 15   | 5  | 15               | 4000 sq.ft.    |
| > 100 of Residential Zone   | 45ft/varies        |                  |                 |                       | 10   | 5  | 10               |                |
| <b>R-NCB: Residential/neighborhood commercial business zoning</b> |                    |                  |                 |                       |  |  |                  |                |
| < 100 of Residential Zone   | 35ft/varies        | -                | -               | 50*                   | 15   | 5  | 15               | 4000 sq.ft.    |
| > 100 of Residential Zone   | 45ft/varies        |                  |                 |                       | 10   | 5  | 10               |                |
| <b>C-1: Retail Commercial</b>                                     |                    |                  |                 |                       |  |  |                  |                |
| Commercial  | 45 ft.             | -                | -               | 75*                   | none, unless adjacent to residential zone which requires a 20ft separation |  |                  | 0.35?          |
| <b>C-2A: Downtown Retail Commercial</b>                           |                    |                  |                 |                       |  |  |                  |                |
| Commercial  | 100 ft.            | -                | -               | 100*                  | 10 max.  | none, unless adjacent to residential zone which requires a 20ft separation |                  | 135            |
| <b>C-2: Commercial</b>  |                    |                  |                 |                       |  |  |                  |                |
| Commercial  | 100 ft.            | -                | -               | 100 / 75*             | none, unless adjacent to residential zone which requires a 20ft separation |  |                  | BD: 135 / 35   |
| <b>C-3: Commercial zoning district</b>                            |                    |                  |                 |                       |  |  |                  |                |
| Wholesale & Light Industry  | 100 ft.            | -                | -               | 100 / 75*             | none, unless adjacent to residential zone which requires a 20ft separation |  |                  | BD: 135 / 35   |
| <b>M-1: Industrial zoning district - (Light)</b>                  |                    |                  |                 |                       |  |  |                  |                |
| Light industrial zoning district.                                 | 45 ft. / 100 ft.*  | -                | -               | 75                    | none, 20 ft buffer for non-residential / 40 ft buffer for industrial       |  |                  | -              |

# Public & Private Frontages



# R-1AA & R-1A

## ZONING SURVEY EXISTING CONDITIONS

### R-1AA: MEDIUM DENSITY RESIDENTIAL

## ZONING SURVEY EXISTING CONDITIONS

### R-1A: MEDIUM DENSITY RESIDENTIAL

#### Quadrat



#### Disect | Address: 1614 E La Rua St



|                        |       |
|------------------------|-------|
| <b>Block Perimeter</b> | 1450' |
| <b>Avg. Units/Acre</b> | 5.9   |

| PUBLIC FRONTAGE           |                         |
|---------------------------|-------------------------|
| <b>Public Frontage</b>    | Street                  |
| <b>Right-Of-Way Width</b> | 80'                     |
| <b>Travel Lanes</b>       | 2                       |
| <b>Parking</b>            | Parallel - 2-sides (UM) |
| <b>Pavement Width</b>     | 26'                     |
| <b>Sidewalk Width</b>     | 6'                      |
| <b>Planter Type</b>       | Strip                   |
| <b>Planting Pattern</b>   | Random                  |
| <b>Street Lighting</b>    | Post                    |
| <b>Curb Type</b>          | Header                  |

| PRIVATE FRONTAGE             |               |
|------------------------------|---------------|
| <b>Private Frontage</b>      | Common Lawn   |
| <b>Principal Building Ht</b> | 2 Stories     |
| <b>Outbuilding Height</b>    | N/A           |
| <b>Building Type</b>         | Single Family |
| <b>Garage Access</b>         | Alley Loaded  |
| <b>Lot Width</b>             | 48'           |
| <b>Frontage Buildout</b>     | 28'           |
| <b>Front Setback</b>         | 30'           |
| <b>Side Setback</b>          | 0' - 20'      |
| <b>GRND Level Use</b>        | Residential   |
| <b>Upper Level Use</b>       | Residential   |

#### Quadrat



#### Disect | Address: 920 W Gregory St

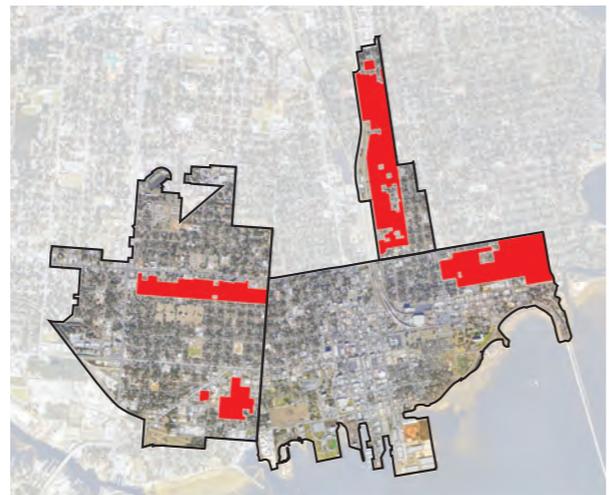


|                        |       |
|------------------------|-------|
| <b>Block Perimeter</b> | 1440' |
| <b>Avg. Units/Acre</b> | 3.1   |

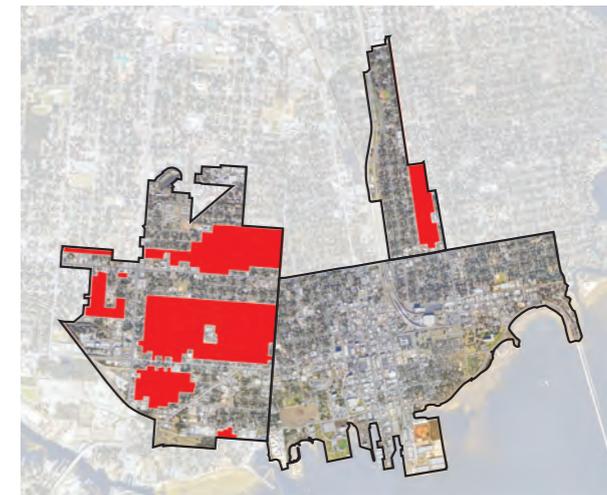
| PUBLIC FRONTAGE           |                         |
|---------------------------|-------------------------|
| <b>Public Frontage</b>    | Street                  |
| <b>Right-Of-Way Width</b> | 72'                     |
| <b>Travel Lanes</b>       | 2                       |
| <b>Parking</b>            | Parallel - 2-sides (UM) |
| <b>Pavement Width</b>     | 24'                     |
| <b>Sidewalk Width</b>     | 6'                      |
| <b>Planter Type</b>       | Strip                   |
| <b>Planting Pattern</b>   | Random                  |
| <b>Street Lighting</b>    | Cobra Head              |
| <b>Curb Type</b>          | Rolling                 |

| PRIVATE FRONTAGE             |                      |
|------------------------------|----------------------|
| <b>Private Frontage</b>      | Porch & Fence        |
| <b>Principal Building Ht</b> | 1 Story              |
| <b>Outbuilding Height</b>    | 1 Story              |
| <b>Building Type</b>         | Single Family        |
| <b>Garage Access</b>         | Front-Loaded in Rear |
| <b>Lot Width</b>             | 60'                  |
| <b>Frontage Buildout</b>     | 40'                  |
| <b>Front Setback</b>         | 22'                  |
| <b>Side Setback</b>          | 10'                  |
| <b>GRND Level Use</b>        | Residential          |
| <b>Upper Level Use</b>       | -                    |

- In general the built form as represented by R-1AA is consistent in that there is a mix of 1 and 2-story buildings which make up this zoning category.
- There is a clear distinction between the character of R-1AAA and R-1AA, mostly due to allowed height and potential density, with narrower lots.
- R-1AA also has a mix of alley and drives accessing rear sited garages, whereas R-1AAA is primarily alley free. Roughly the majority of R-1AA don't have alleys.
- R1AA has examples of newer construction.



- R-1A is not dissimilar to R-1AA in setbacks, scale and character. In fact it is hard to distinguish between the two regarding their physical form as built within these CRA's.
- Both permit the same uses and from what has been seen land within the CRA does not take advantage of the attached single-family model permitted under R-1A, which is the largest difference in the dimensional standards.
- Consider combining R-1A and R1AA into one zone, as they are virtually the same.
- Even though duplexes and townhouses are permitted, very few, if any, are built.



# Zoning: the good, the bad and the ugly

- FLU and Zoning aligned
- SRB (some better than others / ARB)
- 10 feet max. setbacks downtown to encourage walkable downtown
- Uses generally aligned to zoning (except C3)
- R-NC, recognizing need for residential-scaled retail
- General design regulations are great.

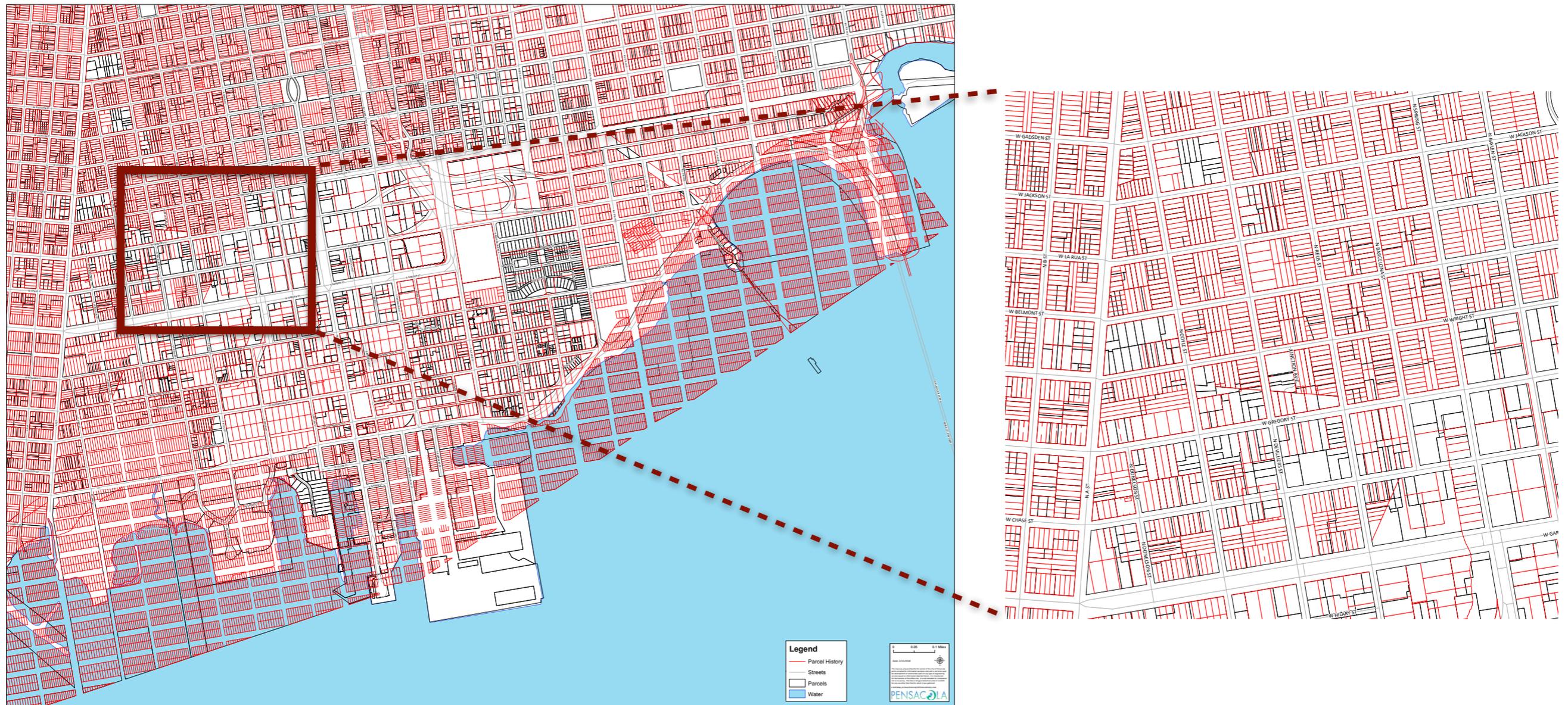
# Zoning: the good, the bad and the ugly

- Unpredictable form
  - No / minimal standards for parking placement;
  - Little recognition of context;
  - Buildings not required to meet street where it matters;
  - Inverse relationship of lot coverage to height;
  - Permission for taller building for non-residential;
  - Parking requirements too high.
- Some SRD have ambiguous standards, subject to interpretation by Special Review Board (e.g.: GRD)
- Unintended consequences
  - Disincentivizing townhouses or mixed-use where needed.
- Inconsistencies
  - Parking requirements;
  - Zoning density discrepancy with MDR

# Design Standards

- Discourages building more than minimum parking and if greater than 10% more, requires waiver.
- Techniques encouraged to minimize driveway and parking lot impacts:
  1. Visually minimize on-site surface parking and locate behind a building when possible.
  2. Minimize the number and width of driveways and curb cuts.
  3. Share driveways with abutting zoning lots.
  4. Locate driveways so they are visually less dominant.
  5. Permeable paving materials is encouraged for use in parking lots.
- Building entrances should be clearly visible from the street.
- Buildings should be sited and designed to encourage human activity on the street.
- Buildings should be compatible with or complement the architectural character of its context.
- Buildings should incorporate architectural features, elements and details that achieve a desirable human scale through the use of human-proportioned architectural features and site design elements clearly oriented to human activity.
- Buildings should avoid large blank walls facing the street, especially near sidewalks.
- Parking garages should not dominate street frontages.

# Plat History



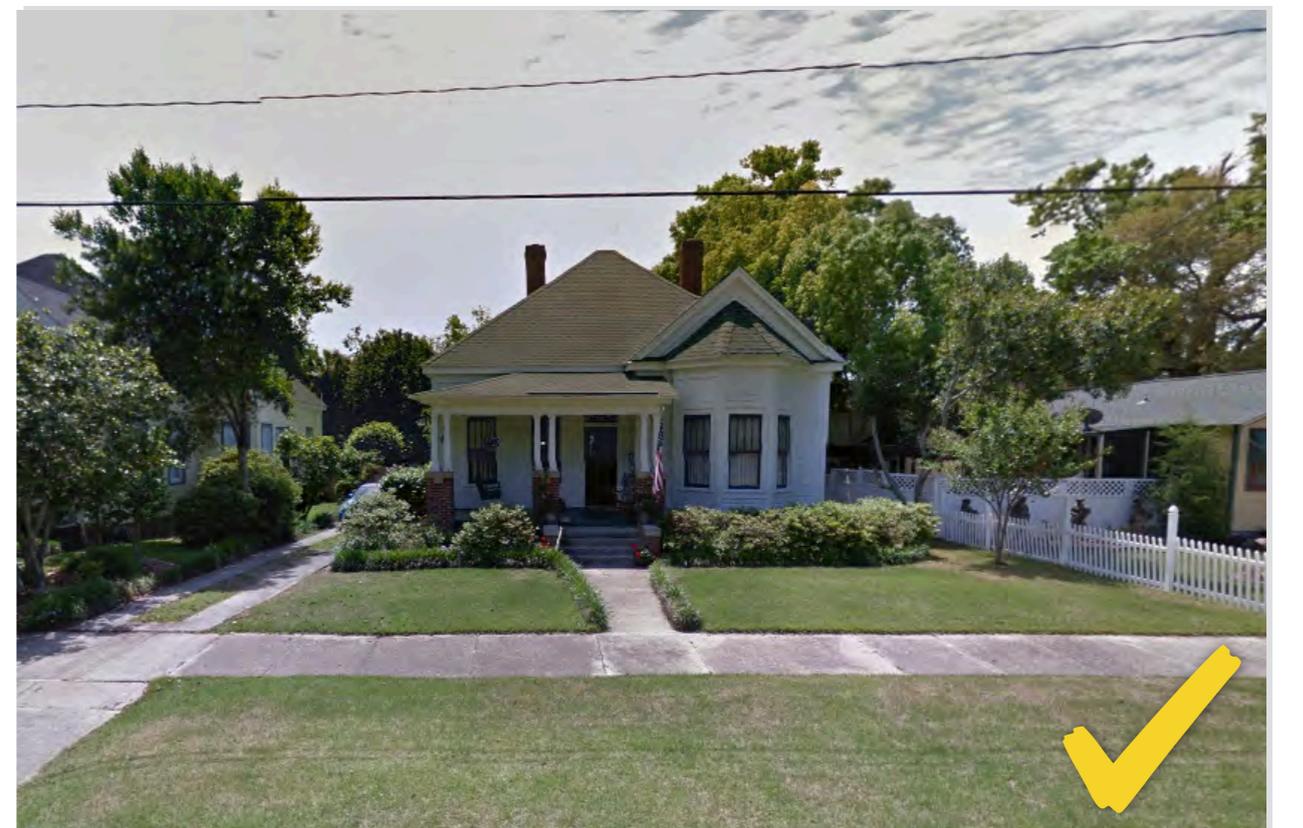
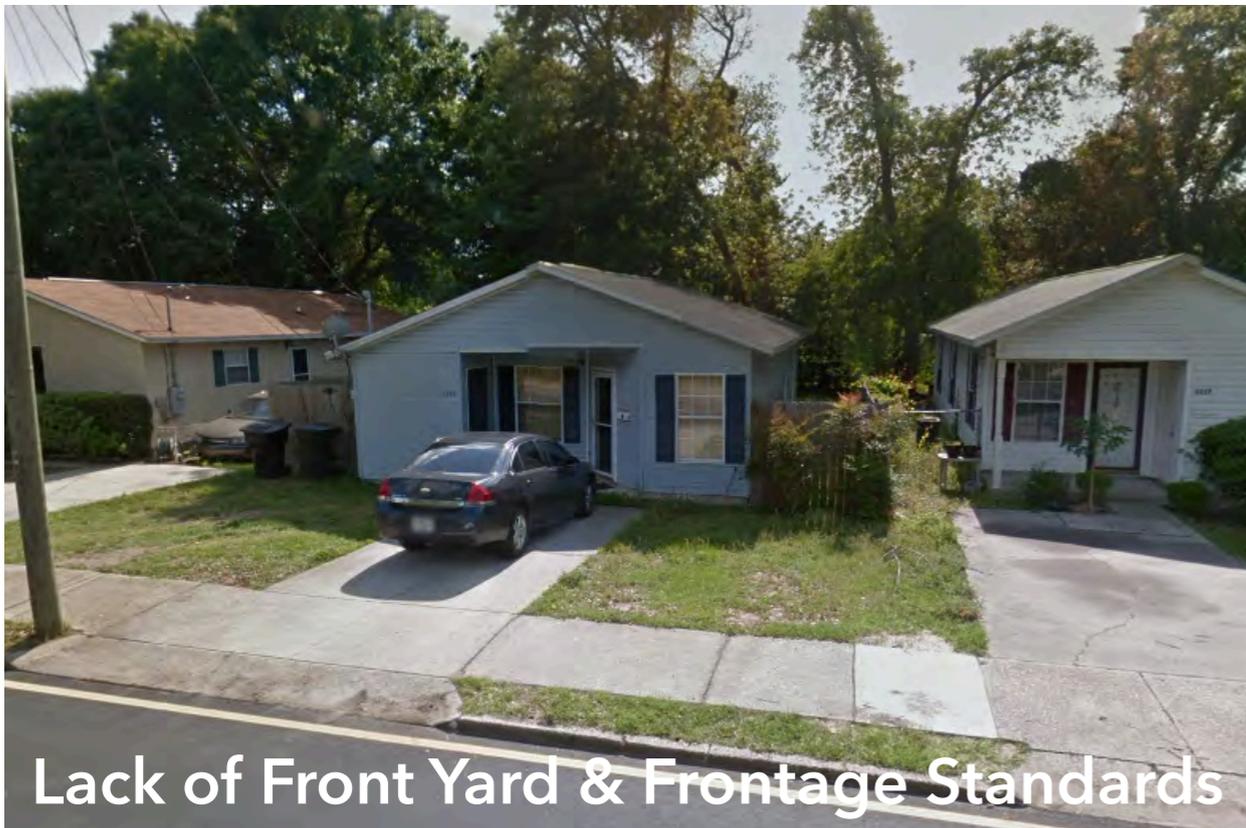
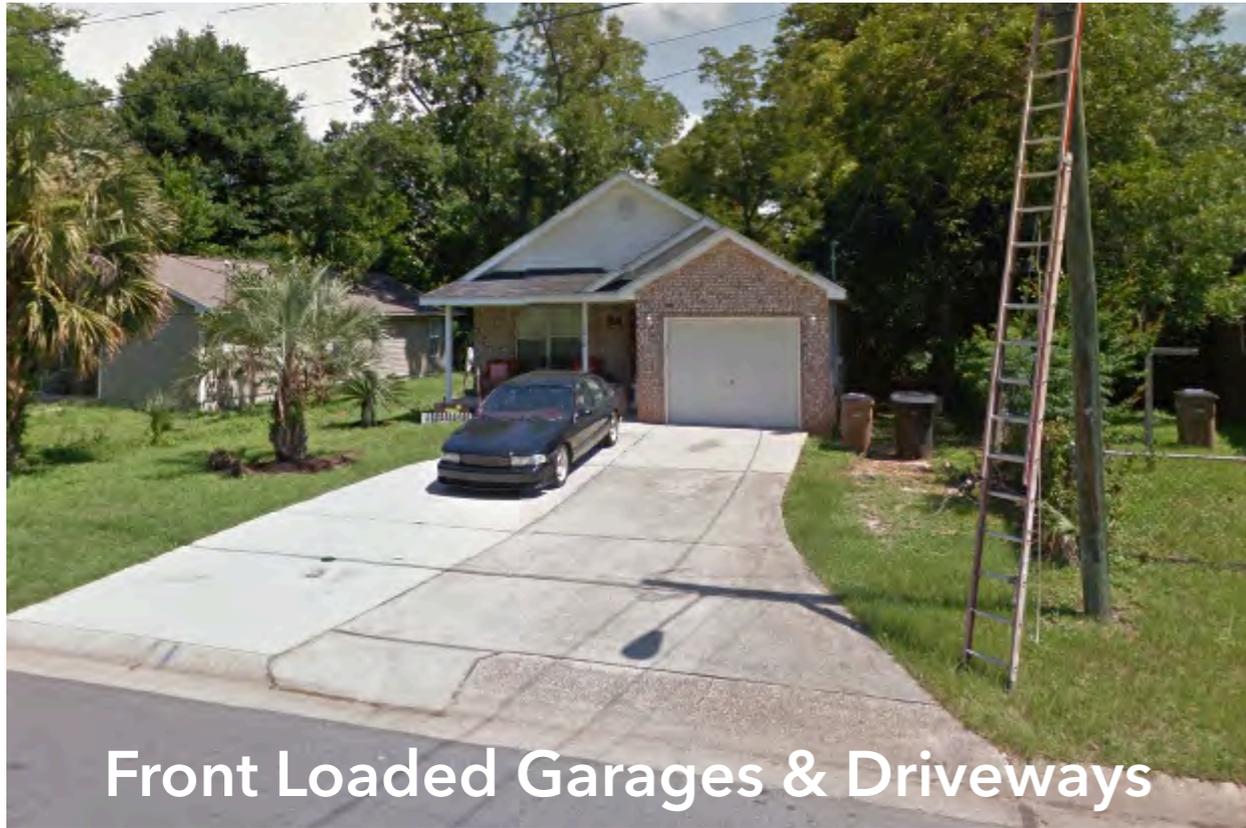
- Encouraging small lot redevelopment must remain.
- Sets up inequitable performance standards.
- If new form meets intent and standards of zoning, should be permitted.
- Define threshold for stormwater requirements to be more flexible
- Allow for off-site treatment in dense areas to create urban amenity.

# Standards & Guidelines

- **Standards**, defined by "*shall*" are regulatory and mandatory. Expectation that new development will be required to comply with these Standards.
- Any deviation from the standards shall be evaluated and determined through the waiver or public process.
- **Guidelines**, defined by "*should*" are advisory and new development is encouraged to incorporate them as appropriate.
- Proposed overlay will supersede some zoning standards.

# Residential Zones

# Issues



# Proposed Regulations: Residential

## Detached Single-Family & Duplexes (R-1AA, R-1A, R-1B)



### Setbacks - Principal Building (feet)

|                  |              |
|------------------|--------------|
| Front, Primary   | 25 min. (30) |
| Front, Secondary | 5 min. (6)   |
| Side             | 5 min. (6)   |
| Rear             | 30 min.      |

### Setbacks - Accessory Building (feet)

|                    |               |
|--------------------|---------------|
| e Front            | 50 min.       |
| f Front, Secondary | 5 min. (6)    |
| g Interior Side    | 1 min. (5)    |
| h Rear             | 5 min. (none) |

### Frontage & Lot Occupation (min.)

|           |     |
|-----------|-----|
| Primary   | 45% |
| Secondary | 40% |

### Frontage Yard Types

|                      |               |
|----------------------|---------------|
| Fenced               | Permitted     |
| Shallow              | Not Permitted |
| Urban                | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt  | Not Permitted |

### Lot Occupation

|              |                 |
|--------------|-----------------|
| Lot Width    | min. 30 ft.     |
| Lot Coverage | 50% max. (none) |

### Facade Types

|              |               |
|--------------|---------------|
| Porch        | Permitted     |
| Stoop        | Permitted     |
| Common Entry | Not Permitted |
| Gallery      | Not Permitted |
| Storefront   | Not Permitted |

### Building Height (max.)

|                    |                           |
|--------------------|---------------------------|
| Principal Building | 35 feet <sup>(1)(2)</sup> |
| Accessory Building | 24 feet <sup>(1)</sup>    |

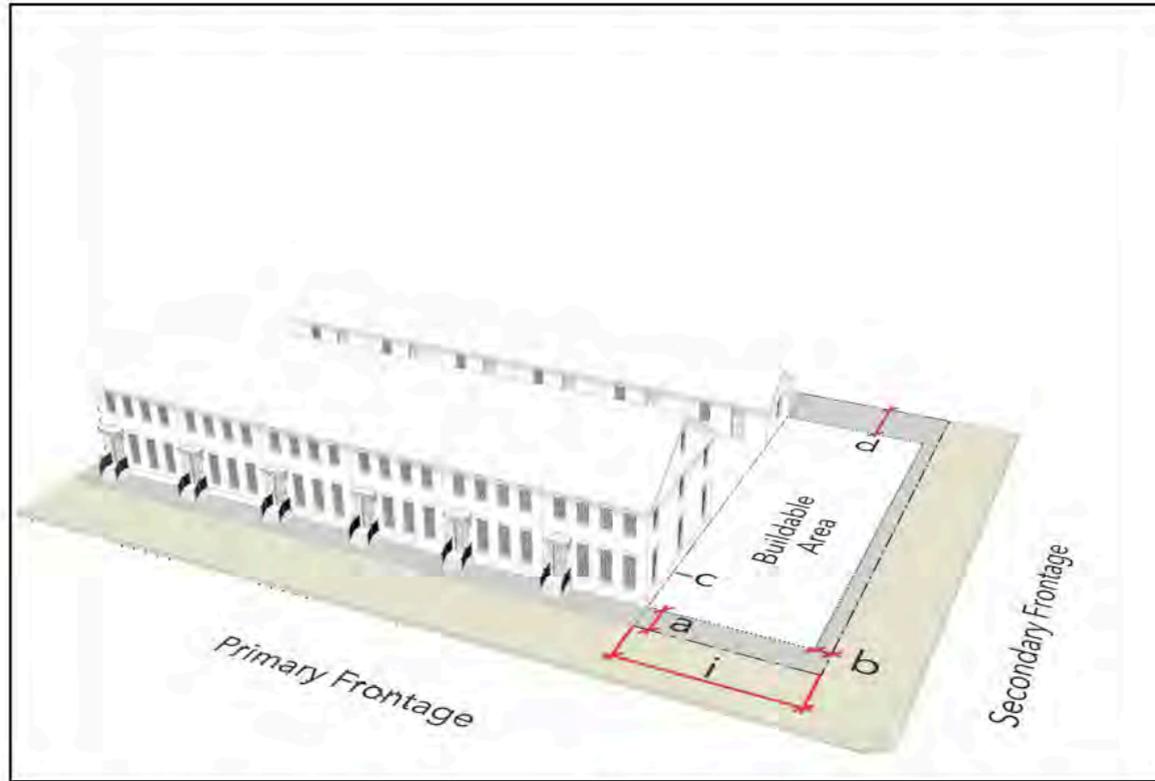
### Parking (min.)

|            |                       |
|------------|-----------------------|
| Off-street | 1/unit <sup>(3)</sup> |
|------------|-----------------------|

Notes:

- (1) Measured to the bottom of the eave
- First floor elevation must be a minimum nine feet above sea level.
- Lots less than 30 feet in width have no minimum parking requirement

## Attached Single-Family (Townhouses) (R-1A, R-1B) standards R-1B



### Setbacks - Principal Building (feet)

|                    |                 |
|--------------------|-----------------|
| a Front, Primary   | 8 min. (10)     |
| b Front, Secondary | 5 min.          |
| c Side             | 0 or 5 min. (5) |
| d Rear             | 30 min.         |

### Setbacks - Accessory Building (feet)

|                    |               |
|--------------------|---------------|
| e Front            | 50 min.       |
| f Front, Secondary | 5 min. (6)    |
| g Interior Side    | 1 min. (5)    |
| h Rear             | 5 min. (none) |

### Frontage & Lot Occupation (min.)

|           |     |
|-----------|-----|
| Primary   | 60% |
| Secondary | 40% |

### Frontage Yard Types

|                      |               |
|----------------------|---------------|
| Fenced               | Not Permitted |
| Shallow              | Permitted     |
| Urban                | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt  | Not Permitted |

### Lot Occupation

|              |                      |
|--------------|----------------------|
| i Lot Width  | 16 min. 60 feet max. |
| Lot Coverage | 75% max. (50%)       |

### Facade Types

|              |               |
|--------------|---------------|
| Porch        | Permitted     |
| Stoop        | Permitted     |
| Common Entry | Not Permitted |
| Gallery      | Not Permitted |
| Storefront   | Not Permitted |

### Building Height (max.)

|                    |                           |
|--------------------|---------------------------|
| Principal Building | 45 feet <sup>(1)(2)</sup> |
| Accessory Building | 24 feet <sup>(1)</sup>    |

### Parking (min.)

|            |        |
|------------|--------|
| Off-street | 1/unit |
|------------|--------|

Notes:

- (1) Measured to the bottom of the eave
- (2) First floor elevation must be a minimum nine feet above sea level.

# R-1AA



Current

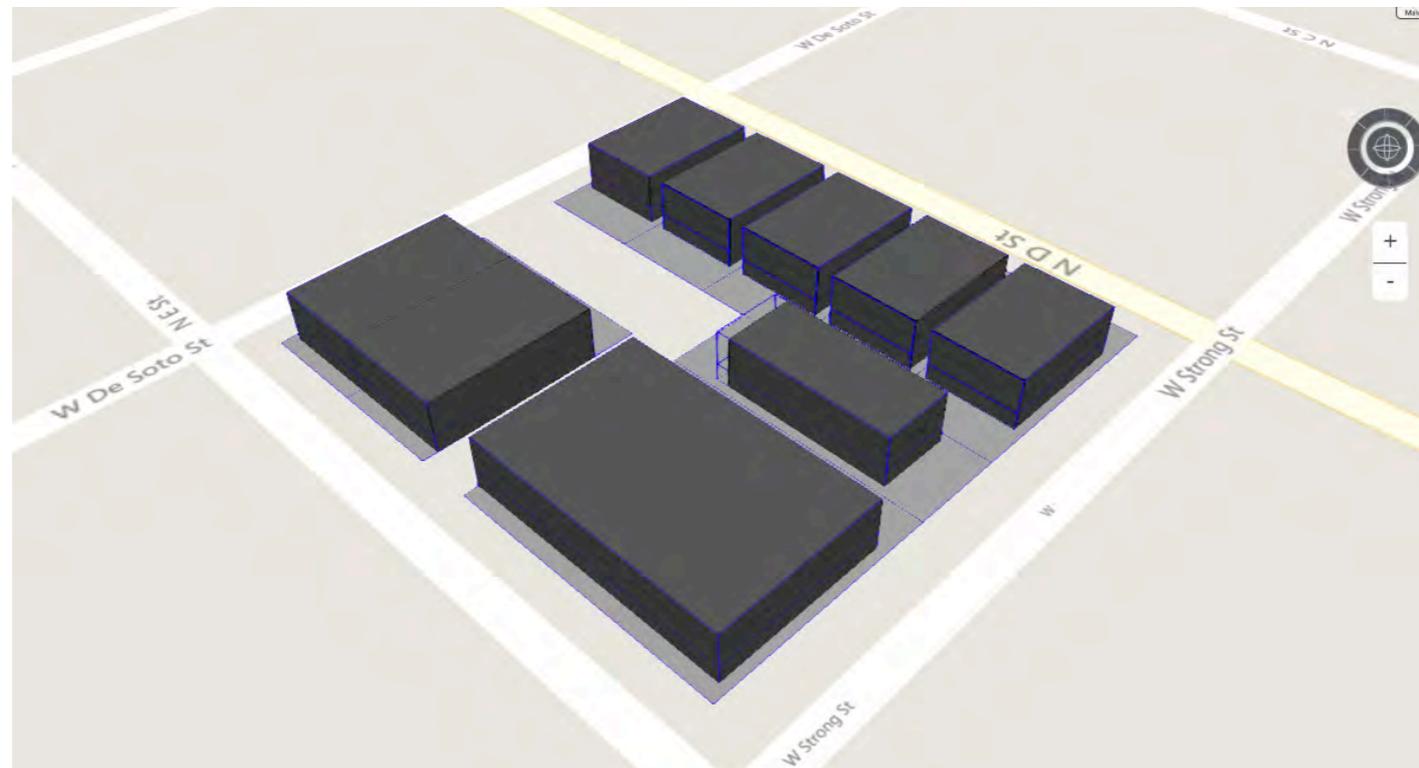


Proposed

# R-1A

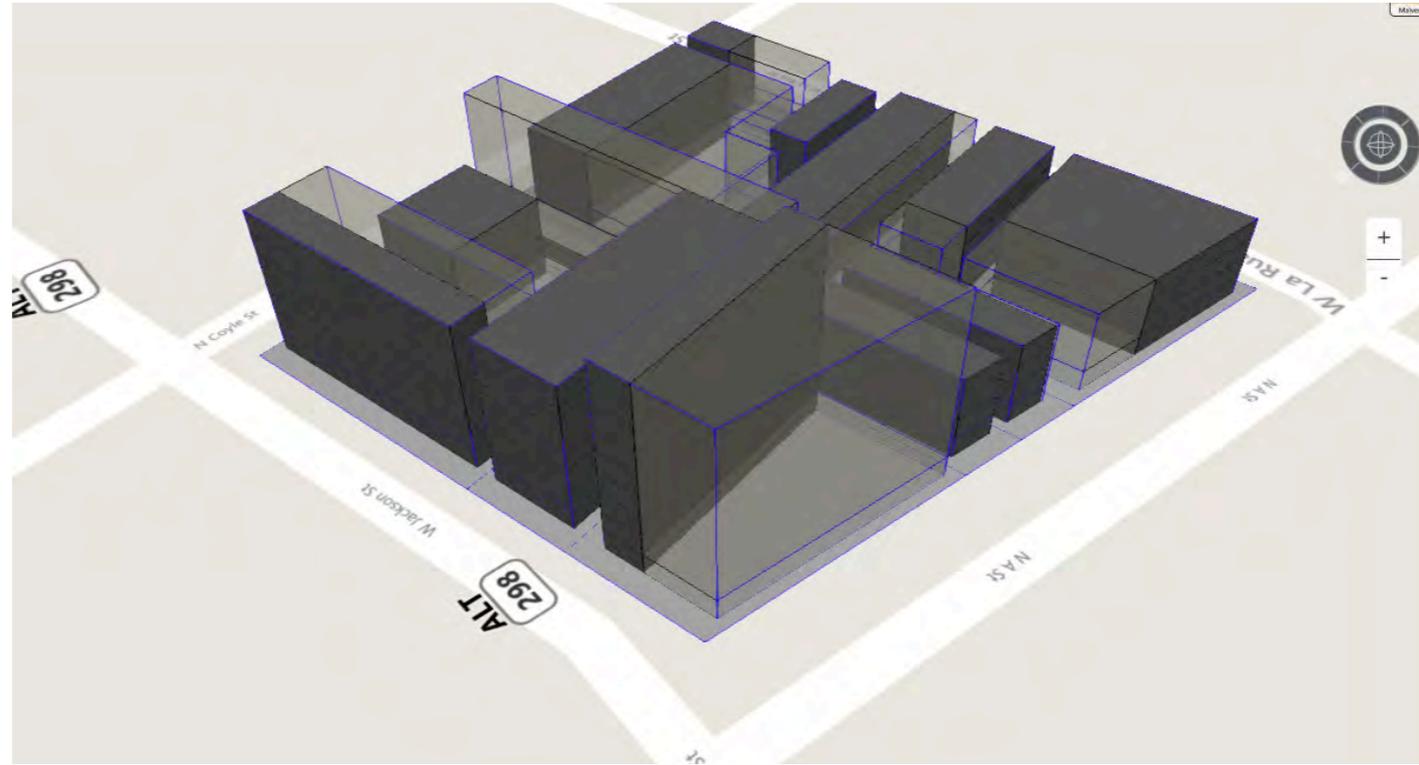


Current

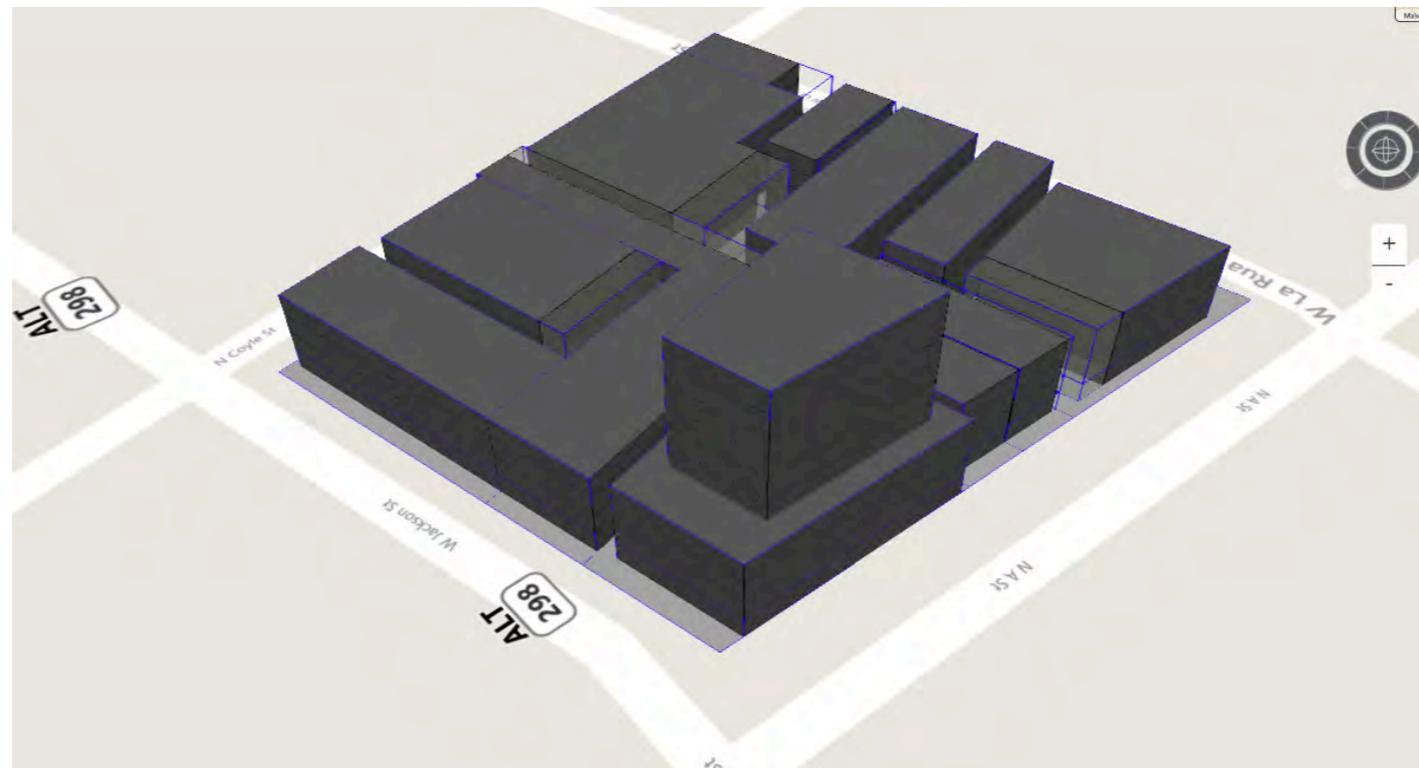


Proposed

# R-1B



Current

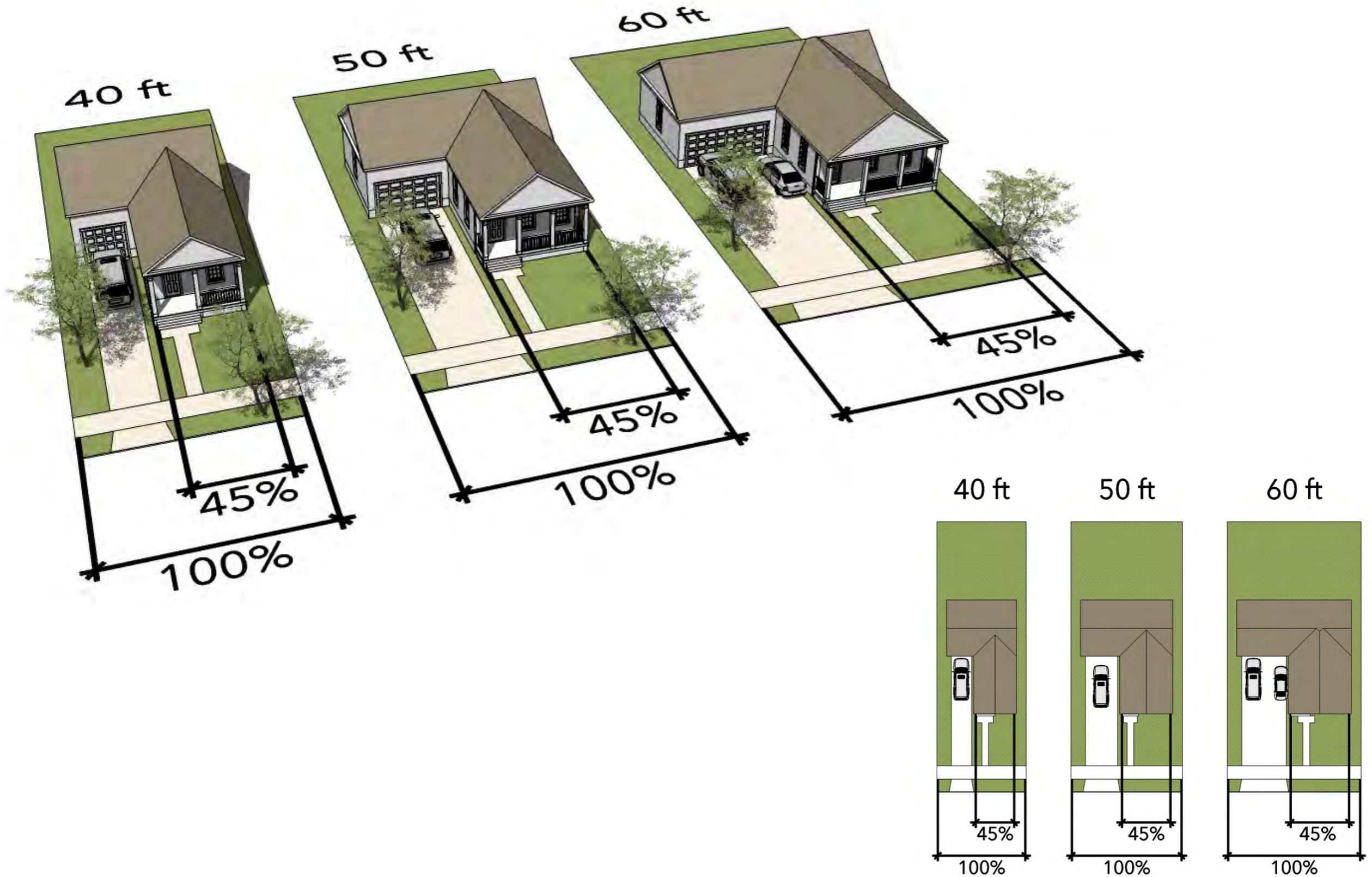


Proposed

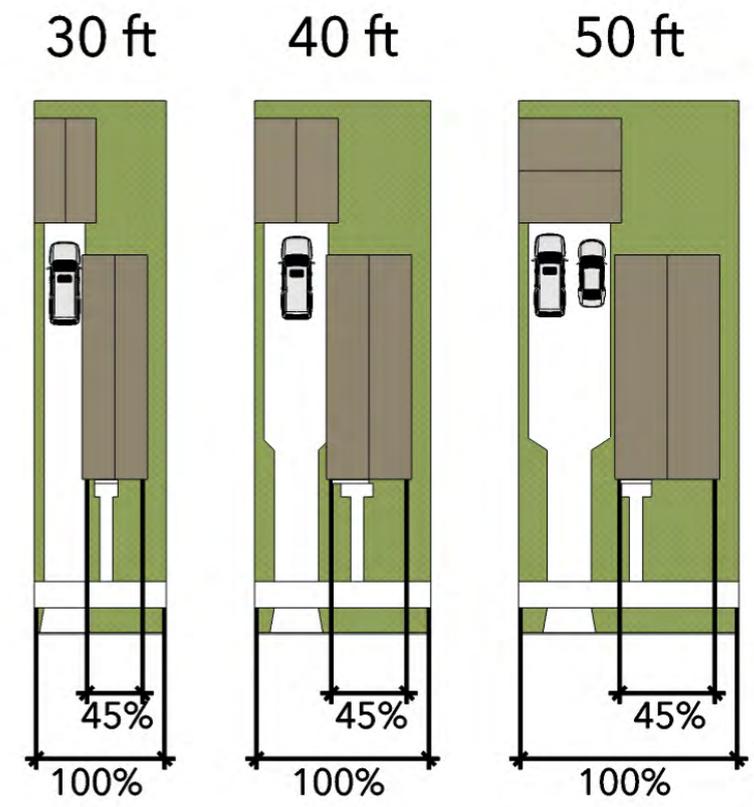
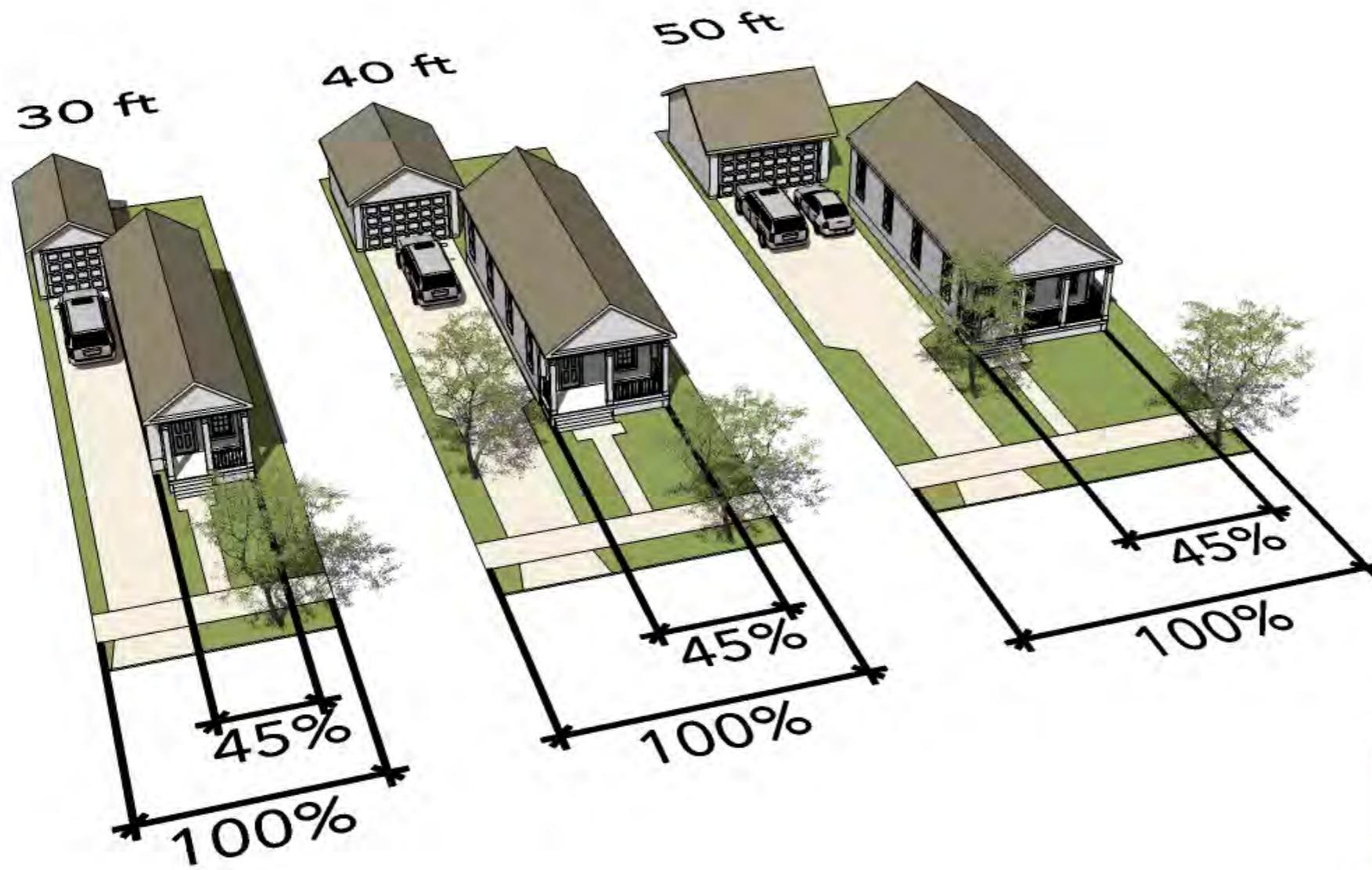
# Front loaded garages & driveways



# Front-loaded, Attached Garages



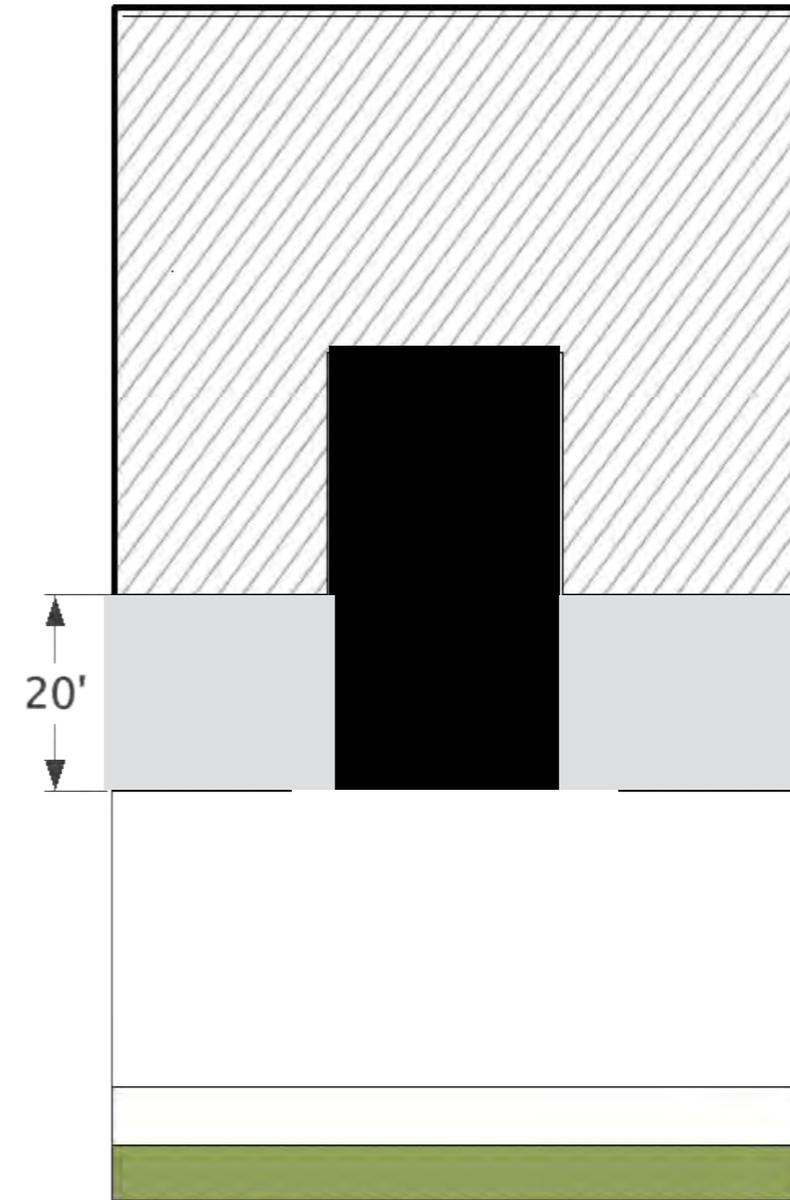
# Front-loaded, Detached Garages



- Wider Houses
- Narrower lots

# Parking Regulations

| <b>Parking General</b>   |
|--|
| The parking for each zone is regulated according to the Form Standards Table.  |
| Parking reductions are provided according to the Shared Parking Table.   |
| <b>Residential</b>   |
| Covered parking must be setback a minimum 20 feet behind the principal building face   |
| Lots less than or equal to 30 feet in width have no minimum parking requirement.   |
| Lots less than 42 feet must be accessed from a rear lane, where possible. *Where not possible parking placement shall meet the parking standards requirements. |
| Within residential zones (R-1AA...) parking shall only be permitted on driveways or within garages or carports.  |
| *Paring waivers permitted for special lot conditions   |



# Long-Term Fix / Zoning Acupuncture

## Townhouses

| Zoning Category                                | Density (max.) |
|--|----------------|
| <b>CRA: Urban Core</b>                         |                |
| <b>R-1AA: Medium Density Residential (MDR)</b> |                |
| SF Detached                                    | 8.7            |
| Duplex   | 11.6           |
| SF Attached                                    | 11.6           |

| MEDIUM DENSITY RESIDENTIAL LAND USE – MDR |                                     |
|---|-------------------------------------|
| R-1AA                                     | One and two-family zoning district. |
| R-1A                                      | One and two-family zoning district. |

**FLUM: MDR:  
17.4 du/acres max**

- Townhouses NOT possible under current R-1AA, R-1A and R-2A zoning
- Currently, only possible in R-2 and R-NCs (no min lot width)
- Decide as community where you want to welcome townhouse in Rs

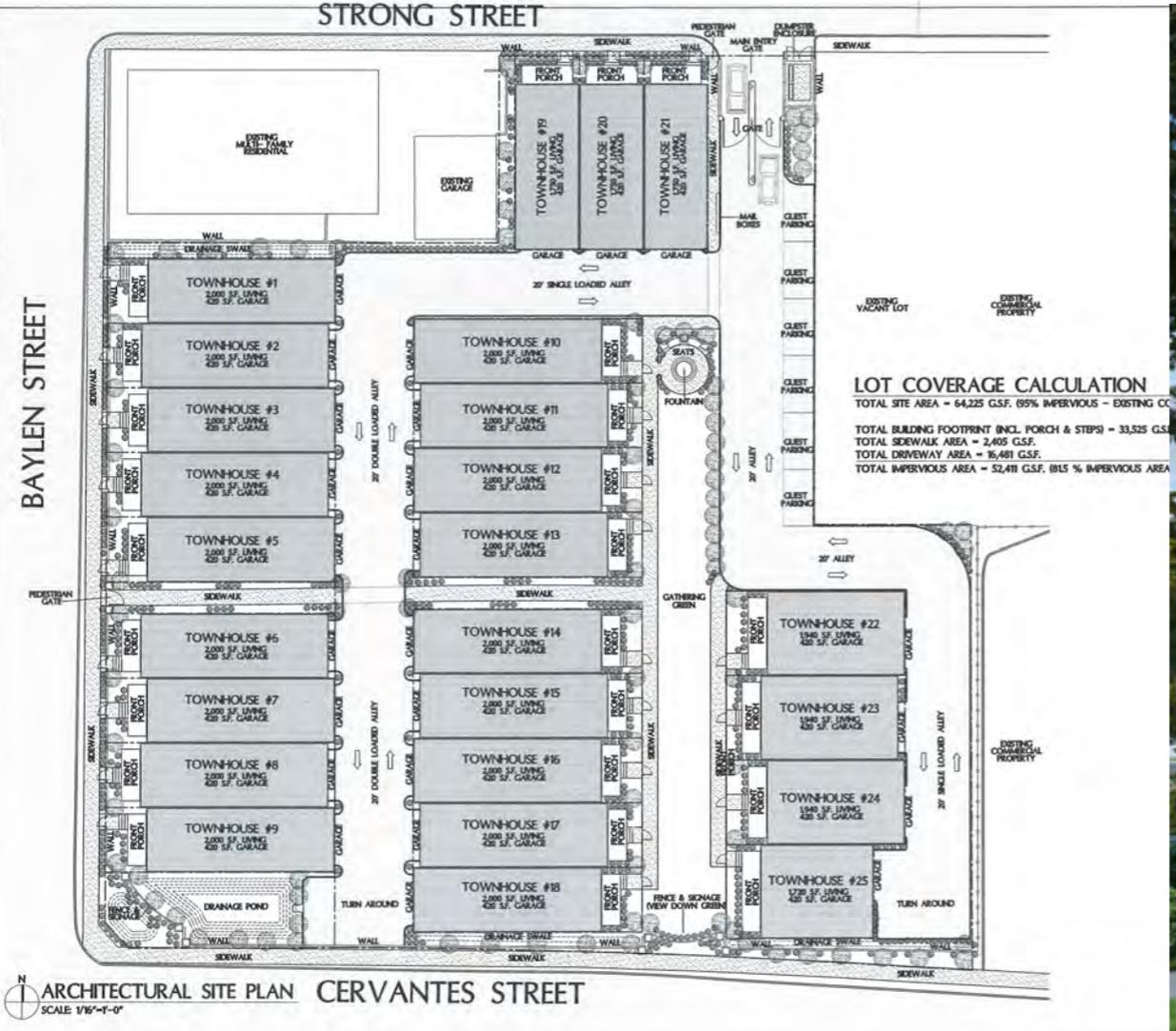
# Coordinate Parking

**TABLE 12-2.2  
REGULATIONS FOR THE MEDIUM DENSITY RESIDENTIAL ZONING DISTRICTS**

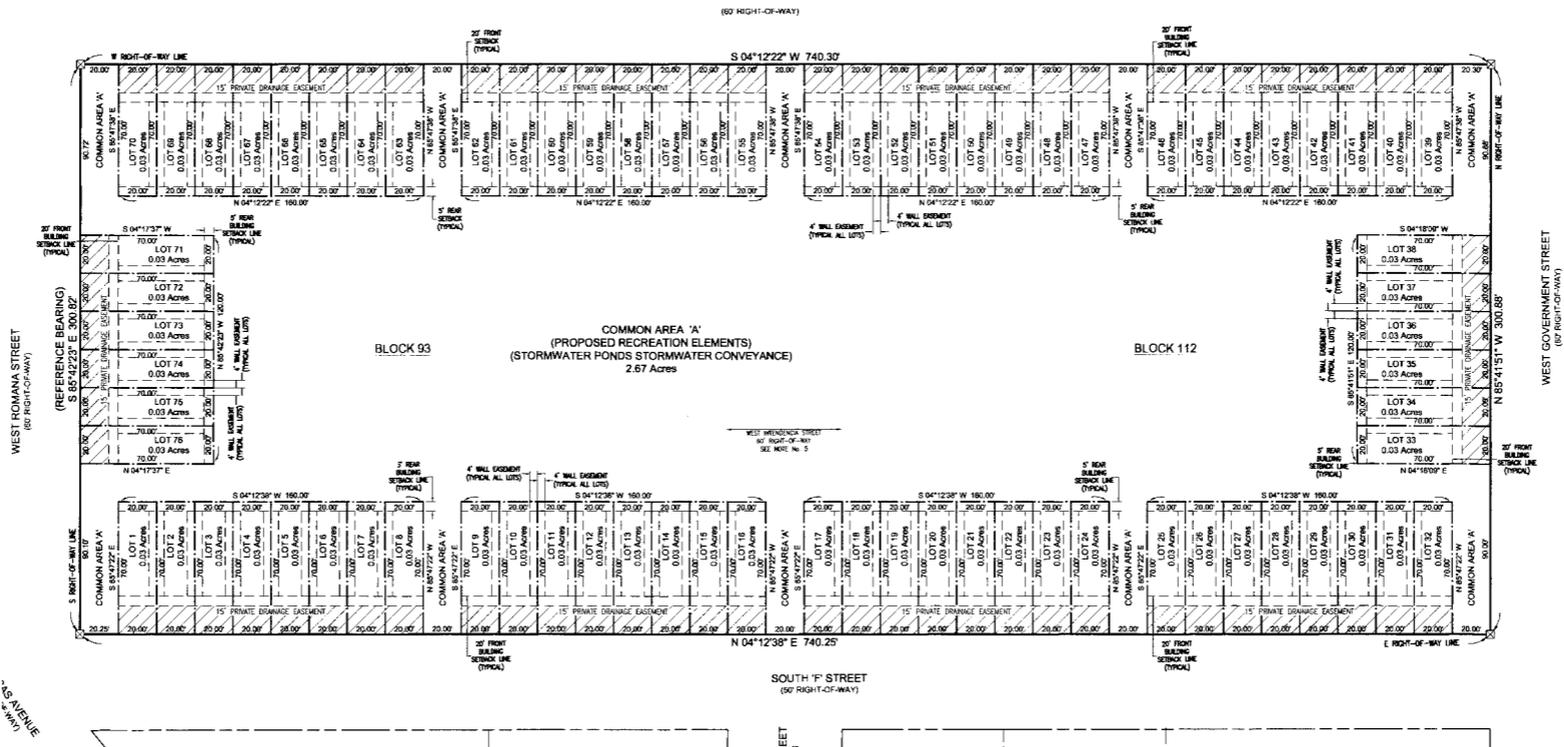
| Standards  | R-1AA   |                              |                                       | R-1A  |                              |                                       |
|--|---|------------------------------|---------------------------------------|---|------------------------------|---------------------------------------|
|  | Single Family Detached                                      | Two-Family Attached (Duplex) | **Single Family Attached (Townhouses) | Single Family Detached                                      | Two-Family Attached (Duplex) | **Single Family Attached (Townhouses) |
| Maximum Residential Gross Density                                  | 8.7 units per acre  | 11.6 units per acre          | 11.6 units per acre                   | 12.4 units per acre   | 17.4 units per acre          | 17.4 units per acre                   |
| Minimum Lot Area   | 5,000 s.f.  | 7,500 s.f.                   | 3,750 s.f.                            | 3,500 s.f.  | 5,000 s.f.                   | 2,500 s.f.                            |
| Lot Width at Minimum Building Setback Line                         | 40 feet   | 60 feet                      | 30 feet                               | 30 feet   | 50 feet                      | 25 feet                               |
| Minimum Lot Width at Street R-O-W Line                             | 40 feet   | 50 feet                      | 25 feet                               | 30 feet   | 50 feet                      | 25 feet                               |
| Minimum Yard Requirements<br>*Front Yard<br>Side Yard<br>Rear Yard | (Minimum Building Setbacks)<br>30 feet<br>6 feet<br>30 feet |                              |                                       | (Minimum Building Setbacks)<br>20 feet<br>5 feet<br>25 feet |                              |                                       |
| Off-Street Parking   | 1 space/unit  |                              | 2 sp./unit                            | 1 space/unit  |                              | 2 sp./unit                            |
| Maximum Building Height  | 35 feet<br>(Except as provided in Sec. 12-2-39)             |                              |                                       | 35 feet<br>(Except as provided in Sec. 12-2-39)             |                              |                                       |

|  |   |
|--|---|
| Motel .....  | 1 space/room  |
| Museum .....   | 1 space/300 s.f.  |
| Nightclub .....  | 1 space/75 s.f.   |
| Nursery .....  | 1 space/1,000 s.f. of lot area                                    |
| Nursing Home .....   | 1 space/2 beds  |
| Office   |   |
| General Office .....   | 1 space/300 s.f.  |
| Accessory Office Unit .....  | 1 space/300 s.f.  |
| Government Office .....  | 1 space/500 s.f.  |
| Note: On-street parking within five hundred (500) feet of the building, except in residential districts, may be used towards this requirement for non-employee parking only. In any event, one off-street parking space shall be required for each employee in the building. |   |
| Medical/Dental Office .....  | 1 space/200 s.f.  |
| Open Air Market .....  | 1 space/300 s.f.  |
| Printing or Publishing Firm .....  | 1 space/300 s.f.  |
| Private Club .....   | 1 space/100 s.f.  |
| Racquetball Club .....   | 1 space/court   |
| Radio or Television Station .....  | 1 space/300 s.f.  |
| Repair Shop .....  | 1 space/300 s.f.  |
| Residential  |   |
| Single-family, Duplex and Accessory Residential Unit .....   | 1 space/unit (public street)<br>2 spaces/unit (private street)    |
| Multi-family, Townhouse, Manufactured Home Unit .....  | 1 space/unit  |
| Rest Home .....  | 1 space/2 beds  |
| Restaurant   |   |
| Drive-in Only .....  | 1 space/100 s.f.  |
| Drive-through Only .....   | 1 space/100 s.f.  |
| Sit-Down Only .....  | 1 space/100 s.f. (including outdoor dining areas)                 |
| Combination Drive-through/Sit-down .....   | 1 space/100 s.f. (including outdoor dining and/or activity areas) |
| Retail Sales/Rental  |   |
| Boat .....   | 1 space/500 s.f.  |
| Carpet .....   | 1 space/500 s.f.  |
| Furniture .....  | 1 space/500 s.f.  |

# Current Townhouse Projects

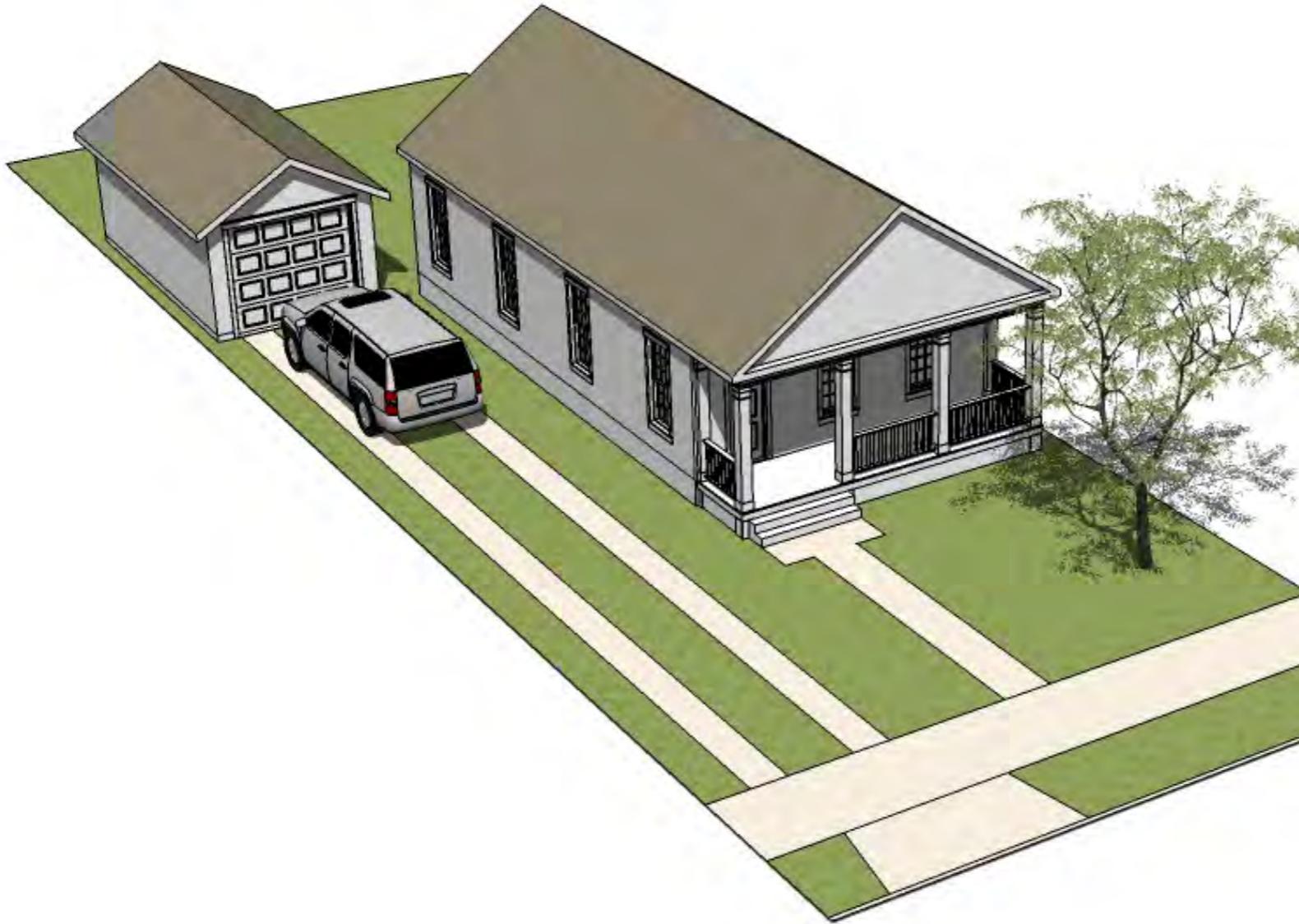


# Current Townhouse Projects





# Driveway Regulations



## Driveways

- Driveways widths (residential except multifamily): curb cuts and driveway approach shall conform to the following requirements:
  - Driveway: Minimum driveway: 10 feet / Maximum driveway: 20 feet.\*
  - \* 20 feet driveway restricted to lots equal to or wider than 42 feet.
- Joint-use driveway: Minimum driveway: 20 feet / Maximum driveway: 24 feet 22 feet.
- Tandem parking is encouraged.
- Width (residential multifamily): curb cuts for driveways shall conform to the following requirements:
  - Minimum driveway: 20 feet / Maximum driveway: 24 feet when-combining ingress and egress.
  - Two separate driveways on one lot shall have a minimum separation of 20 feet.

# Entry at grade



# Entry at grade



8" above grade min

18" above grade min.

24" above grade min

48" above grade min

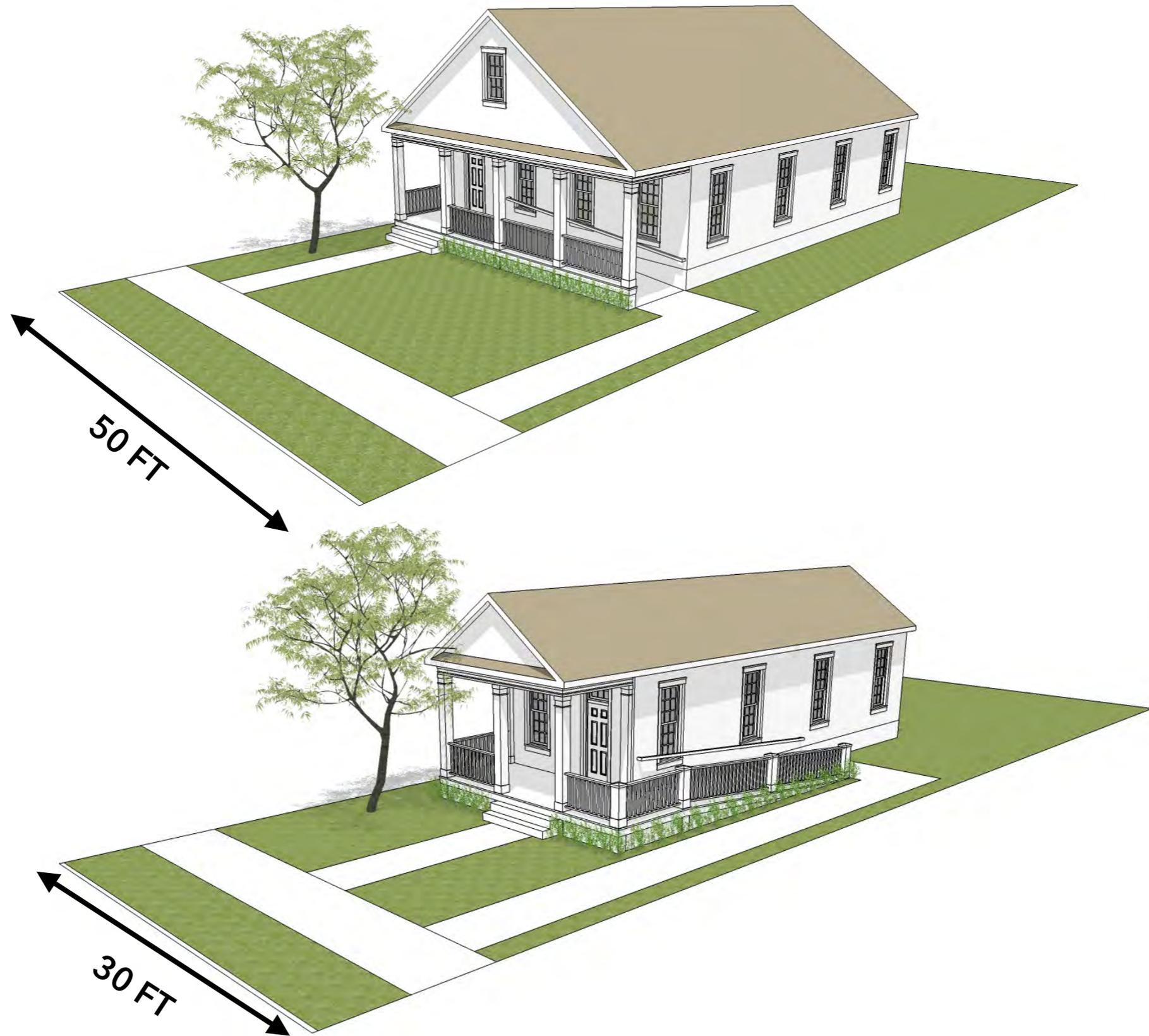


## Foundation Height

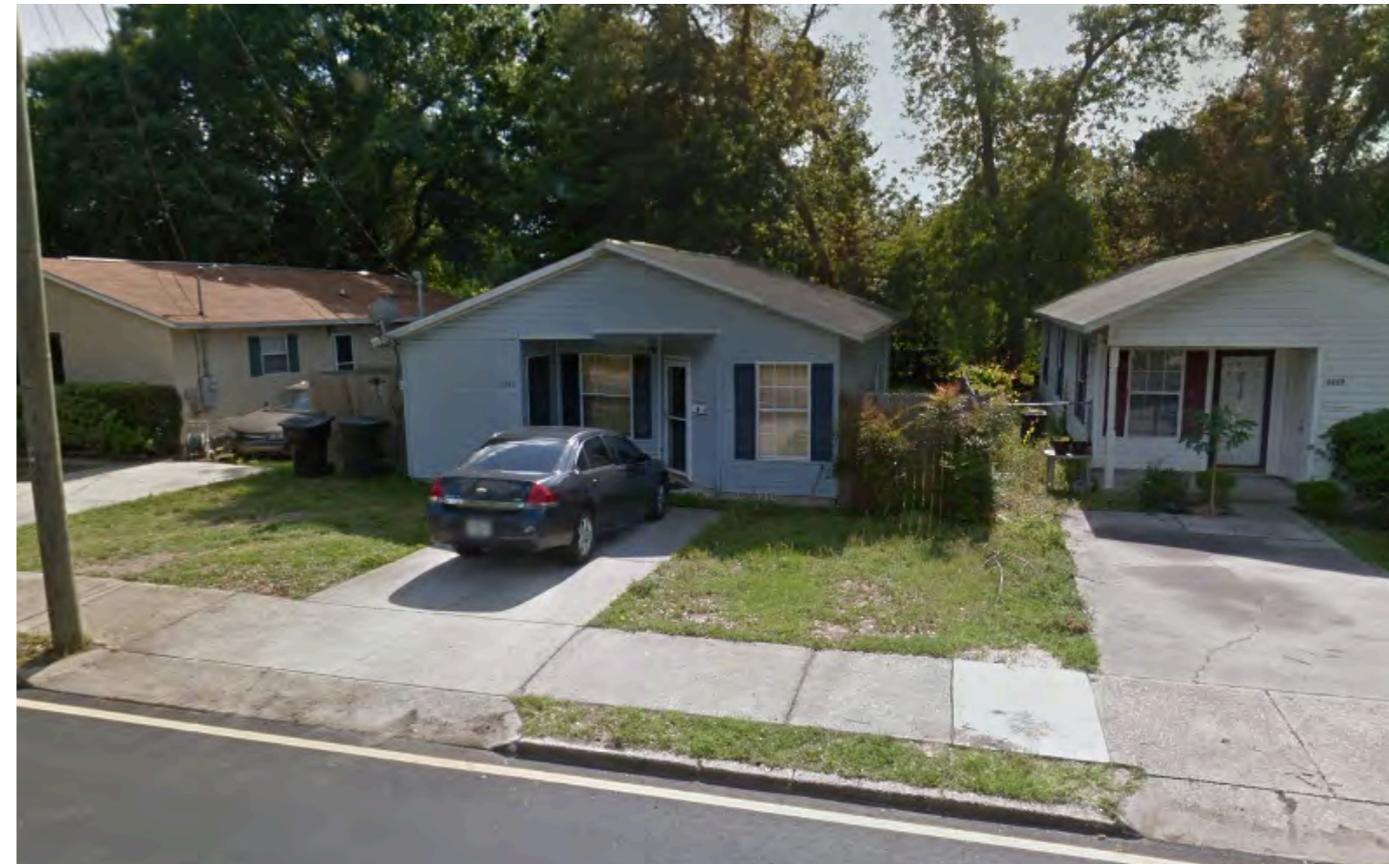
Detached single-family: First floor elevation must be raised a minimum 24 inches and a maximum 36 inches above grade. First floor elevation must be a minimum nine feet above sea level.

Attached single-family (Townhouse): First floor elevation must be raised a minimum 36 inches off grade. First floor elevation must be a minimum nine feet above sea level.

# ADA Accessibility



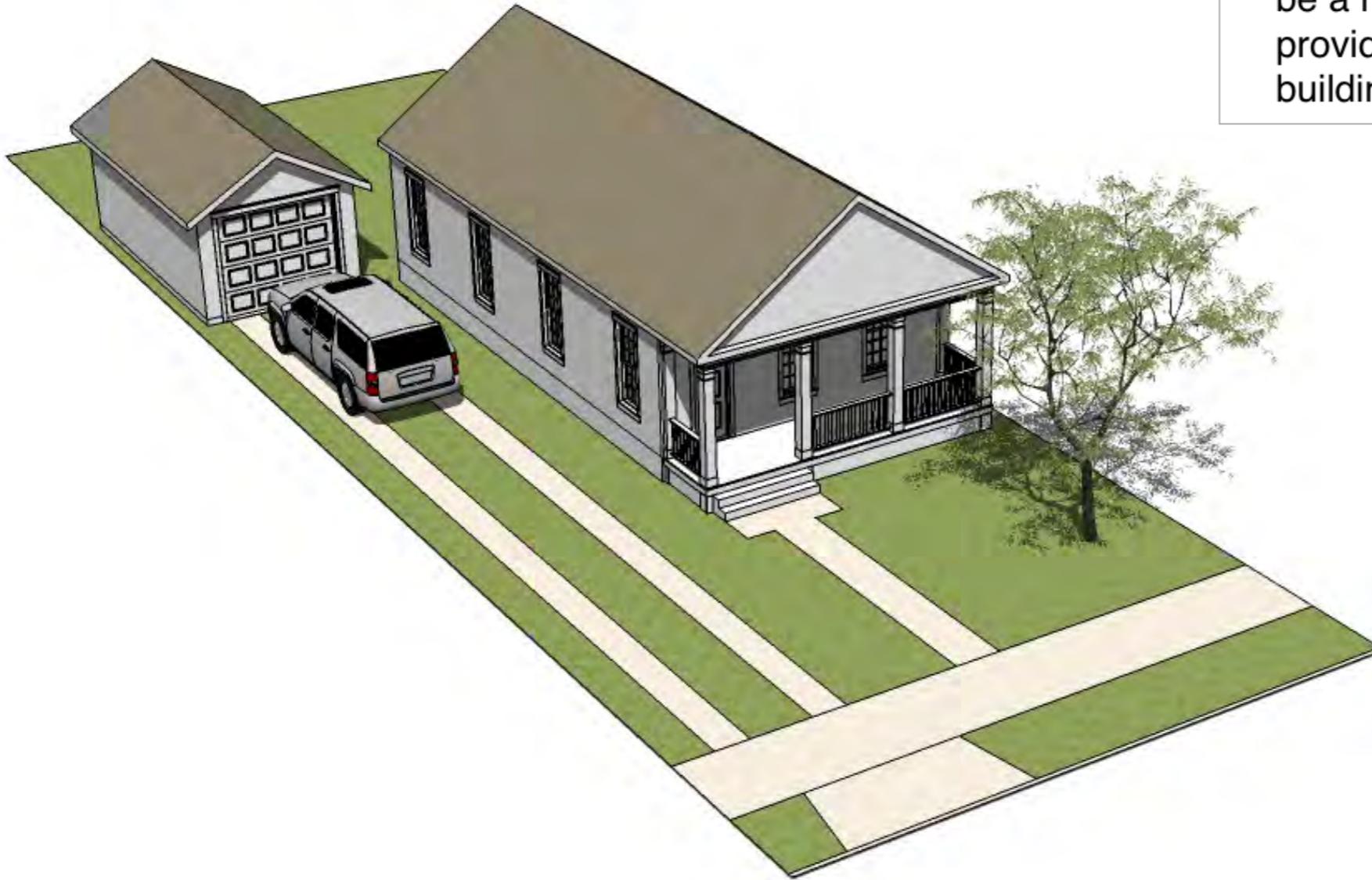
# Lack of Front Yard and Frontage Standards



# Front Yard Standards

## Open Space For Front Yards

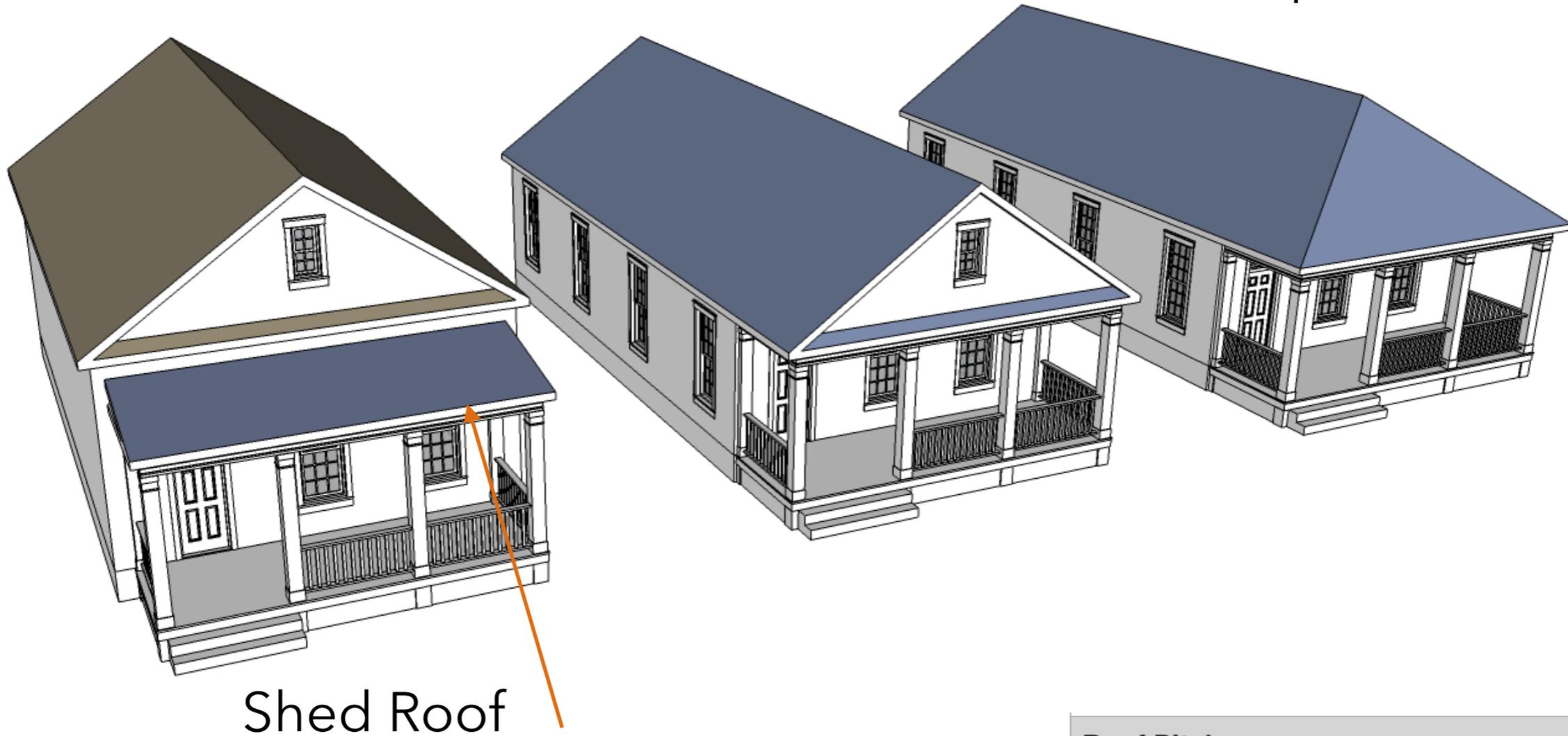
- The setback for multi-family buildings must be a minimum 50% pervious material, and provide a shade tree for every 50 feet of building frontage.



# Proposed Regulations: Roof Pitch

Gable Roof

Hip Roof



Shed Roof

## Roof Pitch

Gable or hipped roofs must have a minimum pitch of 6:12 and a maximum pitch of 9:12

Shed roofs must have a minimum pitch of 4:12.

# Proposed Architectural Regulations



| Architecture   |
|--|
| Windows must be vertical in proportion   |
| Windows should have muntins.   |
| Window panes must be vertical in proportion.   |
| Single window panes along primary and secondary frontages must not exceed 20 square feet, excluding storefronts. |
| Glazing  |
| Stained, reflective, tinted, and low-e glazing is prohibited.  |
| Glazing is calculated according to the Glazing Table   |

# Proposed Regulations: Frontage Yard Types

## Frontages

Minimum frontages shall be configured according to the Frontage Yard Types Table.

Private frontages must be configured according to the Frontage Yard Types Table.

| Frontage Yard Types     |  |
|-------------------------|--|
| <b>A. Fenced Yard</b>   |  |
| Illustration            |    |
| Surface                 | 50% minimum must be pervious material. A minimum of one tree is required. Paving is limited to walkways, driveways, and per setback.                         |
| Walkways                | 1 per frontage providing access to building entries  |
| Fencing                 | Permitted along frontage lines. Min. 30 inches, max. 42 inches. At or beyond building line, fence height may be 8 ft. max.                                   |
| <b>B. Cluster Court</b> |  |
| Illustration            |   |
| Surface                 | 50% minimum must be landscaped with ground cover, trees, or understory trees. Paving is limited to walkways, driveways, and per setback.                     |
| Walkways                | Court must be a min. 20 feet wide and a min. 1,000 sf in size and must have a walkway connecting the sidewalk at the primary frontage with building entries. |
| Fencing                 | Permitted at or beyond the building setback line, not along frontage lines.  |

| Frontage Yard Types    |   |
|------------------------|---|
| <b>C. Shallow Yard</b> |   |
| Illustration           |   |
| Surface                | Maximum setback of 8 feet. Landscaped in R-1A and R-1B and may be paved in R-NC and R-NCB.  |
| Walkways               | 1 per frontage providing access to building entries   |
| Fencing                | Permitted at or interior to the building setback line at primary street frontages. Permitted at or interior to secondary street frontage lines. Permitted at outdoor seating areas. |
| <b>D. Urban Yard</b>   |   |
| Illustration           |    |
| Surface                | Must be paved at sidewalk grade   |
| Walkways               | Must be paved at sidewalk grade. Vegetation is permitted in raised containers.  |
| Fencing                | Not permitted   |

| Frontage Yard Types            |  |
|--------------------------------|--|
| <b>E. Pedestrian Forecourt</b> |  |
| Illustration                   |                              |
| Surface                        | Min. 80% paving at sidewalk grade.   |
| Fencing                        | Permitted at or interior to building setback lines   |
| Area                           | Forecourt: 2,400 sq.ft. max. and a min. 20 ft. wide up to 30% of the allowable frontage, and a max. 30 ft. deep. |
| Activation                     | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites.                                    |
| <b>G. Vehicular Forecourt</b>  |  |
| Illustration                   |                             |
| Surface                        | Driveway must be paved at sidewalk grade. The remainder of frontage setback may be paved or landscaped.          |
| Fencing                        | Not permitted  |
| Area                           | Forecourt: 3,000 sq.ft. max.   |
| Activation                     | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites.                                    |

# Proposed Regulations: Residential Frontage Yard Types

## Frontage Yard Types

### A. Fenced Yard

#### Illustration



|                 |  |
|-----------------|--|
| <b>Surface</b>  | 50% minimum must be pervious material. A minimum of one tree is required, . Paving is limited to walkways, driveways, and per setback. |
| <b>Walkways</b> | 1 per frontage providing access to building entries  |
| <b>Fencing</b>  | Permitted along frontage lines. Min. 30 inches, max. 42 inches. At or beyond building line, fence height may be 8 ft. max.             |

## Frontage Yard Types

### C. Shallow Yard

#### Illustration



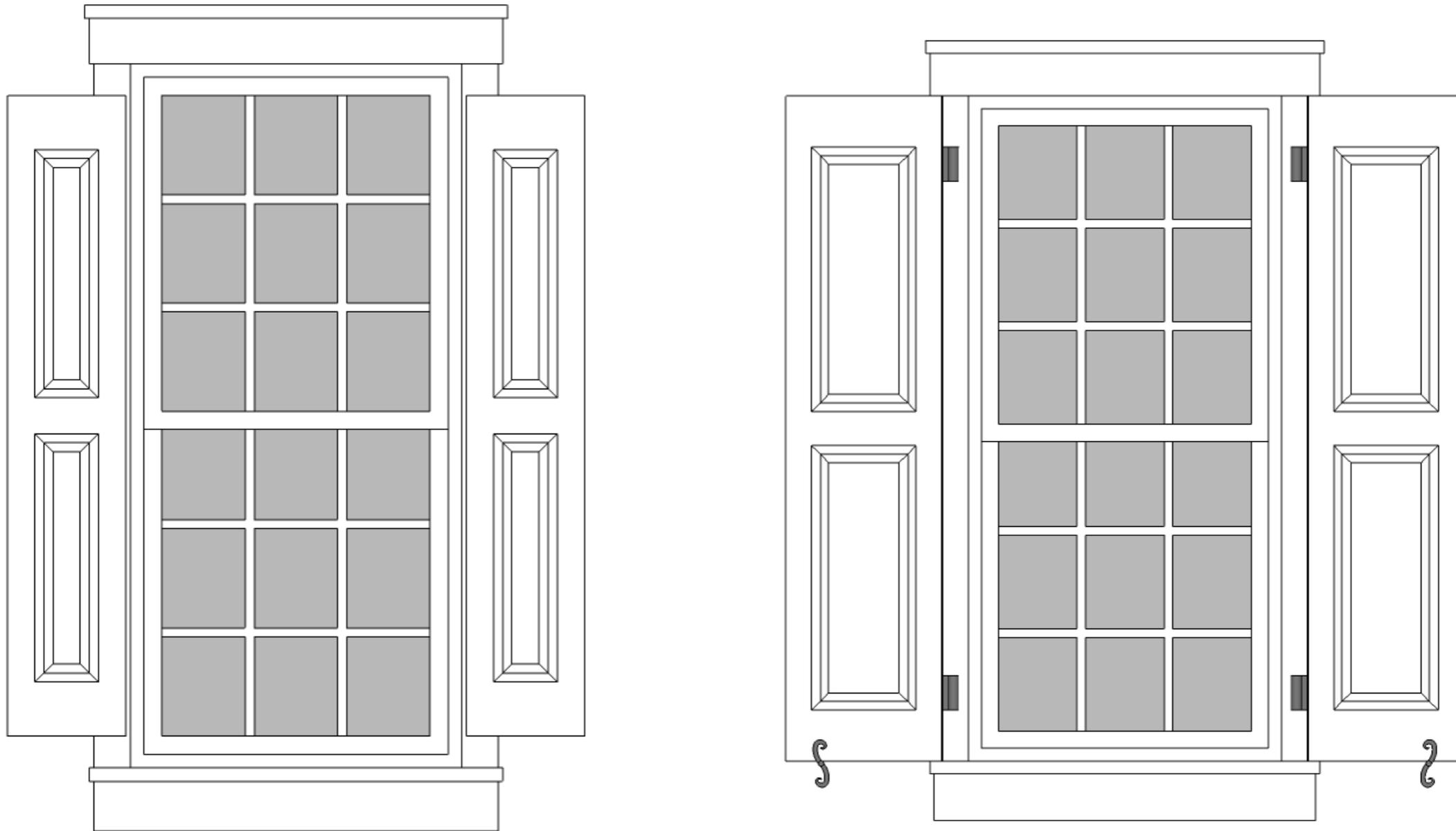
|                 |   |
|-----------------|---|
| <b>Surface</b>  | Maximum setback of 8 feet. Landscaped in R-1A and R-1B and may be paved in R-NC and R-NCB.  |
| <b>Walkways</b> | 1 per frontage providing access to building entries   |
| <b>Fencing</b>  | Permitted at or interior to the building setback line at primary street frontages. Permitted at or interior to secondary street frontage lines. Permitted at outdoor seating areas. |

# Porch Posts



- The width of the posts are related to the height of the porch.
  - Example: Porches with a height of 8 feet require a column with a diameter of 6" min.

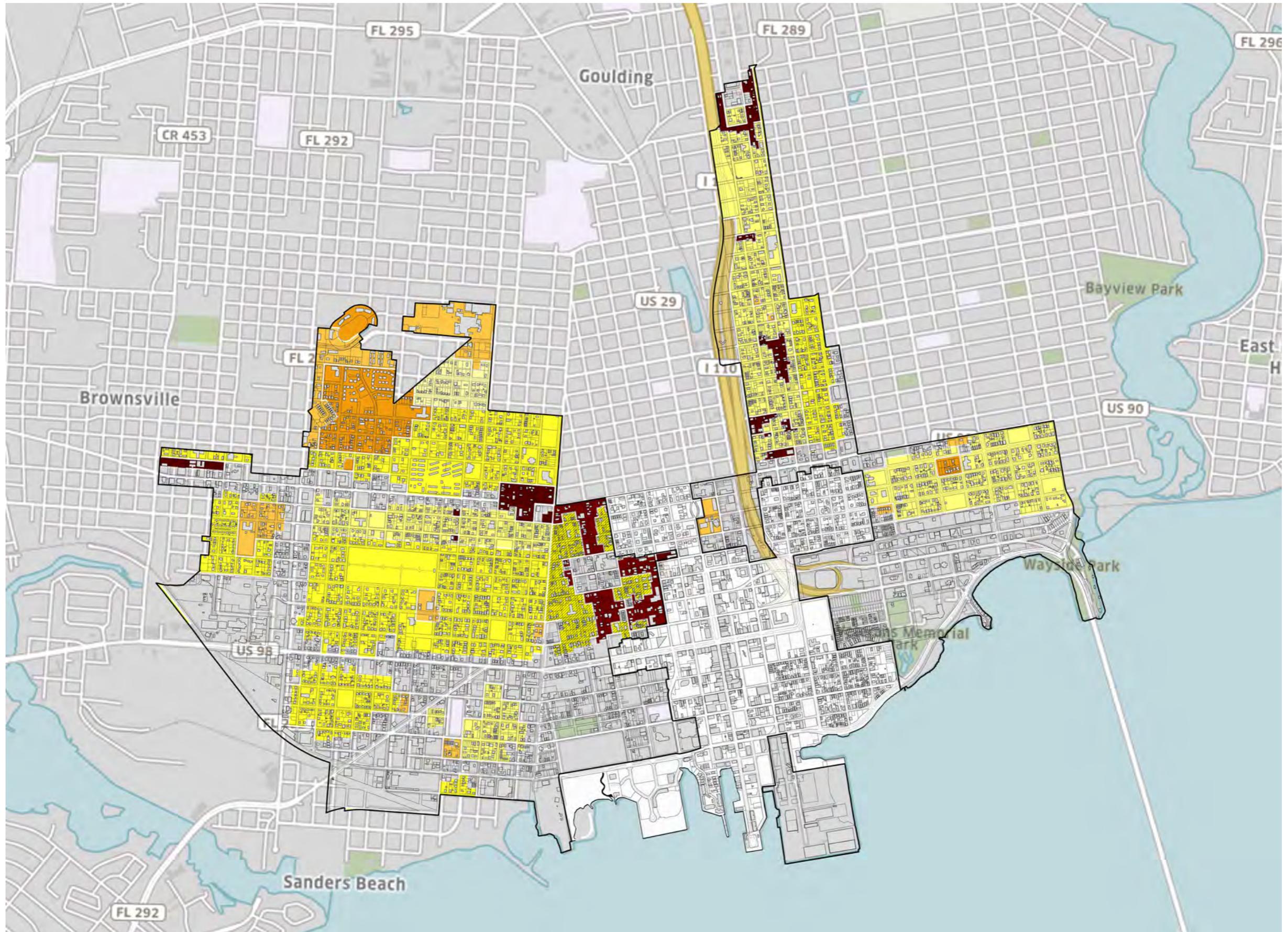
# Shutters



- If shutters are provided:
  - They shall be sized to match window opening.
  - They shall be operable.

# R-NC Zones

# R-NCB and R-NC with Residential Zones



# R-NCB

| Standards  | Within 100 Feet of a Residential Zoning District                                 | More Than 100 Feet From a Residential Zoning District |
|--|--|---|
| Minimum Yard Requirements (Minimum Building Setbacks)<br>*Front Yard<br>Side Yard<br>Rear Yard   | 15 feet (Also 5 feet 15 feet (Also see Note 1))                                  | 10 feet (Also 5 feet 10 feet (Also see Note 1))       |
| Maximum Building Height (At Building Setback Line)   | 35 feet  | 45 feet (Also see Note 2)                             |
| Lot Coverage Requirements For All Single-Family, Duplex, Townhouse or Zero-Lot-Line Residential Units  | Maximum 50% (See Note 4)   |   |
| Lot Coverage Requirements For All Development Other Than Single-Family, Duplex, Townhouse or Zero-Lot-Line Residential Units:<br><br>The maximum combined area occupied by all principal and accessory buildings | Building Height<br><br>1—4 stories<br>5—7 stories<br>8—9 stories<br>(See note 4) | Building Coverage<br><br>30%<br>25%<br>20%            |
| Maximum Floor Area for All Uses Listed Under section 12-2-7(B)(d)  | 4,000 Square Feet<br><br>(See Note 3)  |   |

**Great addition, recognizing need for neighborhood-scaled commercial and mixed-use buildings.**

**Inadvertently, precluding mixed-use by discouraging residential uses.**

# R-NC & R-NCB

| Residential Neighborhood Commercial |   |
|-------------------------------------|---|
| R-NC                                | Single-family detached dwellings              |
|                                     | Single-family attached                        |
|                                     | Multiple-family attached                      |
|                                     | Community residential homes                   |
|                                     | Cemeteries                                    |
|                                     | Home occupations                              |
|                                     | Public parks and playgrounds                  |
|                                     | Private stables                               |
|                                     | Utility Structures                            |
|                                     | Childcare Facility                            |
|                                     | Private clubs and lodges                      |
|                                     | Boarding and lodging houses                   |
|                                     | Bed & Breakfast                               |
|                                     | Dormitories                                   |
|                                     | Office  |
|                                     | Hospitals & Clinics                           |
|                                     | Nursing Homes, Rest Homes, Convalescent Homes |
|                                     | Schools and educational institutions          |
|                                     | Libraries and community centers               |
|                                     | Churches                                      |
|                                     | Social services homes/centers                 |
|                                     | Banks and financial institutions              |
|                                     | Barber and beauty shops                       |
|                                     | Accessory structures                          |
|                                     | Studios                                       |
|                                     | Retail food and drugstore                     |
|                                     | Personal service shops                        |
|                                     | Clothing and fabric stores                    |
|                                     | Home furnishing                               |
|                                     | Specialty shops                               |
|                                     | Bakeries                                      |
|                                     | Consignment and Vintage clothing shops        |
|                                     | Floral shops                                  |
|                                     | Health clubs, spas, and exercise centers      |
|                                     | Martial arts studios                          |
|                                     | Laundromats and dry cleaners                  |
|                                     | Laundry and dry cleaning pick-up              |
|                                     | Outdoor sales of trees, shrubs, plants        |
|                                     | Restaurants                                   |
|                                     | Mortuary and funeral parlors                  |
|                                     | Appliance repair shops                        |
|                                     | Gasoline and service stations                 |
|                                     | Tattoo parlor/studio                          |
|                                     | Accessory buildings                           |

|       |   |
|-------|---|
| R-NCB | Single-family detached dwellings              |
|       | Single-family attached                        |
|       | Multiple-family attached                      |
|       | Community residential homes                   |
|       | Home occupations                              |
|       | Public parks and playgrounds                  |
|       | Utility Structures                            |
|       | Childcare Facility                            |
|       | Private clubs and lodges                      |
|       | Boarding and lodging houses                   |
|       | Bed & Breakfast                               |
|       | Dormitories                                   |
|       | Office  |
|       | Hospitals & Clinics                           |
|       | Nursing Homes, Rest Homes, Convalescent Homes |
|       | Schools and educational institutions          |
|       | Libraries and community centers               |
|       | Churches                                      |
|       | Social services homes/centers                 |
|       | Banks and financial institutions              |
|       | Barber and beauty shops                       |
|       | Accessory structures                          |
|       | Studios                                       |
|       | Retail food and drugstore                     |
|       | Personal service shops                        |
|       | Clothing and fabric stores                    |
|       | Home furnishing                               |
|       | Specialty shops                               |
|       | Bakeries                                      |
|       | Consignment and Vintage clothing shops        |
|       | Floral shops                                  |
|       | Health clubs, spas, and exercise centers      |
|       | Martial arts studios                          |
|       | Laundry and dry cleaning pick-up              |
|       | Outdoor sales of trees, shrubs, plants        |
|       | Restaurants                                   |
|       | Appliance repair shops                        |
|       | Accessory buildings                           |

Form standards identical

Rethink boundaries, a little

Uses permitted are same, except for:

- cemeteries
- private stables
- laundromat / dry cleaner
- funeral homes
- gas stations
- tattoo parlors

# R-NCB or R-NC

## Residential Beyond 100 ft of Residential Zones



### ZONING ALLOWANCES Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

| BUILDING INTENSITY                    |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 65,220 ft <sup>2</sup> |
| Maximum Office Area                   | 65,220 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 65,220 ft <sup>2</sup> |
| Maximum Building Footprint            | 7,501 ft <sup>2</sup>  |
| Lot Coverage                          | 50 %                   |
| Minimum Open Space                    | N/A                    |

| HEIGHT LIMITATIONS (LEVELS)             |           |
|---|-----------|
| Total Building Height                   | 10 Levels |
| Principal Building Max. Height (Podium) | 10 Levels |
| Principal Building Min. Height (Podium) | N/A       |
| Principal Tower Allowed Height          | N/A       |
| Bonus Allowed Height                    | N/A       |
| Maximum Office Height                   | N/A       |
| Maximum Commercial Height               | N/A       |

| SETBACKS                           |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | N/A   |



■ Main Building  
■ Lot  
■ Building Setback limit

**Up to 10 Stories**  
**50% Lot Coverage**  
**65,220 ft<sup>2</sup> Potential**



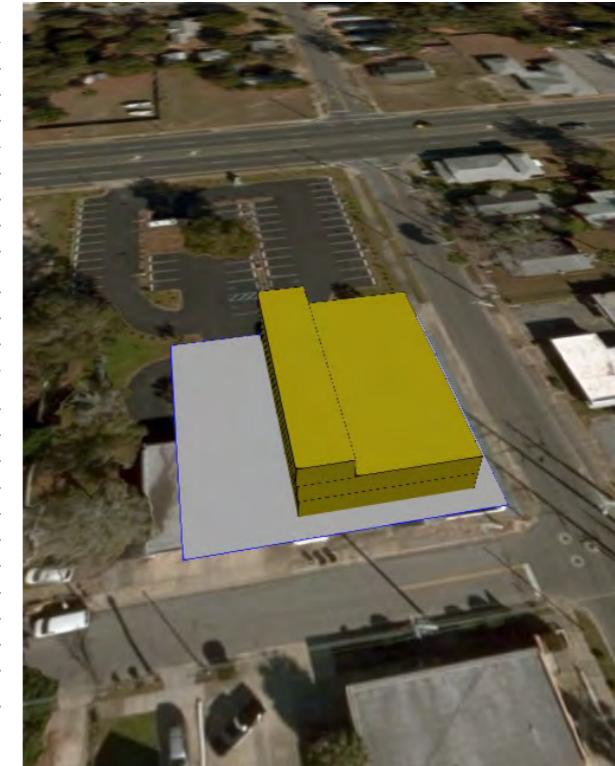
### CAPACITY ANALYSIS Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

| TOTAL BUILDING AREA                |                       |
|------------------------------------|-----------------------|
| Total Building Height              | 3 Levels              |
| Maximum Building Footprint         | 7,501 ft <sup>2</sup> |
| Maximum Liner Footprint            | 4,395 ft <sup>2</sup> |
| Maximum Tower Footprint            | N/A                   |
| Maximum Commercial Tower Footprint | N/A                   |
| Common Space Area                  | 2,880 ft <sup>2</sup> |
| Lot Coverage                       | 50 %                  |
| FLR                                | N/A                   |

| RESIDENTIAL AREA NET           |                       |
|--------------------------------|-----------------------|
| Residential Units              | 12 DU                 |
| Residential Units Average Size | 1,200 ft <sup>2</sup> |
| Residential Height (Levels)    | 3 Levels              |

| PARKING AREA                    |           |
|---------------------------------|-----------|
| Total Parking Required          | 12 Spaces |
| Total Shared Parking Required   | 12 Spaces |
| Parking Structure Height        | N/A       |
| Total Provided Parking Capacity | 25 Spaces |
| On-Street Parking Capacity      | N/A       |
| Off-Site Parking Capacity       | N/A       |
| Parking Structure Capacity      | N/A       |
| Parking Structure Area          | N/A       |
| Underground Parking             | N/A       |
| Underground Parking Area        | N/A       |
| Surface Parking Capacity        | 25 Spaces |



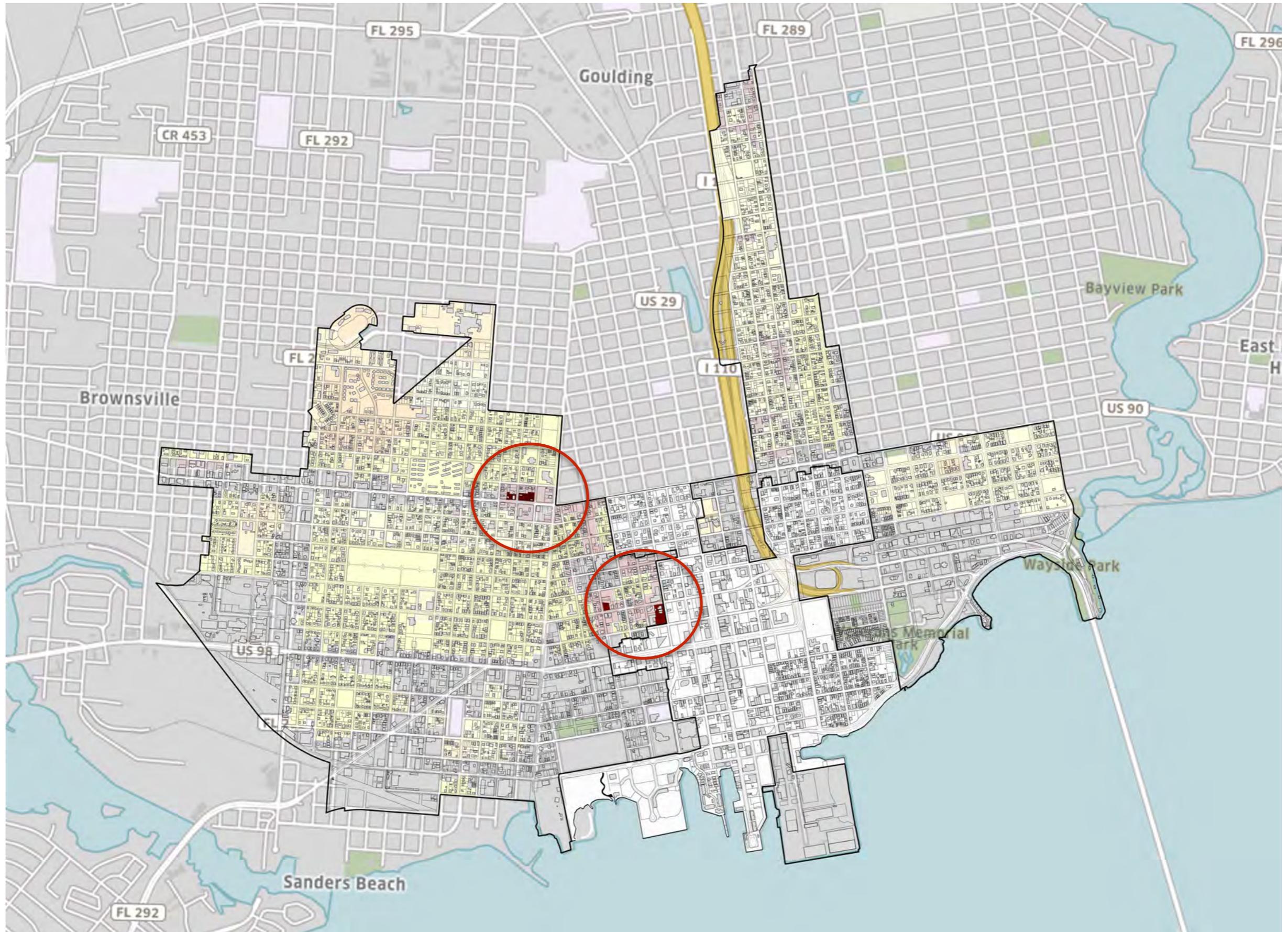
■ Residential  
■ Lot

**Resulting 3 Stories**  
**Max Density Allowed**  
**17,280 ft<sup>2</sup> Actual - 26%**

**ZONAR** by Gridics  
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The contents of the Results herein are believed to be accurate, but are not guaranteed. The Results are indicative of the current land conditions and are intended for reference only. They should not be relied upon for development purposes, and their use does not guarantee governmental approval or permitting for any project. Results are based on basic general calculations that are rounded. Furthermore, although the results are site specific, they are based on general assumptions, such as development distances, heights and areas. They do not take into account variations such as, but not limited to easements, topography, or existing built elements. The Results should be independently verified before being relied upon for any particular site design development.

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# R-NCB and R-NC with Residential Zones 100 ft Buffer



# R-NCB or R-NC

## Residential Within 100 ft of Residential Zones



### ZONING ALLOWANCES Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 22,505 ft <sup>2</sup> |
| Maximum Office Area                   | 22,505 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 22,505 ft <sup>2</sup> |
| Maximum Building Footprint            | 7,501 ft <sup>2</sup>  |
| Lot Coverage                          | 50 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 3 Levels |
| Principal Building Max. Height (Podium) | 3 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | N/A      |
| Bonus Allowed Height                    | N/A      |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 15 ft |
| Secondary Frontage Minimum Setback | 15 ft |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 15 ft |
| Second Layer Dimension             | N/A   |



■ Main Building  
■ Lot  
■ Building Setback limit

Up to 3 Stories  
50% Lot Coverage  
22,505 ft<sup>2</sup> Potential



### CAPACITY ANALYSIS Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>17,280 ft<sup>2</sup></b> |
| Total Building Height              | 3 Levels                     |
| Maximum Building Footprint         | 7,501 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 4,352 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 2,880 ft <sup>2</sup>        |
| Lot Coverage                       | 50 %                         |
| FLR                                | N/A                          |

|                                |                              |
|--------------------------------|------------------------------|
| <b>RESIDENTIAL AREA NET</b>    | <b>14,400 ft<sup>2</sup></b> |
| Residential Units              | 12 DU                        |
| Residential Units Average Size | 1,200 ft <sup>2</sup>        |
| Residential Height (Levels)    | 3 Levels                     |

#### PARKING AREA

|                                 |           |
|---------------------------------|-----------|
| Total Parking Required          | 12 Spaces |
| Total Shared Parking Required   | 12 Spaces |
| Parking Structure Height        | N/A       |
| Total Provided Parking Capacity | 25 Spaces |
| On-Street Parking Capacity      | N/A       |
| Off-Site Parking Capacity       | N/A       |
| Parking Structure Capacity      | N/A       |
| Parking Structure Area          | N/A       |
| Underground Parking             | N/A       |
| Underground Parking Area        | N/A       |
| Surface Parking Capacity        | 25 Spaces |



■ Residential  
■ Lot

Resulting 3 Stories  
Max Density Allowed  
17,280 ft<sup>2</sup> Actual - 76%

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# R-NCB or R-NC

## Non-Residential up to 4 Stories



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 18,002 ft <sup>2</sup> |
| Maximum Office Area                   | 18,002 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 18,002 ft <sup>2</sup> |
| Maximum Building Footprint            | 4,500 ft <sup>2</sup>  |
| Lot Coverage                          | 30 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 4 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | N/A      |
| Bonus Allowed Height                    | N/A      |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | N/A   |



Up to 4 Stories  
30% Lot Coverage  
18,002 ft<sup>2</sup> Potential



### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>12,600 ft<sup>2</sup></b> |
| Total Building Height              | 3 Levels                     |
| Maximum Building Footprint         | 4,500 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 3,542 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 2,100 ft <sup>2</sup>        |
| Lot Coverage                       | 30 %                         |
| FLR                                | N/A                          |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>10,500 ft<sup>2</sup></b> |
| Office Height (Levels) | 3 Levels                     |

#### PARKING AREA

|                                 |           |
|---------------------------------|-----------|
| Total Parking Required          | 35 Spaces |
| Total Shared Parking Required   | 35 Spaces |
| Parking Structure Height        | N/A       |
| Total Provided Parking Capacity | 35 Spaces |
| On-Street Parking Capacity      | N/A       |
| Off-Site Parking Capacity       | N/A       |
| Parking Structure Capacity      | N/A       |
| Parking Structure Area          | N/A       |
| Underground Parking             | N/A       |
| Underground Parking Area        | N/A       |
| Surface Parking Capacity        | 35 Spaces |



Resulting 3 Stories  
Surface Parking  
12,600 ft<sup>2</sup> Actual - 70%

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# R-NCB or R-NC

## Non-Residential up to 7 Stories



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 17 du/acre             |
| Dwelling Units Allowed                | 6 units                |
| Maximum Commercial Area               | 26,250 ft <sup>2</sup> |
| Maximum Office Area                   | 26,250 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 26,250 ft <sup>2</sup> |
| Maximum Building Footprint            | 3,750 ft <sup>2</sup>  |
| Lot Coverage                          | 25 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 7 Levels |
| Principal Building Max. Height (Podium) | 7 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | N/A      |
| Bonus Allowed Height                    | N/A      |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | N/A   |



■ Main Building      ■ Building Setback limit  
■ Lot

**Up to 7 Stories**  
**25% Lot Coverage**  
**26,250 ft<sup>2</sup> Potential**



### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>13,200 ft<sup>2</sup></b> |
| Total Building Height              | 4 Levels                     |
| Maximum Building Footprint         | 3,750 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 3,328 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 2,200 ft <sup>2</sup>        |
| Lot Coverage                       | 25 %                         |
| FLR                                | N/A                          |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>11,000 ft<sup>2</sup></b> |
| Office Height (Levels) | 4 Levels                     |

#### PARKING AREA

|                                 |           |
|---------------------------------|-----------|
| Total Parking Required          | 37 Spaces |
| Total Shared Parking Required   | 37 Spaces |
| Parking Structure Height        | N/A       |
| Total Provided Parking Capacity | 37 Spaces |
| On-Street Parking Capacity      | N/A       |
| Off-Site Parking Capacity       | N/A       |
| Parking Structure Capacity      | N/A       |
| Parking Structure Area          | N/A       |
| Underground Parking             | N/A       |
| Underground Parking Area        | N/A       |
| Surface Parking Capacity        | 37 Spaces |



■ Office      ■ Lot

**Resulting 4 Stories**  
**Surface Parking**  
**13,200 ft<sup>2</sup> Actual - 50%**

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# R-NCB or R-NC

## Non-Residential up to 9 Stories



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 27,007 ft <sup>2</sup> |
| Maximum Office Area                   | 27,007 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 27,007 ft <sup>2</sup> |
| Maximum Building Footprint            | 3,000 ft <sup>2</sup>  |
| Lot Coverage                          | 20 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 9 Levels |
| Principal Building Max. Height (Podium) | 9 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | N/A      |
| Bonus Allowed Height                    | N/A      |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 10 ft |
| Secondary Frontage Minimum Setback | 10 ft |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | N/A   |



■ Main Building  
■ Lot  
■ Building Setback limit

Up to 9 Stories  
20% Lot Coverage  
27,007 ft<sup>2</sup> Potential

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### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>14,400 ft<sup>2</sup></b> |
| Total Building Height              | 5 Levels                     |
| Maximum Building Footprint         | 3,000 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 0 ft <sup>2</sup>            |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 2,400 ft <sup>2</sup>        |
| Lot Coverage                       | 20 %                         |
| FLR                                | N/A                          |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>12,000 ft<sup>2</sup></b> |
| Office Height (Levels) | 5 Levels                     |

#### PARKING AREA

|                                 |           |
|---------------------------------|-----------|
| Total Parking Required          | 40 Spaces |
| Total Shared Parking Required   | 40 Spaces |
| Parking Structure Height        | N/A       |
| Total Provided Parking Capacity | 40 Spaces |
| On-Street Parking Capacity      | N/A       |
| Off-Site Parking Capacity       | N/A       |
| Parking Structure Capacity      | N/A       |
| Parking Structure Area          | N/A       |
| Underground Parking             | N/A       |
| Underground Parking Area        | N/A       |
| Surface Parking Capacity        | 40 Spaces |



■ Office  
■ Lot

Resulting 5 Stories  
Surface Parking  
14,400 ft<sup>2</sup> Actual - 50%

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# R-NCB or R-NC

## Proposed Urban Form



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 42,005 ft <sup>2</sup> |
| Maximum Office Area                   | 42,005 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 42,005 ft <sup>2</sup> |
| Maximum Building Footprint            | 10,501 ft <sup>2</sup> |
| Lot Coverage                          | 70 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 4 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | N/A      |
| Bonus Allowed Height                    | N/A      |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 5 ft  |
| Secondary Frontage Minimum Setback | 5 ft  |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | 25 ft |



■ Main Building  
■ Lot  
■ Building Setback limit

Up to 4 Stories  
70% Lot Coverage  
42,005 ft<sup>2</sup> Potential



### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>39,302 ft<sup>2</sup></b> |
| Total Building Height              | 4 Levels                     |
| Maximum Building Footprint         | 10,501 ft <sup>2</sup>       |
| Maximum Liner Footprint            | 5,289 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 5,682 ft <sup>2</sup>        |
| Lot Coverage                       | 70 %                         |
| FLR                                | N/A                          |

|                                |                              |
|--------------------------------|------------------------------|
| <b>RESIDENTIAL AREA NET</b>    | <b>12,000 ft<sup>2</sup></b> |
| Residential Units              | 10 DU                        |
| Residential Units Average Size | 1,200 ft <sup>2</sup>        |
| Residential Height (Levels)    | 2 Levels                     |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>12,000 ft<sup>2</sup></b> |
| Office Height (Levels) | 2 Levels                     |

|                            |                             |
|----------------------------|-----------------------------|
| <b>COMMERCIAL AREA NET</b> | <b>4,409 ft<sup>2</sup></b> |
| Commercial Height (Levels) | 1 Levels                    |

|                                 |                             |
|---------------------------------|-----------------------------|
| <b>PARKING AREA</b>             | <b>5,211 ft<sup>2</sup></b> |
| Total Parking Required          | 31 Spaces                   |
| Total Shared Parking Required   | 31 Spaces                   |
| Parking Structure Height        | 1 Levels                    |
| Total Provided Parking Capacity | 31 Spaces                   |
| On-Street Parking Capacity      | N/A                         |
| Off-Site Parking Capacity       | N/A                         |
| Parking Structure Capacity      | 15 Spaces                   |
| Parking Structure Area          | 5,211 ft <sup>2</sup>       |
| Underground Parking             | N/A                         |
| Underground Parking Area        | N/A                         |
| Surface Parking Capacity        | 16 Spaces                   |



■ Commercial  
■ Office  
■ Lot  
■ Parking  
■ Residential

Resulting 4 Stories  
Surface Parking (Covered)  
39,302 ft<sup>2</sup> Actual - 93%

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# Commercial & Mixed Use Zones

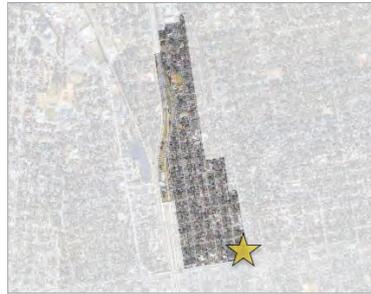
# Commercial Zoning

## ZONING SURVEY

EXISTING CONDITIONS

C-1: RETAIL COMMERCIAL

### Quadrat



|                 |       |
|-----------------|-------|
| Block Perimeter | 1175' |
| Avg. Units/Acre | 0.7   |

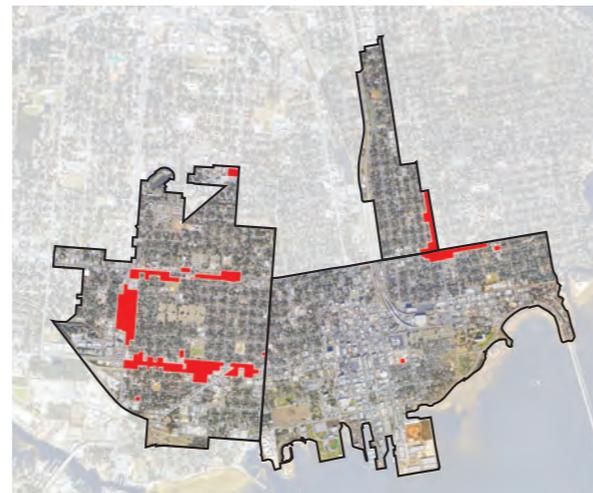
### Disect | Address: 870 E Cervantes St



| PUBLIC FRONTAGE    |            |
|--------------------|------------|
| Public Frontage    | Street     |
| Right-Of-Way Width | 70'        |
| Travel Lanes       | 4          |
| Parking            | N/A        |
| Pavement Width     | 46'        |
| Sidewalk Width     | 6'         |
| Planter Type       | Strip      |
| Planting Pattern   | None       |
| Street Lighting    | Cobra Head |
| Curb Type          | Rolling    |

| PRIVATE FRONTAGE      |                      |
|-----------------------|----------------------|
| Private Frontage      | Shopfront            |
| Principal Building Ht | 1 Story              |
| Outbuilding Height    | N/A                  |
| Building Type         | Commercial           |
| Garage Access         | Parking Lot in Front |
| Lot Width             | 260'                 |
| Frontage Buildout     | 146'                 |
| Front Setback         | 70'                  |
| Side Setback          | 38' - 76'            |
| GRND Level Use        | Commercial           |
| Upper Level Use       | -                    |

- C-1 has little to no consistency within its built form, nor is it a clear representation of the zoning code, simply because the zoning code does not provide a predictable outcome.
- There are very few parameters in place for C-1, other than height and lot coverage.
- There is a combination of strip commercial to home office conversions.
- There is a range of urban typologies and building heights visible across C-1.



Unpredictable in form

C-2 permits +2 x capacity of C-1 but yields same form

C-1 and C-2 similar uses

Too permissive at street frontages

C-3 light industrial & confused

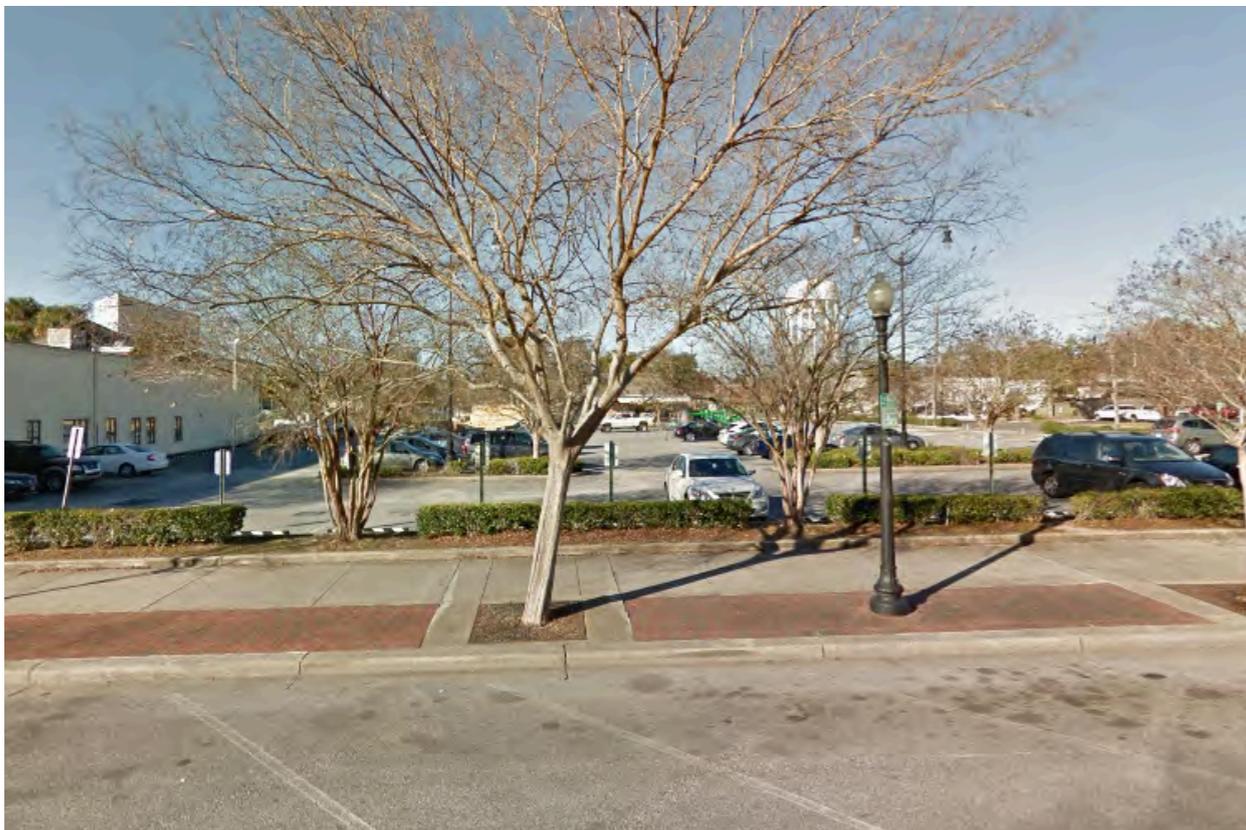
# C-1



# C-2

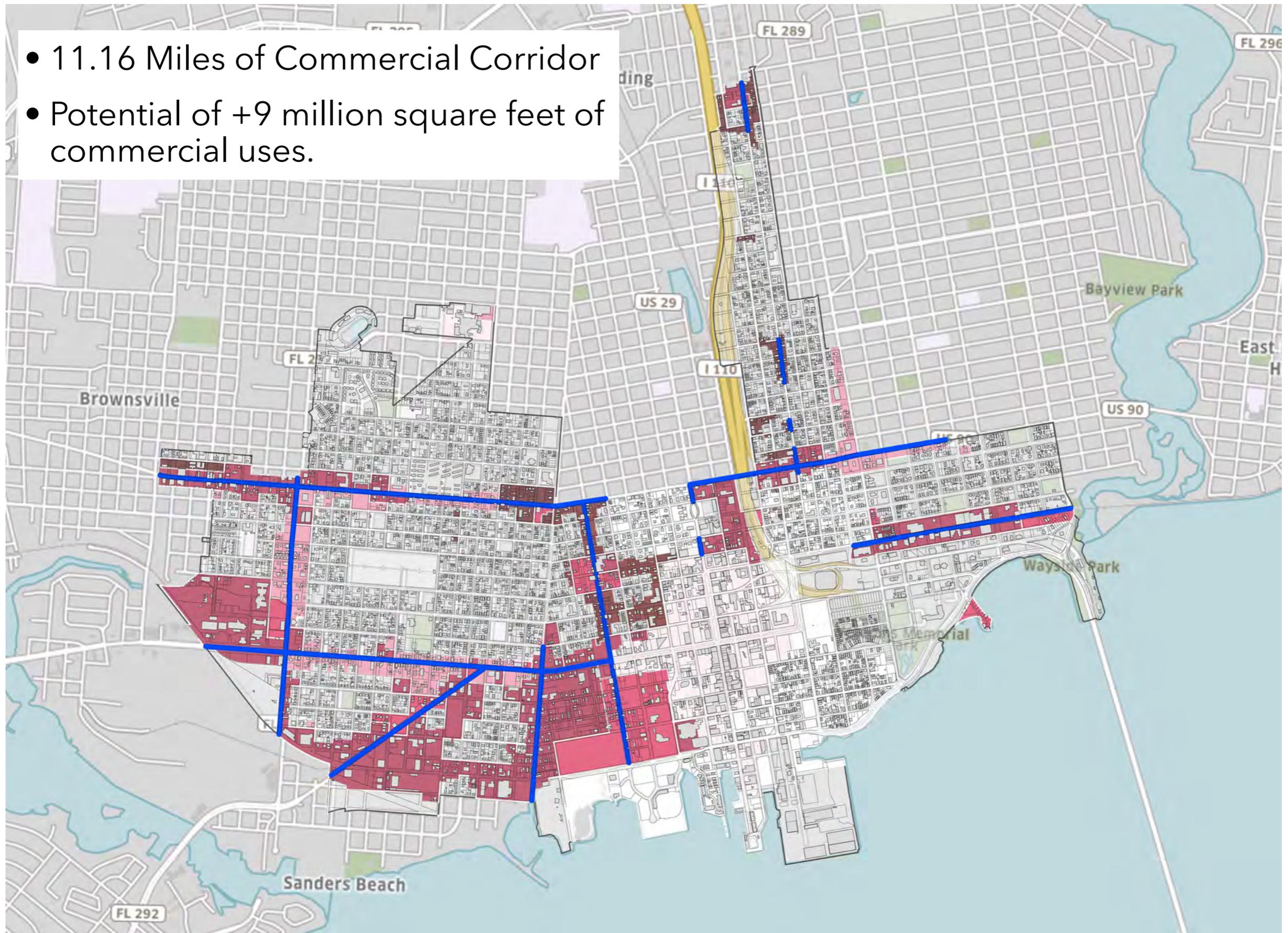


# C-2A



# Commercial Corridors

- 11.16 Miles of Commercial Corridor
- Potential of +9 million square feet of commercial uses.



# Commercial Corridors

|                          | Linear Length ft | Doble Sided | SubTotal Length | Intersection reduction | Total Linear Length | In Miles     | 60 ft depth building footprint | Stories | Total ft2           |
|--------------------------|------------------|-------------|-----------------|------------------------|---------------------|--------------|--------------------------------|---------|---------------------|
| <b>West Cervantez</b>    | 8,588            | TRUE        | 17,176          | 30.00%                 | 12,023.20           | 2.28         | 721,392.00                     | 3       | 2,164,176.00        |
| <b>East Cervantes</b>    | 4,084            | FALSE       | 4,084           | 30.00%                 | 2,858.80            | 0.54         | 171,528.00                     | 3       | 514,584.00          |
| <b>West Wright St</b>    | 7,778            | TRUE        | 15,556          | 30.00%                 | 10,889.20           | 2.06         | 653,352.00                     | 3       | 1,960,056.00        |
| <b>South A St</b>        | 2,800            | TRUE        | 5,600           | 30.00%                 | 3,920.00            | 0.74         | 235,200.00                     | 2       | 470,400.00          |
| <b>Barracas Avenue</b>   | 3,700            | TRUE        | 7,400           | 30.00%                 | 5,180.00            | 0.98         | 310,800.00                     | 2       | 621,600.00          |
| <b>South de Villiers</b> | 5,152            | TRUE        | 10,304          | 30.00%                 | 7,212.80            | 1.37         | 432,768.00                     | 3       | 1,298,304.00        |
| <b>Palafox</b>           | 1,028            | FALSE       | 1,028           | 30.00%                 | 719.60              | 0.14         | 43,176.00                      | 3       | 129,528.00          |
| <b>N Davis Hwy</b>       | 2,454            | TRUE        | 4,908           | 30.00%                 | 3,435.60            | 0.65         | 206,136.00                     | 2       | 412,272.00          |
| <b>South L St</b>        | 4,934            | TRUE        | 9,868           | 30.00%                 | 6,907.60            | 1.31         | 414,456.00                     | 2       | 828,912.00          |
| <b>East Wright</b>       | 4,132            | TRUE        | 8,264           | 30.00%                 | 5,784.80            | 1.10         | 347,088.00                     | 2       | 694,176.00          |
|                          |                  |             |                 |                        |                     |              |                                |         |                     |
| <b>Subtotals</b>         | <b>44,650</b>    |             | 84,188          |                        | 58,931.60           | <b>11.16</b> | 3,535,896.00                   |         | <b>9,094,008.00</b> |

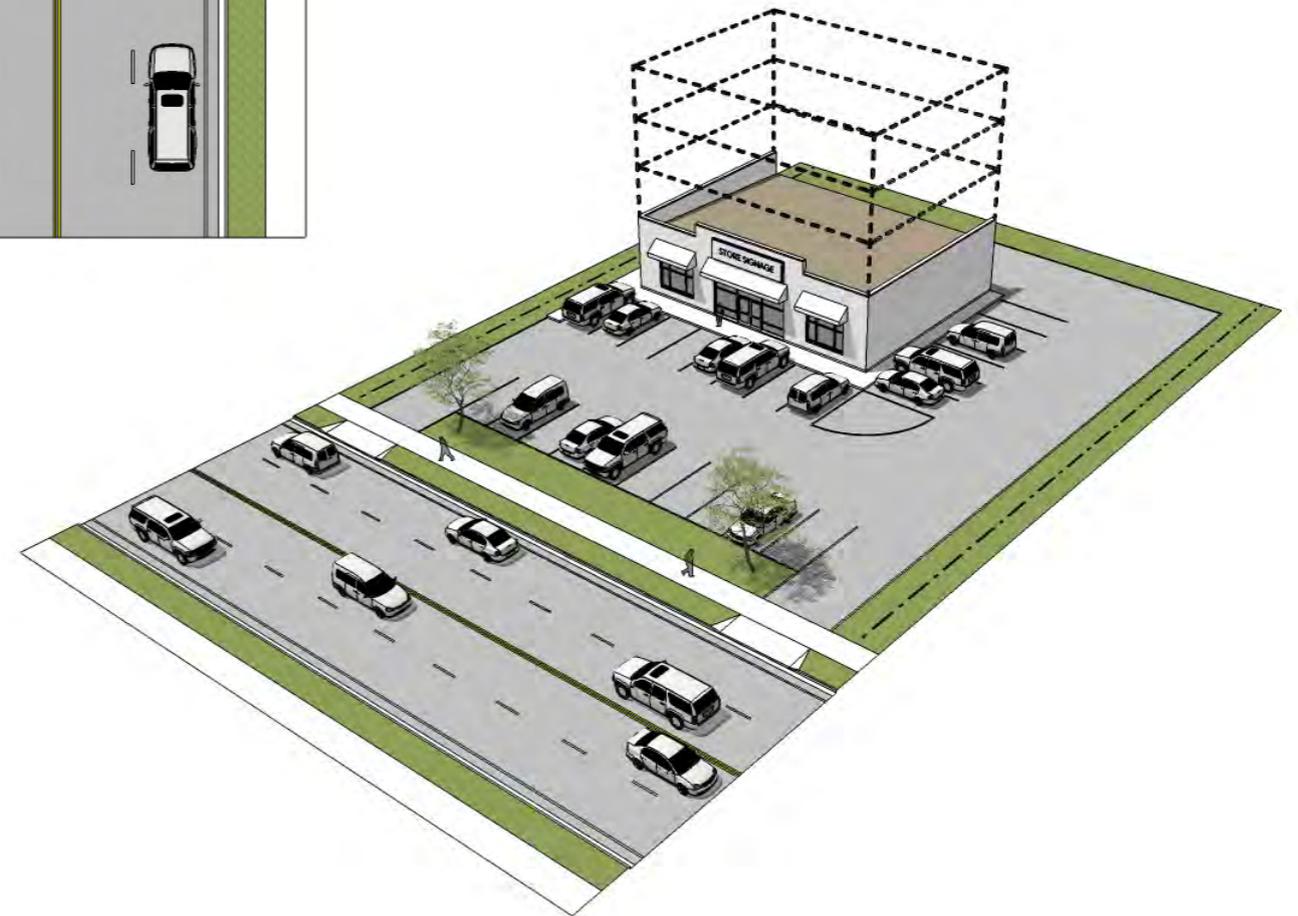
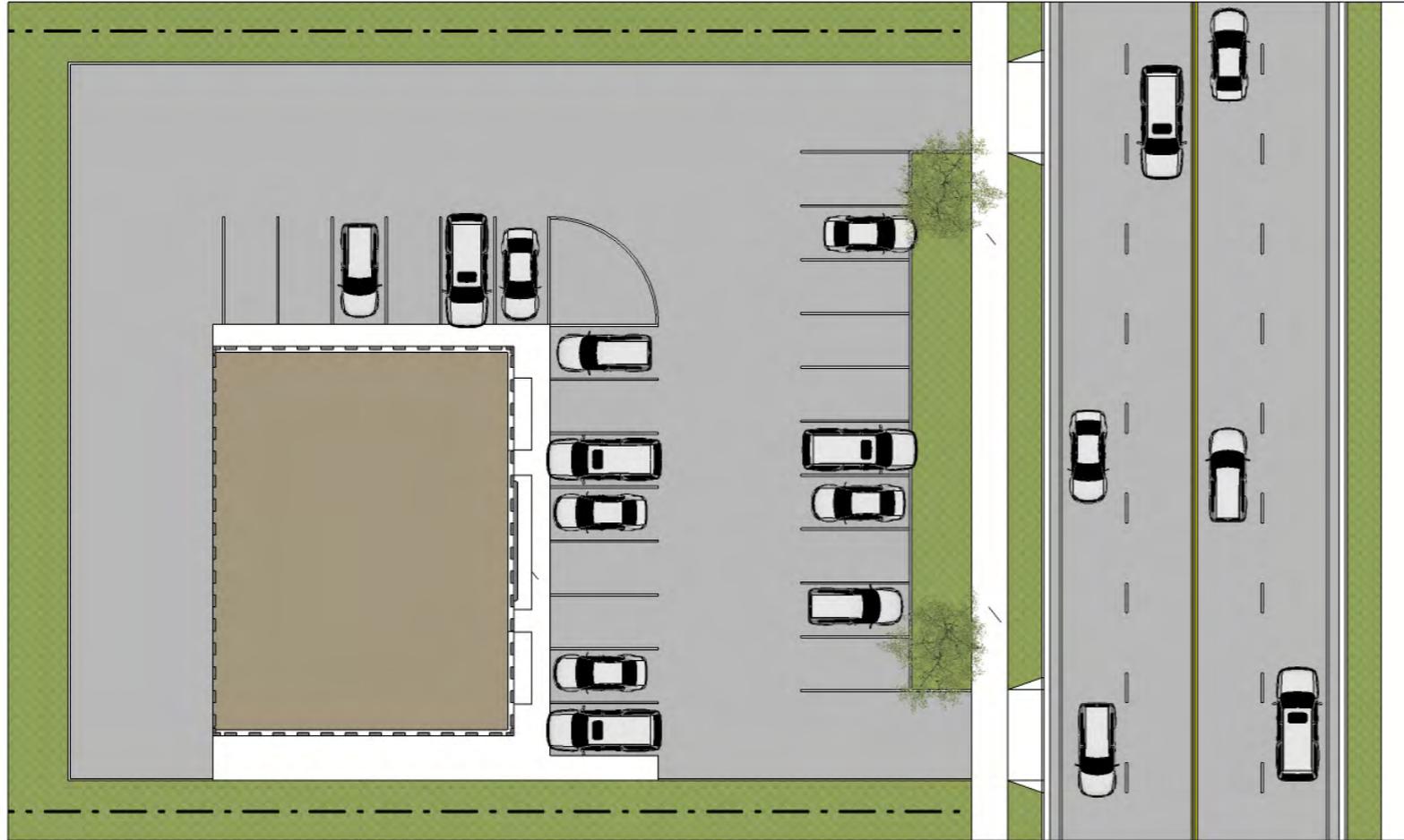
# Existing Commercial Frontages - Cervantes St



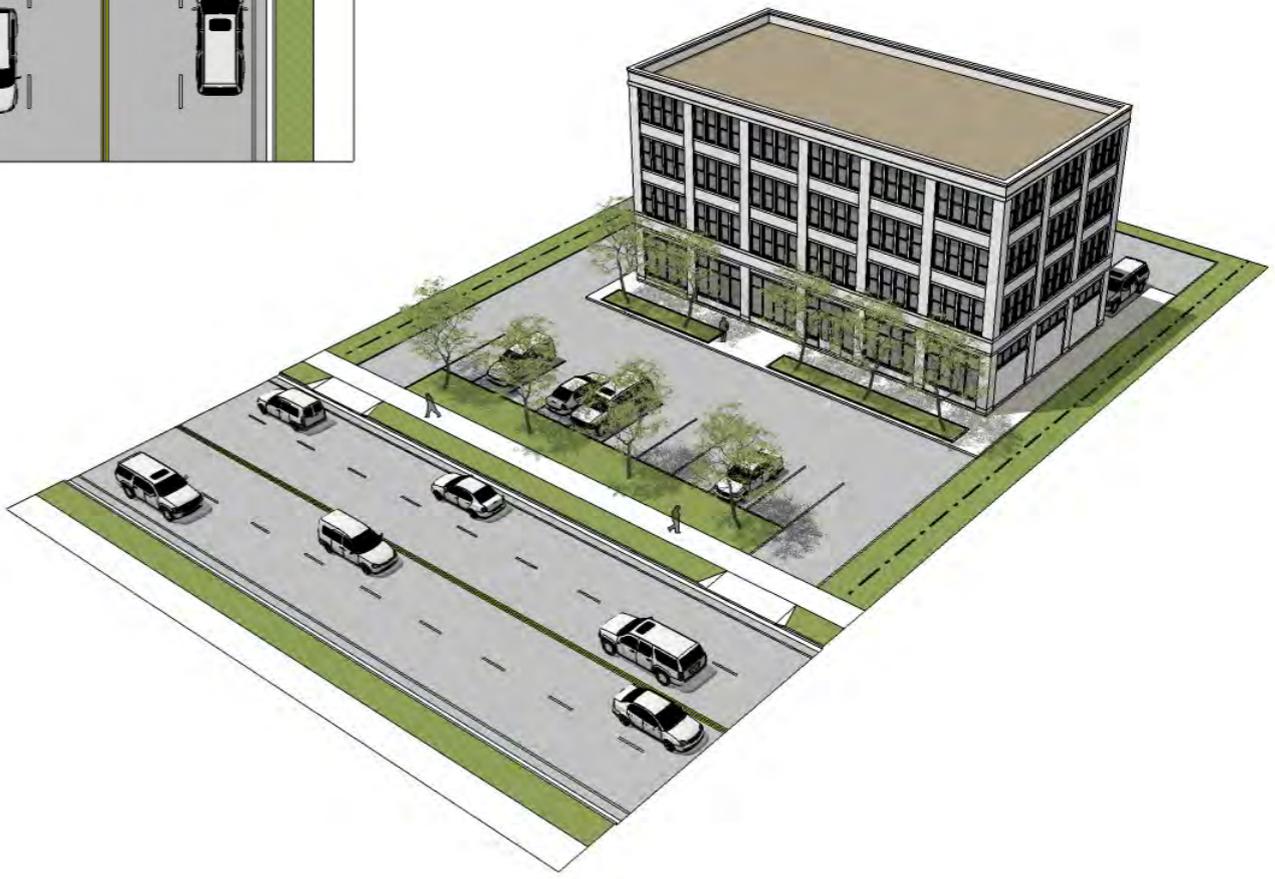
# Existing Commercial Frontages - Cervantes St



# Commercial Frontages: Suburban



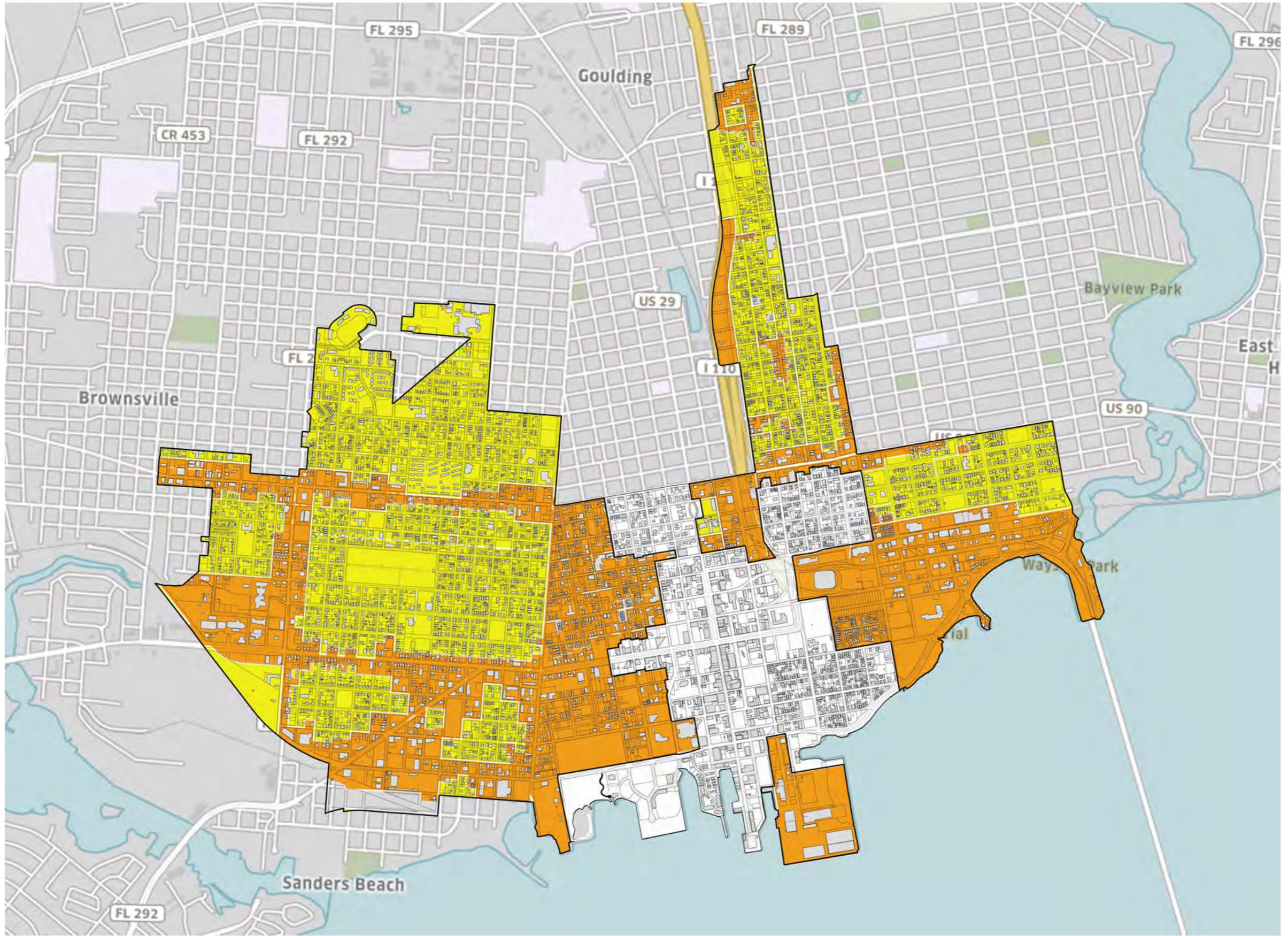
# Commercial Frontages: Hybrid Zones



# Commercial Frontages: Urban



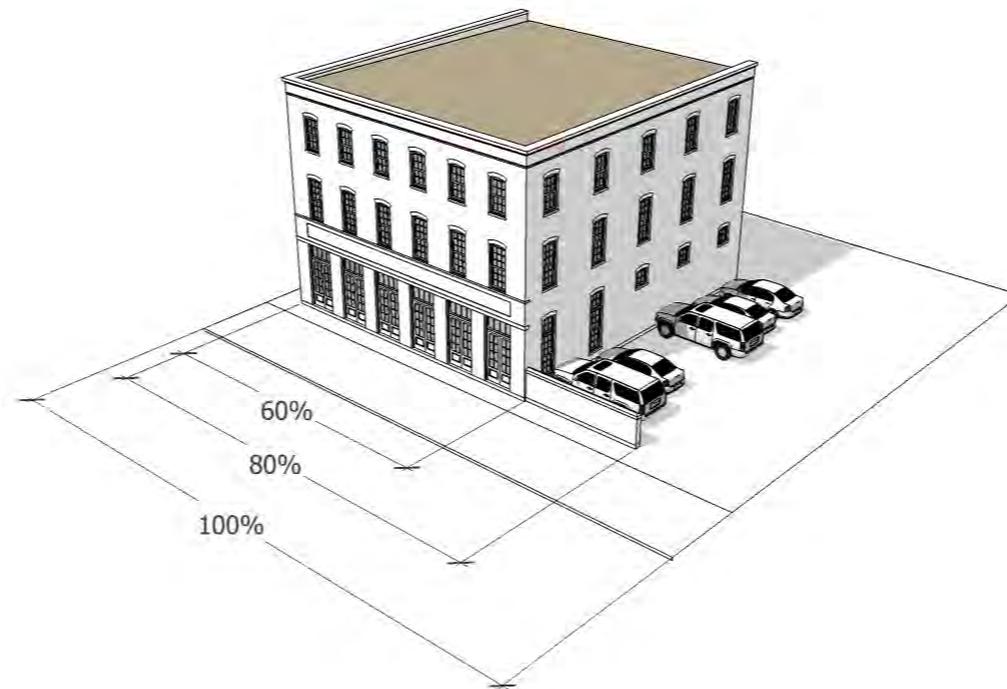
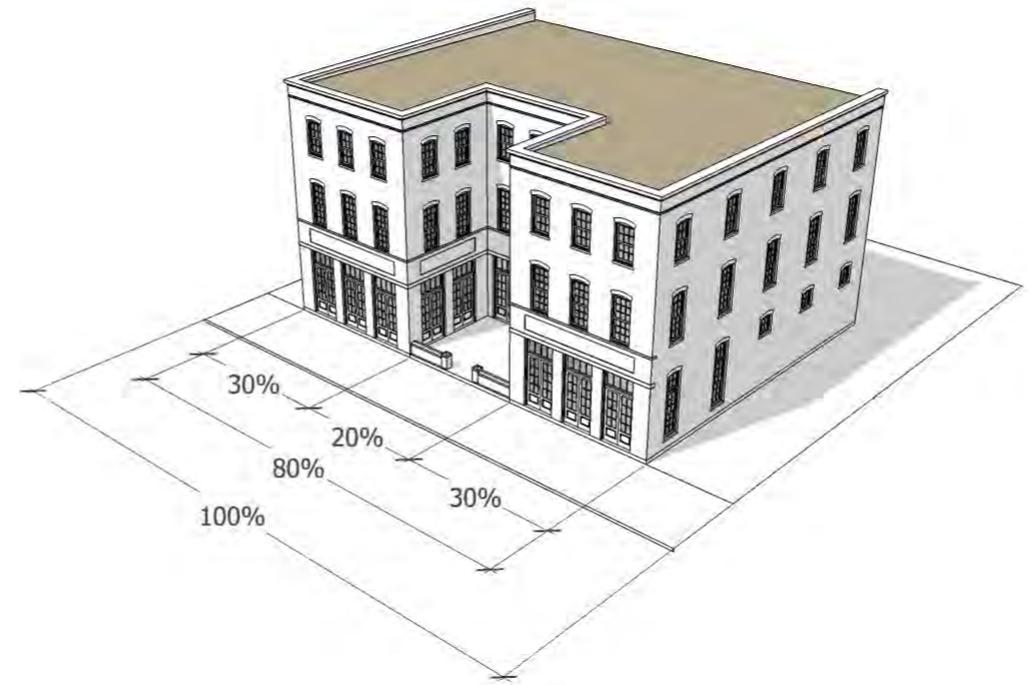
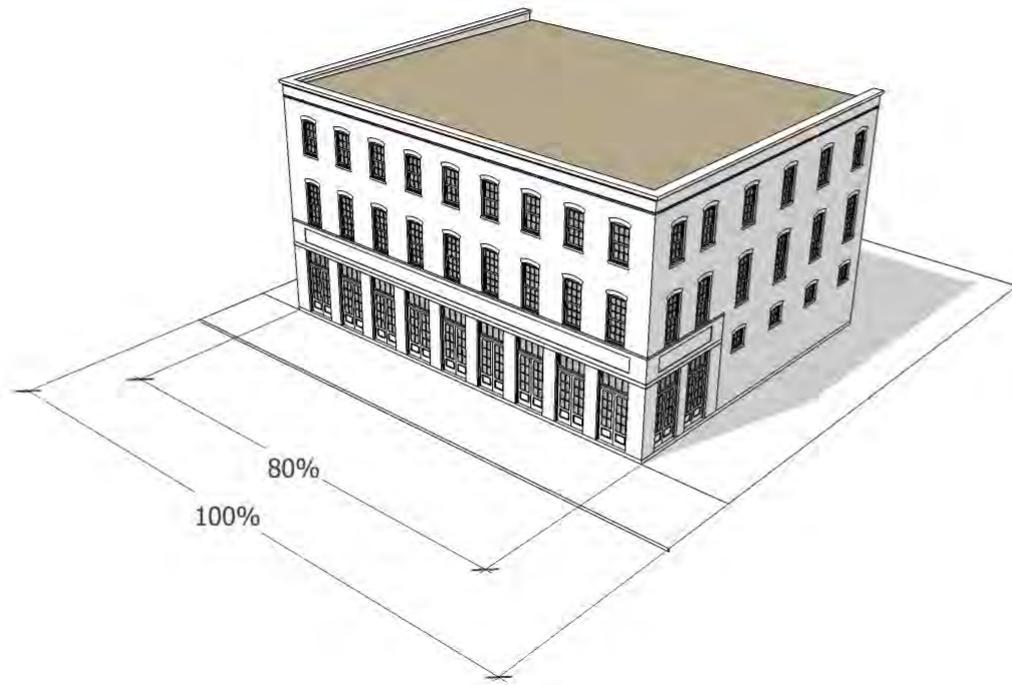
# Context Zones & Nodes



# Hybrid vs/ Urban Types



# Frontage Occupation



# C-1

## Current form - Step-back



### ZONING ALLOWANCES Maximum Lot Capacity

|              |                     |               |                                  |                      |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086    | Lot Area      | 44431 sqft                       | Gridics LLC          |
| Address      | 1580 W Cervantes St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola           | Parcel Zoning | C-1                              | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                         |
|---------------------------------------|-------------------------|
| Dwelling Units per Acre               | 35 du/acre              |
| Dwelling Units Allowed                | 35 units                |
| Maximum Commercial Area               | 404,561 ft <sup>2</sup> |
| Maximum Office Area                   | 404,561 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                     |
| FLR                                   | N/A                     |
| Maximum Built Area                    | 404,561 ft <sup>2</sup> |
| Maximum Building Footprint            | 33,322 ft <sup>2</sup>  |
| Lot Coverage                          | 75 %                    |
| Minimum Open Space                    | 25 %                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |           |
|---|-----------|
| Total Building Height                   | 15 Levels |
| Principal Building Max. Height (Podium) | 15 Levels |
| Principal Building Min. Height (Podium) | N/A       |
| Principal Tower Allowed Height          | N/A       |
| Bonus Allowed Height                    | N/A       |
| Maximum Office Height                   | N/A       |
| Maximum Commercial Height               | N/A       |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 0 ft  |
| Secondary Frontage Minimum Setback | 0 ft  |
| Side Minimum Setback               | 0 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | N/A   |



**Up to 15 Stories**  
**75% Lot Coverage**  
**404,561 ft<sup>2</sup> Potential**

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### CAPACITY ANALYSIS Maximum Capacity

|              |                     |               |                                  |                      |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086    | Lot Area      | 44431 sqft                       | Gridics LLC          |
| Address      | 1580 W Cervantes St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola           | Parcel Zoning | C-1                              | Miami, FL            |

|                                    |                               |
|------------------------------------|-------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>376,685 ft<sup>2</sup></b> |
| Total Building Height              | 14 Levels                     |
| Maximum Building Footprint         | 33,322 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 0 ft <sup>2</sup>             |
| Maximum Tower Footprint            | N/A                           |
| Maximum Commercial Tower Footprint | N/A                           |
| Common Space Area                  | 35,300 ft <sup>2</sup>        |
| Lot Coverage                       | 75 %                          |
| FLR                                | N/A                           |

|                                |                              |
|--------------------------------|------------------------------|
| <b>RESIDENTIAL AREA NET</b>    | <b>35,000 ft<sup>2</sup></b> |
| Residential Units              | 35 DU                        |
| Residential Units Average Size | 1,000 ft <sup>2</sup>        |
| Residential Height (Levels)    | 3 Levels                     |

|                        |                               |
|------------------------|-------------------------------|
| <b>OFFICE AREA NET</b> | <b>141,500 ft<sup>2</sup></b> |
| Office Height (Levels) | 7 Levels                      |

|                                 |                               |
|---------------------------------|-------------------------------|
| <b>PARKING AREA</b>             | <b>164,885 ft<sup>2</sup></b> |
| Total Parking Required          | 502 Spaces                    |
| Total Shared Parking Required   | 502 Spaces                    |
| Parking Structure Height        | 5 Levels                      |
| Total Provided Parking Capacity | 502 Spaces                    |
| On-Street Parking Capacity      | N/A                           |
| Off-Site Parking Capacity       | N/A                           |
| Parking Structure Capacity      | 502 Spaces                    |
| Parking Structure Area          | 164,885 ft <sup>2</sup>       |

|                          |     |
|--------------------------|-----|
| Underground Parking      | N/A |
| Underground Parking Area | N/A |
| Surface Parking Capacity | N/A |



**Resulting 14 Stories**  
**Structure Parking**  
**176,500 ft<sup>2</sup> Net Actual - 43%**

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# C1 - Urban

## Proposed Urban Form



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                     |               |                                  |                      |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086    | Lot Area      | 44431 sqft                       | Gridics LLC          |
| Address      | 1580 W Cervantes St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola           | Parcel Zoning | C-1                              | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                         |
|---------------------------------------|-------------------------|
| Dwelling Units per Acre               | 35 du/acre              |
| Dwelling Units Allowed                | 35 units                |
| Maximum Commercial Area               | 261,384 ft <sup>2</sup> |
| Maximum Office Area                   | 261,384 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                     |
| FLR                                   | N/A                     |
| Maximum Built Area                    | 261,384 ft <sup>2</sup> |
| Maximum Building Footprint            | 35,548 ft <sup>2</sup>  |
| Lot Coverage                          | 80 %                    |
| Minimum Open Space                    | N/A                     |

#### HEIGHT LIMITATIONS (LEVELS)

|   |           |
|---|-----------|
| Total Building Height                   | 10 Levels |
| Principal Building Max. Height (Podium) | 4 Levels  |
| Principal Building Min. Height (Podium) | N/A       |
| Principal Tower Allowed Height          | 6 Levels  |
| Bonus Allowed Height                    | 10 Levels |
| Maximum Office Height                   | N/A       |
| Maximum Commercial Height               | N/A       |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Minimum Setback   | 0 ft  |
| Secondary Frontage Minimum Setback | 5 ft  |
| Side Minimum Setback               | 5 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | 25 ft |



■ Main Building      ■ Building Setback limit  
■ Lot

**Up to 10 Stories - 4 Story Base**  
**80% Lot Coverage**  
**261,384 ft<sup>2</sup> Potential**

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### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                     |               |                                  |                      |
|--------------|---------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009060001086    | Lot Area      | 44431 sqft                       | Gridics LLC          |
| Address      | 1580 W Cervantes St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola           | Parcel Zoning | C-1                              | Miami, FL            |

|                                    |                               |
|------------------------------------|-------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>261,380 ft<sup>2</sup></b> |
| Total Building Height              | 10 Levels                     |
| Maximum Building Footprint         | 35,548 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 12,128 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                           |
| Maximum Commercial Tower Footprint | N/A                           |
| Common Space Area                  | 27,950 ft <sup>2</sup>        |
| Lot Coverage                       | 80 %                          |
| FLR                                | N/A                           |

|                                |                              |
|--------------------------------|------------------------------|
| <b>RESIDENTIAL AREA NET</b>    | <b>33,110 ft<sup>2</sup></b> |
| Residential Units              | 35 DU                        |
| Residential Units Average Size | 946 ft <sup>2</sup>          |
| Residential Height (Levels)    | 3 Levels                     |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>96,535 ft<sup>2</sup></b> |
| Office Height (Levels) | 8 Levels                     |

|                            |                              |
|----------------------------|------------------------------|
| <b>COMMERCIAL AREA NET</b> | <b>10,105 ft<sup>2</sup></b> |
| Commercial Height (Levels) | 1 Levels                     |

|                                 |                              |
|---------------------------------|------------------------------|
| <b>PARKING AREA</b>             | <b>93,680 ft<sup>2</sup></b> |
| Total Parking Required          | 260 Spaces                   |
| Total Shared Parking Required   | 260 Spaces                   |
| Parking Structure Height        | 4 Levels                     |
| Total Provided Parking Capacity | 278 Spaces                   |
| On-Street Parking Capacity      | N/A                          |
| Off-Site Parking Capacity       | N/A                          |
| Parking Structure Capacity      | 248 Spaces                   |
| Parking Structure Area          | 93,680 ft <sup>2</sup>       |
| Underground Parking             | N/A                          |
| Underground Parking Area        | N/A                          |
| Surface Parking Capacity        | 30 Spaces                    |



■ Commercial      ■ Office  
■ Parking      ■ Residential  
■ Lot

**Mixed-Use**  
**Structure Parking**  
**167,700 ft<sup>2</sup> Net Actual - 64%**

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# C2 and C3 - Hybrid

## Proposed Urban Hybrid Form



### ZONING ALLOWANCES

#### Maximum Lot Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

#### BUILDING INTENSITY

|                                       |                        |
|---------------------------------------|------------------------|
| Dwelling Units per Acre               | 35 du/acre             |
| Dwelling Units Allowed                | 12 units               |
| Maximum Commercial Area               | 43,081 ft <sup>2</sup> |
| Maximum Office Area                   | 43,081 ft <sup>2</sup> |
| Maximum Commercial Establishment Area | N/A                    |
| FLR                                   | N/A                    |
| Maximum Built Area                    | 43,081 ft <sup>2</sup> |
| Maximum Building Footprint            | 8,282 ft <sup>2</sup>  |
| Lot Coverage                          | 80 %                   |
| Minimum Open Space                    | N/A                    |

#### HEIGHT LIMITATIONS (LEVELS)

|   |          |
|---|----------|
| Total Building Height                   | 6 Levels |
| Principal Building Max. Height (Podium) | 4 Levels |
| Principal Building Min. Height (Podium) | N/A      |
| Principal Tower Allowed Height          | 2 Levels |
| Bonus Allowed Height                    | 6 Levels |
| Maximum Office Height                   | N/A      |
| Maximum Commercial Height               | N/A      |

#### SETBACKS

|                                    |       |
|------------------------------------|-------|
| Primary Frontage Maximum Setback   | 40 ft |
| Secondary Frontage Minimum Setback | 5 ft  |
| Side Minimum Setback               | 0 ft  |
| Rear Minimum Setback               | 10 ft |
| Second Layer Dimension             | 25 ft |



■ Main Building  
■ Lot  
■ Building Setback limit

Up to 6 Stories - 4 Story Base  
80% Lot Coverage  
43,081 ft<sup>2</sup> Potential

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### CAPACITY ANALYSIS

#### Maximum Capacity

|              |                      |               |                                  |                      |
|--------------|----------------------|---------------|----------------------------------|----------------------|
| Folio Number | 000S009010022073     | Lot Area      | 15002 sqft                       | Gridics LLC          |
| Address      | 701 N De Villiers St | Zoning Code   | City of Pensacola (January 2018) | 169 E Flagler Street |
| City         | Pensacola            | Parcel Zoning | R-NCB                            | Miami, FL            |

|                                    |                              |
|------------------------------------|------------------------------|
| <b>TOTAL BUILDING AREA</b>         | <b>41,925 ft<sup>2</sup></b> |
| Total Building Height              | 6 Levels                     |
| Maximum Building Footprint         | 8,282 ft <sup>2</sup>        |
| Maximum Liner Footprint            | 4,661 ft <sup>2</sup>        |
| Maximum Tower Footprint            | N/A                          |
| Maximum Commercial Tower Footprint | N/A                          |
| Common Space Area                  | 5,177 ft <sup>2</sup>        |
| Lot Coverage                       | 80 %                         |
| FLR                                | N/A                          |

|                        |                              |
|------------------------|------------------------------|
| <b>OFFICE AREA NET</b> | <b>22,000 ft<sup>2</sup></b> |
| Office Height (Levels) | 5 Levels                     |

|                            |                             |
|----------------------------|-----------------------------|
| <b>COMMERCIAL AREA NET</b> | <b>3,885 ft<sup>2</sup></b> |
| Commercial Height (Levels) | 1 Levels                    |

|                                 |                              |
|---------------------------------|------------------------------|
| <b>PARKING AREA</b>             | <b>10,863 ft<sup>2</sup></b> |
| Total Parking Required          | 56 Spaces                    |
| Total Shared Parking Required   | 56 Spaces                    |
| Parking Structure Height        | 3 Levels                     |
| Total Provided Parking Capacity | 57 Spaces                    |
| On-Street Parking Capacity      | N/A                          |
| Off-Site Parking Capacity       | N/A                          |
| Parking Structure Capacity      | 33 Spaces                    |
| Parking Structure Area          | 10,863 ft <sup>2</sup>       |
| Underground Parking             | N/A                          |
| Underground Parking Area        | N/A                          |
| Surface Parking Capacity        | 24 Spaces                    |



■ Commercial  
■ Office  
■ Parking  
■ Lot

Mixed-Use  
Surface / Structure Parking  
41,925 ft<sup>2</sup> Actual

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# Proposed Regulations: MF, MU, & Com.

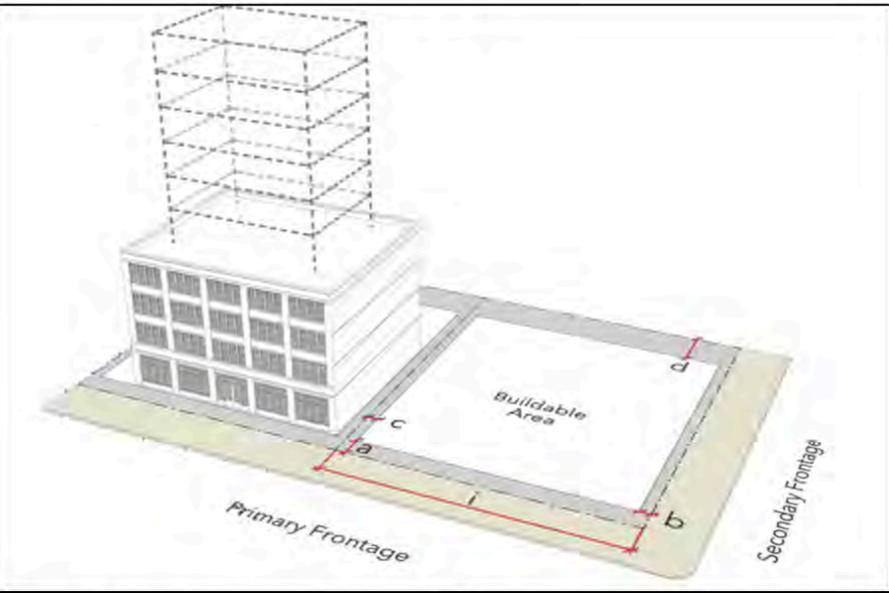
## Neighborhood: Commercial / MF Residential (R-NC, R-NCB, C-1)



| Setbacks - Principal Building (feet) |                              | Setbacks - Accessory Building (feet) |               |
|--------------------------------------|------------------------------|--------------------------------------|---------------|
| Front, Primary                       | 5 max. / 15 max.             | e Front                              | N/A           |
| Front, Secondary                     | 5 max. / 15 max.             | f Front, Secondary                   | N/A           |
| Side                                 | 0 or 5 min.                  | g Interior Side                      | N/A           |
| Rear                                 | none                         | h Rear                               | N/A           |
| Frontage & Lot Occupation (min.)     |                              | Frontage Yard Types                  |               |
| Primary                              | 80%                          | Fenced                               | Not Permitted |
| Secondary                            | 50%                          | Shallow                              | Permitted     |
| Lot Occupation                       |                              | Urban                                | Permitted     |
| Lot Width                            | 16 ft. min.                  | Pedestrian Forecourt                 | Permitted     |
| Lot Coverage                         | 75% (50% - 75%)              | Vehicular Forecourt                  | Permitted     |
| Building Height (max.)               |                              | Facade Types                         |               |
| Principal Building                   | 4 stories <sup>(2)</sup>     | Porch                                | Not Permitted |
| Accessory Building                   | N/A                          | Stoop                                | Permitted     |
| Off-street Parking (min.)            |                              | Common Entry                         | Permitted     |
| residential                          | 1/unit                       | Gallery                              | Permitted     |
| commercial                           | 3/1000 sq.ft. <sup>(3)</sup> | Storefront                           | Permitted     |

Notes:  
 (2) First floor elevation must be a minimum nine feet above sea level.  
 Storefronts less than 1,500 sq.ft. only need to provide 1 space

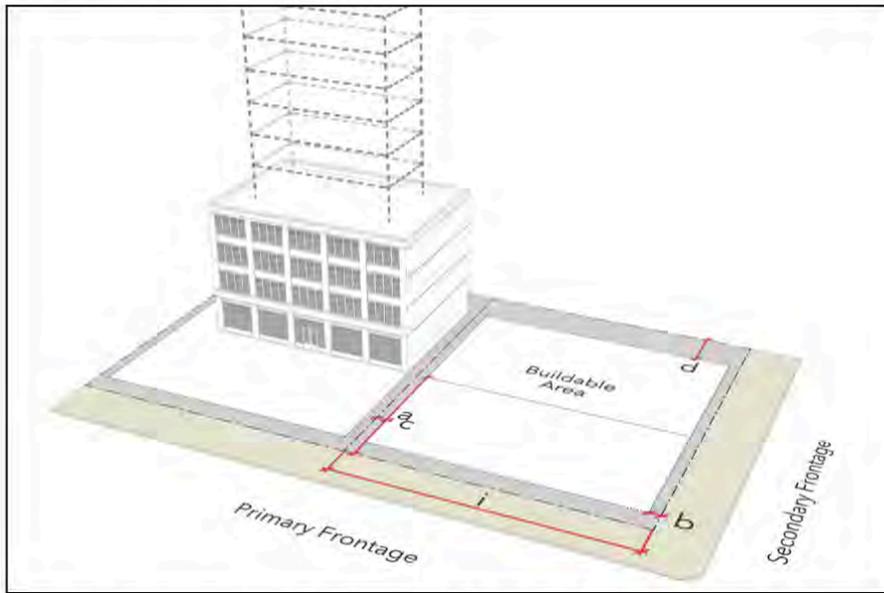
## Core: Commercial / MF Residential (C-2, \*C-3)



| Setbacks - Principal Building (feet) |                           | Setbacks - Accessory Building (feet) |               |
|--------------------------------------|---------------------------|--------------------------------------|---------------|
| a Front, Primary                     | 5 max. / 15 max.          | e Front                              | N/A           |
| b Front, Secondary                   | 5 max. / 15 max.          | f Front, Secondary                   | N/A           |
| c Side                               | 0 or 5 min.               | g Interior Side                      | N/A           |
| d Rear                               | none                      | h Rear                               | N/A           |
| Frontage & Lot Occupation (min.)     |                           | Frontage Yard Types                  |               |
| Primary                              | 80%                       | Fenced                               | Not Permitted |
| Secondary                            | 60%                       | Shallow                              | Permitted     |
| Lot Occupation                       |                           | Urban                                | Permitted     |
| i Lot Width                          | 16 ft. min.               | Pedestrian Forecourt                 | Permitted     |
| Lot Coverage                         | 100% max.                 | Vehicular Forecourt                  | Permitted     |
| Building Height (max.)               |                           | Facade Types                         |               |
| Principal Building                   | 10 stories <sup>(2)</sup> | Porch                                | Not Permitted |
| Accessory Building                   | N/A                       | Stoop                                | Not Permitted |
| Off-street Parking (min.)            |                           | Common Entry                         | Permitted     |
| residential                          | 1/unit <sup>(3)</sup>     | Gallery                              | Permitted     |
| commercial                           | 3/1000 sq.ft.             | Storefront                           | Permitted     |

Notes:  
 (2) First floor elevation must be a minimum nine feet above sea level.

## Hybrid Commercial (C-3)

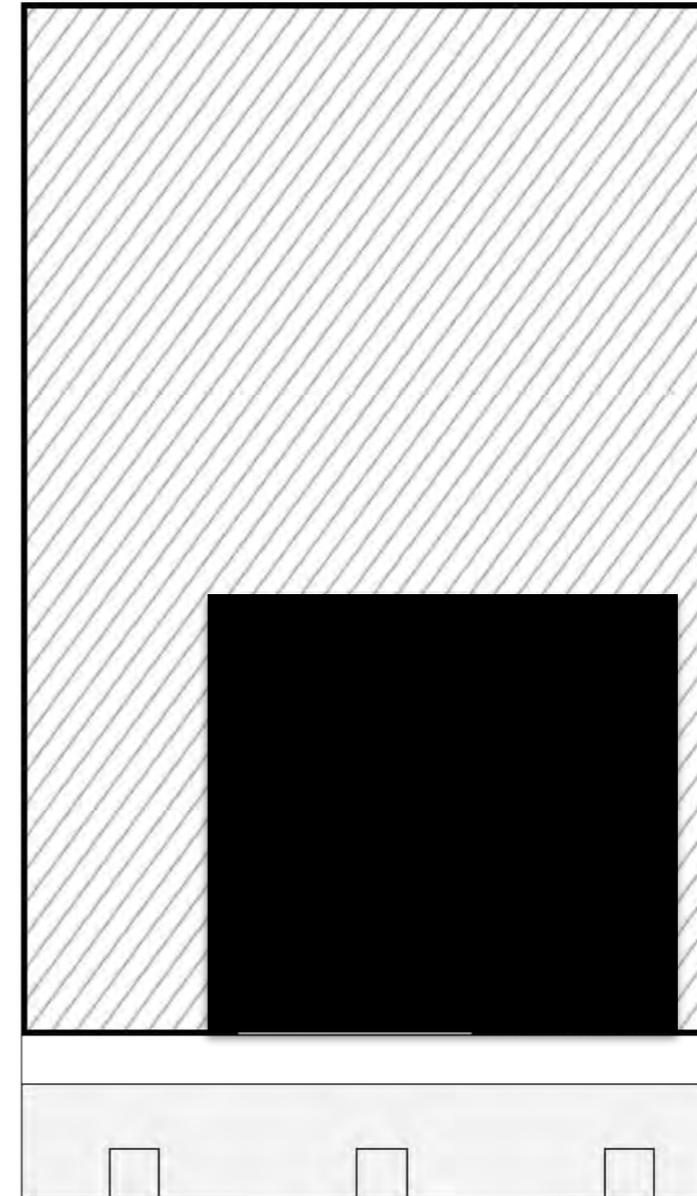


| Setbacks - Principal Building (feet) |                           | Setbacks - Accessory Building (feet) |               |
|--------------------------------------|---------------------------|--------------------------------------|---------------|
| a Front, Primary                     | 60 max.                   | e Front                              | N/A           |
| b Front, Secondary                   | 40 max.                   | f Front, Secondary                   | N/A           |
| c Side                               | 0 or 5 min.               | g Interior Side                      | N/A           |
| d Rear                               | none                      | h Rear                               | N/A           |
| Frontage & Lot Occupation (min.)     |                           | Frontage Yard Types                  |               |
| Primary                              | 60%                       | Fenced                               | Not Permitted |
| Secondary                            | 40%                       | Shallow                              | Permitted     |
| Lot Occupation                       |                           | Urban                                | Permitted     |
| i Lot Width                          | 16 ft. min.               | Pedestrian Forecourt                 | Permitted     |
| Lot Coverage                         | 100% max.                 | Vehicular Forecourt                  | Permitted     |
| Building Height (max.)               |                           | Facade Types                         |               |
| Principal Building                   | 10 stories <sup>(2)</sup> | Porch                                | Not Permitted |
| Accessory Building                   | N/A                       | Stoop                                | Not Permitted |
| Off-street Parking (min.)            |                           | Common Entry                         | Permitted     |
| residential                          | 1/unit                    | Gallery                              | Permitted     |
| commercial                           | 3/1000 sq.ft.             | Storefront                           | Permitted     |

Notes:  
 (2) First floor elevation must be a minimum nine feet above sea level.

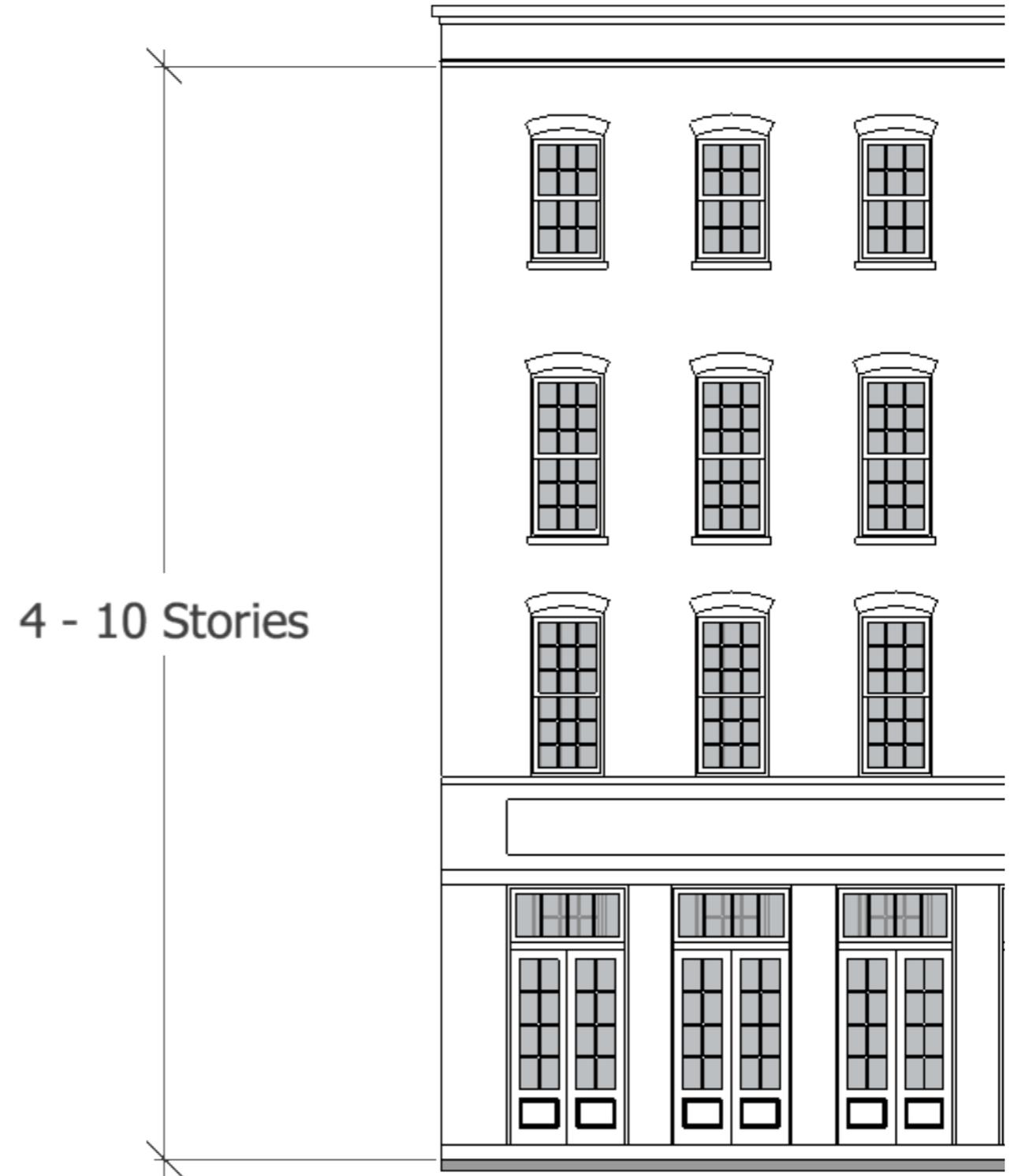
# Parking Regulations

| <b>Parking General</b>  |
|---|
| <b>Commercial</b>   |
| Off-street parking shall not extend beyond the principal building face.           |
| Commercial uses less than 1,500 square feet are exempt from parking requirements. |



# Proposed Regulations: Height for all others

| Height   |
|--|
| The height for each zone is regulated according to the Form Standards Table.   |
| Height is measured in feet for residential and by stories for commercial.  |
| When measured in feet, the measurement is from grade to bottom of the eave.  |
| Single-family residential: Minimum first floor height is 10 feet for a 2-story building. Minimum first floor height for a 1-story building is 12 feet. |
| Multi-family residential: Floor height is a minimum 12 feet and a maximum 16 feet.   |



# Proposed Regulations: Facade Types

| Porch               |   |
|---------------------|---|
| <b>Entry Grade</b>  | Minimum 18 inches above grade   |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>Required at the primary building entrance.</li> <li>Porches must be a minimum 6 feet in depth.</li> <li>Porches and related structures may project into frontage setbacks a maximum 10 feet.</li> <li>Porch openings shall be vertical in proportion.</li> </ul> |



| Stoop               |   |
|---------------------|---|
| <b>Entry Grade</b>  | Minimum 36 inches and a maximum 48 inches above grade   |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>A stoop is required at building entrances, projecting from the facade.</li> <li>Wood is prohibited for stoop railings.</li> <li>Stoops and related structures may project into frontage setbacks no more than 100%.</li> </ul> |



| Common Entry        |  |
|---------------------|--|
| <b>Entry Grade</b>  | 20 in. max. from sidewalk grade  |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>A single collective entry to a multi-family lobby is required at the primary building entrance.</li> <li>Canopies and awnings are permitted to project into frontage setbacks up to 100% of their depth.</li> </ul> |



| Gallery             |  |
|---------------------|--|
| <b>Entry Grade</b>  | At sidewalk grade  |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>Where a gallery occurs, it is required along a minimum of 80% of the frontage.</li> <li>Galleries must be no less than 8 feet in depth with no less than 12 feet of vertical clearance.</li> <li>Awnings are not permitted in galleries.</li> </ul> |



| Arcade & Colonnade  |   |
|---------------------|---|
| <b>Entry Grade</b>  | At sidewalk grade   |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>Where an Arcade or Colonnade occurs, it is required along a minimum of 80% of the frontage.</li> <li>Galleries must be no less than 8 feet in depth with no less than 12 feet of vertical clearance.</li> <li>Awnings are not permitted in galleries.</li> </ul> |



| Storefront          |  |
|---------------------|--|
| <b>Entry Grade</b>  | At sidewalk grade  |
| <b>Requirements</b> | <ul style="list-style-type: none"> <li>A storefront is required at the primary entrance of the tenant space.</li> <li>Storefront glazing must meet the minimum ground floor glazing requirements by according to the Glazing Table district</li> </ul> |



# Proposed Regulations: Facade Types

| Porch        |  |
|--------------|--|
| Entry Grade  | Minimum 18 inches above grade  |
| Requirements | <ul style="list-style-type: none"><li>• Required at the primary building entrance.</li><li>• Porches must be a minimum 6 feet in depth.</li><li>• Porches and related structures may project into frontage setbacks a maximum 10 feet.</li><li>• Porch openings shall be vertical in proportion.</li></ul> |

An architectural rendering of a building facade featuring a prominent covered porch. The porch is supported by several columns and has a flat roof. The building has a gabled roof and large windows. The rendering is in a light, sketchy style.

# Glazing Regulations

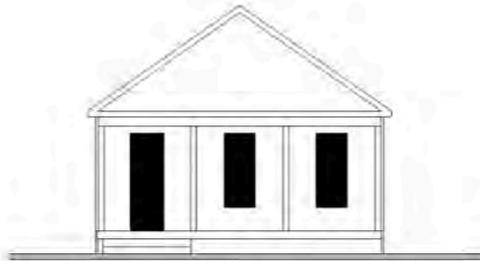
## Glazing Requirements

### Single-family Residential

**At Grade** Minimum 25% along primary frontages, and 20% along secondary frontages

**Above Grade** Minimum 20% along primary and secondary frontages

Primary Frontage



Secondary Frontage

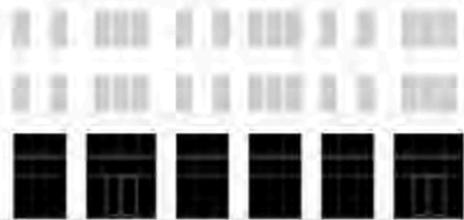


### Multi-family & Commercial

**At Grade** Minimum 70% along primary frontages, and 50% along secondary frontages

**Above Grade** Minimum 35% along primary and secondary frontages

Primary Frontage

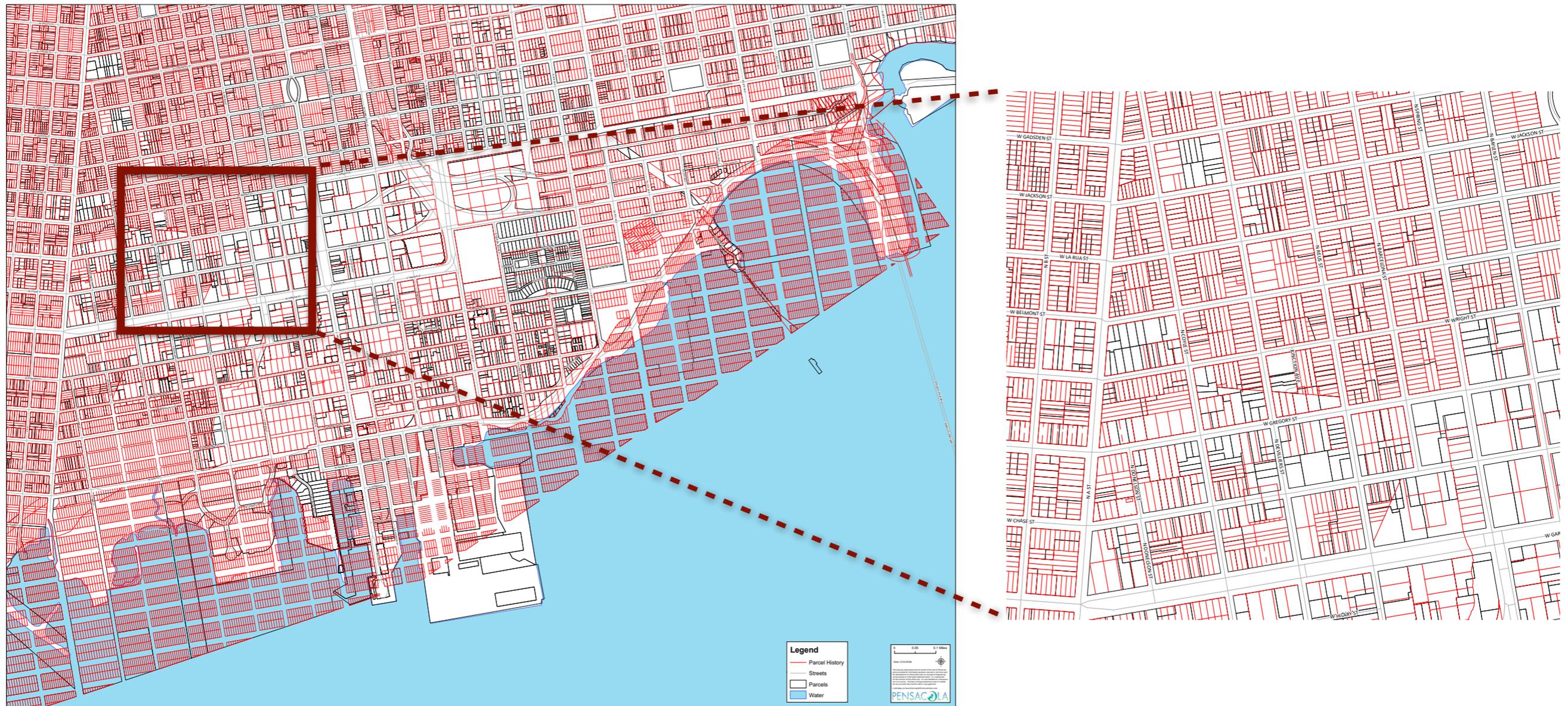


Secondary Frontage



Open Space

# Plat History



- Encouraging small lot redevelopment must remain.
- Sets up inequitable performance standards.
- If new form meets intent and standards of zoning, should be permitted.
- Define threshold for stormwater requirements to be more flexible
- Consider more regional, off-site stormwater facilities, rather than lot-by-lot.

# Westside: Open Space Network



# Townhouse Court

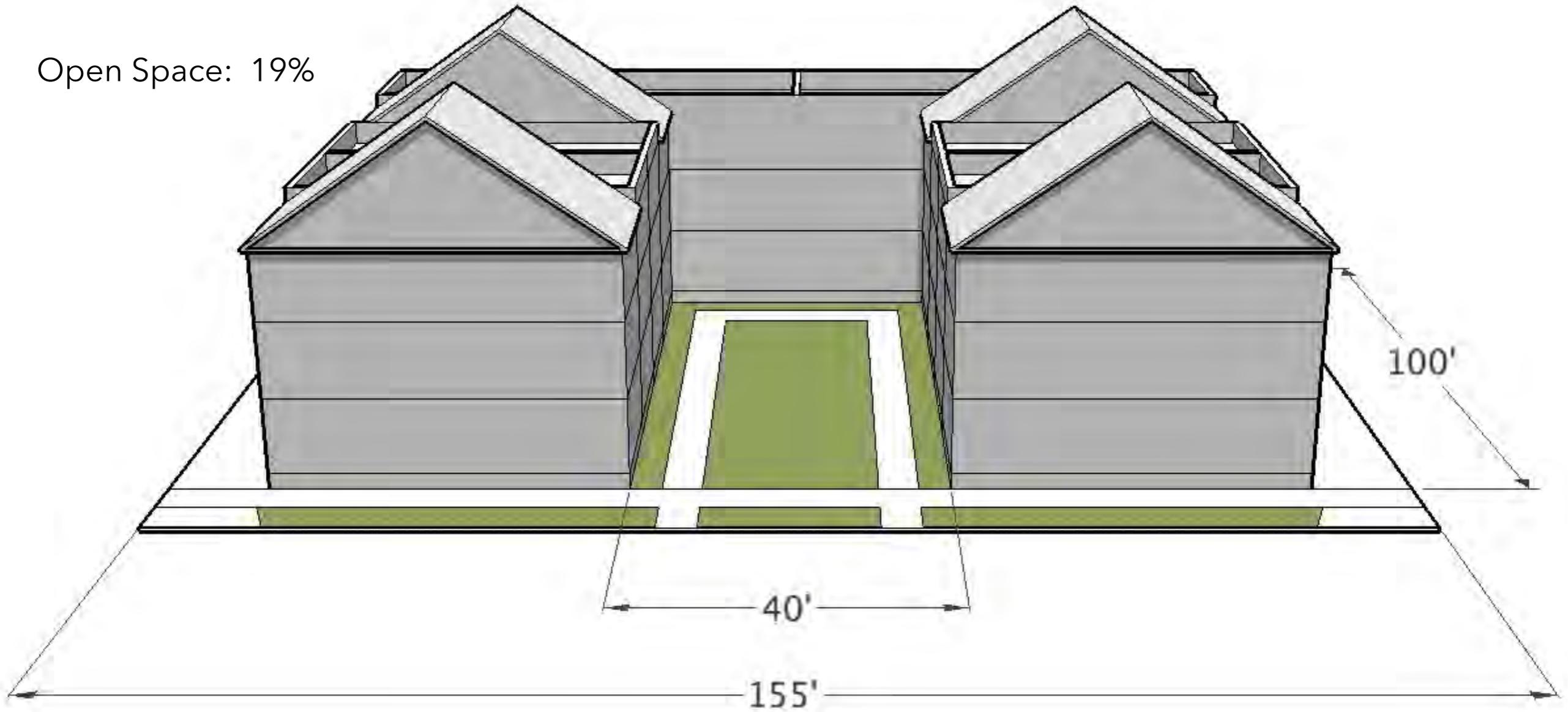


# Townhouse Court

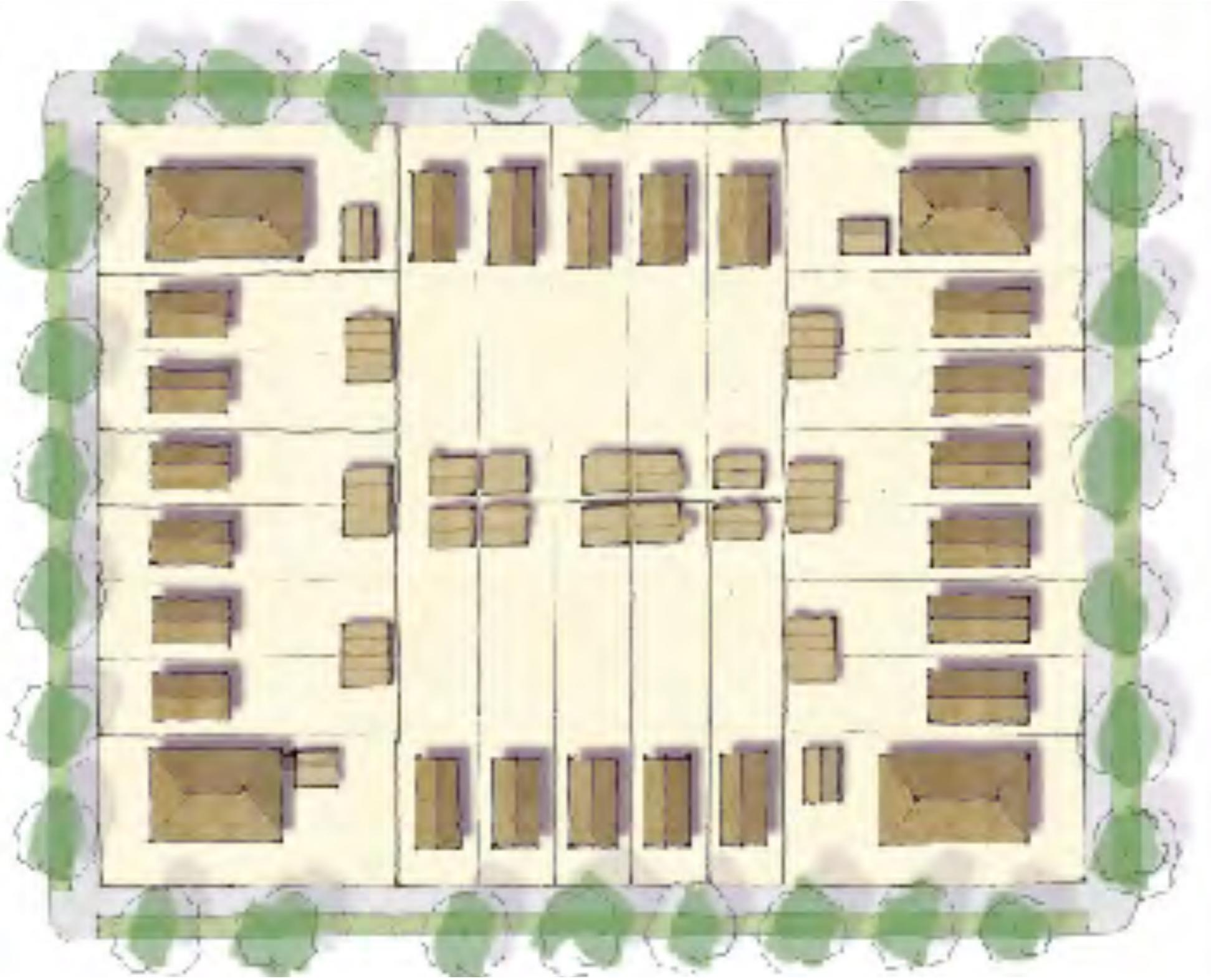
10 Townhouses

.35 acre

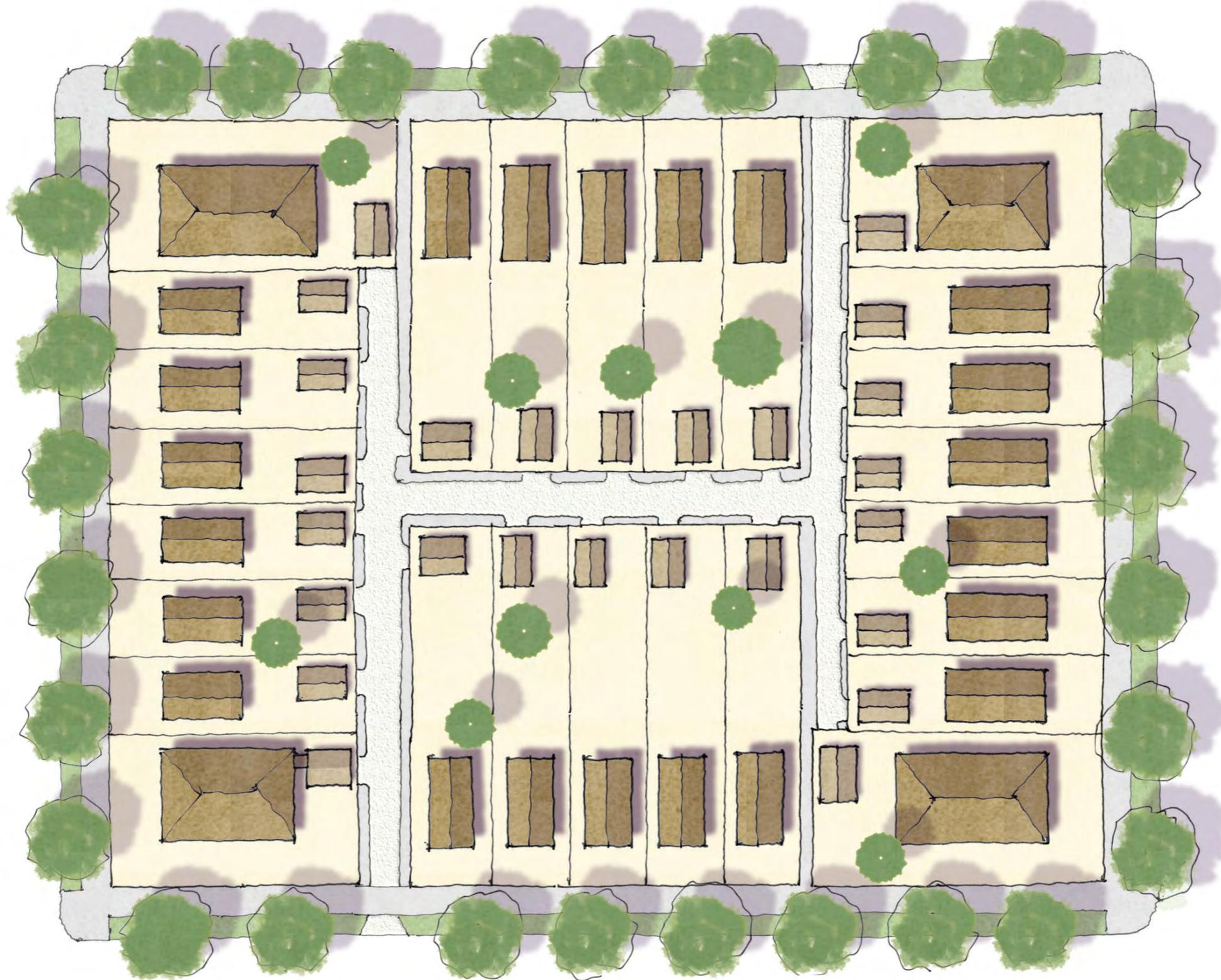
Open Space: 19%



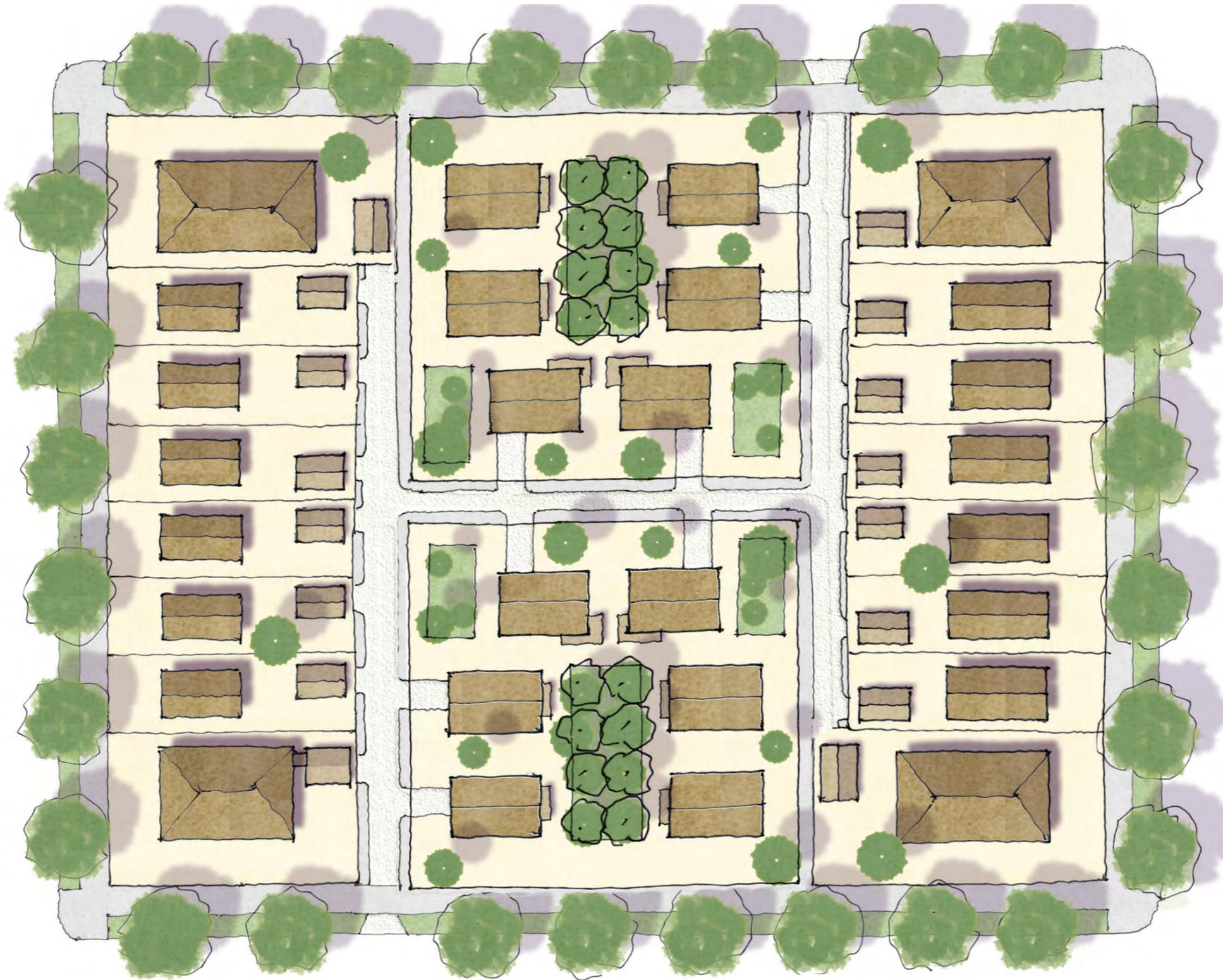
# Typical R-1A Block



# Typical R-1A Block



# Typical R-1A Block w/ Cottage Court



# Proposed Regulations: Open Space for Subdivisions

## Open Space For Subdivisions

- Developments for four lots, or on 2 acres or more, whichever is greater: 3% of the total land area.
- Development for six lots or greater than 2 acres, whichever is greater: 5% of the total land area.
- Open space shall be provided in addition to the tree protection landscape requirements established in [section 12-6-4](#). In the event a buffer yard is required between the multifamily development and an adjacent single-family land use or zoning district, the buffer yard land area requirements may be credited toward the recreation/open space land area requirement.
- Open space shall have a minimum of one side along a street frontage and may not be abutted by rear lanes or rear lot lines.
- Open space should be configured in accordance with Table: Open Space Types. (designated as plazas, squares, greens, playgrounds, pocket parks).

## Open Space Design

| Open Space Type  | Location and Dimensions       |                                   |              |                                 | Improvements       |                   |                             |                             |                                 |
|--|-------------------------------|-----------------------------------|--------------|---------------------------------|--------------------|-------------------|-----------------------------|-----------------------------|---------------------------------|
|  | Zones                         | T-Fare Frontage                   | Size         | Dimension                       | Impervious Surface | Building Coverage | Landscape                   | Seating                     | Lighting                        |
|    | <b>A. Park</b>                | R-1AA, R-1A                       | 1 side min.  | 1 ac. min.<br>10 ac. max.       | n/a                | TBD               | 1 canopy tree per 8,000 sf. | 1 seat per 2,000 sf         | Required along walkways         |
|    | <b>B. Green</b>               | R-1AA, R-1A, R-1B, R-2A           | 2 sides min. | 0.5 ac. min.<br>5 ac. max.      | 80 ft. min.        | 40% max.          | 5% max.                     | 1 canopy tree per 4,000 sf. | 1 seat per 1,500 sf<br>Required |
|   | <b>C. Pocket Park</b>         | R-1AA, R-1A, R-1B, R-2A, R-NC's   | 1 side min.  | 1,000 sf. min.<br>0.25 ac. max. | 30 ft. min.        | 50% max.          | 3% max.                     | 1 canopy tree per 4,000 sf. | 1 seat per 1,000 sf<br>Required |
|  | <b>D. Square</b>              | R-1B, R-2A, R-NC's, C-1, C-2, C-3 | 2 sides min. | 0.2 ac. min.<br>3 ac. max.      | 80 ft. min.        | 60% max.          | 25% max.                    | 1 canopy tree per 4,000 sf. | 1 seat per 1,000 sf<br>Required |
|  | <b>E. Plaza</b>               | R-NC's, C-1, C-2, C-3             | 1 side min.  | 0.2 ac. min.<br>2 ac. max.      | 40 ft. min.        | 50 - 80%          | 15% max.                    | 1 canopy tree per 6,000 sf. | 1 seat per 1,000 sf<br>Required |
|  | <b>F. Passage (mid-block)</b> | R-1B, R-2A, R-NC's, C-1, C-2, C-3 | n/a          | n/a                             | 12-40 ft. in width | 80% max.          | n/a                         | n/a                         | n/a<br>Required                 |



# Walkability

Walkability = Safe, attractive, good for Business

- Includes Walkers, Cyclists & Transit Users
  - The forgotten modes
  - The vulnerable modes
  - **The healthy, more efficient modes**
- Also includes motorists
  - The powerful mode
  - The protected mode
  - **The less efficient mode**
    - a BALANCE





principle 1. context

LU 1 TR 2

...transportation design  
must be subordinate to  
urban design in walkable  
communities



# NEW Standards for Walkability

---

## Recommended Manuals for use in Street Design for the CRA

- FDOT CSI Complete Streets Initiative
  - for State Facilities
- Florida Greenbook - Chapter 19, TND f
  - For Local City streets

# Chapter 19, TND

## Traditional Neighborhood Design

Specifications  
needed for local,  
walkable street  
design

Florida Department of Transportation



### Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways

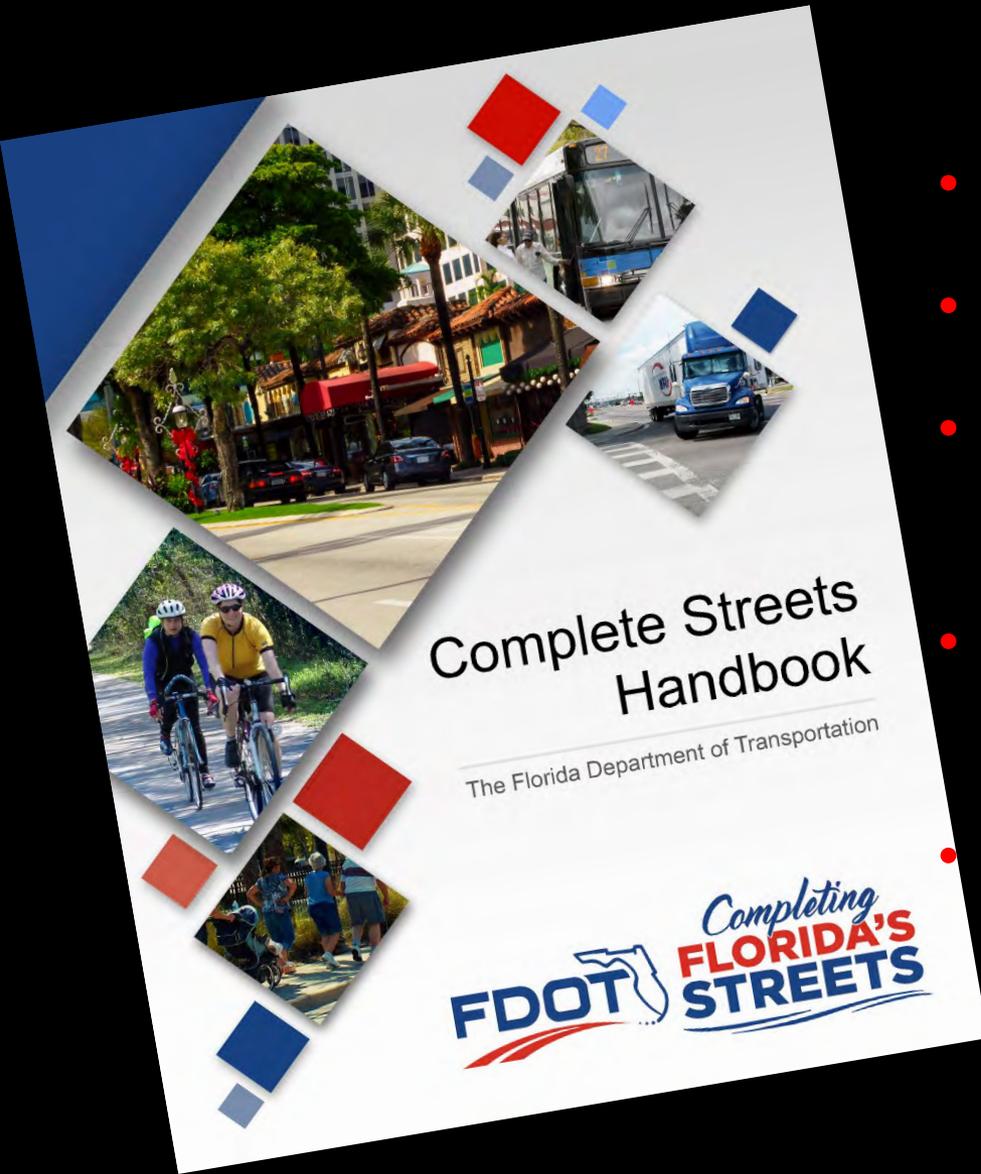
(Commonly known as the "Florida Greenbook")

<http://www.dot.state.fl.us/rddesign/FloridaGreenbook/FGB.shtm>

**FDOT Office**  
Office of Design  
Topic # 625-000-015

**Date of Publication**  
2016 Edition

# Complete Streets Initiative (CSI) Handbook



- External Draft in April 2017
- Final in June 2017
- Ties in various FDOT standards and procedures
- Explains context-based design criteria and standards
- Provides groundwork for the FDOT Design Manual (FDM)



### **C3C-Suburban Commercial**

Mostly non-residential uses with large building footprints and large parking lots within large blocks and a disconnected or sparse roadway network.

### **C4-Urban General**

Mix of uses set within small blocks with a well-connected roadway network. May extend long distances. The roadway network usually connects to residential neighborhoods immediately along the corridor or behind the uses fronting the roadway.

### **C5-Urban Center**

Mix of uses set within small blocks with a well-connected roadway network. Typically concentrated around a few blocks and identified as part of a civic or economic center of a community, town, or city.

### **C6-Urban Core**

Areas with the highest densities and building heights, and within FDOT classified Large Urbanized Areas (population >1,000,000). Many are regional centers and destinations. Buildings have mixed uses, are built up to the roadway, and are within a well-connected roadway network.

# Context Classification System



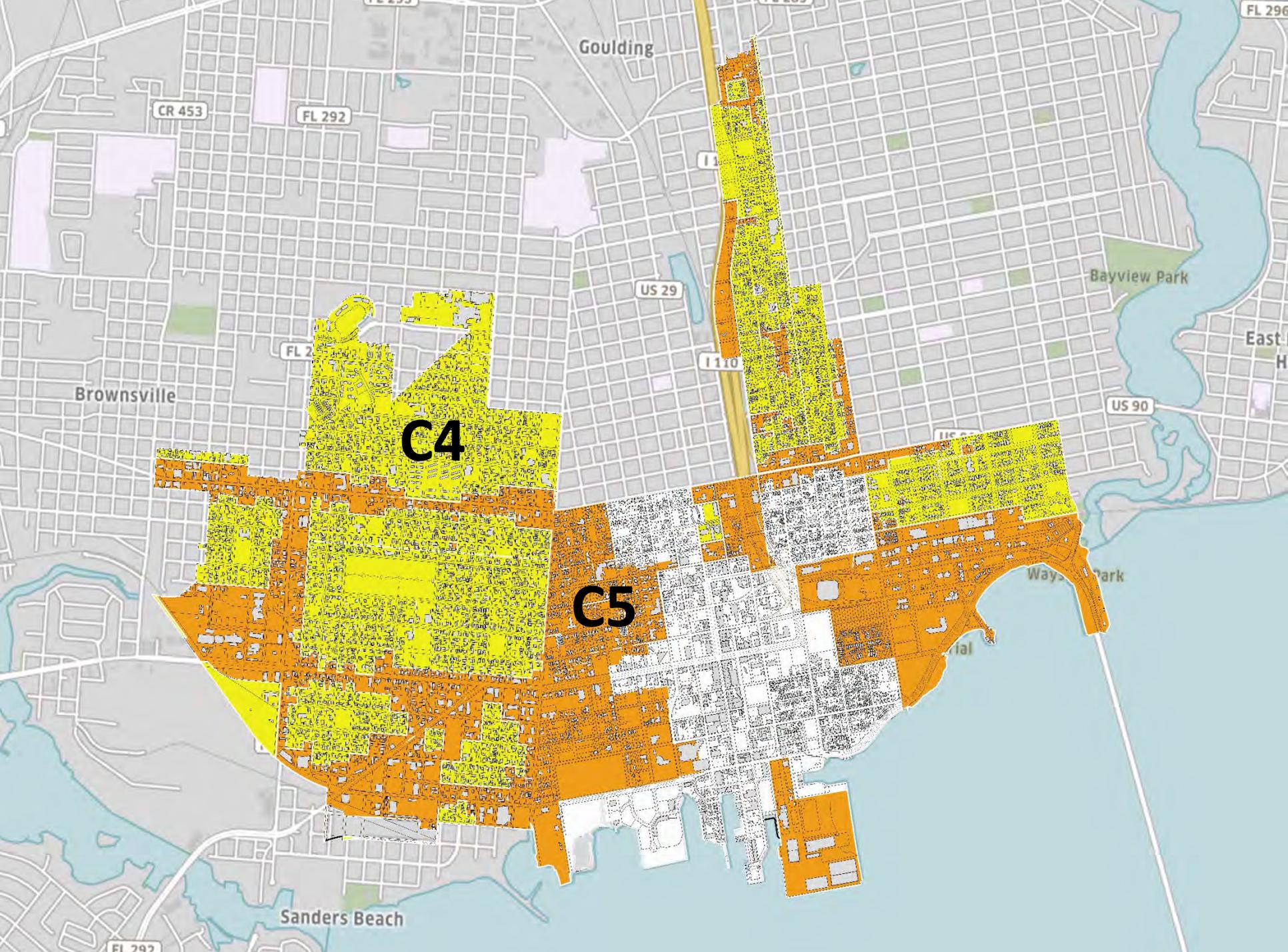
C1 C2 C2T C3R C3C C4 C5 C6

| Context \ Roadway  | Rural | Rural Town | Suburban | Urban | Urban Core |
|--------------------|-------|------------|----------|-------|------------|
| Principal Arterial |       |            |          |       |            |
| Minor Arterial     |       |            |          |       |            |
| Collector          |       |            |          |       |            |
| Local              |       |            |          |       |            |

Legend

Low  
 Medium  
 High  
 Low  
 Medium  
 High  
 Low  
 Medium  
 High

Figure 2 Expanded FCS conceptual typical user priority



Goulding

CR 453

FL 292

US 29

I 110

Bayview Park

Brownsville

FL 2

US 90

C4

C5

Wayside Park

Sanders Beach

FL 292



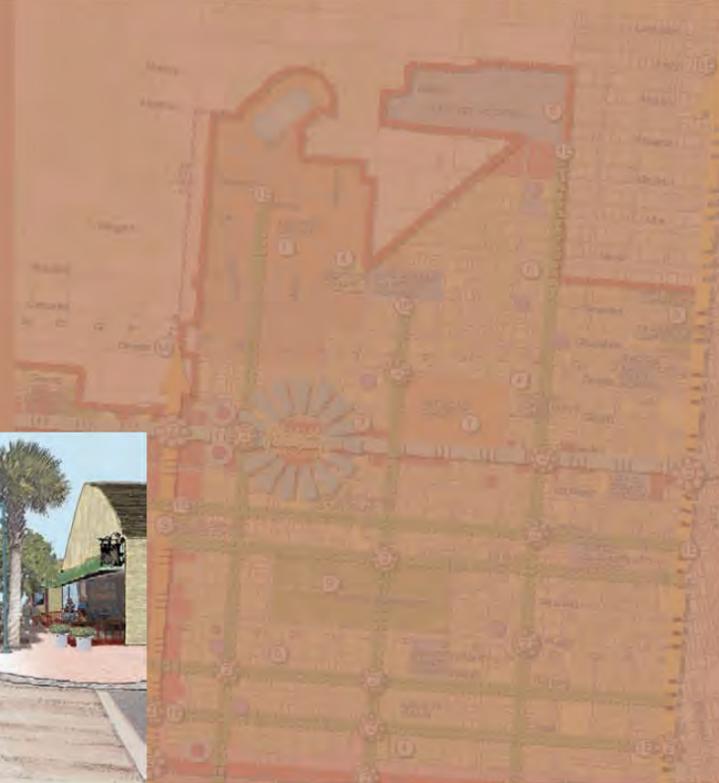
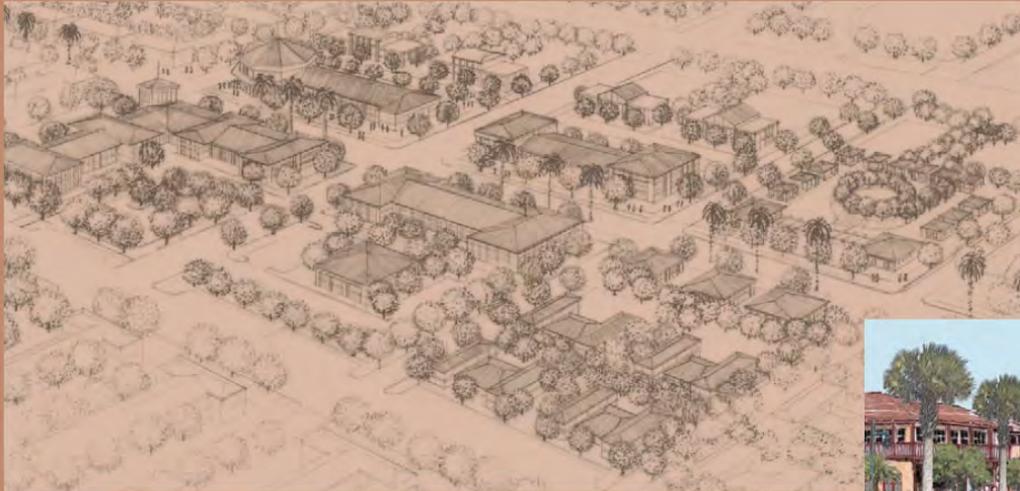
***Context Classification - C5 Urban Center***



***Context Classification - C3 Suburban Commercial***

# Cervantes -

- Vision is of redevelopment.
- Atkins Corridor Study stated
  - Alternative a. 4 Lanes
  - Alternative b. 2 lanes.
- Atkins suggested Village nodes with Transition areas between
- FDOT Context Classifications are
  - C4 Urban General in Residential
  - C5 Urban Center on the Corridors.
- Traffic is OK at two lanes. Thus commuting traffic is OK.



# westside community redevelopment area plan

*Prepared for the City of Pensacola, Florida*

*April 2007*

Prepared by:



## Commercial Corridor: Pace Boulevard

Pace Boulevard serves the Westside Redevelopment Area as the major north-south commercial corridor marked with sub-standard parcel sizes. While this area consists of long-standing businesses that provide an economic base for the City as well as the Westside Redevelopment Area, the current conditions indicate a deteriorated physical environment and haphazard commercial growth. The western edge of the corridor, north of Cervantes Street, spans multiple jurisdictions warranting an increased level of coordination and planning to create a coherent identity for future investment. South of Garden Street, the west edge of Pace Boulevard, consists of a large tract of vacant land, owned by the Alabama and Gulf Coast Railroad, which when redeveloped could potentially be subdivided to accommodate a diverse range of commercial establishments (office/destination retail/ services) in the future.

The intent of the redevelopment plan is to sustain the long term viability of the existing businesses while buffering views of the harsh physical conditions of the properties. This can be accomplished through TIF sponsored clean-up activities, landscaping, code-enforcement and development regulations for future commercial uses.

### Objective:

Integrate existing commercial development into the functional and aesthetic framework of the redevelopment vision retaining the economic benefits of these uses, while improving their visual impact. Establish an identity for the corridor and encourage private sector investment that addresses the needs of the neighborhood.

### ACTION STRATEGIES

- Initiate physical improvements to enhance the overall visual appearance of the commercial corridor such as redesigning and improving the corridor's existing right-of-way conditions. This includes constructing elements such as a center median, carriage way, sidewalks, landscaping, lighting and shared access to adjacent uses.
- Concentrate and consolidate existing commercial uses to prepare for any new development and utilize the services of a realtor and/or the City's land management team to assemble and acquire land for the development of large sized marketable retail sites.
- Identify priority sites for developing large scale neighborhood retail center such as a supermarket, a grocery store and complementing retail that addresses the needs of the residents.
- Initiate discussions to pursue joint improvement projects with the Escambia County Community Redevelopment Agency, to create a unified streetscape character for the corridor (along sections of the corridor in the Brownsville Neighborhood and properties located on Pace Boulevard north of Cervantes Street)
- Provide business owners and developers with incentives such as tax breaks to upgrade existing retail services and to maintain control of the character of infill development.
- Identify and partner with key business owners that support the redevelopment efforts along the corridor. Encourage adaptive re-use of underutilized and obsolete commercial uses, where possible.
- Adopt design standards to ensure visual integration and a sense of identity for the entire corridor.



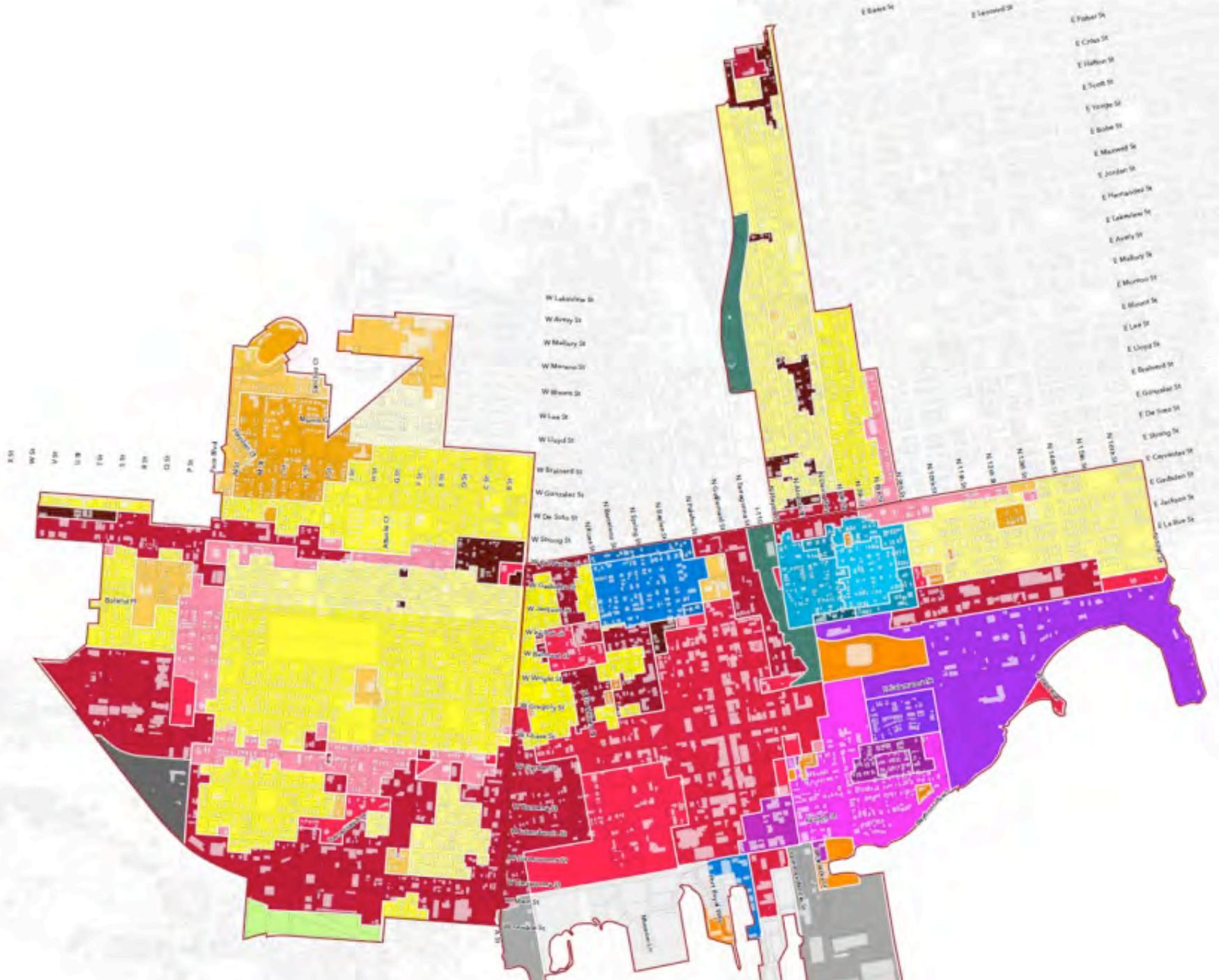
Existing Conditions: Pace Boulevard



Conceptual Illustration: Streetscape Improvements, Pace Boulevard



Typical Streetscape Section: Pace Boulevard



E 5th  
W 5th  
V 5th  
U 5th  
T 5th  
S 5th  
R 5th  
Q 5th  
P 5th

W Lakeland St  
W Alway St  
W Mallory St  
W Minnow St  
W Wharff St  
W Lee St  
W Lloyd St  
W Bryant St  
W Gonzalez St  
W De Soto St  
W Strong St

E Baker St  
E Carroll St  
E Fisher St  
E Cribbs St  
E Hallow St  
E South St  
E Young St  
E Duke St  
E Maxwell St  
E Jordan St  
E Hawthorne St  
E Lakeland St  
E Avery St  
E Mallory St  
E Murray St  
E Mount St  
E Lee St  
E Lloyd St  
E Bealwood St  
E Gonzalez St  
E De Soto St  
E Strong St  
E Capistrano St  
E Gordon St  
E Jackson St  
E La Rue St

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W 97th St  
W 98th St  
W 99th St  
W 100th St

# West Cervantes Street



# Atkins Corridor Study

- Alternative a. 4 Lanes
- Alternative b. 2 lanes.



Prepared for:  
**Florida-Alabama**  
**TPO**  
Transportation Planning Organization



Prepared by:  
**ATKINS**  
December 2016

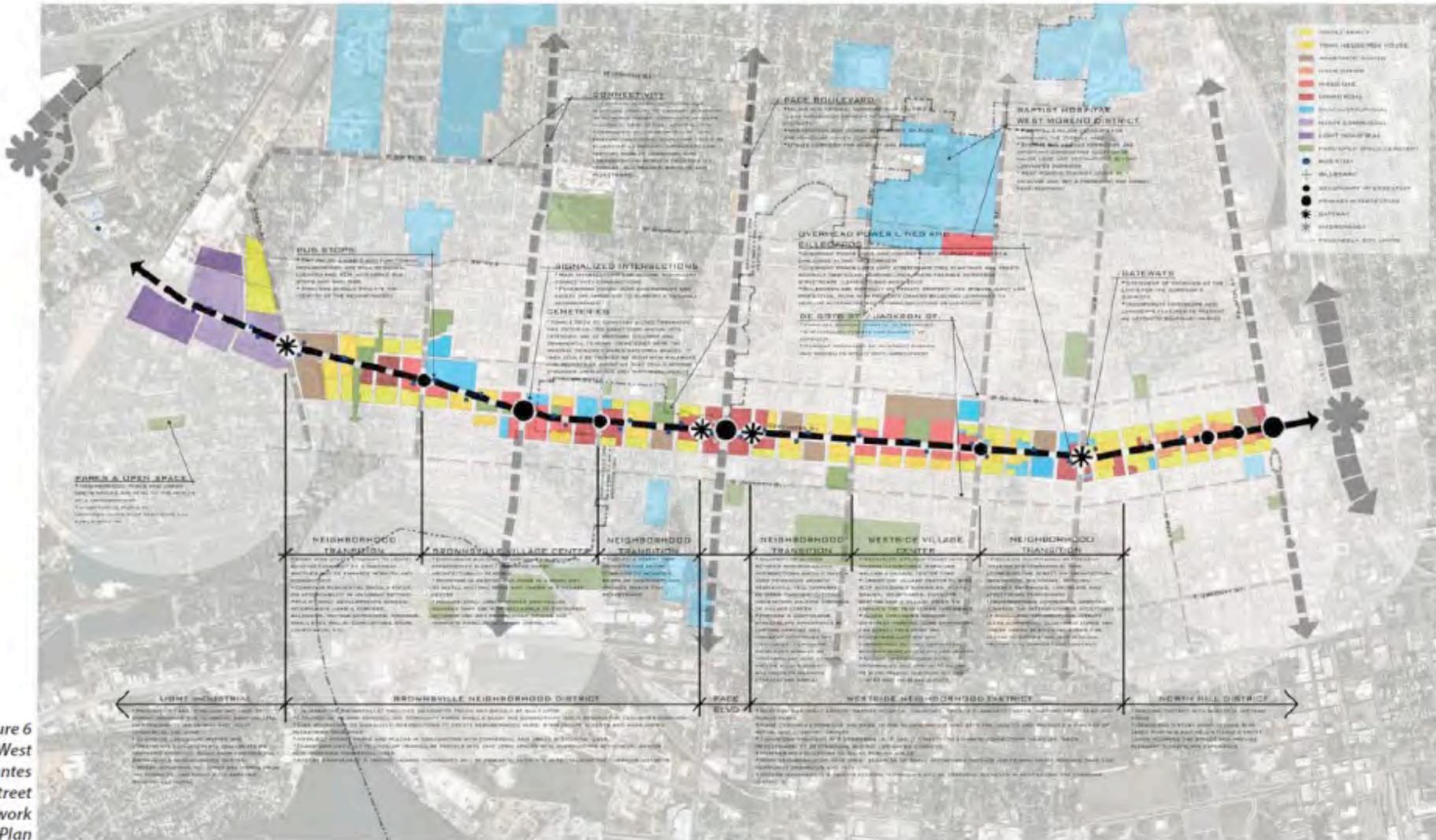


Figure 6  
West  
Cervantes  
Street  
Framework  
Plan

# W. Cervantes Framework Plan Analysis



W Cervantes Framework Plan details



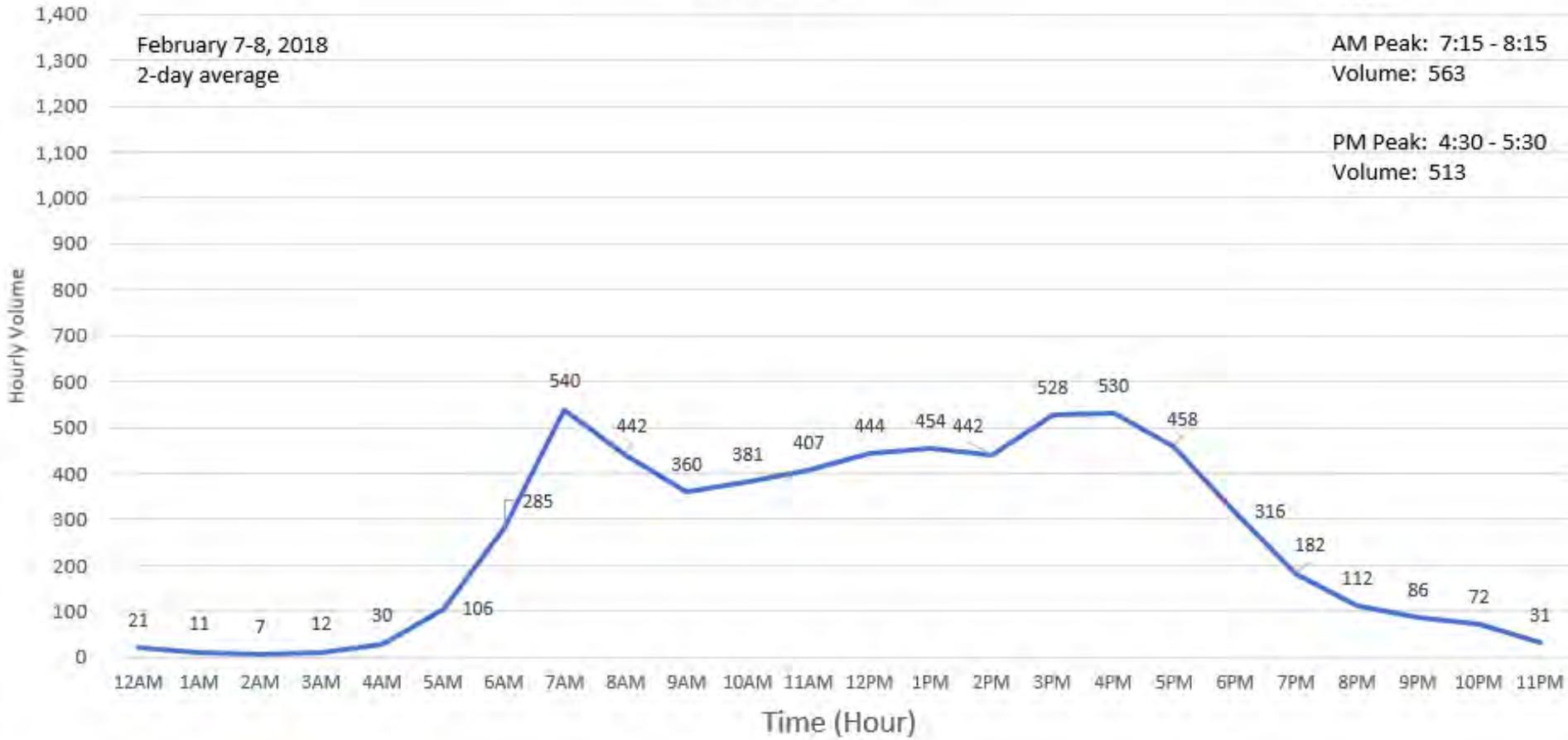
### Hourly Vehicle Traffic Profile W. Main between B Street & C Street Eastbound

Daily Volume (unadj.)  
6,252

AM Peak: 7:15 - 8:15  
Volume: 563

PM Peak: 4:30 - 5:30  
Volume: 513

February 7-8, 2018  
2-day average



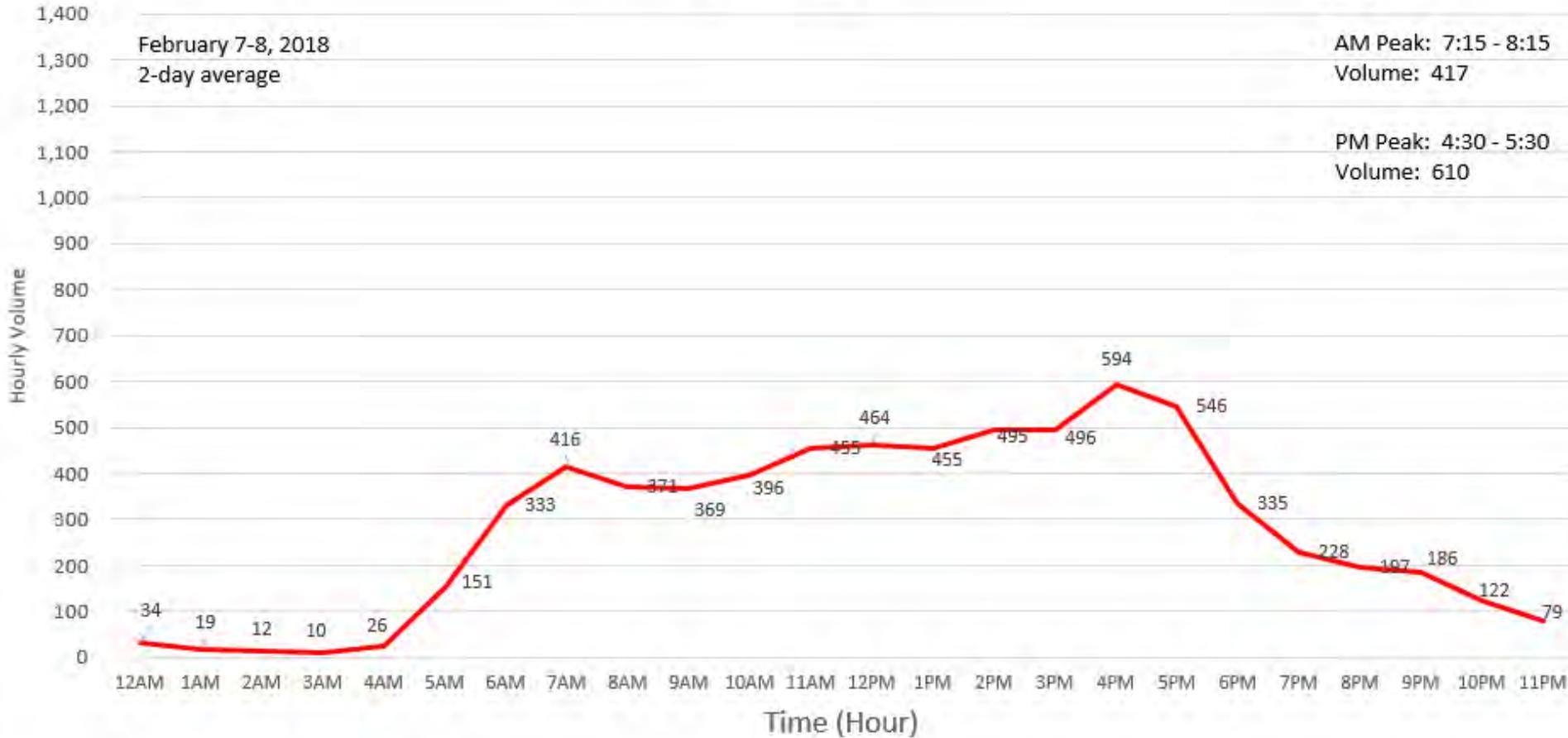
# Hourly Vehicle Traffic Profile W. Main between B Street & C Street Westbound

Daily Volume (unadj.)  
6,783

February 7-8, 2018  
2-day average

AM Peak: 7:15 - 8:15  
Volume: 417

PM Peak: 4:30 - 5:30  
Volume: 610



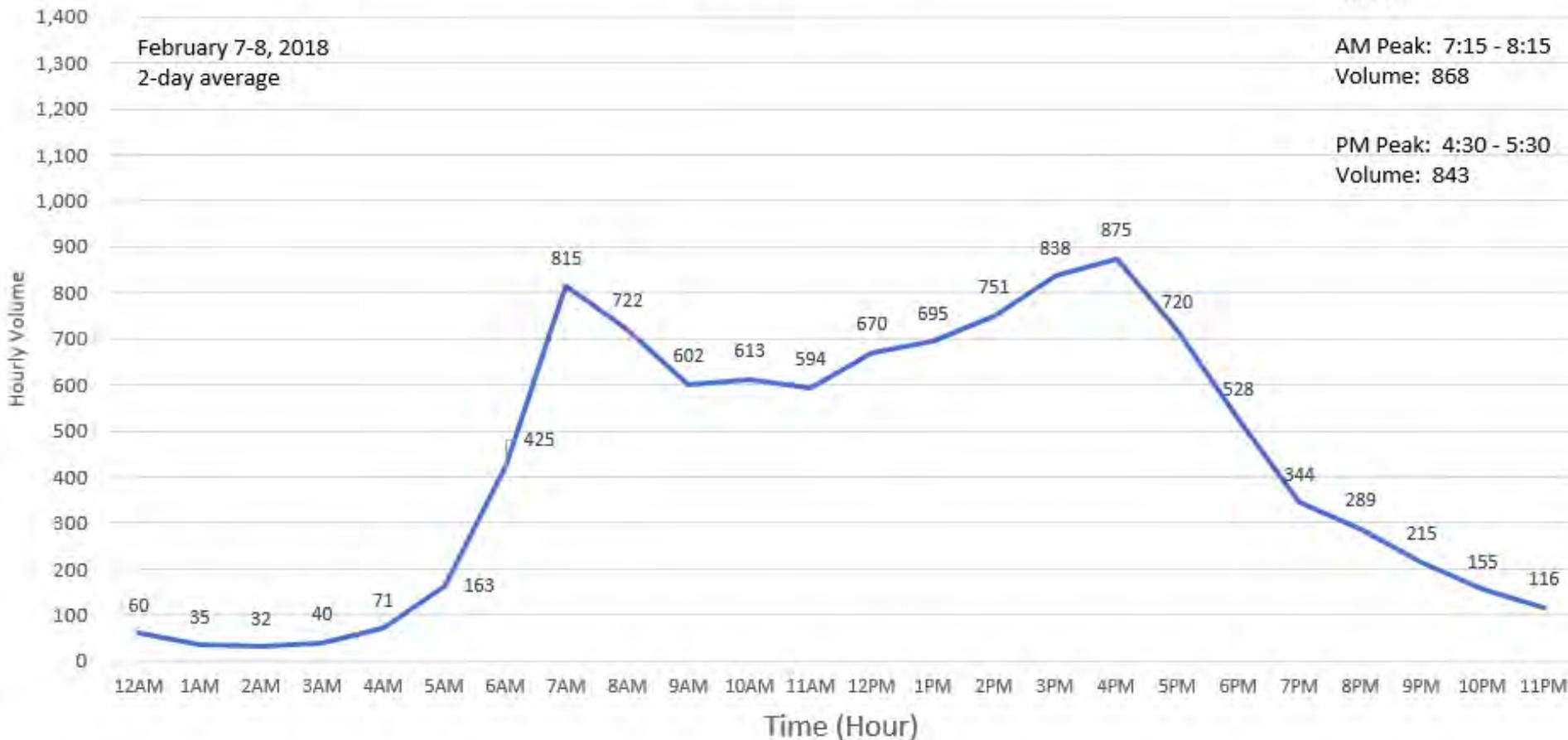
### Hourly Vehicle Traffic Profile US 90 / W. Cervantes between B Street & C Street Eastbound

Daily Volume (unadj.)  
10,364

AM Peak: 7:15 - 8:15  
Volume: 868

PM Peak: 4:30 - 5:30  
Volume: 843

February 7-8, 2018  
2-day average



# Hourly Vehicle Traffic Profile

## US 90 / W. Cervantes between B Street & C Street

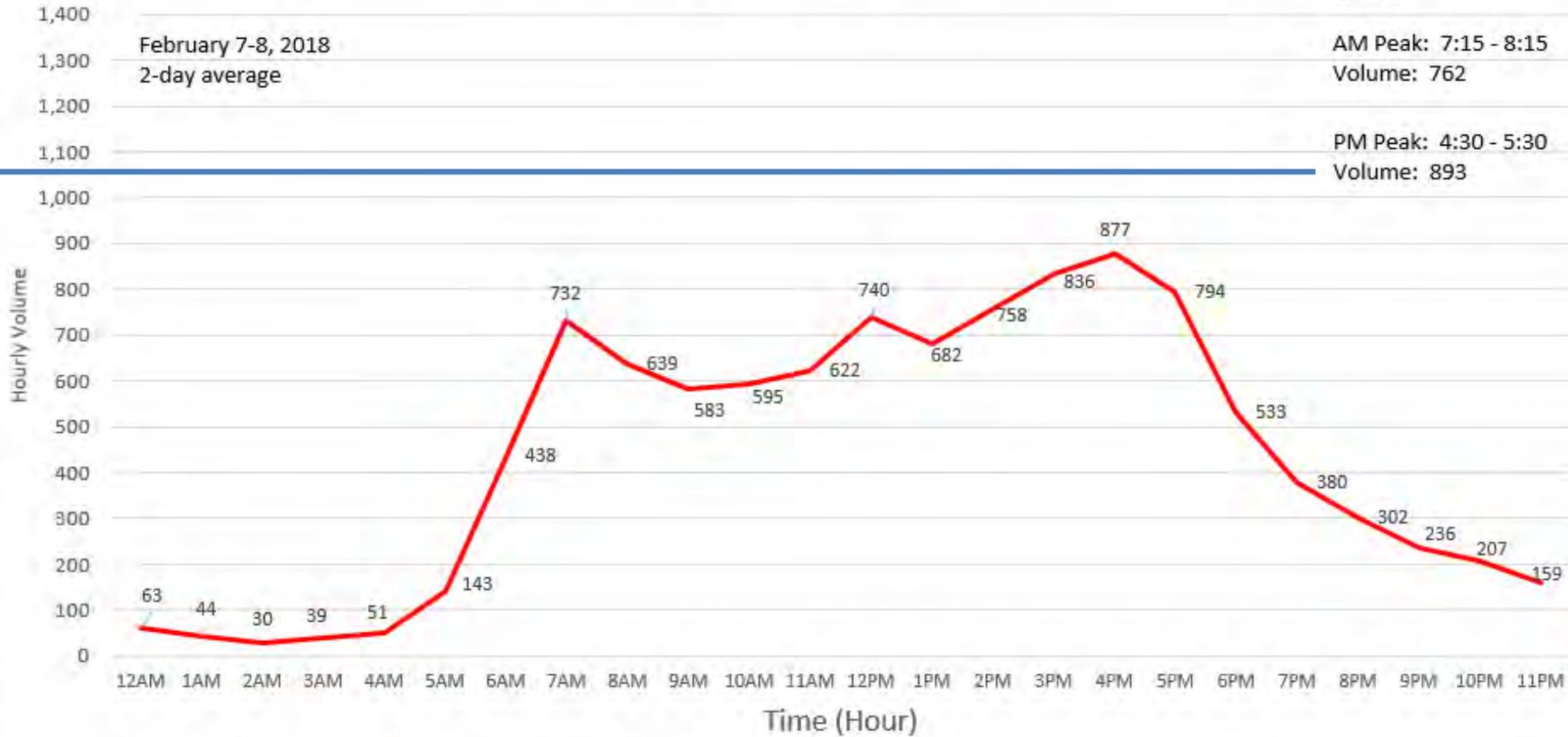
### Westbound

Daily Volume (unadj.)  
10,478

February 7-8, 2018  
2-day average

AM Peak: 7:15 - 8:15  
Volume: 762

PM Peak: 4:30 - 5:30  
Volume: 893



# Design Elements

---

Trees - Examples : North A Street, Avondale,  
Live Oaks. Shade is Key.

Root Barriers and Un-compacted soils!

Parking -

Parallel 8 feet, no larger,

Angle 16' off curb.

Parkway Strips [planting]

place shade trees and manage utility placement

Sidewalks

Vary with context

6' residential

12' commercial

# Short Term

Crosswalk Update

Abbey Up CRA!

Most visible to motorists,  
Especially in rain

Safety in uniformity

It clearly says urban









MUSEUM MART

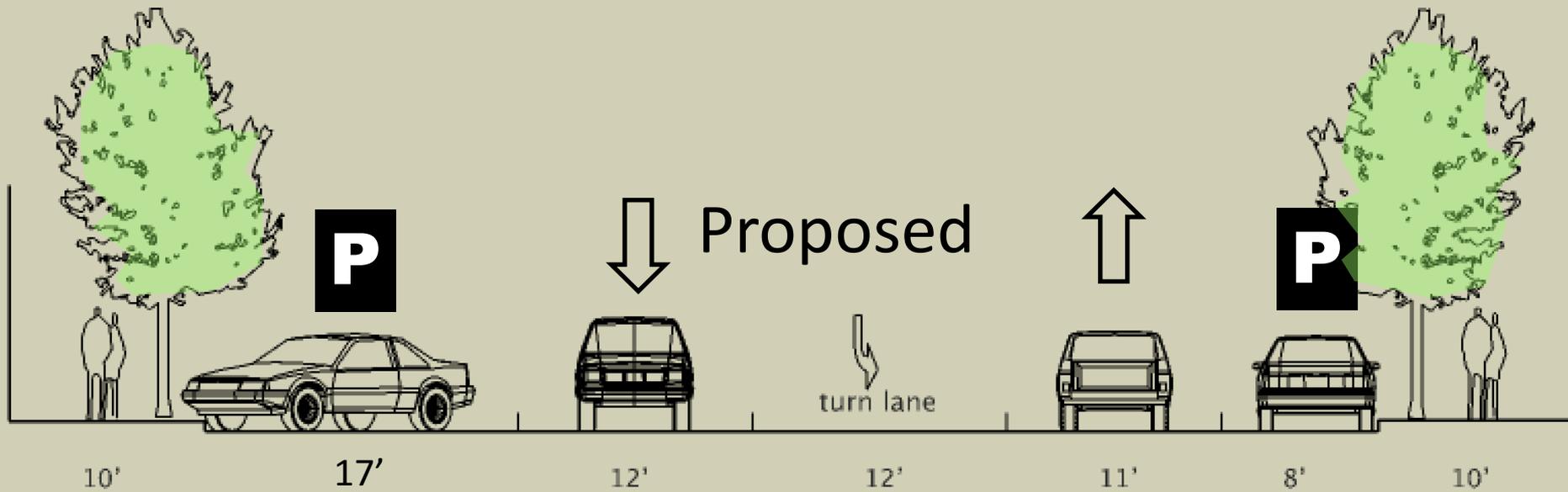
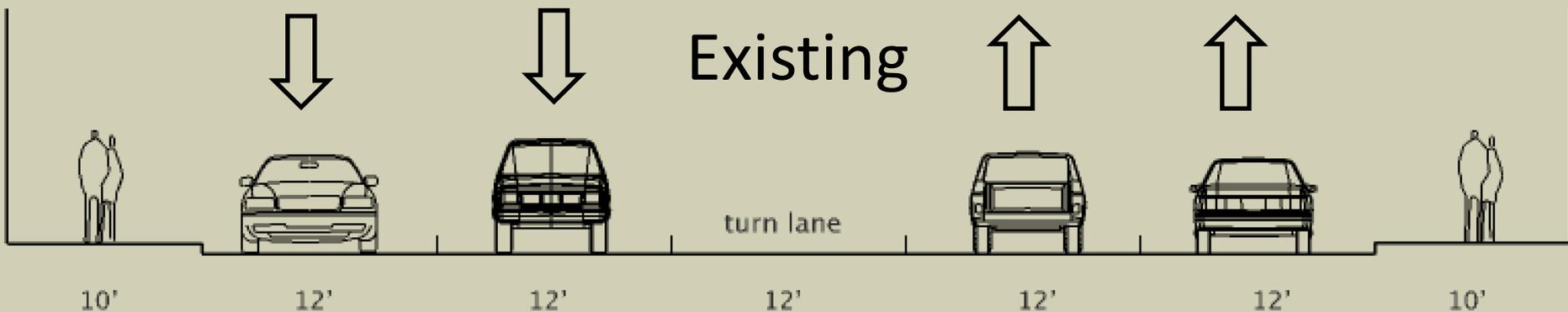




# 13th St, Columbus, GA

(looking west)

← Pavement Curb to Curb = 60 feet →





PLANTS  
S. L. WIZAS  
GRA. O. S.

FLOWER BASKET

135

THANK YOU FOR  
**100+ YEARS**  
CEN'S NEW RESTAURANT  
OUTFRONT

ONLY

WEST  
22

CONVALES... CARE  
HOME MEDIC... EQUIPMENT  
925-2273  
24-HOUR

SPEED  
LIMIT  
**35**

No Parking sign (P in a red circle with a slash)



# **CRA: Urban Design & Code Amendment City of Pensacola**

**Final Charrette Presentation  
February 15, 2018**

**DPZ**  
CODESIGN

with

**Hall Planning & Engineering**